

THERESA TERRACE NEIGHBORHOOD CENTER

CITY OF MADISON CONTRACT: 7385

LOCATION MAP



PROJECT SITE

BUILDING & CODE INFORMATION

Theresa Terrace Neighborhood Center
Commercial Building Code Review
2009 International Building Code (IBC) as adopted by the State of Wisconsin

Building Area: 1,773 GSF / 1 story
Lot Area: 10,426 SF
Zoning: SR-C3

- 303.1 Use and Group: A-3 (Assembly)
- 304.1 Use and Group: B (Business)
- 602.1 Construction Type: III B
- 706.01 2 hour exterior bearing walls required for assembly
- 803.9 Interior wall and ceiling finish requirements/ non-sprinklered: corridors (class A), Rooms (Class C). Entry may not be less than Class B.
- (F) 903.2.1.3 Fire Protection. Automatic sprinkler system is not required in A-3 occupancy because proposed building size is below minimum occupant threshold.
- 906.1 Portable fire extinguishers required.
- 907.1 Manual fire alarm is not required due to occupancy limit of 70 persons.
- 1004.1.1 Occupant Load, areas without fixed seating
Per table 1004 / Assembly, unconcentrated (chairs and tables) = 15 SF per occupant.
Therefore, 1064 SF/15 SF per person = 70persons.
- 1011.1 Internally illuminated exit signage is required.
- 1011.3 Tactile exit sign age is required.
- 1105.1 Accessible entrance is required. Universal accessibility is required inside facility.
- 2902.1 Plumbing: for A-3 use the following fixtures are required:
 - Water closet 1 per 25 males
 - 1 per 65 females
 - Lavatories 1 per each sex
 - Service Sink 1 per floor

NOTE: THIS CITY-OWNED PROJECT WILL BE EQUIPPED WITH A FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF THE MADISON FIRE DEPARTMENT.

PROJECT DIRECTORY

OWNER
CITY OF MADISON EDD/CDBG
215 MARTIN LUTHER KING JR BLVD
ROOM 225 / P. O. BOX 2627
MADISON, WI 53701-2627
CONTACT :MARY CHARNITZ
PHONE: 608-267-0742
EMAIL: mcharnitz@cityofmadison.com

ARCHITECT
ISTHMUS ARCHITECTURE
613 WILLIAMSON STREET SUITE 203
MADISON, WISCONSIN 53703
CONTACT: PETER ROTT, AIA
PHONE: 608-310-5362
EMAIL: rott@is-arch.com

ENGINEERING
COLD SPRING DESIGN, LLC
222 S MAIN STREET
FORT ATKINSON, WISCONSIN 53538
CONTACT: CONOR NELAN, PE
PHONE: 920-568-9530

GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PLAN REVIEWS, PERMITS, INSPECTIONS AND TESTING, INCLUDING SEWER PLUG PERMIT.
2. FIELD VERIFY AND MARK ALL UTILITIES. PRIOR TO CONSTRUCTION, CONTACT DIGGERS HOTLINE.
3. PROVIDE ALL MISCELLANEOUS BLOCKING AND SUPPORTS.
4. CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS WITH EXISTING FOUNDATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES
5. IT IS THE RESPONSIBILITY OF EVERY CONTRACTOR/SUB CONTRACTOR TO REVIEW THE ENTIRE SET OF DRAWINGS AND SPECS. NO EXCEPTIONS
6. CONTRACTOR SHALL PROVIDE A RECYCLE/RE-USE PLAN TO THE CITY'S RECYCLING COORDINATOR FOR APPROVAL TO OBTAIN DEMOLITION PERMIT.

SHEET LEGEND

ROOM NAME	ROOM NUMBER		INTERIOR ELEVATION REFERENCE		DETAIL REFERENCE
	102				
	W201		BUILDING SECTION REFERENCE		WALL TYPE SYMBOL
	D201		VERTICAL ELEVATION SYMBOL		

SHEET INDEX

T0.1	TITLE SHEET
C1.0	SITE SURVEY-EXISTING SITE
C1.1	SITE PLAN WITH DEMOLITION
G-1	GRADING PLAN AND DETAILS
L0.1	LANDSCAPE PLAN
A1.0	FOUNDATION PLAN & DETAILS
A1.1	FIRST FLOOR PLAN, SCHEDULES, DETAILS
A1.2	POWER & DATA PLAN
A1.3	REFLECTED CEILING PLAN+LIGHTING
A1.4	ROOF FRAMING PLAN & DETAILS
A1.5	ROOF PLAN & DETAILS
A2.0	BUILDING SECTIONS
A3.0	BUILDING ELEVATIONS

This work was prepared for me or under my supervision, and construction of this project will be under my supervision. Supervision of construction is defined in Section 1.2(2) of the Rules & Regulations of the Board of Professional Engineers, Architects and Surveyors of the State of Wisconsin.

The Contractor shall verify all dimensions at the job site and confirm with the Architect before proceeding with the work.

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Theresa Terrace Neighborhood Center
1409/1411 Theresa Terrace, Madison, WI
City of Madison
Community Development Division

Proj. No.: 1404.01

Scale:

Drawn By: pr

Date: 06-11-2014

Rebid Date:

Rev. Date:

