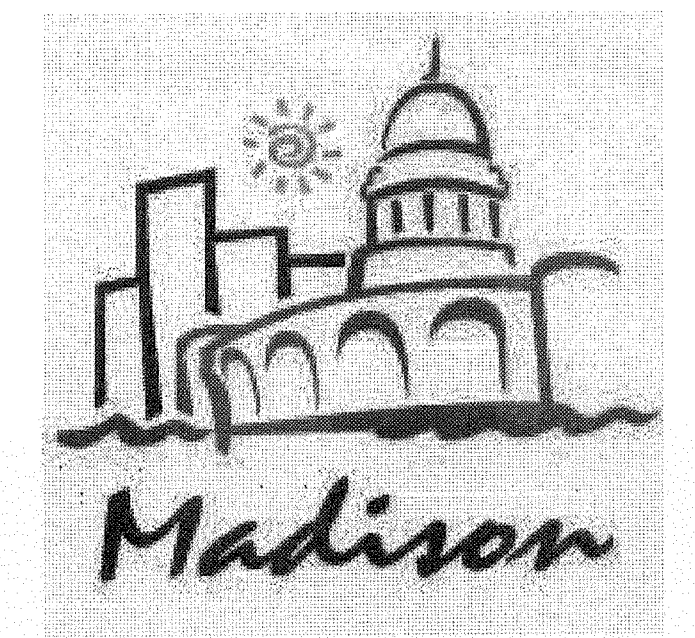
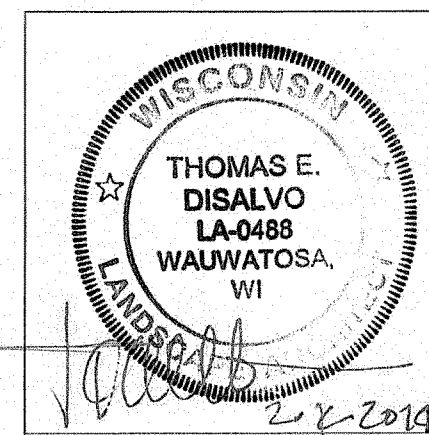


Madison Fire Station 13  
 6350 Town Center Drive  
 Madison, WI 53718



PROJECT TEAM

SHEET INDEX



LANDSCAPING  
 ZIMMERMAN ARCHITECTURAL STUDIOS, INC.

2122 W. Mount Vernon Avenue  
 MILWAUKEE, WI 53233  
 (414) 276-1889  
 www.zastudios.com

PROJECT CONTACT: Tom DiSalvo  
 DIRECT PHONE: Direct Line (414) 918-1454  
 EMAIL ADDRESS: tom.disalvo@zastudios.com

Sheet Number	Sheet Name
C100	Site Plan-For Information Only
C101	Grading Plan-For Information Only
C102	Erosion Control Plan-For Information Only
C103	Existing Site Survey-For Information Only
C500	Site Amenities Plan
L100	Landscape Plan
L101	Landscape Schedules, Details and Notes
L102	Landscape Enlargements and Details
L200	Landscape Schedules and Notes

VICINITY MAP



**zimmerman**  
 ARCHITECTURAL STUDIOS, INC.

2122 West Mt. Vernon Avenue | Milwaukee, WI 53233 | zastudios.com

TELEPHONE [414] 476.9500

FACSIMILE [414] 476.8582

Madison Fire Station 13  
 Bid Set-Landscape Package

Madison Project Number: 53W1152

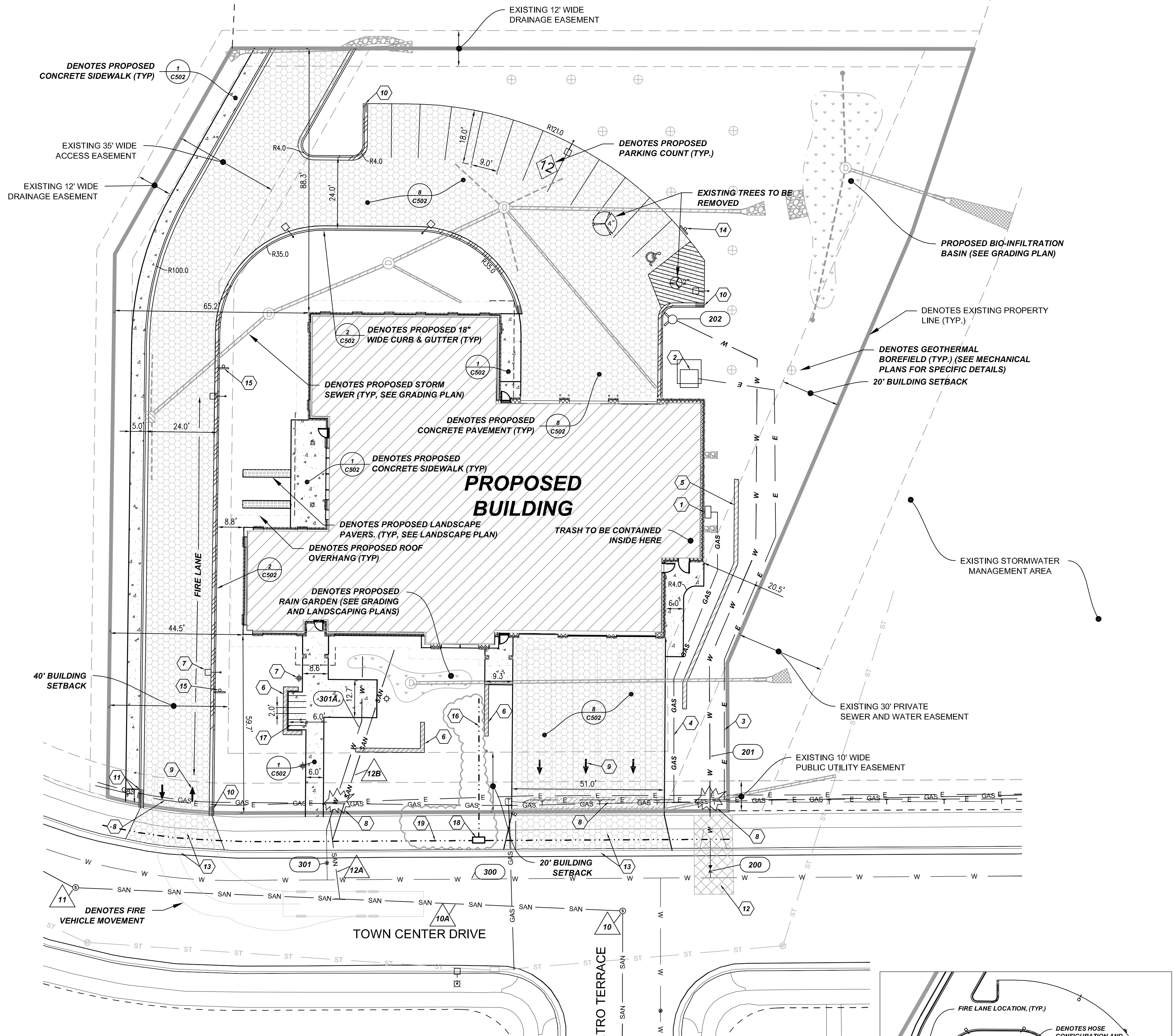
Madison Contract Number: 7123

PUBLIC IMPROVEMENT PROJECT APPROVED  
 RES-14-00106, ID; FILE ID 32824  
 FEBRUARY 4, 2014  
 BY THE COMMON COUNCIL OF MADISON,  
 WISCONSIN

PUBLIC IMPROVEMENT DESIGN  
 APPROVED BY:

*Anthony Paoli*  
 City Engineer  
 3-14-14  
 Date

ZAS PROJECT NUMBER: 120062.00  
 May 3, 2013



**SITE ZONING AND LOCATION TABLE**

**LEGAL DESCRIPTION:**  
 ALL OF LOT 1, CERTIFIED SURVEY MAP NUMBER 12761, AS RECORDED IN VOLUME 80 OF CERTIFIED SURVEY MAPS, ON PAGES 304-307, AS DOCUMENT NUMBER 4593131, DANE COUNTY REGISTRY, LOCATED IN THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 02, TOWNSHIP 07 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

<b>PROPERTY LOCATION:</b>	6350 TOWN CENTER DRIVE MADISON WISCONSIN
<b>EXISTING ZONING:</b>	PUD - (GDP)
<b>PROPOSED ZONING:</b>	PUD - (GDP)
<b>ZONING SETBACKS:</b>	BUILDING SETBACK: 20 FEET (FRONT & EAST SIDE) 40 FEET (WEST SIDE)
<b>PROPERTY OWNER:</b>	CITY OF MADISON
<b>PROPOSED USAGE:</b>	FIRE STATION

**SITE CALCULATION TABLE**

TOTAL SITE AREA	1.38 AC
TOTAL DISTURBED AREA	1.52 AC
EXISTING IMPERVIOUS AREA	0.00 AC
PROPOSED IMPERVIOUS AREA	0.69 AC
PROPOSED GREENSPACE	0.69 AC (50% OF SITE)
PROPOSED REGULAR PARKING SPACES	11
PROPOSED HANDICAP PARKING	1
PROPOSED TOTAL PARKING	12

**UTILITY LEGEND**

SYMBOL	DESCRIPTION
— W — W —	EXISTING WATER MAIN
— E — E —	PROPOSED WATER SERVICE
— E — E —	EXISTING ELECTRICAL LINE
— E — E —	PROPOSED ELECTRICAL LINE
— GAS — GAS —	EXISTING GAS MAIN
— GAS — GAS —	PROPOSED GAS MAIN
— SAN — SAN —	EXISTING SANITARY SEWER
— SAN — SAN —	PROPOSED SANITARY SEWER
— ST — ST —	EXISTING STORM SEWER
— ST — ST —	PROPOSED STORM SEWER
— OHW — OHW —	OVERHEAD WIRES
○	EXISTING LIGHT POLES
○	SANITARY MANHOLE
○	FIRE HYDRANT
○	EXISTING WATER VALVE
○	PROPOSED WATER VALVE
○	EXISTING STORM STRUCTURE
○	PROPOSED STORM STRUCTURE
○	DENOTES EMERGENCY OVERFLOW ROUTE / DRAINAGE PATH
○	PROPOSED & EXISTING SPOT GRADE

**NOTES**

- DENOTES PROPOSED GAS METER LOCATION. SEE MECHANICAL PLANS.
- DENOTES PROPOSED TRANSFORMER LOCATION. CONTRACTOR TO COORDINATE EXACT LOCATION WITH UTILITY COMPANY.
- DENOTES PROPOSED ELECTRIC SERVICE. CONTRACTOR TO COORDINATE EXACT LOCATION WITH UTILITY COMPANY.
- DENOTES PROPOSED GAS SERVICE. CONTRACTOR TO COORDINATE EXACT LOCATION WITH UTILITY COMPANY.
- DENOTES PROPOSED RETAINING WALL. SEE LANDSCAPE PLANS.
- DENOTES PROPOSED LANDSCAPE WALL. SEE LANDSCAPE PLANS.
- DENOTES PROPOSED SITE LIGHTING. (TYP. SEE ELECTRICAL PLANS)
- CAUTION: EXISTING UTILITIES. VERIFY EXACT LOCATION AND ELEVATION PRIOR TO STARTING CONSTRUCTION.
- DENOTES PROPOSED PAVEMENT MARKING DIRECTIONAL ARROWS. (TYP.)
- DENOTES PROPOSED 3" CURB TAPER.
- DENOTES PROPOSED 6" CURB TAPER AND SIDEWALK RAMP. FIRST 6" OF SIDEWALK TO BE RAMPED AT 8% MAX SLOPE.
- REMOVE AND REPLACE PAVEMENT, CURB, SIDEWALK AND ADA RAMP AS REQUIRED TO INSTALL WATERMAIN. SLURRY BACKFILL REQUIRED WITHIN ROADWAY. CONSTRUCT NEW ADA RAMP TO MATCH DETAIL 3, C502
- CUT CURB HEAD PER DETAIL 6, C502 WITHIN DRIVEWAY AREA AND INSTALL DRIVEWAY PER DETAIL 7, C502. REMOVE EXISTING SIDEWALK WITHIN DRIVEWAY AREA AND REPLACE MATCHING THE CONCRETE PAVEMENT SECTION.
- DENOTES PROPOSED ADA SIGN. SEE DETAIL 4, C502.
- DENOTES PROPOSED "NO PARKING FIRE LANE" SIGN.
- EXTEND CONDUITS FROM BUILDING TO UTILITY ACCESS VAULT. ONE 3" FOR FUTURE FIBER. ONE 2" FOR PHONE SERVICE. TWO 4" FOR FUTURE RADIO/WIRELESS, AND ONE 2" FOR CABLE TV. (SEE ELECTRICAL PLANS)
- PROPOSED BIKE PARKING. SEE LANDSCAPE PLANS FOR SPECIFIC BIKE RACK DETAILS AND CONFIGURATION.
- PROVIDE UTILITY ACCESS VAULT MEETING CITY OF MADISON REQUIREMENTS.
- DENOTES PROPOSED 3" CONDUIT FOR FUTURE FIBER SERVICE. SCH 80 REQUIRED UNDER DRIVEWAYS. SCH 40 MAY BE USED ELSEWHERE. INSTALL WITH TRACER WIRE AND LONG SWEEP BENDS.

**GENERAL NOTES AND SPECIFICATIONS**

- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY BURSE SURVEYING AND ENGINEERING, INC. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK. QUESTIONS REGARDING THE EXISTING SURVEY SHALL BE DIRECTED TO THE PARTIES LISTED ABOVE.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL TO BE CONNECTED TO (VERIFYING ELEVATION, LOCATION AND SIZE). SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
- ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003) AS WELL AS, THE CITY OF MADISON CONSTRUCTION STANDARDS AND THE DEPT. OF COMMERCE SEC. 82-87.
- ALL UTILITY PERMITS MUST BE RECEIVED FROM THE CITY OF MADISON PRIOR TO THE START OF CONSTRUCTION.
- NOTIFY THE PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
- BACKFILL REQUIREMENTS AND ROADWAY/SIDEWALK RESTORATION SHALL ADHERE TO LOCAL STANDARDS (GRANULAR BACKFILL UNDER OR WITHIN 5' OF CURBS, SIDEWALK, OR PAVEMENT. SPOIL MAY BE USED ELSEWHERE. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS.)
- ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- ALL PROPOSED WATERMAIN SHALL BE DUCTILE IRON, CLASS 52
- PROPOSED SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM D-3212.
- PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
- UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- SILT FENCE AND ALL OTHER EROSION CONTROL METHODS MUST BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALSO, CONTRACTOR IS RESPONSIBLE FOR REMOVING EROSION CONTROL METHODS ONCE THE SITE IS STABILIZED.
- THE PROPOSED SITE LOCATION AND SURROUNDING STREETS MUST BE KEPT DEBRIS FREE. SWEEP STREETS AS NEEDED TO MAINTAIN CLEAN STREETS.
- ALL EXCAVATED OR STRIPPED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- ALL DISTURBED GRASS AREAS SHALL BE STABILIZED (PER DNR TECHNICAL STANDARDS) WITHIN 7 DAYS OF COMPLETION. DISTURBED GRASS AREAS SHALL BE TOPSOILED (8"), RESEEDED AND STABILIZED. AREAS WITH A SLOPE OF 3H:1V OR STEEPER SHALL BE COVERED WITH A CLASS 1 - TYPE A EROSION FABRIC. (SEE SPECIFICATIONS)
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
- ALL ON-SITE CONCRETE CURB AND GUTTER TO BE 18" WIDE VERTICAL FACE, UNLESS OTHERWISE NOTED. REVERSE OR REGULAR STYLE CURB DENOTED ON PLANS.
- ALL CURB ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE CURB DETAIL FOR TOP OF CURB ELEVATIONS.
- ALL CURB RADII ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MATCH PROPOSED CONCRETE CURB AND GUTTER, SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
- REMOVAL OF CURB AND GUTTER, SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
- ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 4000 PSI.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS. CONTRACTOR SHALL DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
- PROJECT SAFETY ON-SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS. CONSTRUCTION MANAGER MAY HAVE SOILS REPORT FOR MORE INFO.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED UP PLANS (AS-BUILTS) SHOWING ANY CHANGES DURING CONSTRUCTION.