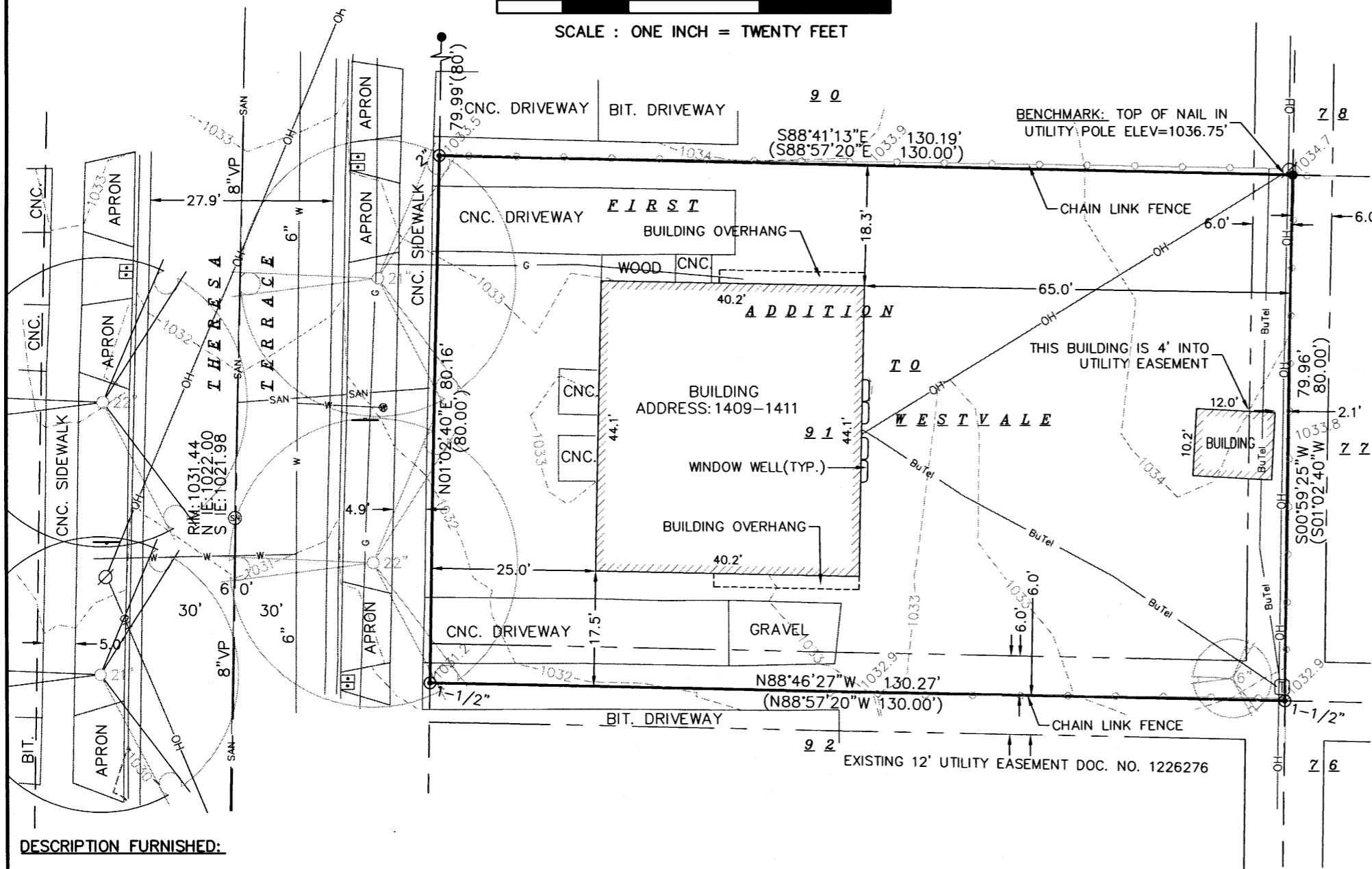
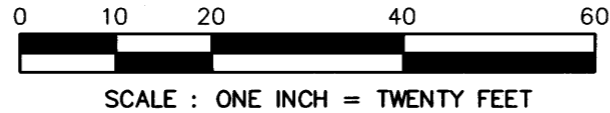
Sheet Title

Sheet No:

T0.1

BOUNDARY AND TOPOGRAPHIC SURVEY

ALL OF LOT 91, FIRST ADDITION TO WESTVALE, AS RECORDED IN VOLUME 34 OF PLATS, ON PAGE 42-43 OF PLATS, AS DOCUMENT NUMBER 1226276, DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 07 NORTH, RANGE 08 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



ASSUMED NORTH
 BEARINGS ARE BASED UPON
 THE EAST RIGHT OF WAY LINE
 OF THERESA TERRACE ASSUMED
 TO BEAR N01°02'40"E

LEGEND

- 3/4" SOLID IRON ROD FOUND
- ⊙ IRON PIPE FOUND OUTSIDE DIAMETER NOTED
- x 1032.9 SPOT ELEVATION
- OH — OVERHEAD UTILITY WIRE
- G — BURIED GAS LINE
- W — WATER MAIN
- SAN — SANITARY SEWER
- BuTel — BURIED TELEPHONE
- ⊙ CURB STOP
- ⊙ GAS METER
- ⊙ UTILITY POLE
- ⊙ TELEPHONE PEDESTAL
- SIGN
- ⊙ MAILBOX
- ⊙ SANITARY SEWER MANHOLE
- ⊙ DECIDUOUS TREE
- () INDICATES RECORDED AS

DISTANCES ARE MEASURED TO THE NEAREST HUNDRETH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

NOTES:

- 1) Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose.
- 2) No attempt has been made as a part of this survey to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
- 3) Date of field work: 03-27-2014
- 4) Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- 5) All surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
- 6) All trees, hedges and ground cover on the site may not necessarily be shown hereon.
- 7) Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline Ticket Number 20141205593 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to located utilities. Before excavations are performed contact Digger's Hotline.
- 8) Total parcel area = 10,426 square feet
- 9) Elevations are based upon NAVD88 datum. Surveyor transferred elevation to this site with Trimble RTK GPS. The South Quarter corner of Section 25-07-08 has an elevation of 1023.589' based upon Carl M. Sandsnes tie sheet dated February 16, 2004. Benchmark on site is a nail in power pole near the northeast corner of this lot. Top of nail head elevation=1036.75'.

DESCRIPTION FURNISHED:

All of Lot 91, First Addition to Westvale, City of Madison, Dane County, Wisconsin.

SURVEYOR'S CERTIFICATE:

I, Frank J. Lapacek, Registered Land Surveyor, No. 2658, hereby certify that the foregoing survey was executed under my direction and control, and that said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7), and the map hereon is correct to the best of my knowledge and belief.

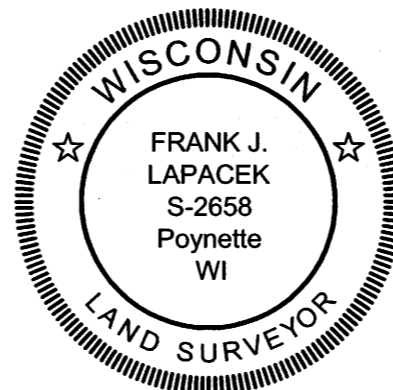
Dated this 28th day of MARCH, 2014.