**HATCH LEGEND**

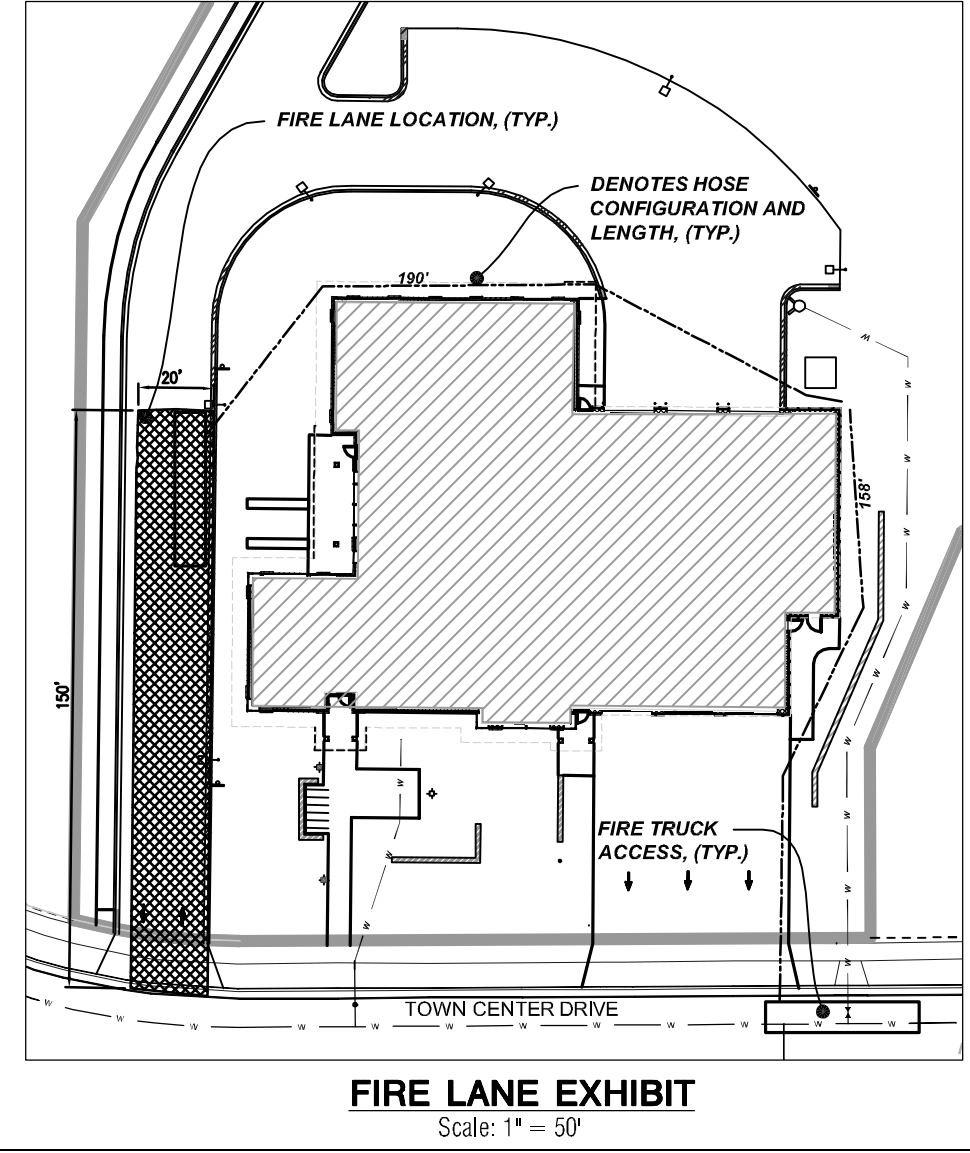
	PROPOSED CONCRETE SIDEWALK
	PROPOSED POROUS ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED DEPRESSED CURB
	PROPOSED TAPER CURB
	PROPOSED REVERSE CURB

**CIVIL PLAN SET INDEX:**

- C100 - SITE PLAN
- C101 - GRADING PLAN
- C102 - EROSION CONTROL PLAN
- C103 - EXISTING SITE SURVEY
- C500 - DETAILS
- C501 - DETAILS
- C502 - DETAILS

**UTILITY TAGS**

#	SANITARY	#	WATER
10	EXIST. SANITARY MANHOLE RIM = 952.47 INV (W) = 942.54 (8") INV (S) = 942.50 (8")	200	PROP. LIVE TAP AND 8" GATE VALVE (CITY OF MADISON TO MAKE CONNECTION TO WATERMAIN. CONTRACTOR TO COORDINATE. EXCAVATE, PREP TRENCH AND PAY FOR ANY CONNECTION FEES)
10A	EXIST. 8" PVC SANITARY SEWER	201	PROP. 206 LF 8" WATERMAIN, D.I. CL 52
11	EXIST. SANITARY MANHOLE RIM = 960.85 INV (W) = 950.86 (8") INV (E) = 950.79 (8")	202	PROP. FIRE HYDRANT AND AUXILIARY VALVE. BURY ELEV = 957.65 +/-
12A	EXIST. 6" SANITARY SERVICE STUB (VERIFY STUB ELEVATION PRIOR TO CONSTRUCTION)	300	EXIST. WATERMAIN
12B	PROP. 67 L.F. 6" PVC SANITARY SERVICE @ 1.0% (MIN). INV @ BLDG = 950.50 INSTALL CITY OF MADISON LATERAL MARKERS PER SPECS	301	EXIST. 6" WATER SERVICE STUB
		301A	PROP. 60 L.F. 6" D.I. (CL 52) WATER SERVICE



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

**zimmerman**  
 ARCHITECTURAL STUDIOS, INC.  
 2122 West Mt. Vernon Avenue | Milwaukee, WI 53233 | zastrudios.com  
 TELEPHONE [414] 476-9500  
 FACSIMILE [414] 476-8582

**PROJECT INFORMATION**

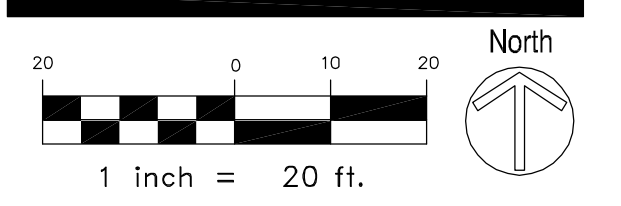
**Madison Fire Station 13**  
 Madison Project #53W1152, Contract # 6590



**ISSUANCE AND REVISIONS**

**Bid Set**

**KEY PLAN**



**SHEET INFORMATION**

**REVISIONS**

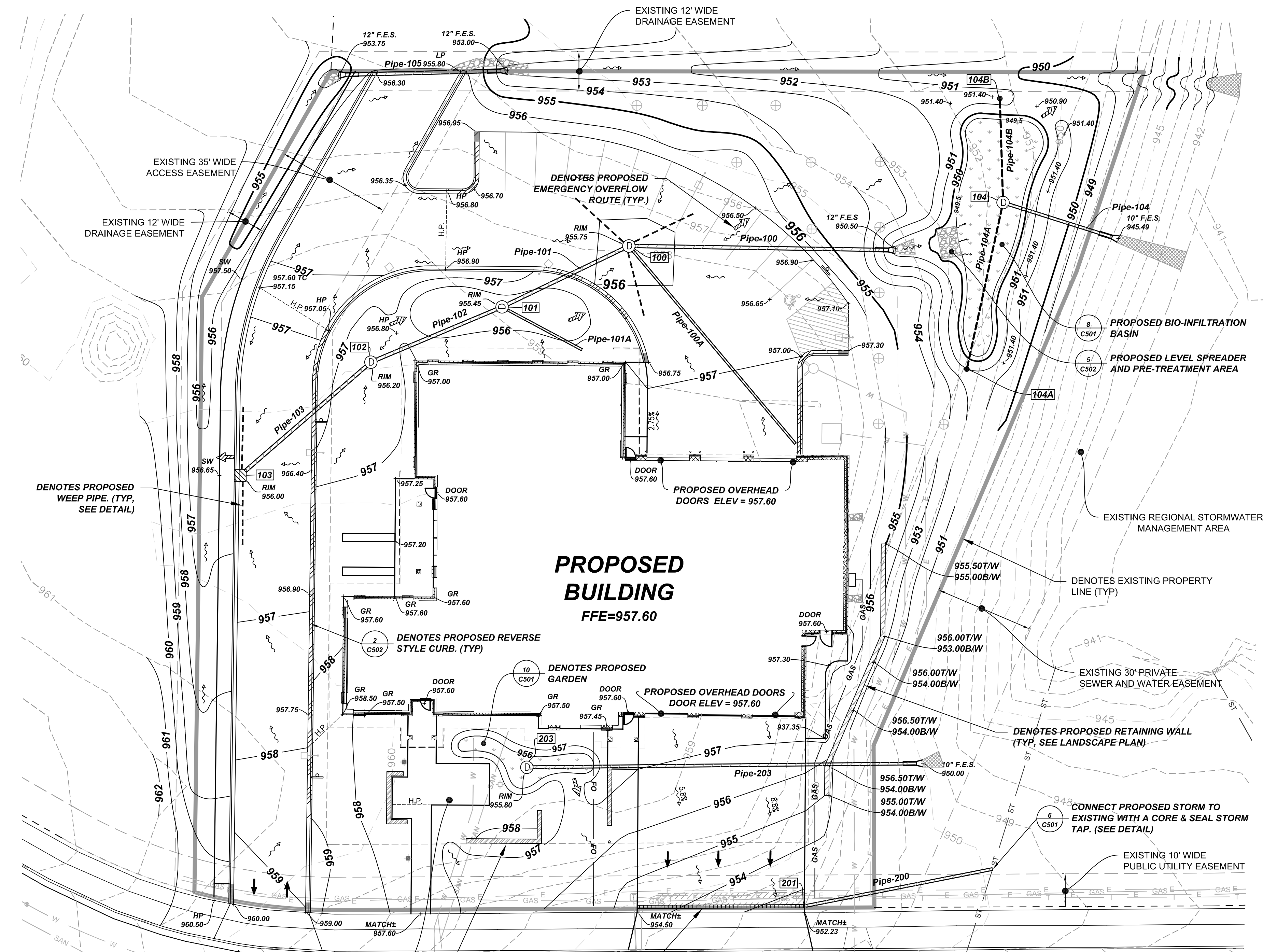
DATE	DESCRIPTION
05-10-2013	FIBER OPTIC DUCT PACKAGE IN TERRACE

DATE  
May 03, 2013

PROJECT NUMBER 120062.00  
 STUDIO Sabinash

Site Plan  
**C100**  
 © ZIMMERMAN ARCHITECTURAL STUDIOS, INC.

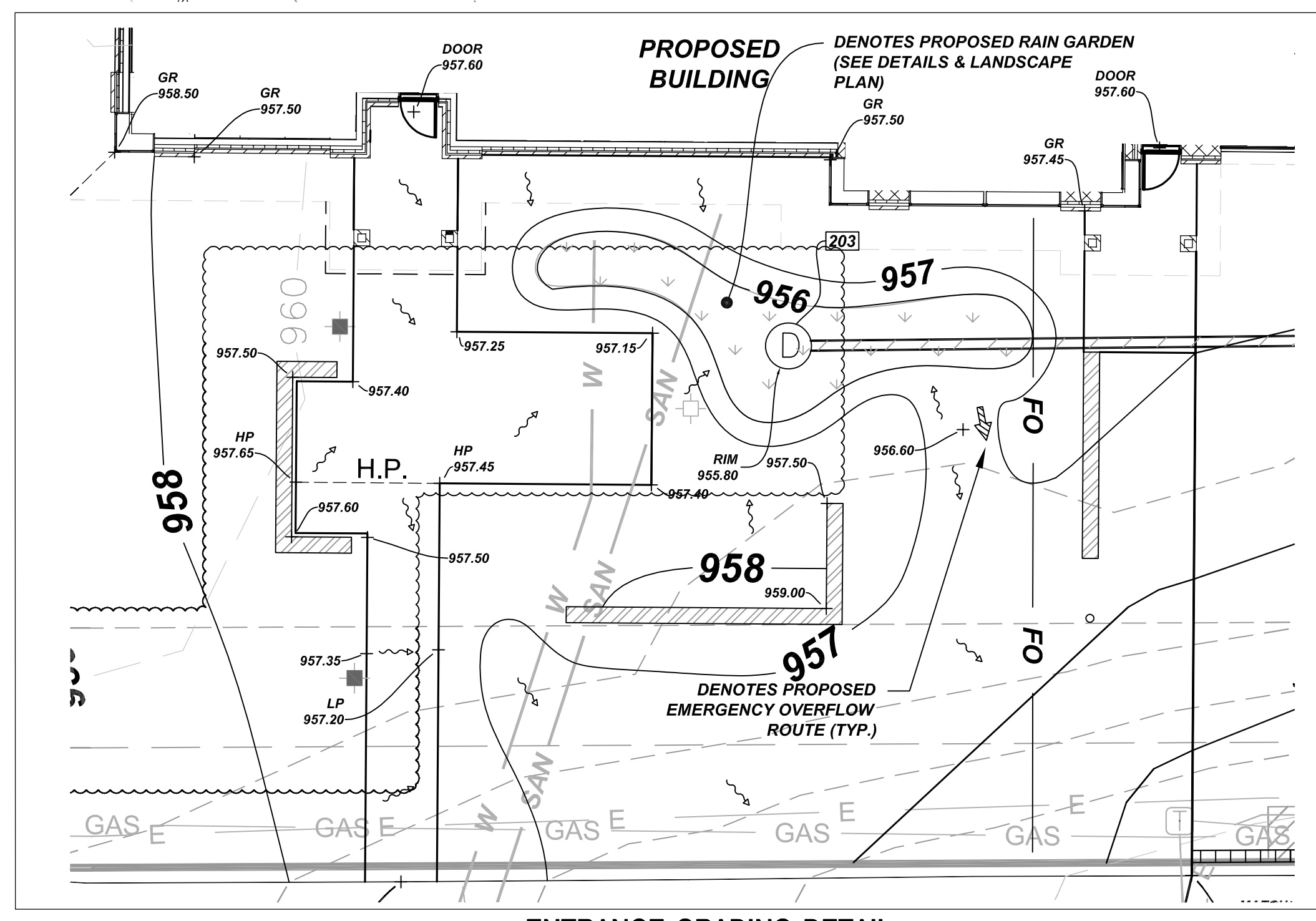
**HARWOOD**  
 ENGINEERING  
 CONSULTANTS, LTD.  
 255 North 21st Street Milwaukee Wisconsin 53233  
 414.475.5554 414.773.9299 fax harwood@hcc.com  
 HCC Project Number: 120062.00



#	Structure Details
100	CATCH BASIN (4' DIA) W/ 3' SUMP WI NEENAH R-1050 OPEN W/ WEEP PIPES (3) RM = 955.75 Pipe-101 = 951.29 Pipe-100A = 951.29 Pipe-100 = 951.29
101	CATCH BASIN (3' DIA) RM = 955.45 Pipe-101A = 951.72 Pipe-102 = 951.72 Pipe-101 = 951.72
102	CATCH BASIN (3' DIA) RM = 956.20 Pipe-103 = 952.15 Pipe-102 = 952.15
103	CURB INLET W/ WEEP PIPES (2) RM = 956.00 Pipe-103 = 952.68
104	OUTLET STRUCTURE (SEE DETAIL) RM = 950.50 Pipe-104B = 945.91 Pipe-104A = 945.91 Pipe-104 = 945.91
104A	CLEANOUT RM = 951.40 Pipe-104A = 945.91
104B	CLEANOUT RM = 951.40 Pipe-104B = 945.91
201	TRECH DRAIN ACO POWERDRAIN S300K W/ SLOTTED DUCTILE IRON GRATE & INLINE CATCH BASIN & DEEP BASE RIM ELEV VARIES (MATCH PROPOSED GRADING)
203	24" ADS INLET W/ DOME GRATE RM = 955.80 Pipe-203 = 954.00

Pipe Name	Size	Material	Length	Slope	Description
Pipe-100	12	RCP	79	1.00%	W/ F.E.S. W/ GRATE
Pipe-100A	8	PVC	79	1.00%	C900 PVC REFER TO PLUMB. PLANS FOR INV @ BLDG (1.00% MIN)
Pipe-101	12	RCP	43	1.00%	
Pipe-101A	8	PVC	28	1.00%	(1.00% MIN) SLOPE REFER TO PLUMB. PLANS FOR INV @ BLDG
Pipe-102	12	RCP	43	1.00%	
Pipe-103	12	RCP	53	1.00%	
Pipe-104	10	PVC	35	1.00%	
Pipe-104A	6	HDPE	52	0.00%	UNDERDRAIN W/ 3" ORIFICE ADS N-12 PERFORATED
Pipe-104B	6	HDPE	32	0.00%	UNDERDRAIN W/ 3" ORIFICE ADS N-12 PERFORATED
Pipe-105	12	RCP	48	1.58%	CL IV RCP
Pipe-200	10	PVC	58	7.08%	
Pipe-203	10	PVC	119	3.85%	C900 PVC PIPE F.E.S. W/ RODENT GUARD

- ### GENERAL NOTES AND SPECIFICATIONS
- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY BURSE SURVEYING AND ENGINEERING, INC. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK. QUESTIONS REGARDING THE EXISTING SURVEY SHALL BE DIRECTED TO THE PARTIES LISTED ABOVE.
  - BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL TO BE CONNECTED TO (VERIFYING ELEVATION, LOCATION AND SIZE). SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
  - ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003), AS WELL AS, THE CITY OF MADISON CONSTRUCTION STANDARDS AND THE DEPT. OF COMMERCE SEC. 82-97.
  - ALL UTILITY PERMITS MUST BE RECEIVED FROM THE CITY OF MADISON PRIOR TO THE START OF CONSTRUCTION.
  - NOTIFY THE PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
  - BACKFILL REQUIREMENTS AND ROADWAY/SIDEWALK RESTORATION SHALL ADHERE TO LOCAL STANDARDS (GRANULAR BACKFILL UNDER OR WITHIN 5' OF CURBS, SIDEWALK, OR PAVEMENT. SPOIL MAY BE USED ELSEWHERE. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS.)
  - ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
  - ALL PROPOSED WATERMAIN SHALL BE DUCTILE IRON, CLASS 52
  - PROPOSED SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM D-3212.
  - PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
  - UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
  - SILT FENCE AND ALL OTHER EROSION CONTROL METHODS MUST BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALSO, CONTRACTOR IS RESPONSIBLE FOR REMOVING EROSION CONTROL METHODS ONCE THE SITE IS STABILIZED.
  - THE PROPOSED SITE LOCATION AND SURROUNDING STREETS MUST BE KEPT DEBRIS FREE. SWEEP STREETS AS NEEDED TO MAINTAIN CLEAN STREETS.
  - ALL EXCAVATED OR STRIPPED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
  - ALL DISTURBED GRASS AREAS SHALL BE STABILIZED (PER DNR TECHNICAL STANDARDS) WITHIN 7 DAYS OF COMPLETION. DISTURBED GRASS AREAS SHALL BE TOP SOILED (6"). RESEEDED AND STABILIZED. AREAS WITH A SLOPE OF 3H:1V OR STEEPER SHALL BE COVERED WITH A CLASS 1 - TYPE A EROSION FABRIC. (SEE SPECIFICATIONS)
  - SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
  - ALL ON-SITE CONCRETE CURB AND GUTTER TO BE 18" WIDE VERTICAL FACE, UNLESS OTHERWISE NOTED. REVERSE OR REGULAR STYLE CURB DENOTED ON PLANS.
  - ALL CURB ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE CURB DETAIL FOR TOP OF CURB ELEVATIONS.
  - ALL CURB RADII ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL MATCH PROPOSED CONCRETE CURB AND GUTTER, SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
  - REMOVAL OF CURB AND GUTTER, SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
  - ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 4000 PSI.
  - CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
  - CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS. CONTRACTOR SHALL DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
  - PROJECT SAFETY ON-SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS. CONSTRUCTION MANAGER MAY HAVE SOILS REPORT FOR MORE INFO.
  - CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED UP PLANS (AS-BUILTS) SHOWING ANY CHANGES DURING CONSTRUCTION.