Signed: Frank J. Lapacek
 Frank J. Lapacek, R.L.S. No. 2658

Date: 03-28-2014

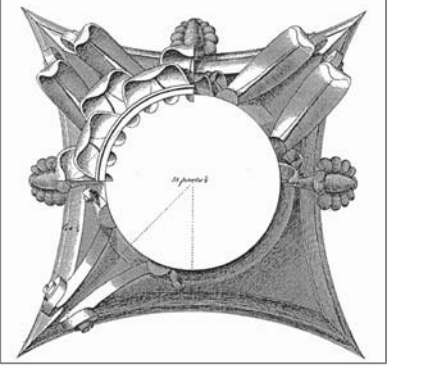
Plot View: 11x17

PROJECTS\BSE1713\dwg\BSE1713.DWG



SURVEYED FOR :
 Isthmus Architecture, Inc.
 613 Williamson St.
 Madison, WI 53703

SURVEYED BY :
Burse
 surveying & engineering inc.
 1400 E. Washington Ave, Suite 158
 Madison, WI 53703 608.250.9263
 Fax: 608.250.9266
 email: Mburse@BSE-INC.net
 www.bursesurveyengr.com



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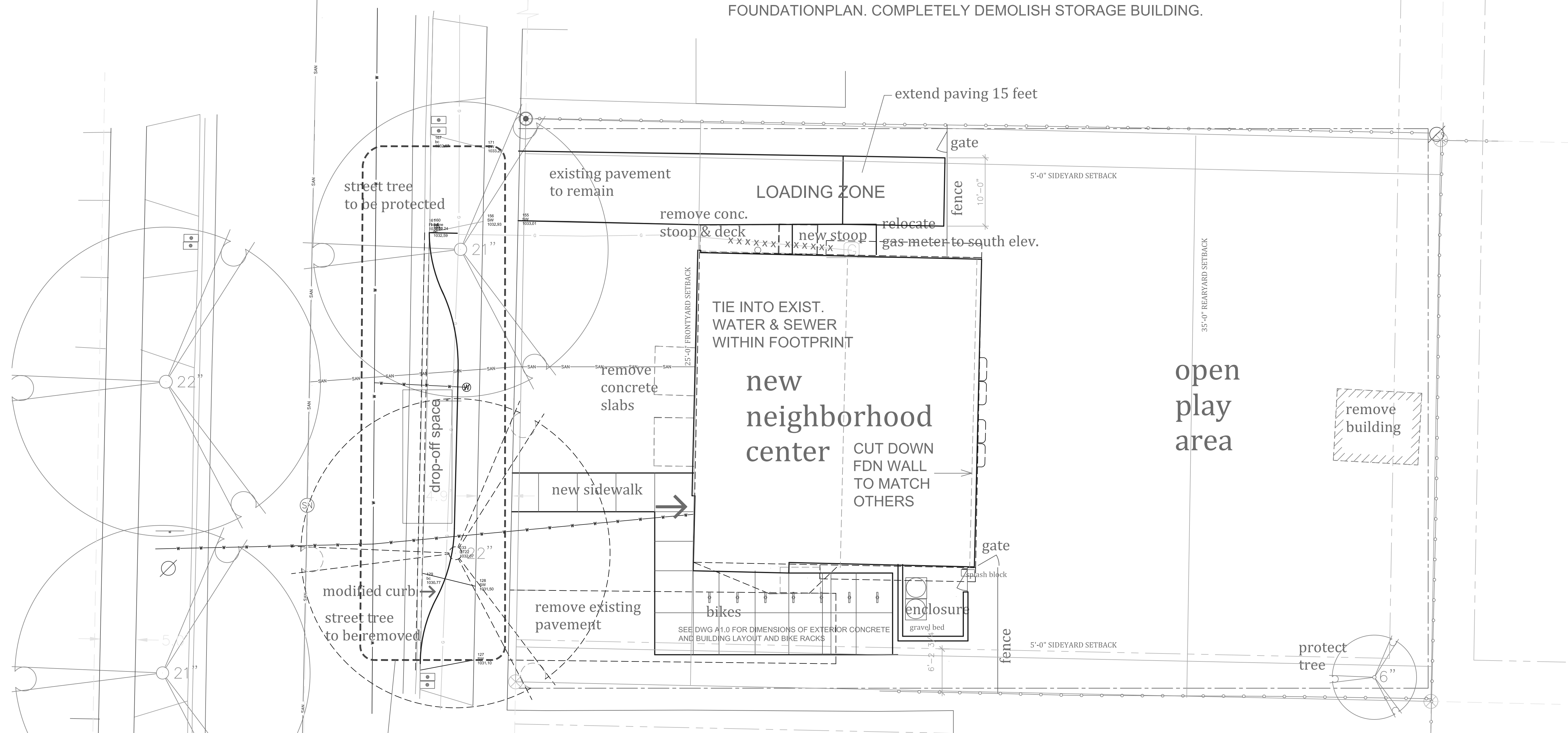
SITE PLAN
WITH DEMOLITION

Sheet Title

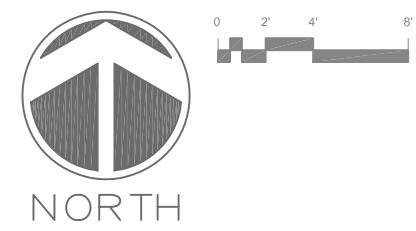
Sheet No:

C1.1

DEMOLISH EXISTING RESIDENTIAL BUILDING DOWN TO FOUNDATION. SALVAGE, RETAIN AND PROTECT FOUNDATION AND BACKFILL LOWER LEVEL WITH CRUSHED GRAVEL PER SPEC ON FOUNDATION PLAN. COMPLETELY DEMOLISH STORAGE BUILDING.

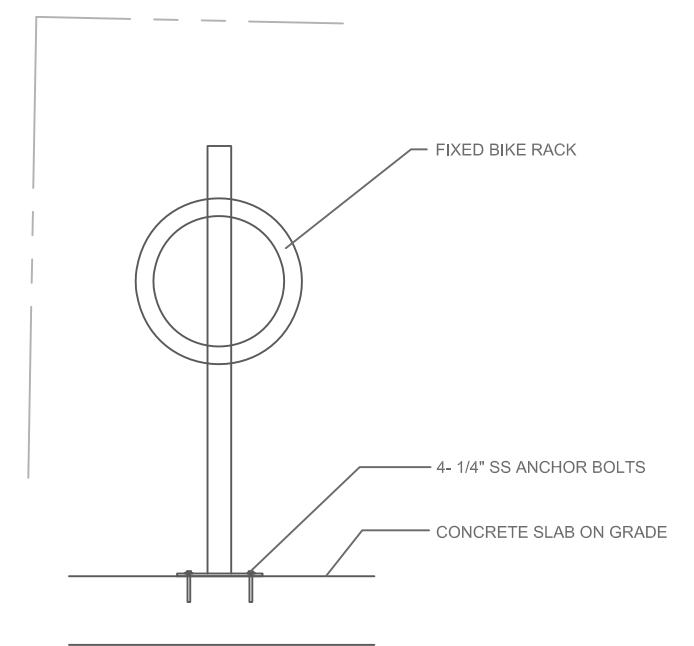


STREET, CURB AND TERRACE WORK NOT-IN-CONTRACT
WORK IN THIS AREA REQUIRES SEPARATE APPROVAL.

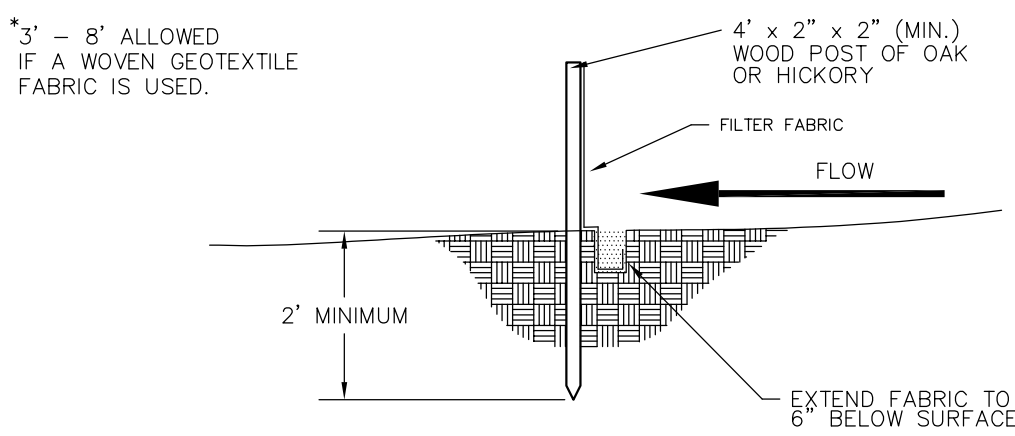
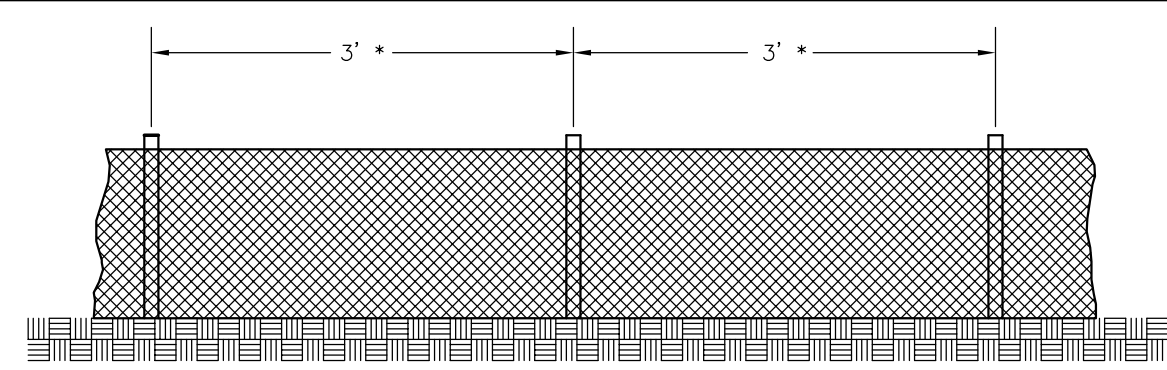


1 SITE PLAN - DEMOLITION + NEW
Scale: 1/8"=1'-0"

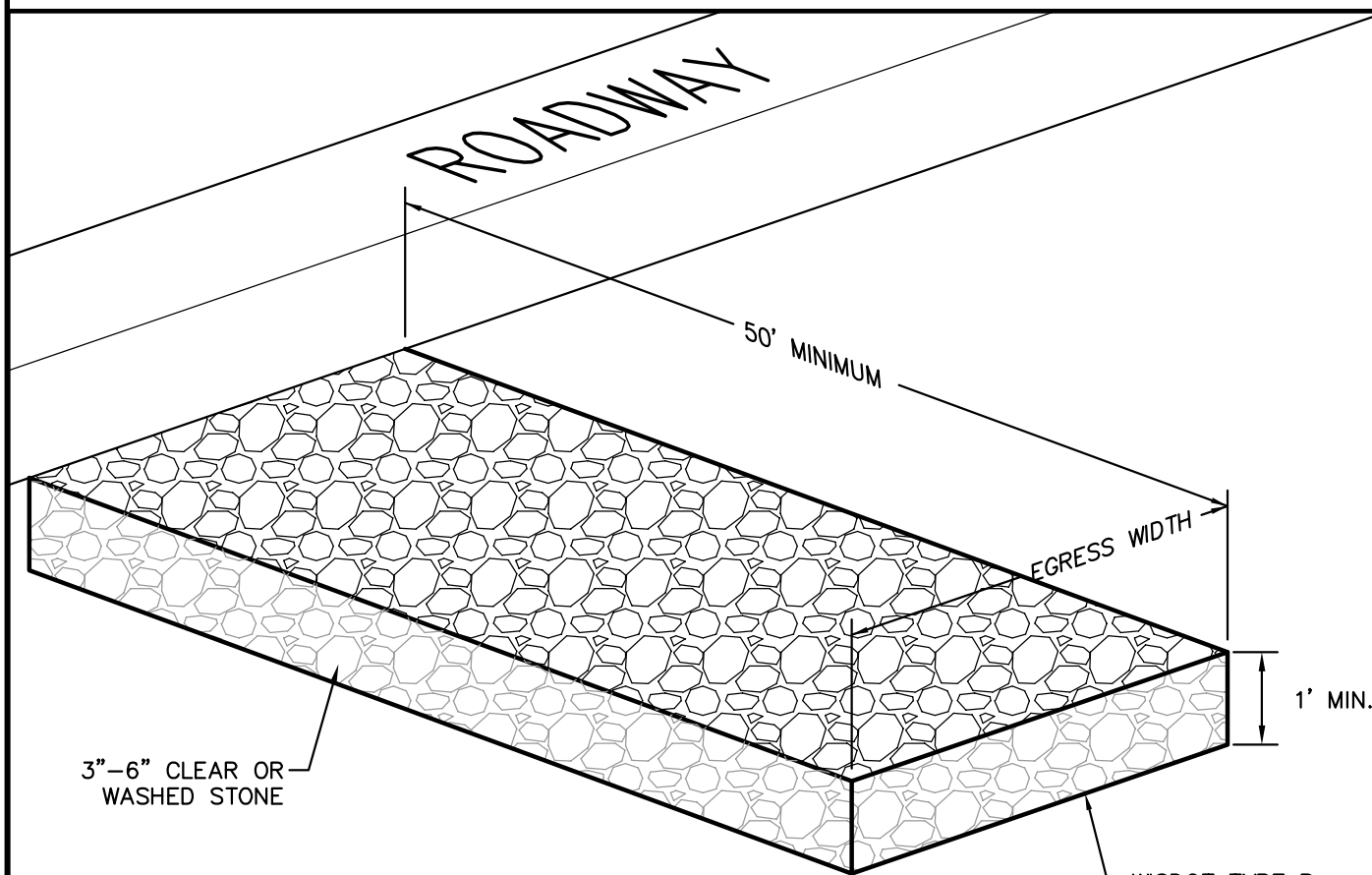
PROTECTION OF EXISTING TREES:
CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST FIVE FEET FROM BOTH SIDES OF TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF ANY TREE. IF EXCAVATION IS NECESSARY, CONTACT CITY FORESTRY (266-4816) FOR PERMISSION PRIOR TO WORK.