ENTRANCE GRADING DETAIL  
SCALE: 1" = 10'

SYMBOL	DESCRIPTION
— W — W —	EXISTING WATER MAIN
— E — E —	PROPOSED WATER SERVICE
— E — E —	EXISTING ELECTRICAL LINE
— E — E —	PROPOSED ELECTRICAL LINE
— GAS — GAS —	EXISTING GAS MAIN
— GAS — GAS —	PROPOSED GAS MAIN
— SAN — SAN —	EXISTING SANITARY SEWER
— SAN — SAN —	PROPOSED SANITARY SEWER
— ST — ST —	EXISTING STORM SEWER
— ST — ST —	PROPOSED STORM SEWER
— OHW — OHW —	OVERHEAD WIRES
⊙	EXISTING POWER POLES
⊙	EXISTING LIGHT POLES
⊙	SANITARY MANHOLE
⊙	FIRE HYDRANT
⊙	EXISTING WATER VALVE
⊙	PROPOSED WATER VALVE
⊙	EXISTING STORM STRUCTURE
⊙	PROPOSED STORM STRUCTURE
⊙	DENOTES EMERGENCY OVERFLOW ROUTE / DRAINAGE PATH
⊙	PROPOSED & EXISTING SPOT GRADE

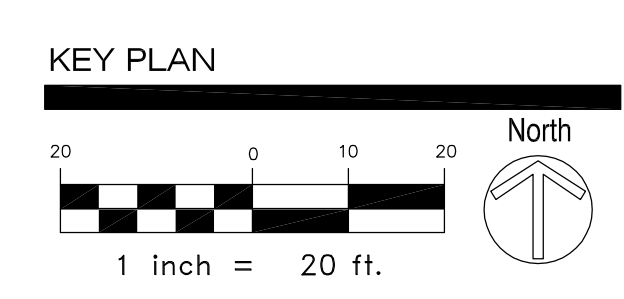
**Zimmerman**  
ARCHITECTURAL STUDIOS, INC.  
2122 West Mt. Vernon Avenue | Milwaukee, WI 53233 | zaustudios.com  
TELEPHONE (414) 476-9500  
FACSIMILE (414) 476-8582

PROJECT INFORMATION  
**Madison Fire Station 13**  
Madison Project #53W152, Contract # 6590



ISSUANCE AND REVISIONS

Bid Set



SHEET INFORMATION

REVISIONS

#	DATE	DESCRIPTION

DATE  
May 03, 2013

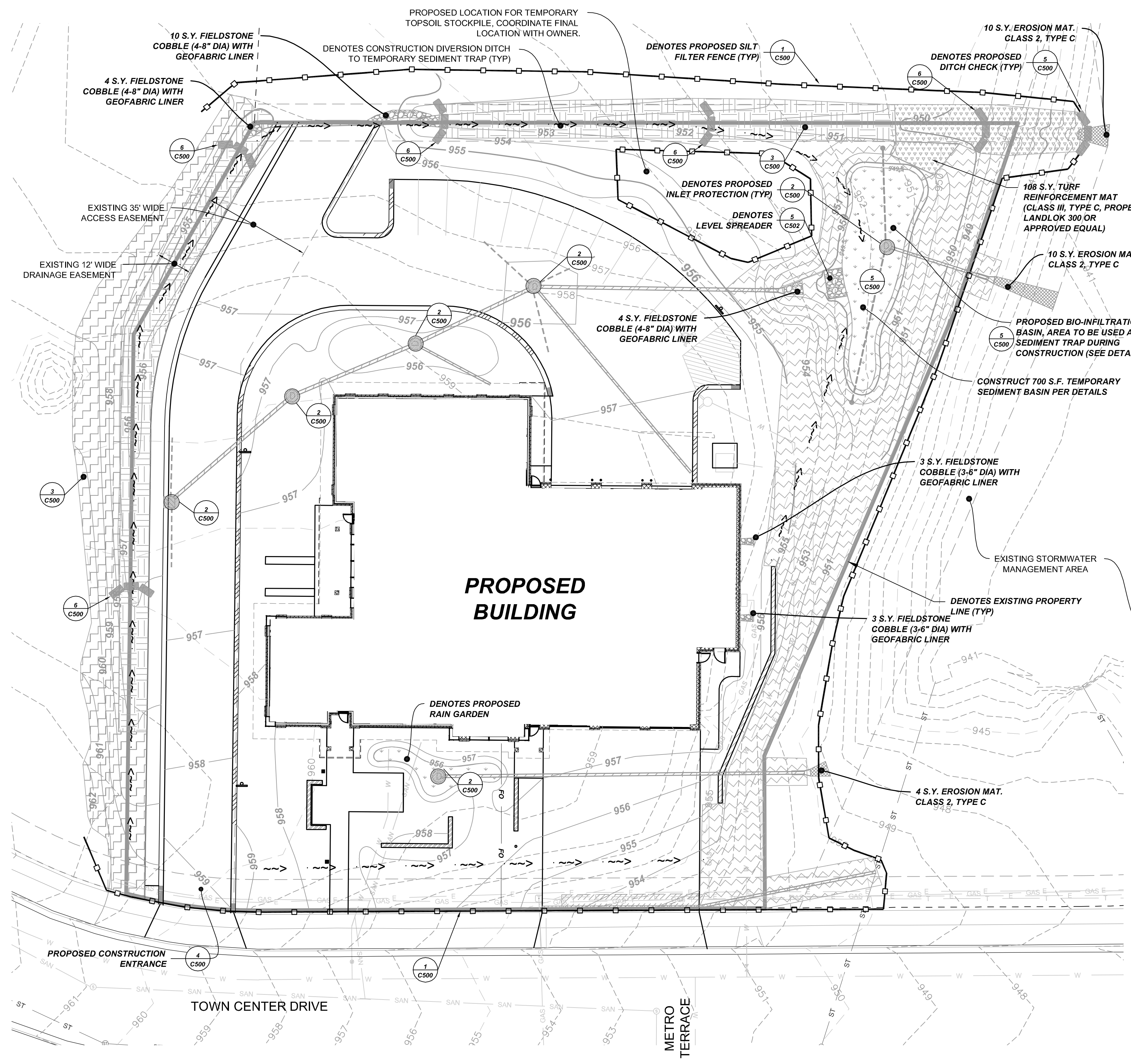
PROJECT NUMBER  
120062.00

STUDIO  
Sabinash

Grading Plan

**HARWOOD**  
ENGINEERING  
CONSULTANTS, LTD.  
255 North 21st Street Milwaukee Wisconsin 53233  
414.475.5554 414.773.9299 fax harwood@hcecl.com  
HCE Project Number: 120062.00

**C101**  
© ZIMMERMAN ARCHITECTURAL STUDIOS, INC.



### UTILITY LEGEND

SYMBOL	DESCRIPTION
— W — W —	EXISTING WATER MAIN
— P — P —	PROPOSED WATER SERVICE
— E — E —	EXISTING ELECTRICAL LINE
— GAS — GAS —	PROPOSED ELECTRICAL LINE
— GAS — GAS —	EXISTING GAS MAIN
— SAN — SAN —	PROPOSED GAS MAIN
— ST — ST —	EXISTING SANITARY SEWER
— ST — ST —	PROPOSED SANITARY SEWER
— ST — ST —	EXISTING STORM SEWER
— ST — ST —	PROPOSED STORM SEWER
— OHW — OHW —	OVERHEAD WIRES
— WP — WP —	EXISTING POWER POLES
— LP — LP —	EXISTING LIGHT POLES
— SM —	SANITARY MANHOLE
— FH —	FIRE HYDRANT
— EWV —	EXISTING WATER VALVE
— PWV —	PROPOSED WATER VALVE
— ESS —	EXISTING STORM STRUCTURE
— PSS —	PROPOSED STORM STRUCTURE
— EOP —	DENOTES EMERGENCY OVERFLOW ROUTE / DRAINAGE PATH
— SG —	PROPOSED & EXISTING SPOT GRADE

- ### GENERAL NOTES AND SPECIFICATIONS
- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY BURSE SURVEYING AND ENGINEERING, INC. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. QUESTIONS REGARDING THE EXISTING SURVEY SHALL BE DIRECTED TO THE PARTIES LISTED ABOVE.
  - BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL TO BE CONNECTED TO VERIFYING ELEVATION, LOCATION AND SIZE. SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
  - ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003), AS WELL AS, THE CITY OF MADISON CONSTRUCTION STANDARDS AND THE DEPT. OF COMMERCE SEC. 82-87.
  - ALL UTILITY PERMITS MUST BE RECEIVED FROM THE CITY OF MADISON PRIOR TO THE START OF CONSTRUCTION.
  - NOTIFY THE PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
  - BACKFILL REQUIREMENTS AND ROADWAY/SIDEWALK RESTORATION SHALL ADHERE TO LOCAL STANDARDS (GRANULAR BACKFILL UNDER OR WITHIN 5' OF CURBS, SIDEWALK, OR PAVEMENT. SPOIL MAY BE USED ELSEWHERE. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS.)
  - ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
  - ALL PROPOSED WATERMAIN SHALL BE DUCTILE IRON, CLASS 52
  - PROPOSED SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM D-3212.
  - PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
  - UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
  - SILT FENCE AND ALL OTHER EROSION CONTROL METHODS MUST BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALSO, CONTRACTOR IS RESPONSIBLE FOR REMOVING EROSION CONTROL METHODS ONCE THE SITE IS STABILIZED.
  - THE PROPOSED SITE LOCATION AND SURROUNDING STREETS MUST BE KEPT DEBRIS FREE. SWEEP STREETS AS NEEDED TO MAINTAIN CLEAN STREETS.
  - ALL EXCAVATED OR STRIPPED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
  - ALL DISTURBED GRASS AREAS SHALL BE STABILIZED (PER DNR TECHNICAL STANDARDS) WITHIN 7 DAYS OF COMPLETION. DISTURBED GRASS AREAS SHALL BE TOPSOILED (6") RESEEDED AND STABILIZED. AREAS WITH A SLOPE OF 3H:1V OR STEEPER SHALL BE COVERED WITH A CLASS 1 - TYPE A EROSION FABRIC. (SEE SPECIFICATIONS)
  - SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
  - ALL ON-SITE CONCRETE CURB AND GUTTER TO BE 18" WIDE VERTICAL FACE, UNLESS OTHERWISE NOTED. REVERSE OR REGULAR STYLE CURB DENOTED ON PLANS.
  - ALL CURB ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE CURB DETAIL FOR TOP OF CURB ELEVATIONS.
  - ALL CURB RADI ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL MATCH PROPOSED CONCRETE CURB AND GUTTER, SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
  - REMOVAL OF CURB AND GUTTER, SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
  - ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 4000 PSI.
  - CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
  - CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS. CONTRACTOR SHALL DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
  - PROJECT SAFETY ON-SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS, CONSTRUCTION MANAGER MAY HAVE SOILS REPORT FOR MORE INFO.
  - CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED UP PLANS (AS-BUILTS) SHOWING ANY CHANGES DURING CONSTRUCTION.

- ### EROSION CONTROL NOTES AND PHASING
- ESTIMATED CONSTRUCTION TIMEFRAMES:  
 INSTALL EROSION CONTROL = JUNE 2013  
 GRADING AND UTILITY INSTALLATION = JUNE 2013  
 BEGIN BUILDING CONSTRUCTION = JUNE 2013  
 SITE GRADING AND SEEDING/STABILIZATION = AUGUST 2013  
 BIO-FILTER / RAINGARDEN INSTALLATION = EARLY-OCTOBER 2013  
 FINAL SITE RESTORATION AND SPOT REPAIR = OCTOBER 2013  
 COMPLETE BUILDING CONSTRUCTION = MARCH 2014
- ALL CHANGES TO THE ABOVE SCHEDULE SHALL BE REVIEWED AND APPROVED BY THE MUNICIPALITY.
- CONTRACTOR SHALL INSPECT ALL EROSION CONTROL PRACTICES WEEKLY AND AFTER ANY RAINFALL EVENT OF 0.5 INCHES OR GREATER. THE CONTRACTOR SHALL PERFORM ALL INSPECTIONS AND DOCUMENTATION PER WISCONSIN DEPARTMENT NATURAL RESOURCES. ALL REQUIRED REPAIRS SHALL BE MADE WITHIN 24 HOURS.
  - PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR WILL HAVE IN PLACE, ALL APPLICABLE PLAN APPROVALS AND PERMITS.
  - INSTALL CONSTRUCTION ENTRANCES, SEDIMENT TRACKING PADS, AND ALL SILT FILTER FENCING, AS INDICATED ON PLANS. SEDIMENT TRACKING PADS TO BE MAINTAINED THROUGHOUT CONSTRUCTION PROJECT. SEDIMENT TRACKED ONTO STREETS SHALL BE REMOVED (BY SWEEPING) AT END OF EACH WORK DAY.
  - BEGIN ROUGH GRADING BIO-INFILTRATION BASIN, BUT NOT BIO-INFILTRATION PROFILE. TEMPORARILY SEED/STABILIZE. ALSO, PROTECT THE BIO-INFILTRATION AREA WITH CONSTRUCTION FENCING TO PREVENT CONSTRUCTION TRAFFIC IN THIS AREA (THIS AREA WILL BE USED AS A SEDIMENT TRAP DURING CONSTRUCTION (SEE DETAILS). AFTER SITE GRADING/SEEDING/STABILIZATION, THE BIO-INFILTRATION SECTION SHALL BE INSTALLED).
  - PLACE GEO-FABRIC AND ROCK AT OUTFALLS, AS INDICATED ON PLANS.
  - STRIP TOPSOIL FROM REMAINDER OF SITE (WHERE PROPOSED IMPROVEMENTS OR GRADING IS SHOWN ONLY). TOPSOIL STOCKPILE(S) REMAINING FOR MORE THAN SEVEN DAYS SHALL BE STABILIZED WITH VEGETATIVE COVER, MULCH, TARPS OR OTHER APPROVED PRACTICE. EROSION FROM TOPSOIL PILES LEFT FOR LESS THAN SEVEN DAYS SHALL BE CONTROLLED WITH SILT FENCE OR OTHER APPROVED METHOD. ANY TOPSOIL STOCKPILE WITHIN 25' OF A ROADWAY OR DRAINAGE DITCH SHALL BE COVERED WITH TARPS OR OTHER APPROVED METHOD. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS IS TO BE STABILIZED BY SEED, SOD, MULCH, OR OTHER APPROVED METHOD.
  - INSTALL OTHER UTILITIES
  - BEGIN BUILDING CONSTRUCTION.
  - REDISTRIBUTE TOPSOIL FROM STOCKPILE(S) TO A DEPTH OF 6 INCHES. SURPLUS TOPSOIL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR, COORDINATE W/ OWNER. FINAL GRADE, SEED AND MULCH SITE. PLACE EROSION CONTROL MATTING WHERE INDICATED ON PLANS. (SEEDING AND MULCHING TO CONFORM WITH APPROVED SEED MIXTURES AND APPLICATION RATES, SEE LANDSCAPE PLAN FOR FINAL SEED AND SOD SPECS. EROSION CONTROL MATTING TO BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS.)
  - INSTALL AGGREGATE BASE COURSE IN AREAS TO BE PAVED.
  - INSTALL CONCRETE PAVEMENT SECTIONS.
  - REMOVE ACCUMULATED SEDIMENT IN BIO-INFILTRATION AREA AND INSTALL ENGINEERED SOIL AND STONE LAYER AND CONSTRUCT BIO-INFILTRATION AREA AS DESIGNED (PER PROFILES SHOWN IN DETAILS). MINIMIZE COMPACTION AND CONSTRUCTION TRAFFIC IN THESE AREAS THROUGHOUT THE PROJECT. CONSTRUCT RAINGARDEN AREA AT THIS TIME AS WELL. STABILIZE & SEED PER PLAN.
  - UPON SITE STABILIZATION, REMOVE TEMPORARY EROSION CONTROL PRACTICES. CLEAN STRUCTURES OF ANY SEDIMENT AND/OR CONSTRUCTION DEBRIS, AND REMOVE CONSTRUCTION DEBRIS AND ACCUMULATED SEDIMENT FROM BIO-FILTRATION AREA.
  - CONSTRUCTION AND WASTE MATERIALS SHALL BE PROPERLY DISPOSED OF ON A ROUTINE BASIS. NO CONSTRUCTION OR WASTE MATERIALS SHALL BE TRACKED, BLOWN OR OTHERWISE LOCATED OR STORED ON ADJACENT PROPERTIES. MINIMIZE COMPACTION AND CONSTRUCTION TRAFFIC IN THE BIO-INFILTRATION AREA THROUGHOUT THE PROJECT.
  - DUST CONTROL SHALL BE MAINTAINED ONSITE WITH USE OF A WATER TRUCK (IF NECESSARY).
  - THE TEMPORARY SEDIMENT TRAP CONSTRUCTED ON-SITE SHALL BE USED TO REDUCE THE SEDIMENT/SOIL LOSS DURING CONSTRUCTION TO UNDER THE ACCEPTABLE LIMITS. THE BASIN WILL BE PRIMARILY CONSTRUCTED TO CAPTURE THE 50 - 80 MICRON PARTICLE TO ACHIEVE THE REQUIRED PERCENTAGE REDUCTION.

### EROSION CONTROL LEGEND

1 C500	SILT FILTER FENCE	4 C500	CONSTRUCTION ENTRANCE
2 C500	INLET SEDIMENT GUARD	5 C500	DITCH CHECK
3 C500	EROSION MAT		

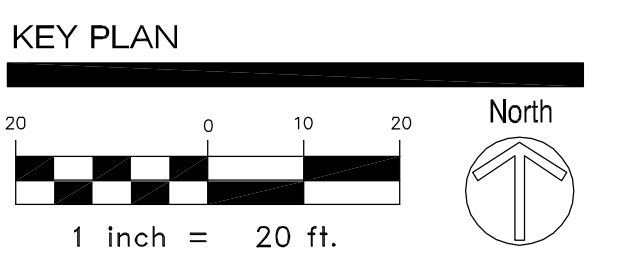
**Zimmerman**  
 ARCHITECTURAL STUDIOS, INC.  
 2122 West Mt. Vernon Avenue | Milwaukee, WI 53233 | zastrudios.com  
 TELEPHONE (414) 476-9500  
 FACSIMILE (414) 476-8582

PROJECT INFORMATION  
**Madison Fire Station 13**  
 Madison Project #53W1152, Contract # 6590



ISSUANCE AND REVISIONS

Bid Set



SHEET INFORMATION

### REVISIONS

#	DATE	DESCRIPTION

### Universal Soil Loss Equation for Construction Sites

Dane County Land Conservation Division

Developer: City of Madison  
 Project: Fire Station 13  
 Date: 1/9/2013

Version 2.2

Land Disturbing Activity	Begin Date	End Date	Period % R	Annual R Factor	Soil Map Unit	Soil Erodibility K Factor	Slope (%)	Slope Length (feet)	LS Factor	Land Cover C Factor	Soil loss A=K*P*R*KL*Sc (tons/acre)	Percent Reduction Required
disturb ground	6/10/2013	9/15/2013	61.9%	150	PhB	0.43	2.0%	150	0.23	1.00	9.0	(7.5 tons/acre)
seed and mulch	9/15/2013	10/16/2013	10.9%	150	PhB	0.43	2.0%	150	0.23	0.12	0.2	
paving	10/16/2013	---	2.1%	150	PhB	0.43	2.0%	150	0.23	0.00	0.0	
TOTAL											9.2	19%

**DIGGER'S HOTLINE**  
 CALL BEFORE YOU DIG  
 1-800-242-8511

IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

DANE COUNTY USLE CALCULATION\*  
 \*(SEE EROSION CONTROL NOTE 16 FOR MORE INFO)

DATE  
 May 03, 2013

PROJECT NUMBER  
 120062.00

STUDIO  
 Sabinash

Errosion Control Plan

**C102**

HARWOOD ENGINEERING CONSULTANTS, LTD.  
 255 North 21st Street Milwaukee Wisconsin 53233  
 414.475.5554 414.773.9299 fax: harwood@hcc.com  
 HCC Project Number: 120062.00

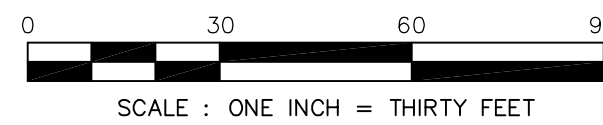
© ZIMMERMAN ARCHITECTURAL STUDIOS, INC.

# BOUNDARY AND TOPOGRAPHIC SURVEY

ALL OF LOT 1, CERTIFIED SURVEY MAP NUMBER 12761, AS RECORDED IN VOLUME 80 OF CERTIFIED SURVEY MAPS, ON PAGES 304-307, AS DOCUMENT NUMBER 4593131, DANE COUNTY REGISTRY, LOCATED IN THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 02, TOWNSHIP 07 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
 1-800-242-8511 OR 811  
 TOLL FREE  
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289  
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

CRIP NORTH  
 BEARING MONUMENT UPON THE WISCONSIN COUNTY COORDINATE SYSTEM (DANE ZONE)



LEGEND	
	BURIED GAS MAIN
	WATER MAIN
	SANITARY SEWER
	STORM SEWER
	BURIED TELEPHONE
	BURIED ELECTRIC
	BURIED CABLE TV
	BURIED FIBER OPTIC
	WATER VALVE
	GAS VALVE
	CABLE TV PEDESTAL
	ELECTRIC PEDESTAL
	TELEPHONE PEDESTAL
	LIGHT POLE
	SIGN
	FIRE HYDRANT
	STORM SEWER INLET
	ELECTRIC MANHOLE
	TELECOMM. MANHOLE
	STORM SEWER MANHOLE
	SANITARY SEWER MANHOLE
	WATER UTILITY MANHOLE
	SOLID IRON ROD FOUND UNLESS NOTED
	DECIDUOUS TREE
	CONIFEROUS TREE
	DRAINAGE ARROW SEE NOTE 9
	INDICATES RECORDED AS

### NOTES:

- Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: unrecorded easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose.
- No attempt has been made as a part of this boundary survey to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
- Date of field work: 07-24-12 and 08-10-12.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- All buildings, and surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
- All trees, hedges and ground cover on the site may not necessarily be shown hereon.
- Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline Ticket Number 20122914095 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to locate utilities. Before excavations are performed contact Digger's Hotline.  
 -No communications markings were found.  
 -No gas or electrical markings were found.  
 -Sanitary and water service were marked in the field.  
 -Watermain in the street was not marked in the field.
- Elevations are based upon City of Madison NAVD88 datum. Surveyor set on site benchmark using Trimble 5700 Receiver and the City of Madison Community RTK GPS Base Station.
- Surveyor was provided a copy of Title Report File Number NCS-408097-MAD from First American Title Insurance Company, dated September 15, 2009. Title Report references the following: Numbers in parenthesis represent the Exceptions B of said Title Report.  
 (4) Limitations imposed upon ingress to and egress from the above-described premises to Interstate Highway 94, including ramps and connection roads on the right-of-way thereof, as set forth in finding, determination and declaration by the State Highway Commission of Wisconsin establishing a controlled-access highway recorded: July 24, 1951 in the Office of the Register of Deeds for Dane County, Wisconsin in Volume 240 of Miscellaneous, page 332 as Document No. 820381, wherein said highway is designated a controlled-access highway under the provisions of Section 94.35 of the Wisconsin Statutes.  
 (5) Access restrictions contained in Award of Damages recorded: August 2, 1960, in Volume 351 of Miscellaneous, page 395, as Document No. 1007335.  
 (6) Public Storm Water Management Easement, Landscape Buffer Zone Easement, Highway Setback Lines and Utility Easements as shown on the recorded plat of Metrotech.  
 (7) Notes as disclosed on the recorded plat of Metrotech.  
 (8) No direct access to Interstate 94 as shown on the recorded plat of Metrotech.  
 (9) Plans Recorded: May 14, 2002, as Document No. 3487367; Alteration to Specific Implementation Plan recorded: February 3, 2003, as Document No. 3645406; Alteration to Specific Implementation Plan recorded: June 3, 2005, as Document No. 4061997. Plans/Modifications recorded: September 11, 2009, as Document No. 4594318.  
 (10) Declaration of Covenants and Restrictions for the Plat of Metrotech recorded: April 15, 2003, as Document No. 3691111.  
 (11) Declaration of Conditions and Covenants recorded: May 22, 2003, as Document No. 3718614.  
 (12) Declaration of Conditions and Covenants recorded: January 29, 2006, as Document No. 3867634.  
 (13) Declaration of Conditions and Covenants recorded: January 29, 2006, as Document No. 3867635.  
 (14) Declaration of Conditions and Covenants recorded: January 5, 2009, as Document No. 4490477.  
 (15) Utility Easement, access easement benefiting Lot 2, driveway access location and arrows indicating direction of drainage flow as disclosed on Certified Survey Map No. 12761.  
 Notations set forth on Certified Survey Map No. 12761, stating:  
 -Arrows indicate the direction of surface drainage swale at individual property lines. Said drainage swale shall be graded with the construction of each principal structure and maintained by the lot owner unless modified with the approval of the City Engineer. Elevations given are for property corners at ground level and shall be maintained by the lot owner.  
 -All lots within this survey are subject to a public easement for drainage purposes which shall be a minimum of 6-feet in width measured from the property line to the interior of each lot except that the easement shall be 12-feet in width on the perimeter of the certified survey. For purposes of two (2) or more lots combined for a single development site, or where two (2) or more lots have a shared driveway agreement, the public easement for drainage purposes shall be a minimum of six (6) feet in width and shall be measured only from the exterior property lines of the combined lots that create a single development site, or have a shared driveway agreement, except that the easement shall be twelve (12) feet in width along the perimeter of the certified survey. Easements shall not be required on property lines shared with green ways or public streets. No buildings, driveways, or retaining walls shall be placed in any easement for drainage purposes. Fences may be placed in the easement only if they do not impede the anticipated flow of water. In the event of the City of Madison Plan Commission and/or Common Council approved redivision of a previously subdivided property, the underlying public easements for drainage purposes are released and replaced by those required and created by the current approved subdivision.  
 -All lots created by this CSM are responsible for compliance with Chapter 37 of the Madison General Ordinances in regard to stormwater management at the time it is developed.  
 -Lot 1 & 2 shall comply with M.G.O. Sec. 16.23(3)(d) - Highway Noise Lane Use Provisions Policies and Ordinances. Prior to construction on Lot 1 or further subdivision, the provisions of this section shall be complied with.  
 -Lots within this certified survey map are subject to the following documents: Doc. No. 820381, 1007335, 3691111, 3718614, 3867634, 3867635 and 4490477.  
 -At the time of recording, lots within this CSM are zoned PUD(GDP) and are not dependent upon each other for storm water drainage. If future development requires shared drainage by any lots within this CSM an agreement detailing the rights and responsibilities of each parcel owner shall be required.  
 -Noise note: The lots of this land division may experience noise at levels exceeding levels in s. Trans 405.04 Table 1. These levels are based on federal standards. The department of transportation is not responsible for abating noise from existing state trunk highways or connecting highways, in the absence of any increase by the department to the highway's through-lane capacity.  
 -Utility Easement Note: Utility easements. No poles or buried cables are to be placed such that the installation would disturb any survey stake, or obstruct vision along any lot line. The disturbance of a survey monument by anyone is a violation of section 236.32 of Wisconsin Statutes. Utility easements as herein set forth are for the use of public bodies and private public utilities having the right to serve the area.  
 (16) The terms and provisions contained in the document entitled "Access Easement Agreement" recorded September 15, 2009 as document 4595093 of Official Records.
- Total parcel area = 60,030 square feet
- Parcel Address: 6350 Town Center Drive, Madison, WI

### DESCRIPTION FURNISHED:

LOT 1, CERTIFIED SURVEY MAP NUMBER 12761, AS RECORDED IN VOLUME 80 OF CERTIFIED SURVEY MAPS, ON PAGES 304-307, AS DOCUMENT NUMBER 4593131, DANE COUNTY REGISTRY, LOCATED IN THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 02, TOWNSHIP 07 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

### SURVEYOR'S CERTIFICATE:

I, Frank J. Lapacek, Registered Land Surveyor, No. 2658, hereby certify that the foregoing survey was executed under my direction and control, and that said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7), and the map hereon is correct to the best of my knowledge and belief.

Dated this \_\_\_\_ day of \_\_\_\_\_, 201\_\_  
 Signed: Frank J. Lapacek, R.L.S. No. 2658

SURVEYED BY:  
**Burse**  
 surveying & engineering

1400 E. Washington Ave., Suite 158  
 Madison, WI 53703 608.250.9263  
 Fax: 608.250.9266  
 email: mburse@BSE-INC.net  
 www.bursesurveyengr.com

SHEET 1 OF 1



HARWOOD ENGINEERING CONSULTANTS, LTD.  
 255 North 21st Street Milwaukee Wisconsin 53233  
 414.475.5554 414.773.9299 fax: harwood@hcc.com  
 HEC Project Number: 12-002-00