2 BIKE RACK DETAIL
Scale: 3/4"=1'-0"



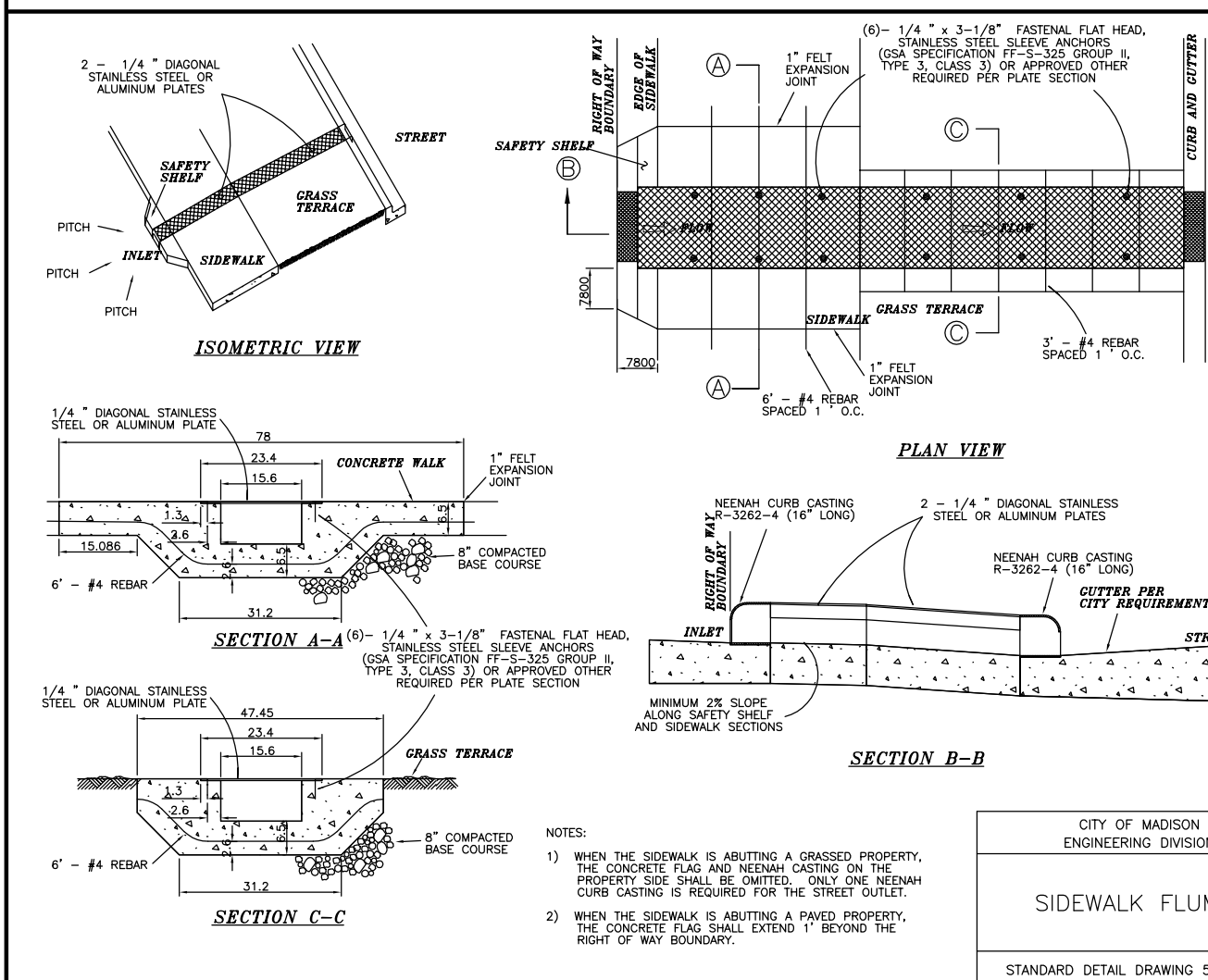
SILT FENCE CONSTRUCTION



TRACKING PAD

LEGEND

- 984 — EXISTING MINOR CONTOUR
- 985 — EXISTING MAJOR CONTOUR
- 984 — PROPOSED MINOR CONTOUR
- 985 — PROPOSED MAJOR CONTOUR
- STORM SEWER
- TRACKING PAD
- SILT FENCE
- PROPOSED FENCE