### PROJECT INFORMATION

**Madison Fire Station 13**  
 Madison Project #53W152, Contract # 6590



### ISSUANCE AND REVISIONS

Bid Set

### KEY PLAN

### SHEET INFORMATION

### REVISIONS

#	DATE	DESCRIPTION

DATE	PROJECT NUMBER	STUDIO
May 03, 2013	120062.00	Sabinash

Existing Site Survey

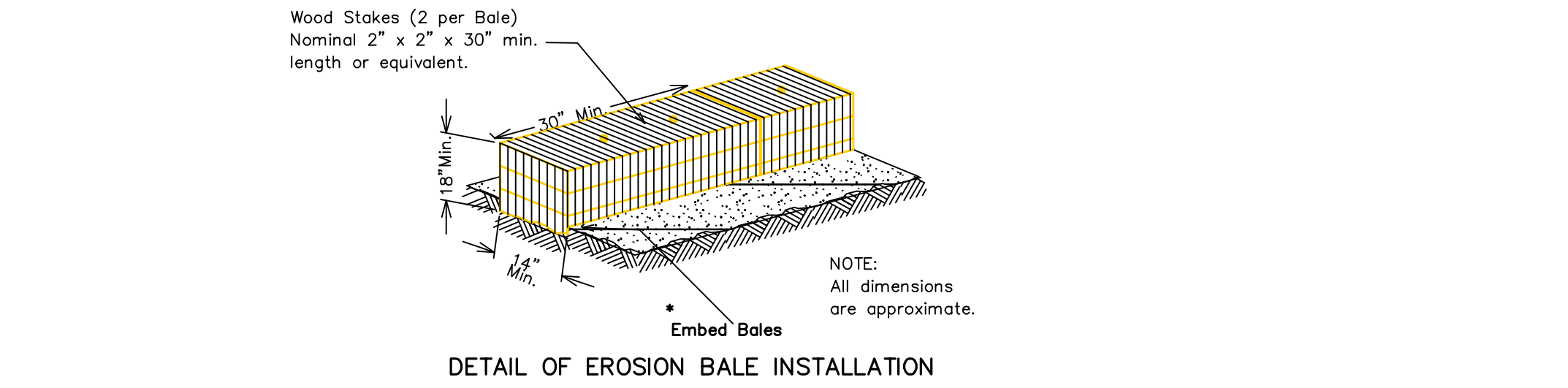
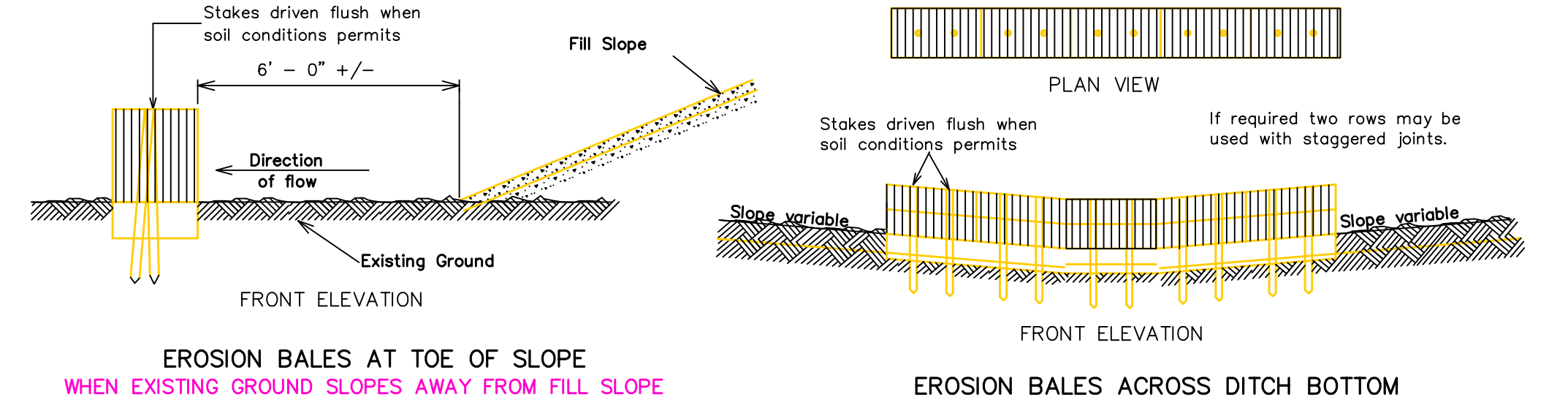
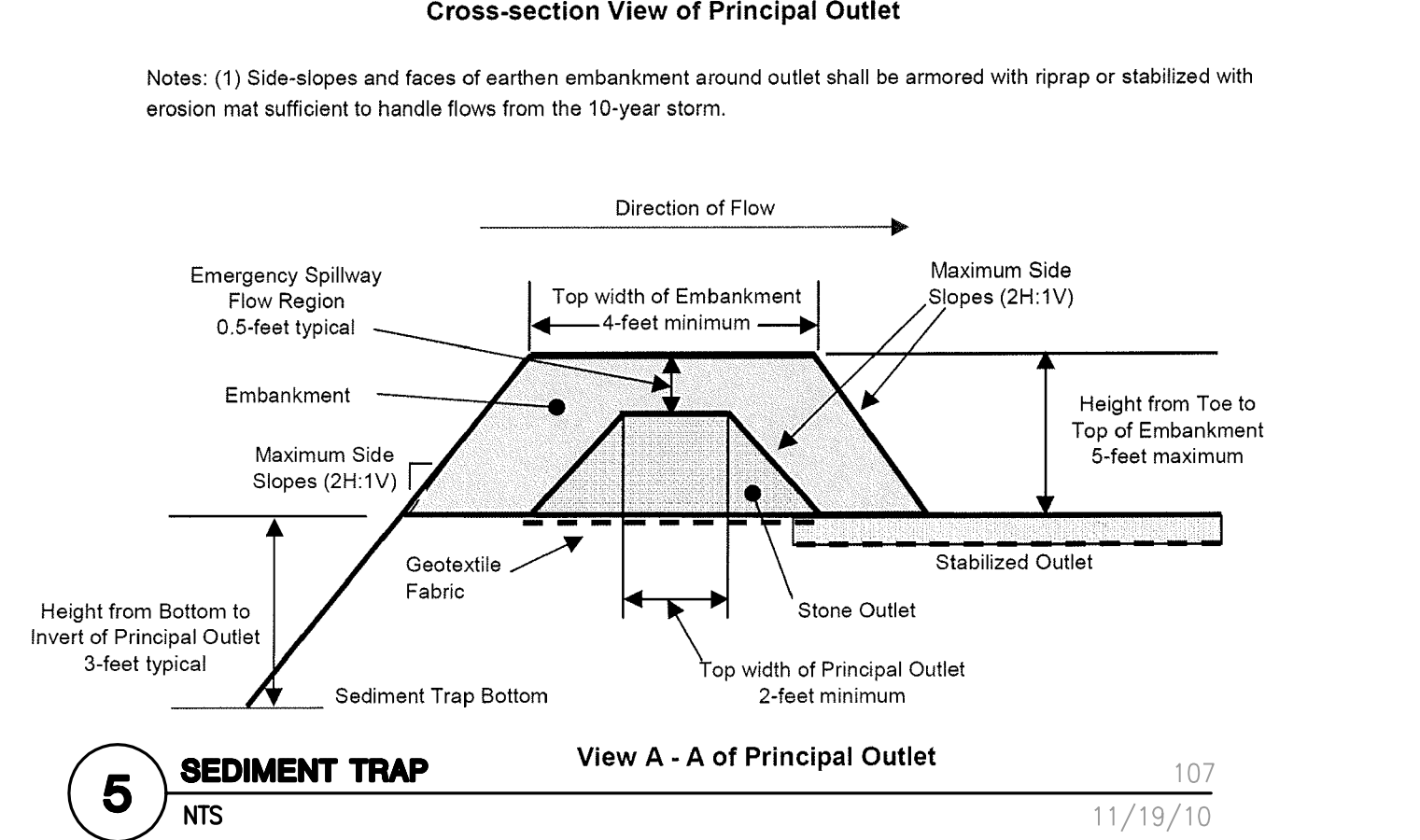
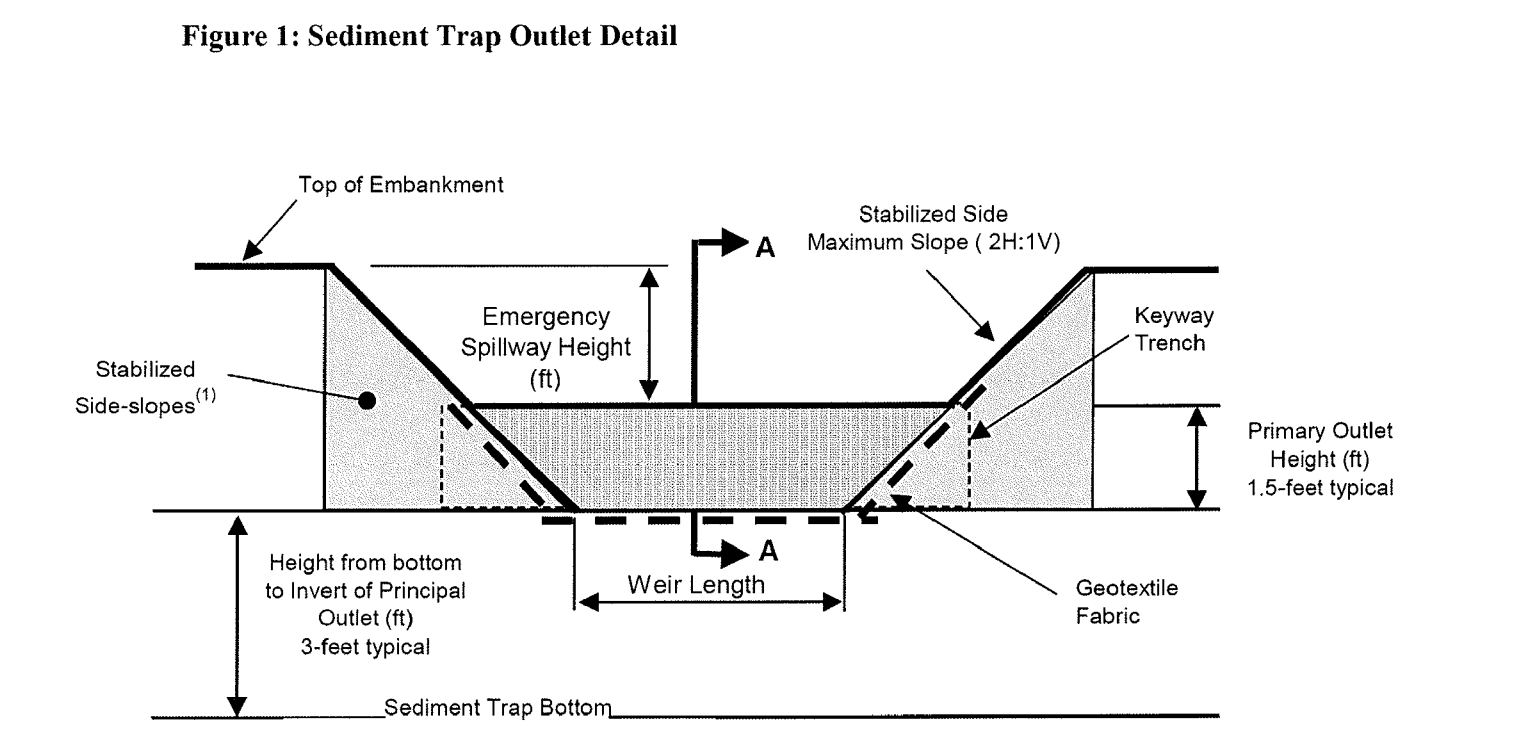
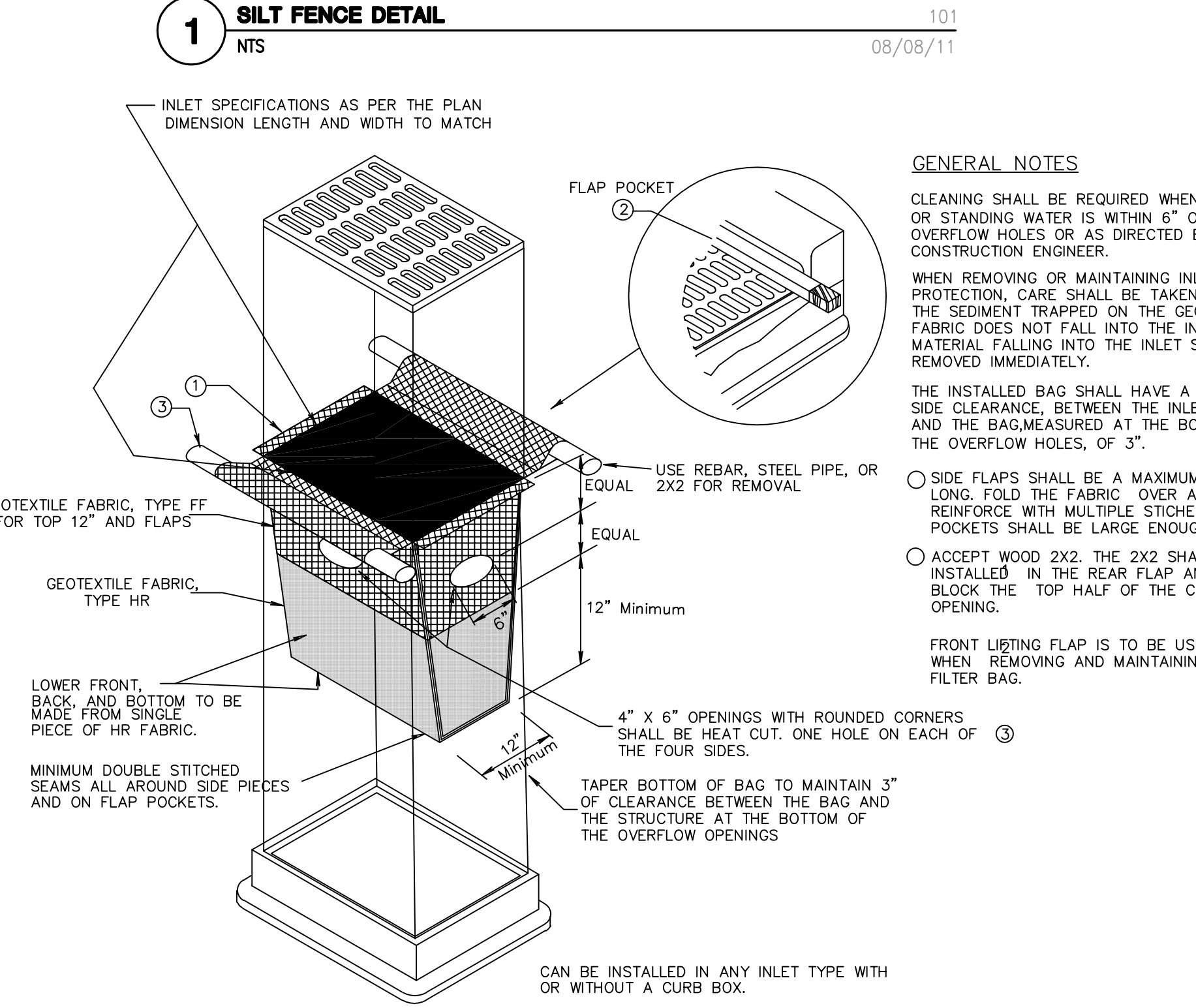
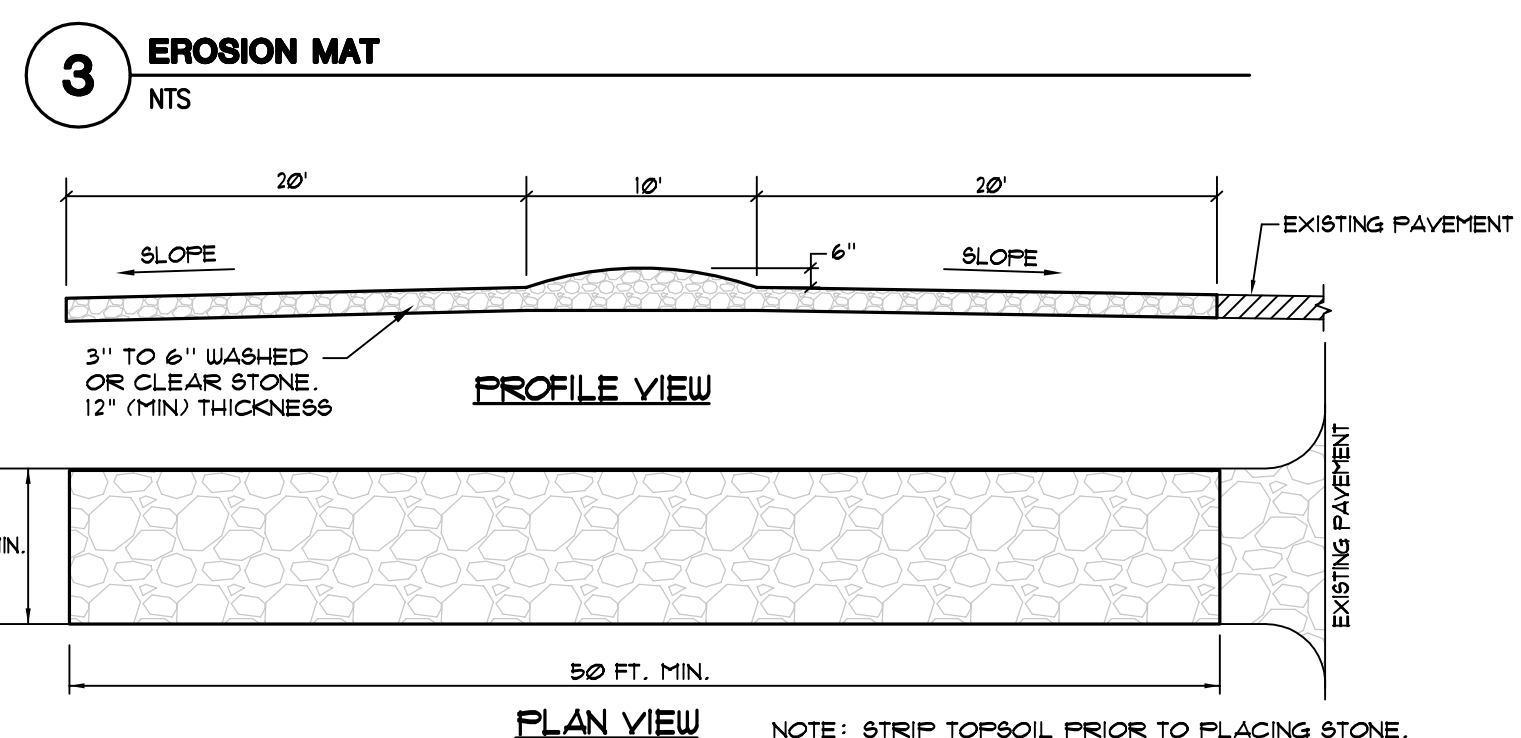
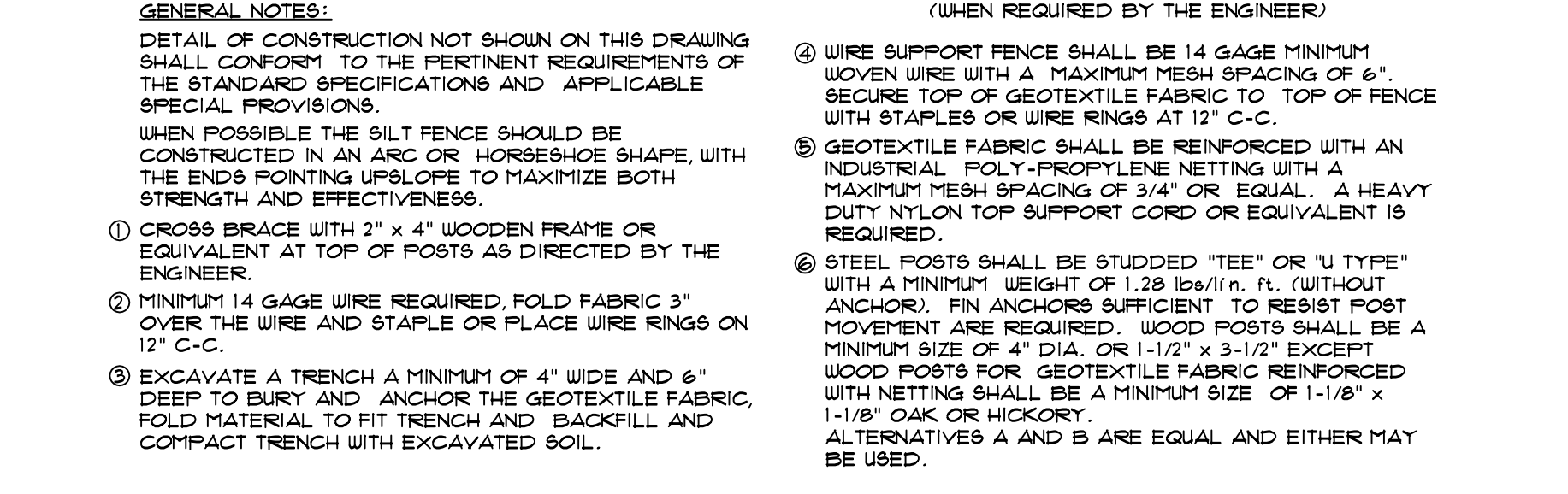
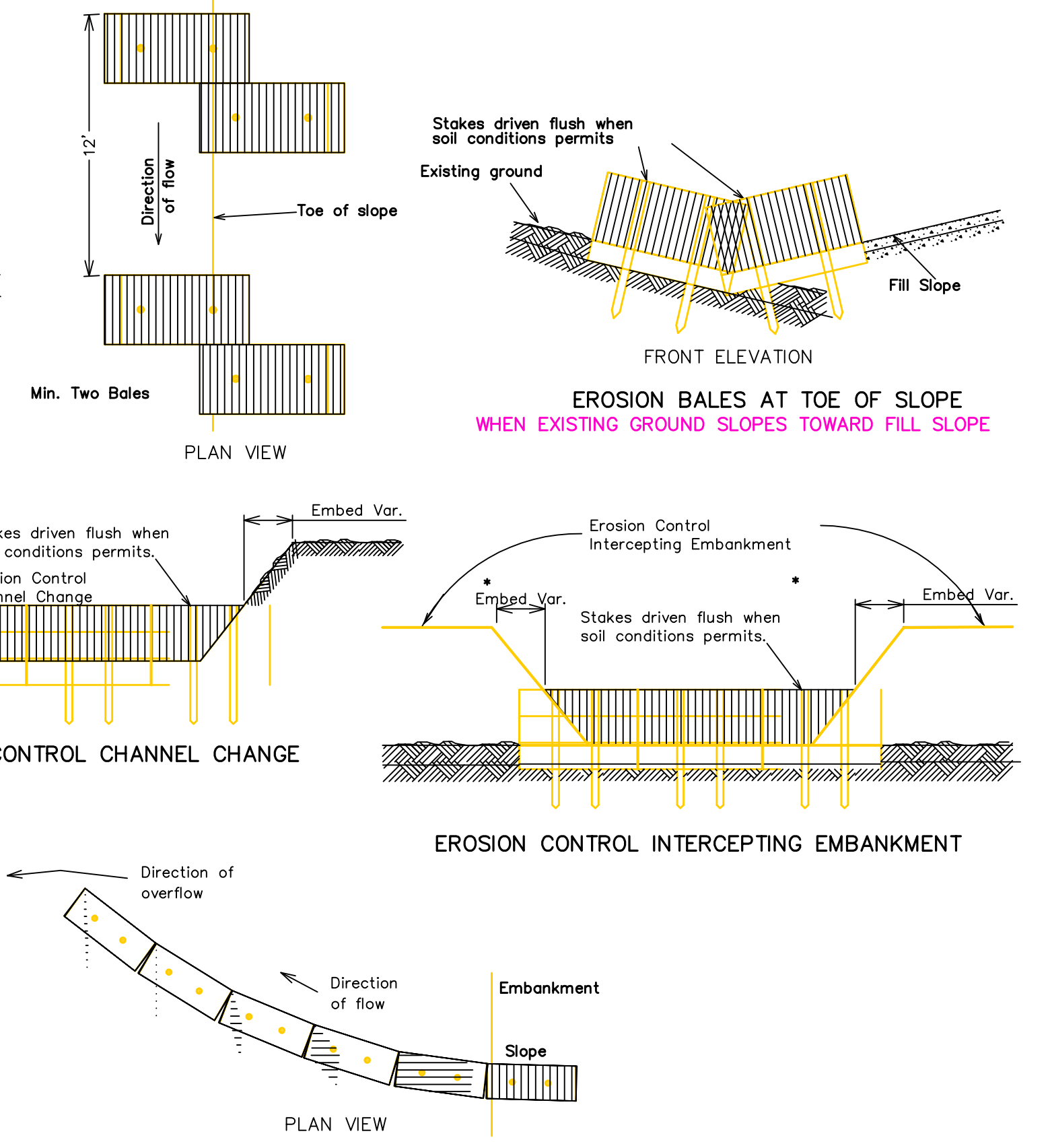
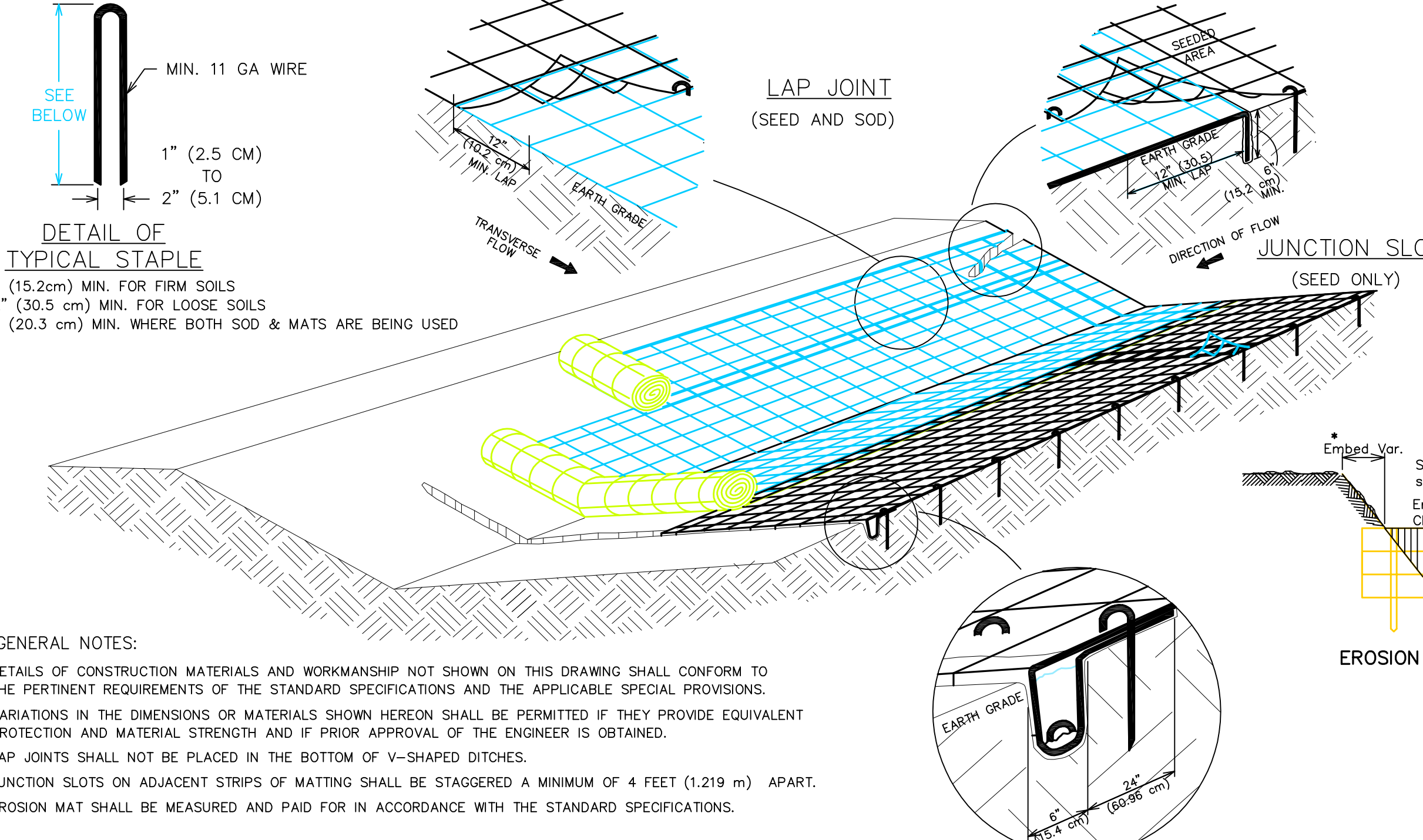
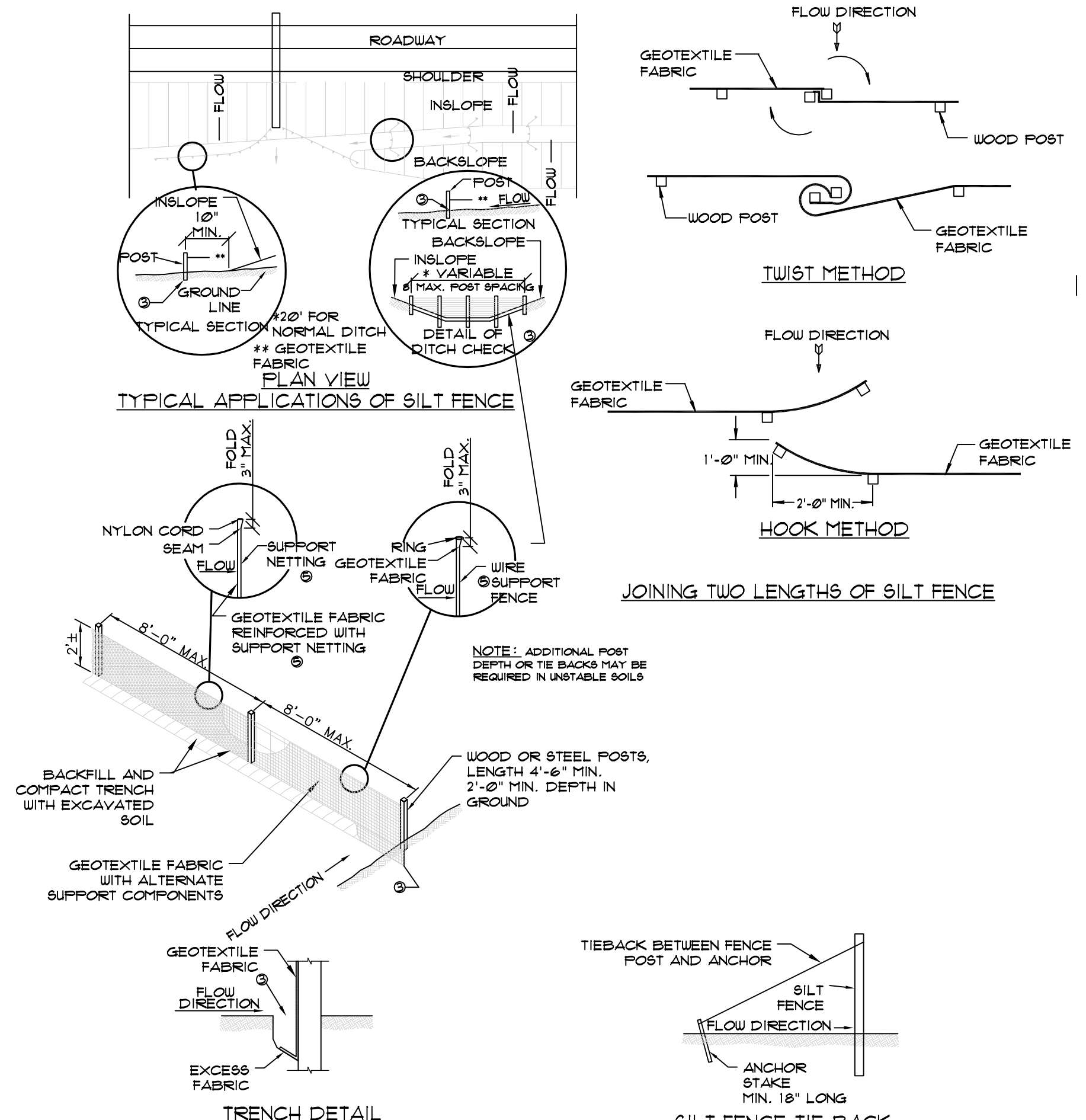
# C103

© ZIMMERMAN ARCHITECTURAL STUDIOS, INC.

NUMBER	ARC LENGTH	CENTRAL ANGLE	RADIUS	CHORD DIRECTION	CHORD LENGTH
C1	43.66	14°58'51"	167.00	N 82°47'00" W (N83°11'13" W)	43.54

NOTE: SURVEY COMPLETED BY BURSE SURVEYING AND ENGINEERING. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED.

**Zimmerman**  
 ARCHITECTURAL STUDIOS, INC.  
 2122 West Mt. Vernon Avenue | Milwaukee, WI 53233 | zastrudios.com  
 TELEPHONE [414] 476-9500  
 FACSIMILE [414] 476-8582



**Zimmerman**  
ARCHITECTURAL STUDIOS, INC.

2122 West Mt. Vernon Avenue | Milwaukee, WI 53233 | zaustudios.com  
TELEPHONE [414] 476-9500  
FACSIMILE [414] 476-8582

**PROJECT INFORMATION**

Madison Fire Station 13  
Madison Project #53W1152, Contract # 6590



**ISSUANCE AND REVISIONS**

Bid Set

**KEY PLAN**

**SHEET INFORMATION**

**REVISIONS**

#	DATE	DESCRIPTION

DATE  
May 03, 2013

PROJECT NUMBER  
120062.00

STUDIO  
Sabinash

**HARWOOD**  
ENGINEERING  
CONSULTANTS, LTD

255 North 21st Street Milwaukee Wisconsin 53233  
414.475.5554 414.773.9299 fax: harwood@hcc.com  
HCC Project Number: 120062.00

Construction Details

**C500**

© ZIMMERMAN ARCHITECTURAL STUDIOS, INC.

1

2

3

4

5

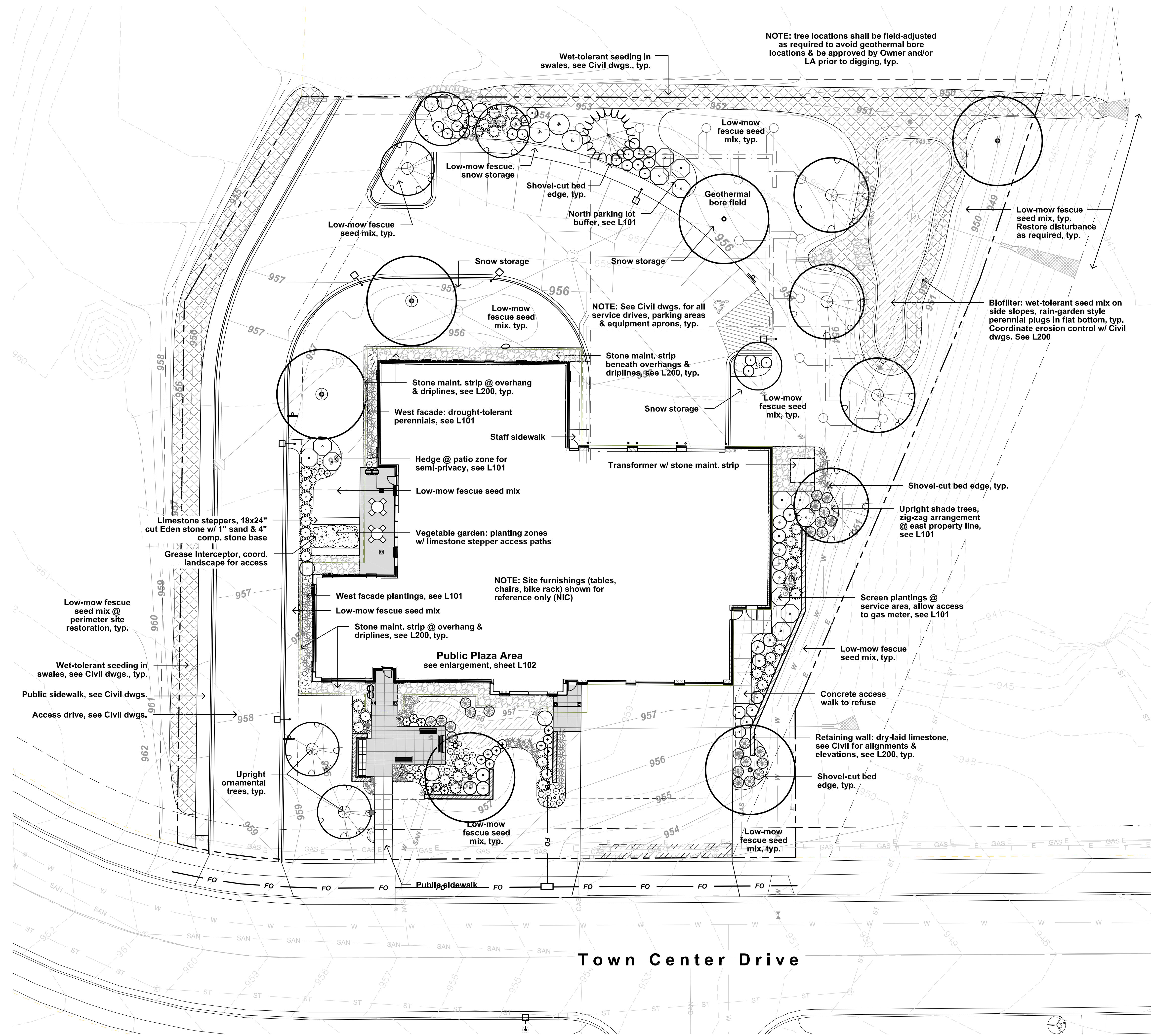
6

D

C

B

A



NOTE: tree locations shall be field-adjusted as required to avoid geothermal bore locations & be approved by Owner and/or LA prior to digging, typ.

NOTE: See Civil dwgs. for all service drives, parking areas & equipment aprons, typ.

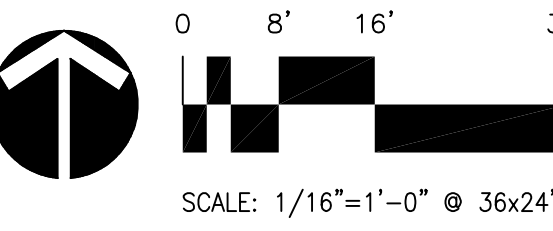
NOTE: Site furnishings (tables, chairs, bike rack) shown for reference only (NIC)

PROJECT INFORMATION  
 Madison Fire Station 13



ISSUANCE AND REVISIONS  
 Bid Set

KEY PLAN



SHEET INFORMATION

REVISIONS

#	DATE	DESCRIPTION

DATE  
02/27/2014  
 PROJECT NUMBER  
120062.00  
 STUDIO  
Sabinash  
 Site / Landscape Plan