CITY OF MADISON
ENGINEERING DIVISION
2004
SIDEWALK FLUME
STANDARD DETAIL DRAWING 5.4.9

Erosion Control Notes/Specifications:

1. Erosion control devices and/or structures shall be installed prior to clearing and grubbing operations. These shall be properly maintained for maximum effectiveness until vegetation is re-established.
2. Erosion control is the responsibility of the contractor until acceptance of this project. Erosion control measures as shown shall be the minimum precautions that will be allowed. The contractor shall be responsible for recognizing and correcting all erosion control problems that are the result of construction activities. Additional erosion control measures, as requested in writing by the state or local inspectors, or the developer's engineer, shall be installed within 24 hours.
3. All erosion control measures and structures serving the site must be inspected at least weekly or within 24 hours of the time 0.5 inches of rain is produced. All maintenance will follow an inspection within 24 hours. Inspection schedule and record keeping shall comply with NR 216.46(9), Wis. Adm. Code.
4. Construction Entrances - Provide a stone tracking pad at each point of access. Install according to WDNR Standard 1057. Refer to WDNR's stormwater web page of technical standards at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html. The Tracking Pad must be maintained in a condition that prevents the tracking of material onto the public street.
5. Soil Stockpiles - A row of silt fence placed downslope and at least 10 feet away from the stockpile shall protect all stockpiles. Soil stockpiles that are inactive for more than 14 consecutive days shall be stabilized with seed & mulch, erosion mat, polymer, or covered with tarps or similar material. No stockpile shall be placed within 20 feet of a drainage way.
6. Dewatering - Water pumped from the site shall be treated by using a temporary sedimentation basin, portable dewatering basin, geotextile bag, or an equivalent device. Show on the plan the anticipated locations of dewatering activity, and provide an engineering detail of the dewatering system. Devices shall comply with WDNR Technical Standard 1061 found at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html. This water shall be discharged in a manner that does not induce erosion of the site or adjacent property.
7. Building and waste materials shall be prevented from running-off the site and entering waters of the state in conformance with NR151.12(6m).
8. No solid material shall be discharged or deposited into waters of the state in violation of Ch. 30 or 31 of the Wisconsin State Statutes or 33 USC 1344 permits.
9. Erosion control devices shall adhere to the technical standards found at: <http://dnr.wi.gov/runoff/stormwater/techstds.htm> and comply with all City of Madison ordinances.
10. All debris tracked onto public streets shall be swept or scraped clean by the end of each workday.
11. All building and waste material shall be handled properly to prevent runoff of these materials off of the site.
12. All disturbed areas shall be seeded immediately after grading activities have been completed.
13. All disturbed areas, except paved areas, shall receive a minimum of four (4) inches of topsoil, fertilizer, seed, and mulch. Seed mixtures shall be selected appropriate to the intended function. A qualified Landscaping Contractor, Landscape Architect or Nursery can be consulted for recommendations. Seeding rates shall be based on pounds or ounces of Pure Live Seed per acre and shall be provided by the seed supplier. Fertilizer can be applied to help promote growth, but a soil test is recommended to determine the type and amount of fertilizer to be applied. All seeding and restoration shall be in conformance to WDNR Technical Standard 1059 found at http://dnr.wi.gov/topic/stormwater/standards/const_standards.html. Seeding and sodding may only be used from May 1st to September 15th of any year. Temporary seeding shall be used after September 15. If temporary seeding is used, a permanent cover shall also be required as part of the final site stabilization.
14. For the first six (6) weeks after the initial stabilization of a disturbed area, watering shall be performed whenever more than seven (7) days of dry weather elapse.

Emergency Contact

Peter R. Rott
Isthmus Architecture, Inc.
613 Williamson Street
Suite 203
Madison, WI 53703
rott@isth-us.com
(608) 310-5362