1

2

3

4

5

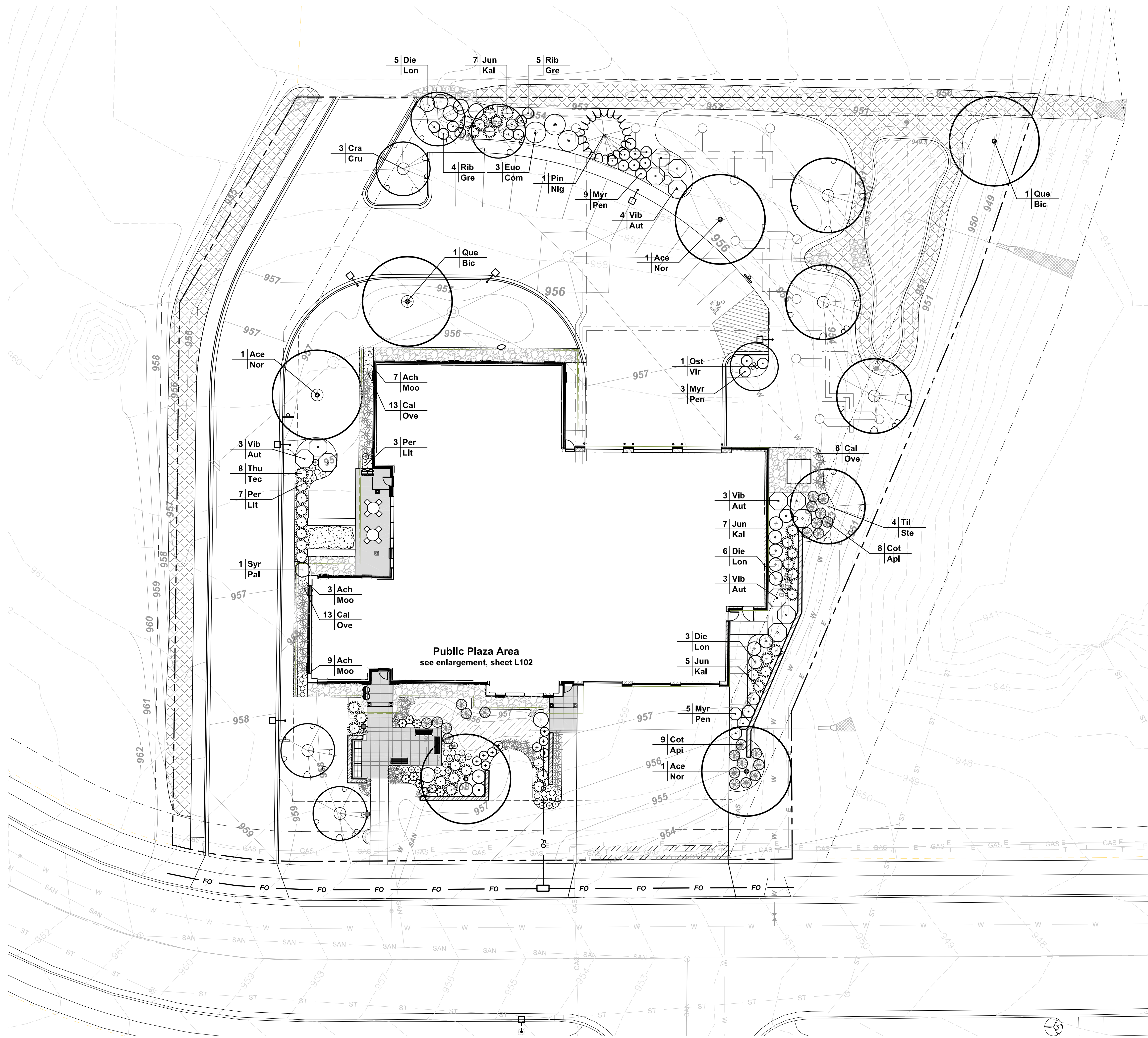
6

D

C

B

A

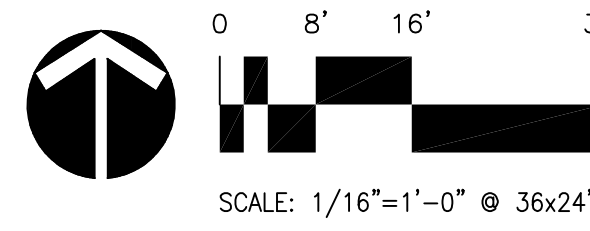


PROJECT INFORMATION  
 Madison Fire Station 13



ISSUANCE AND REVISIONS  
 Bid Set

KEY PLAN



SHEET INFORMATION

REVISIONS

#	DATE	DESCRIPTION
---	------	-------------

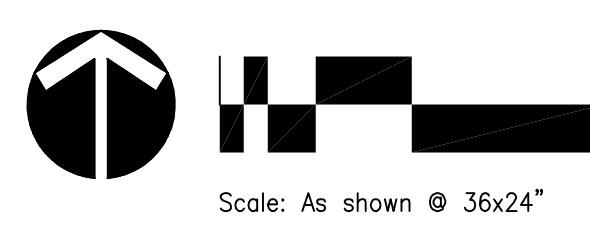
DATE  
02/27/2014

PROJECT NUMBER  
120062.00

STUDIO  
Sabinash

Planting Plan





REVISIONS

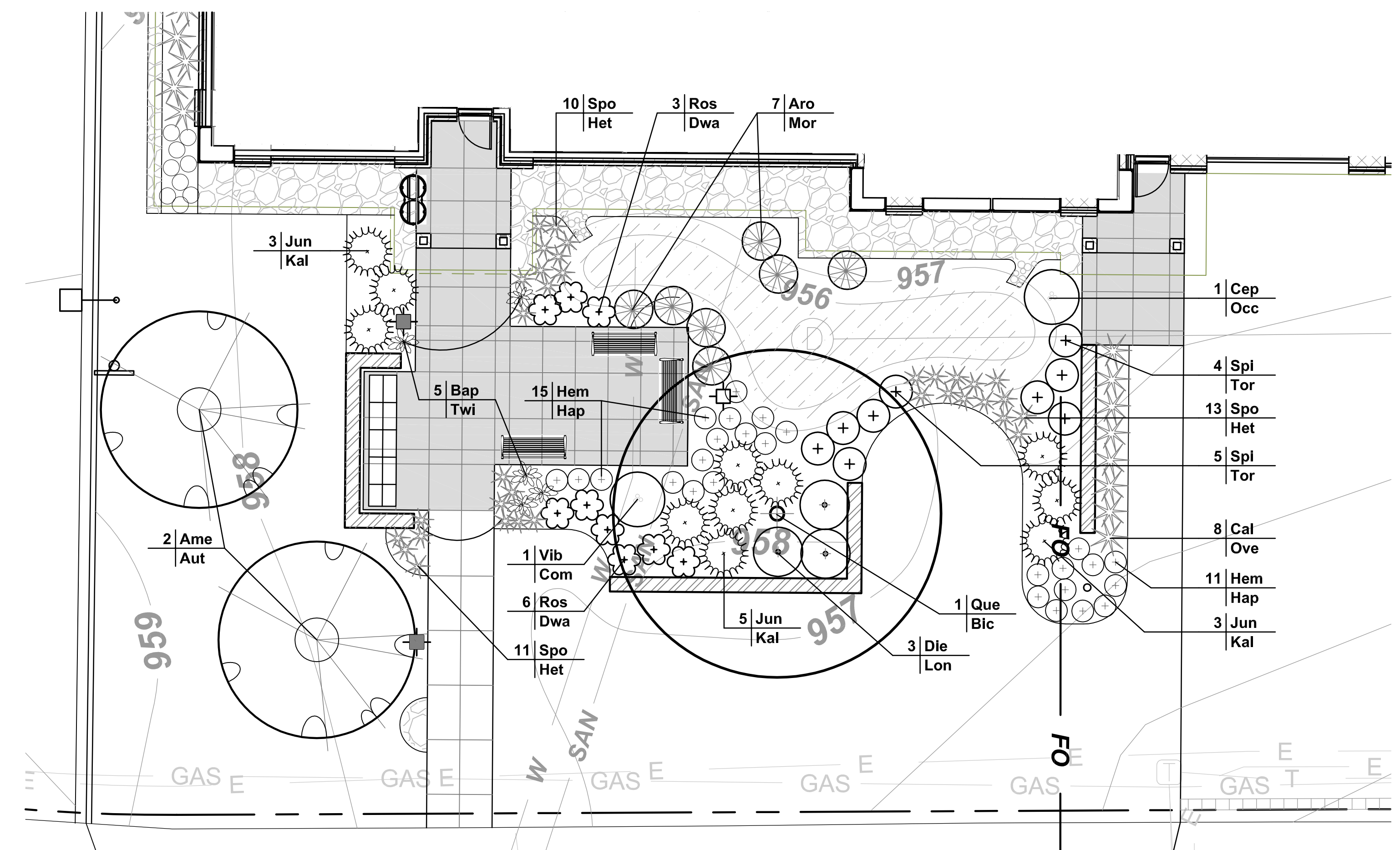
#	DATE	DESCRIPTION

DATE  
02/27/2014

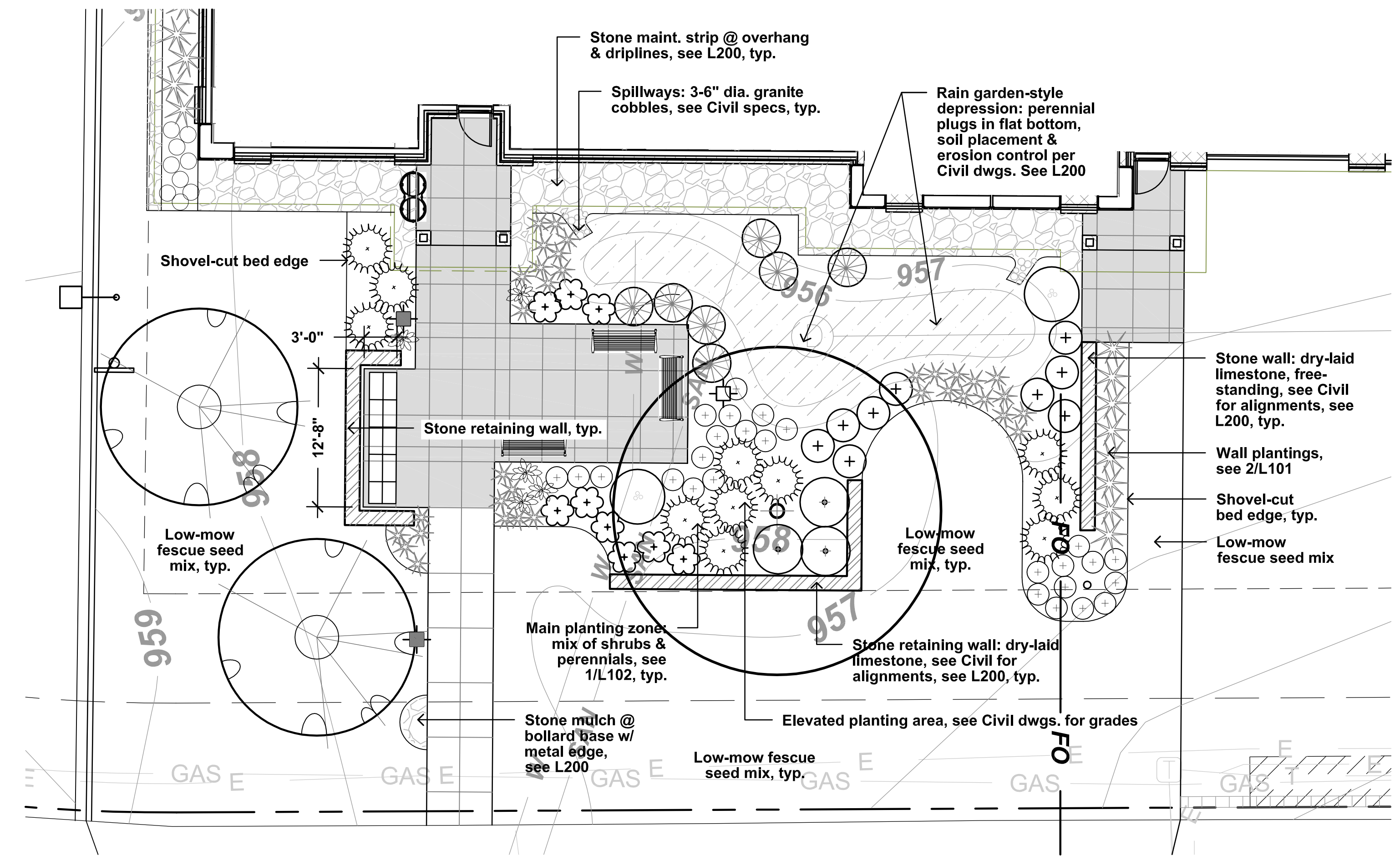
PROJECT NUMBER  
120062.00

STUDIO  
Sabinash

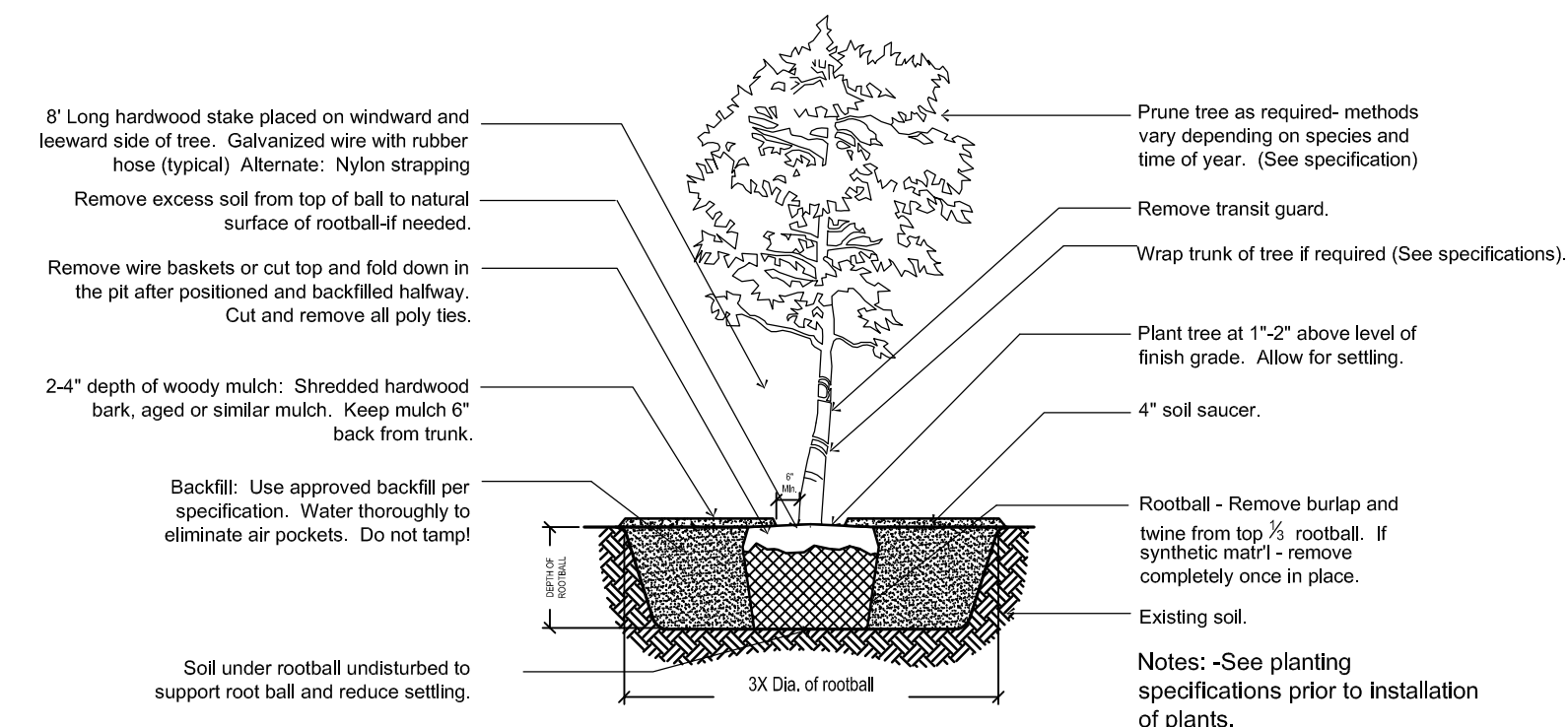
Landscape Enlargements & Details



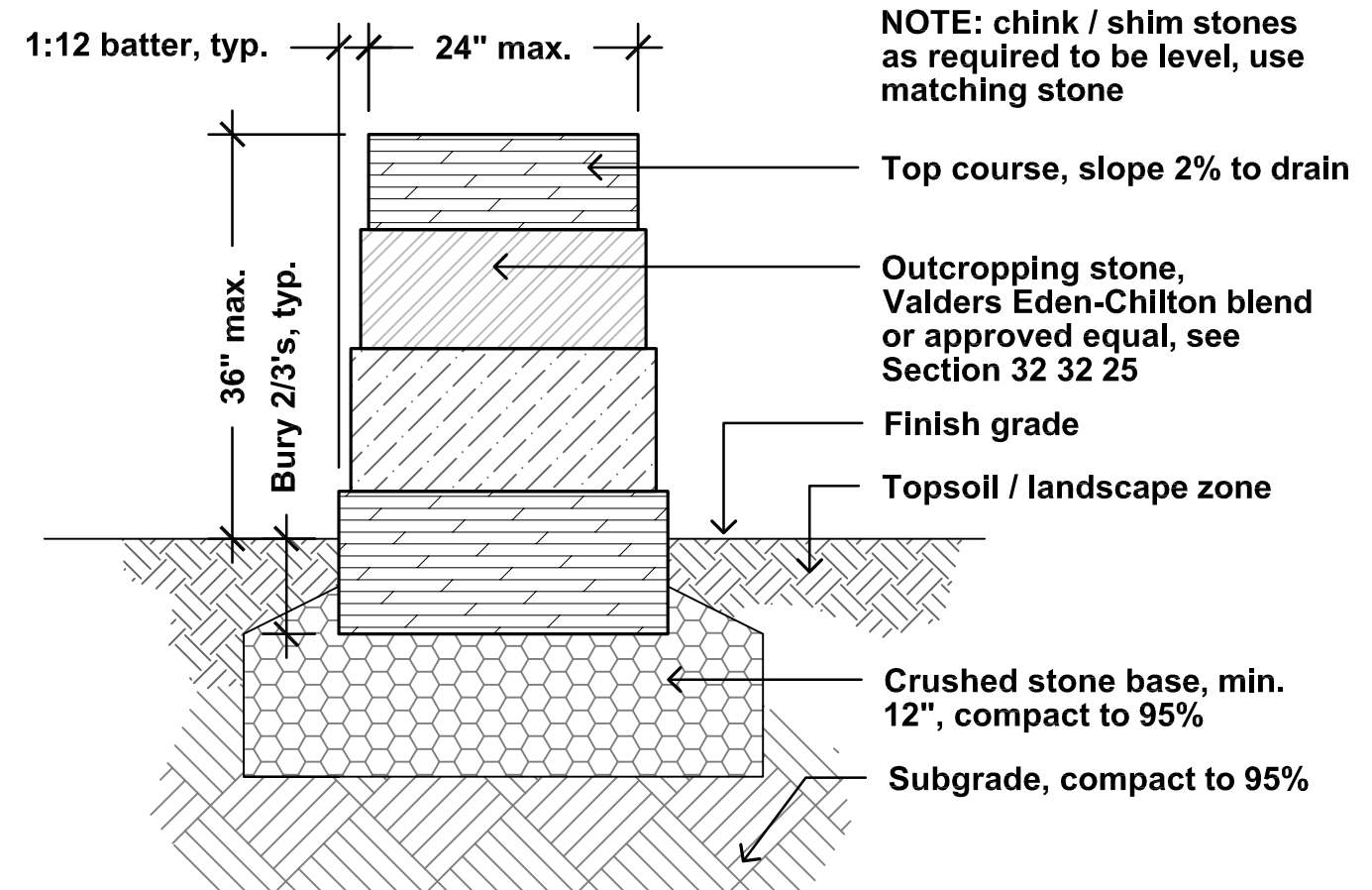
**2 South Facade Planting Plan**  
 Scale: 1/8"=1'-0"



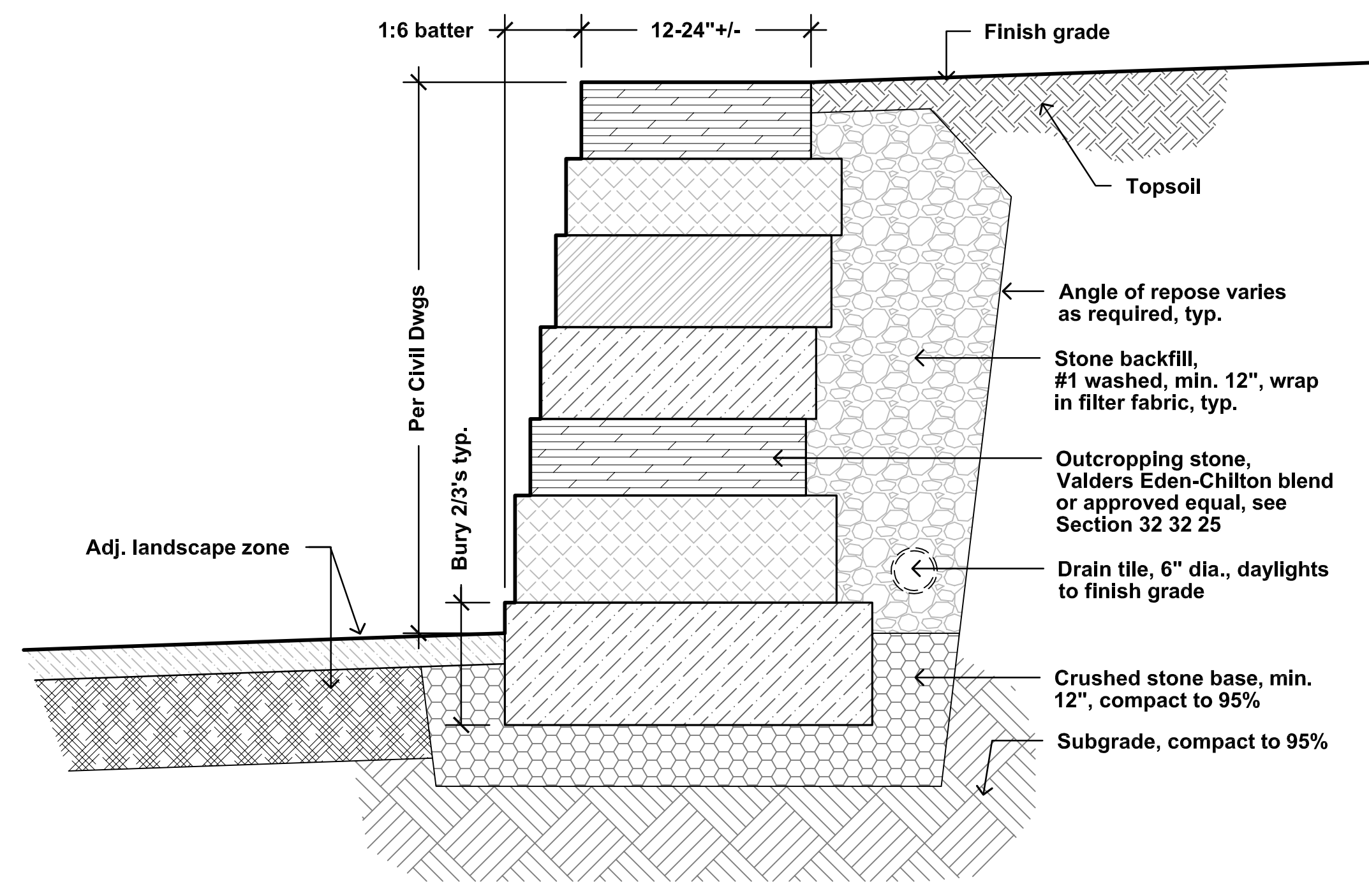
**1 South Facade Site/Landscape Plan**  
 Scale: 1/8"=1'-0"



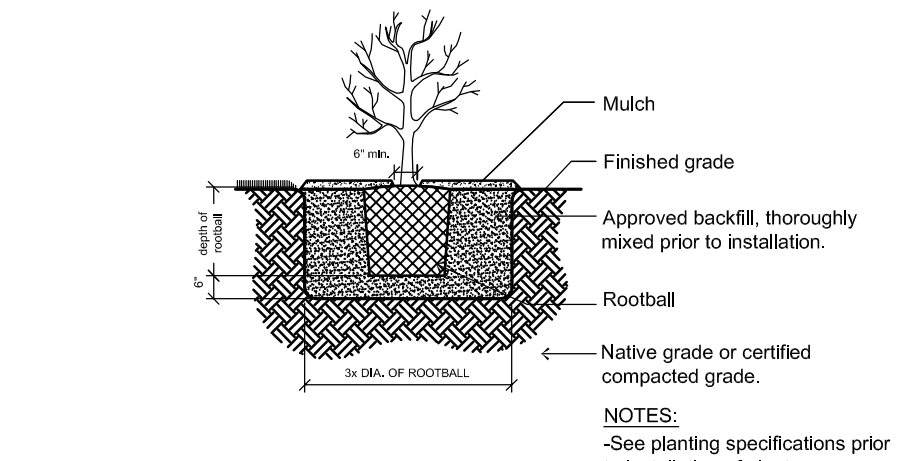
**5 Tree Planting Detail**  
 Not To Scale



**4 Dry-Laid Freestanding Wall Detail**  
 Scale: 3/4"=1'-0"



**3 Dry-Laid Retaining Wall Detail**  
 Scale: 3/4"=1'-0"



**6 Shrub Planting Detail**  
 Not To Scale

General Notes

- 1.01 All landscape installation & maintenance to conform with all applicable local codes & ordinances, including (but not limited to) the City of Madison Municipal Code and the City's Standard Specifications for Public Works Construction, Parts I & II. Should there be any discrepancies between City code, the Standard Specifications and/or this project's plans & specifications, the more restrictive condition(s) shall be assumed.
1.02 See Site & Civil dwgs. for work limits, scope of construction, dimensions &/or construction notes. See Civil dwgs. for all hardscape, grading, stormwater management, site utilities & erosion control. See Landscape dwgs. for landscape plans, coverage/restoration requirements, details, schedules & notes. See Site electrical dwgs. for exterior lighting. See Architectural dwgs. for all building construction & signage.
1.03 Contractor shall provide shop drawings and material submittals of all hardscape & landscape construction elements shown in plan set for Landscape Architect review prior to construction.
1.04 Contractor to provide samples for Owner approval on all colors, finishes & materials (including but not limited to imported topsoil, gravels, mulches, seed mixes et al) prior to installation.
1.05 Caution: underground utilities are present on site. The Contractor shall verify location of all above- and below-grade utilities, both public & private, prior to commencement of site construction. If unanticipated above- or below-grade conditions are encountered, notify Client & Landscape Architect prior to proceeding. Coordinate with local public & private utility locating entities as needed.
1.06 Contractor to verify layout prior to construction. Contact Landscape Architect or Civil Engineer if discrepancies are found.
1.07 Contractor to limit construction traffic to within work limit lines. All adjacent damage shall be the responsibility of the contractor to restore. See Civil drawings for limits of disturbance.
1.08 All written dimensions supersede scaled dimensions. All dimensions are taken from face of curb, wall or existing building foundations.

Landscape Notes

- 2.01 Rough grading, utility installation & topsoil placement shall be completed by others. Landscape contractor shall coordinate with GC and/or earthwork contractor to ensure correct topsoil depths & fine grading. Landscape contractor shall also verify (in writing) to the Owner that site topsoil is acceptable. Any discrepancies shall be identified to the GC for remedy prior to beginning of planting operations. Seed area and ornamental planting bed preparation shall be the landscape contractor's responsibility. Verify all existing site and grading conditions prior to construction.
2.02 Contaminated soil shall be removed from the project immediately site as discovered. The contractor shall coordinate with the CG and/or earthwork contractor to properly remove any excessive clay, gravel, debris, wood chips, stones and/or other deleterious materials greater than 1" diameter from all ornamental or seeded areas. Use of appropriate equipment (i.e. portable on-site screener or other equipment) will be required.
2.03 All ornamental planting beds (trees, shrubs, perennials, grasses etc.) shall contain blended topsoil mix to a min. depth of 18". Depth shall be deeper as required at all tree rootball locations. All seeded areas shall have a min. depth of 6". Suitable existing soil may be used & mixed if previously approved. Prior to construction, the contractor shall be responsible for obtaining soil tests to include (but are not limited to) soil pH, % organic matter, phosphorus, potassium, calcium, cation exchange & texture (percentages of sand, silt and/or clay.)
2.04 All areas disturbed by grading or site construction shall be fine graded and restored with vegetative cover as shown in the plans. Areas outside of the work limit lines are to be left as-is unless disturbed by contractor's staging or stockpiling. See plans for cover types & locations. Coordinate restoration of staging / stockpile areas with LA prior to construction.
2.05 Contractor shall verify plant quantities shown on plan. Prior to construction, provide to the LA applicable material invoice(s) from commercial nurseries identifying the species, sizes & plant sources obtained throughout the project.
2.06 Owner and/or LA shall inspect plant materials prior to installation. Place all materials per the plan but do not dig in until the LA inspects & approves the layout(s.) The LA reserves the right to reject any substandard planting material. Such rejected material shall be removed from the project site immediately and replaced with material meeting the specifications set forth in the plans & schedules.
2.07 All nursery tags/labels shall be left on plant materials until the LA completed the landscape punch-list inspection. Untagged materials will be assumed to be deficient.
2.08 Contractor is responsible for ensuring that all tree pits & planting areas drain properly. Notify Landscape Architect if drainage or moisture problems are encountered while planting.
2.09 Contractor shall backfill all trees, shrubs & evergreens with a mix of 1/3 plant starter mix & 2/3 remaining soil. Plant Starter Mix available from Liesener Soils, Jackson WI, or approved equal.
2.10 All existing trees to remain shall be protected. Prior to clearing/grubbing, install snow fencing @ 15' radius from trunks or driplines, whichever is farther. Fencing is to remain for duration of project. No grading or earthwork to occur in fenced zones except as indicated. No storage, traffic or parking to occur in fenced zones for the duration of the project.
2.11 All perennial and groundcover areas shall receive a 3" layer of plant starter mix and perennial starter fertilizer, rotted into the top 6" of blended topsoil in beds.
2.12 All perennial areas shall receive a 1-2" layer of shredded hardwood bark mulch. Do not allow mulch to touch stems or leaves of perennials! All woody planting areas shall receive a 3" layer. Unless otherwise shown in the plans, no landscape fabric or weed barrier is to be installed.
2.13 Groundcover beds DO NOT receive a cover of shredded bark mulch.
2.14 Unless otherwise shown, all perennials & shrubs to be planted in triangular arrangements. For plants not shown individually, refer to the spacing shown in the plant schedule.
2.15 Stone mulch areas (maintenance strips, at XFMR, etc.) to contain 2-3" of 1" dia. stone installed over poly weed barrier. Edge with 3/16" x 4" mill-finish aluminum edging. Stone to be "Mississippi Washed" or approved equal.
2.16 Contractor shall provide positive drainage away from all structures for a minimum of 10'.
2.17 Contractor shall provide all required landscape maintenance activities (including but not limited to mowing, trimming, pruning, fertilizing, watering, spring/fall clean-up, weed control) other necessary care and IPM) for a period of 24 months after installation. A 24-month calendar of prescribed maintenance activities shall be provided for LA review/approval prior to beginning work. A log book detailing all maintenance activities shall be given to the Owner at the end of each season of care. Before 60-day maintenance period ends, Contractor to install 6" shovel-cut edges wherever noted. See specs for more maintenance details.
2.18 Seeded coverage (low-mow, wet-tolerant, etc.) and rain garden areas shall be prepped, established & maintained per the materials suppliers' recommendations, for the same 24-month duration. An outline of required activities shall be included in the 24-month calendar. See specs for more warranty details.
2.19 Ornamental woody materials (trees, shrubs) shall be warrantied for one year after installation. All herbaceous materials shall be warrantied for one season (not shorter than three months) after installation. See specs for more warranty details.

Seeding Notes & Mixes

- 3.01 This work shall consist of preparing the seed beds and furnishing, sowing and mulching the required seed on the various seeded areas, as outlined in the site plans and specifications.
3.02 Rough grading, drainage work, topsoiling and fine grading shall be completed before sowing the seed mixes. The areas to be seeded shall be worked with plow chisels, discs & harrows, soil finishers and/or other appropriate equipment until a reasonably even and loose seedbed is obtained. Seed beds shall be prepared immediately in advance of the seeding. Do not seed over compacted topsoil. If proposed seed areas are weedy, contractor to apply herbicide or other weed control measures to eliminate weeds. Conform with seed supplier's specifications if required.
3.03 Confirm that anticipated project schedule date(s) fall within the respective seed supplier's approved calendar prior to installation. Installations completed outside of acceptable seeding dates shall be performed at the sole responsibility and expense of the contractor. For dormant seeding, a min. of one over-seed application in the following season will be required.
3.04 Seeds shall be PLS and shall be mixed in accordance w/ mfr's specifications. Provide invoices, bag-tags or mix analysis results for approval prior to installation.
3.05 The seed mixtures shall be sown by means of equipment adapted to the purpose. Mechanical distribution of seed (i.e. Truax seed drill, Brillion seeder, cultipacker, slit-seeder, drop spreader or broadcast spreader) are the only accepted methods. No hand-broadcasting of seed.
3.06 No seeding shall occur if the wind exceeds 12 MPH.
3.07 Coordinate erosion control and/or mulching with Civil dwgs. In sloped areas steeper than 4:1, erosion matting shall be installed by others (see 3.09); installation coordination will be required. In areas with slopes between 4:1 and 8:1, landscape contractor shall apply clean hay or straw mulch, free of debris and seeds, on all newly seeded areas. Mulch shall be uniformly spread over the designated area at a rate of 55 bales per acre or as indicated in the respective seed supplier's specifications. Mulch material shall be chopped and blown into the seeded area. Lightweight E.C. matting and/or hydromulch will be accepted as a no-cost alternate if approved by Landscape Architect.
3.08 See Civil dwgs for erosion control devices. Coordinate with erosion control contractor where required to ensure that topsoil, seeding and/or mat installations are properly coordinated.
3.09 Contractor is responsible for obtaining soil tests for all seeded areas prior to construction. Soil testing results shall include (but is not limited to) soil pH, % organic matter, phosphorus, potassium, calcium, cation exchange & texture (percentages of sand, silt and/or clay.) Should test results indicate potential conflict with the specified seed mixes, the contractor shall notify the LA prior to application and shall request an alternate seed spec from the specified supplier.
3.10 Seed source / mix substitutions shall be considered only if submitted for review & approval prior to 10 days before the close of bidding. All mixes shall be installed & maintained per supplier's specifications. In addition, the contractor shall apply a cover crop @ 5 lbs per AC in spring/summer or 15 lbs per AC in fall. Species shall be Annual Rye, Annual Oats or Winter Wheat depending on season. Confirm final selection with LA prior to seeding.

LOW MOW MIX: "No-Mow Lawn Seed Mix" shall be supplied by Prairie Nursery, Westfield WI, 800-476-9453. Apply @ 220 lbs per AC plus cover crop. Seed supplier shall confirm that the seed mix conforms to the City's Specifications for Public Works Construction, Part II, Article 207.2(a)(5.)

WET MIX: Custom mix based on "Detention Basin Wet Prairie Mix". Species to be pre-selected by supplier horticulturalist for greater tolerance to drought / dry conditions. Shall be supplied by Prairie Nursery. Apply @ 10 lbs per AC plus cover crop.

Wet Tolerant Plug Notes

- 4.01 This work shall consist of preparing the plug planting beds and furnishing, installing, mulching & maintaining the required wet-tolerant perennial plugs, as outlined in the site plans and specifications.
4.02 Rough grading, drainage work & engineered soil placement shall be completed by others before installing the plugs. See the Civil plans for the areas of engineered soil and its placement. The landscape contractor shall coordinate with the earthwork contractor to properly fine-grade the engineered soil areas prior to placement of the erosion control matting.
4.03 Install plugs during the respective plug supplier's approved calendar. Installations completed outside of acceptable install dates shall be the performed at the sole responsibility and expense of the contractor.
4.04 See Civil dwgs for erosion control req's. Plugs are to be installed into the engineered soil via slits cut through the mat. See Civil dwgs for balance of site erosion control measures.
4.05 Plug kit/source substitutions shall be considered only if submitted for review & approval prior to 10 days before the close of bidding.
4.06 Perennial Plugs: Custom kit based on species found in the "Rain Garden For Sandy Soil in Full Sun" kit(s.) Species list shall be modified by the supplier's horticulture staff for higher tolerance to drought / dry conditions. Species list shall also be tailored to match / be similar to the species shown in the City's Specifications for Public Works Construction, Part II, Article 207.2(a)(2.) Final species list shall be reviewed/approved by the Owner & LA prior to delivery.
Plugs shall be provided by Prairie Nursery. Plug planting areas shall be installed & maintained per the supplier's specifications. Plugs shall be 2.5x3.5" size, installed @ 12-15" o.c., staggered / triangular spacing, with species organized in clusters of 3-5 plugs each.

Plant Schedule

NOTE: Contractors shall be responsible for calculating all plant quantities, typ.

Table with columns: Symbol, Qty Prop., Botanical Name, Common Name, Installed Size, Mature Size, Root, Spacing, Highly Drought Tol., Notes. Rows include Shade Trees, Ornamental Trees, Evergreen Trees, Deciduous Shrubs, Evergreen Shrubs, and Perennials & Grasses.



PROJECT INFORMATION

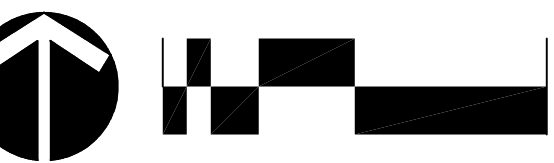
Madison Fire Station 13



ISSUANCE AND REVISIONS

Bid Set

KEY PLAN



SCALE: As Shown @ 3/6x24"

B

SHEET INFORMATION

REVISIONS

Table with columns: #, DATE, DESCRIPTION

A

DATE 02/27/2014

Table with columns: PROJECT NUMBER, STUDIO. Values: 120062.00, Sabinash

Landscape Schedules & Notes

L200