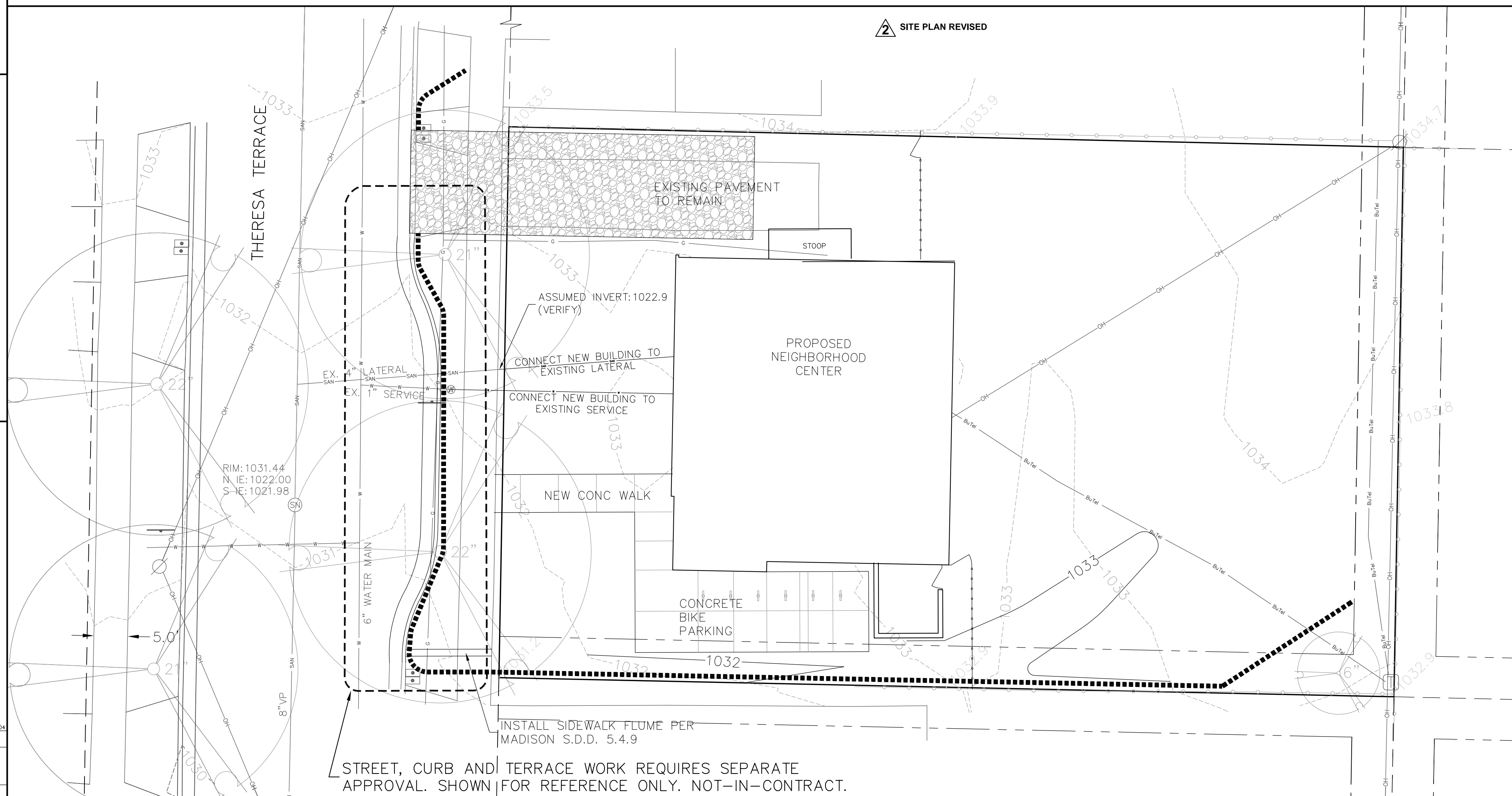
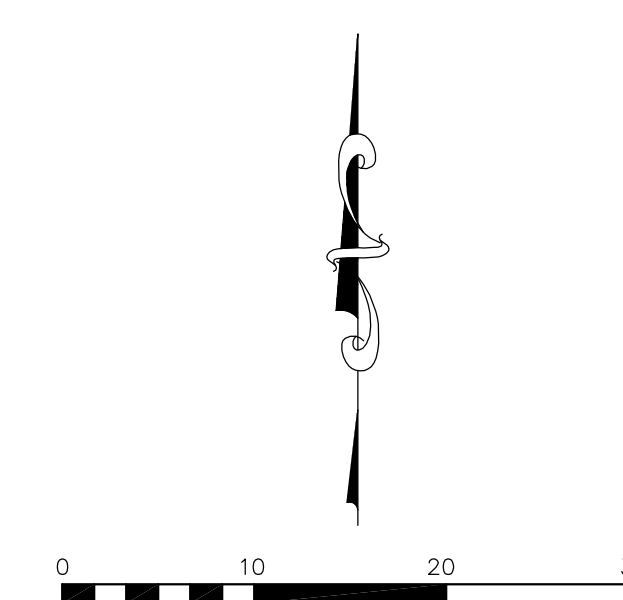
Schedule:

Sept. 1, 2014	Install silt fence and construction entrance. Begin disturbance of site ground cover.
January 15, 2015	Improvements complete - Heavily mulch all disturbed areas.
May 1, 2015	Restore all disturbed areas.
July 1, 2015	Vegetation established.



General Notes:

1. The sizes of the existing water and sanitary services could not be verified. Their presumed sizes are noted. Contractor shall verify the sizes of the existing services and extend the same sizes to the new building. Sanitary sewer laterals shall be laid at a minimum of 1/4" per foot.
2. Prior to final approval of the demolition permit and final plan approval, the Owner shall obtain a permit to plug each existing sanitary sewer and/or storm sewer lateral that serves a building scheduled for demolition.
3. All sidewalk and curb that abuts the property that is damaged by the construction shall be replaced per the City's Standard Specifications. All work within the public right-of-way shall be performed by a City-licensed contractor.



INSTALL SIDEWALK FLUME PER MADISON S.D.D. 5.4.9
STREET, CURB AND TERRACE WORK REQUIRES SEPARATE APPROVAL. SHOWN FOR REFERENCE ONLY. NOT-IN-CONTRACT.



1400 E. Washington Ave. Suite 150
Madison, WI 53703
Phone: 608-250-9263
Fax: 608-250-9266
e-mail: kburse@burse-inc.net
www.burse-surveying.com

APPROVALS	PROJECT ENG.	MLB
DESIGNED BY	MLB	
DRAWN BY	MLB	
CHECKED BY	MLB	
APPROVED	MLB	

THERESA TERRACE NEIGHBORHOOD CENTER
1409-1411 THERESA TERRACE
MADISON, WI

CITY OF MADISON - COMMUNITY DEVELOPMENT DIVISION
215 MARTIN LUTHER KING JR. BLVD., RM 280
MADISON WI 53701

PROJECT #: BSE1713
PLOT DATE: 07/16/2014

REVISION DATES:
07/10/2014
07/16/2014

ISSUE DATES:
07/02/2014
07/10/2014
07/16/2014

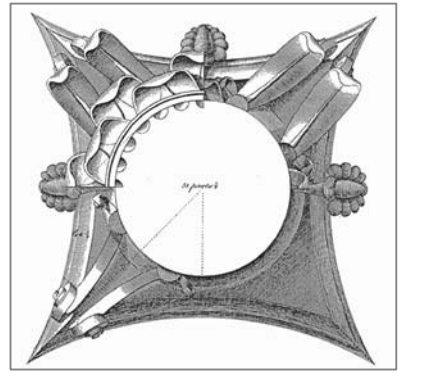
SOUTH LOT LINE
GRADING AND
EROSION
CONTROL PLAN



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DRAWING NUMBER

G-1



This work was prepared by me or under my supervision and control, and I am a duly licensed and registered professional in the State of Wisconsin. I am a member of the Wisconsin Society of Professional Engineers, Architects and Surveyors of the State.

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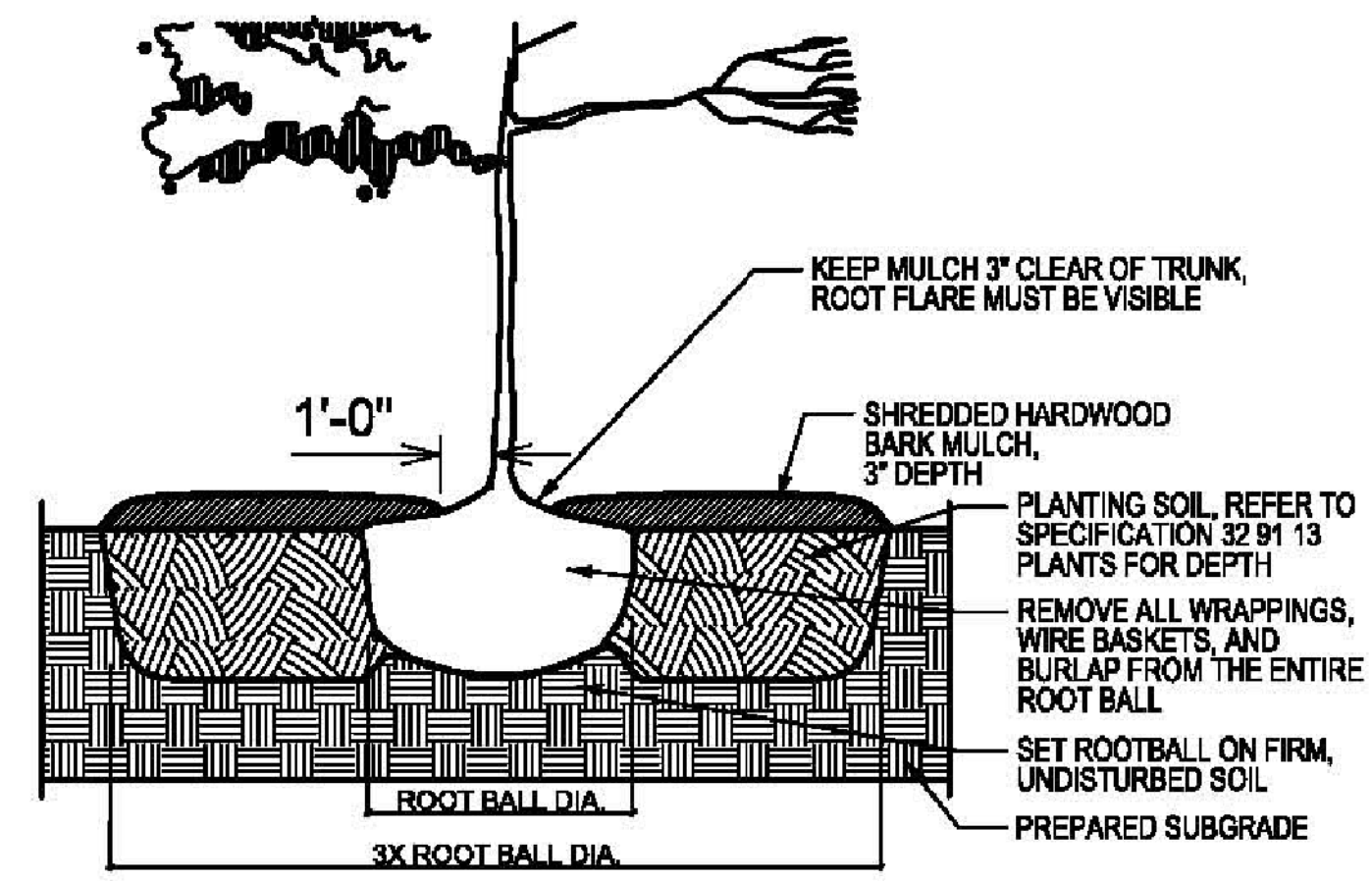
Rebid Date:

Rev. Date:

LANDSCAPE
PLAN
Sheet Title

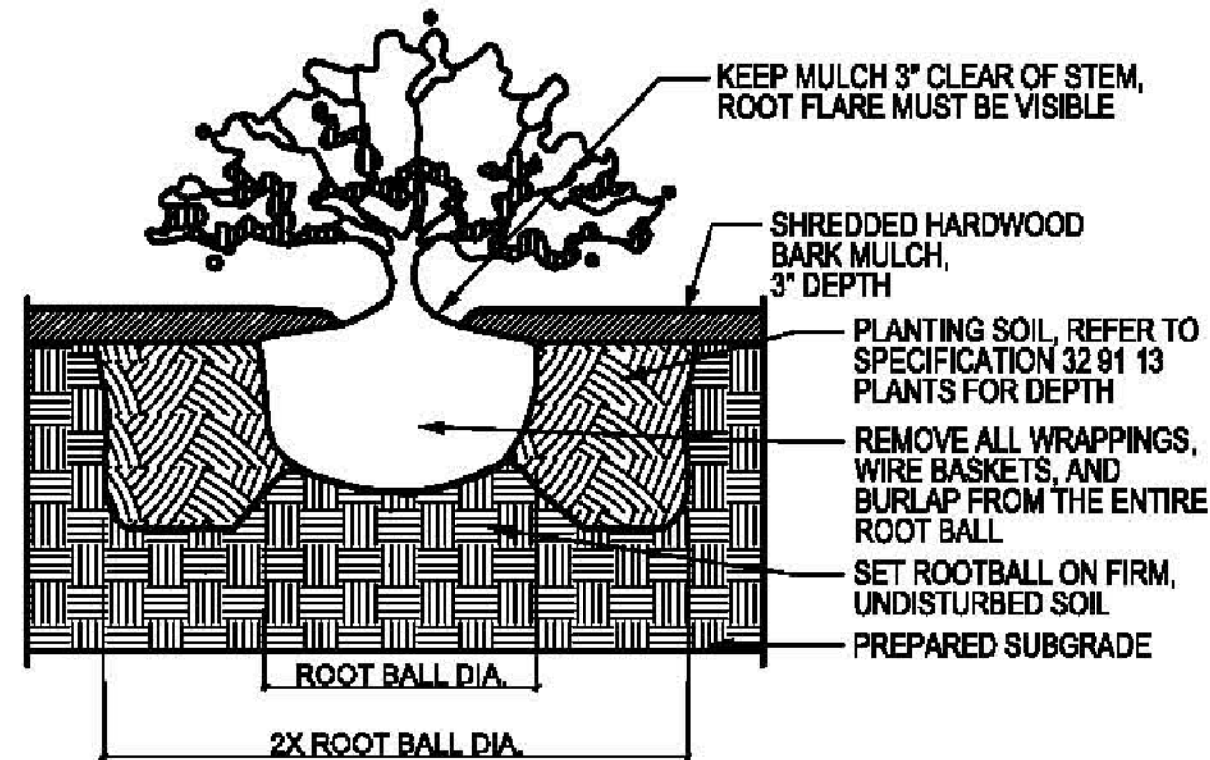
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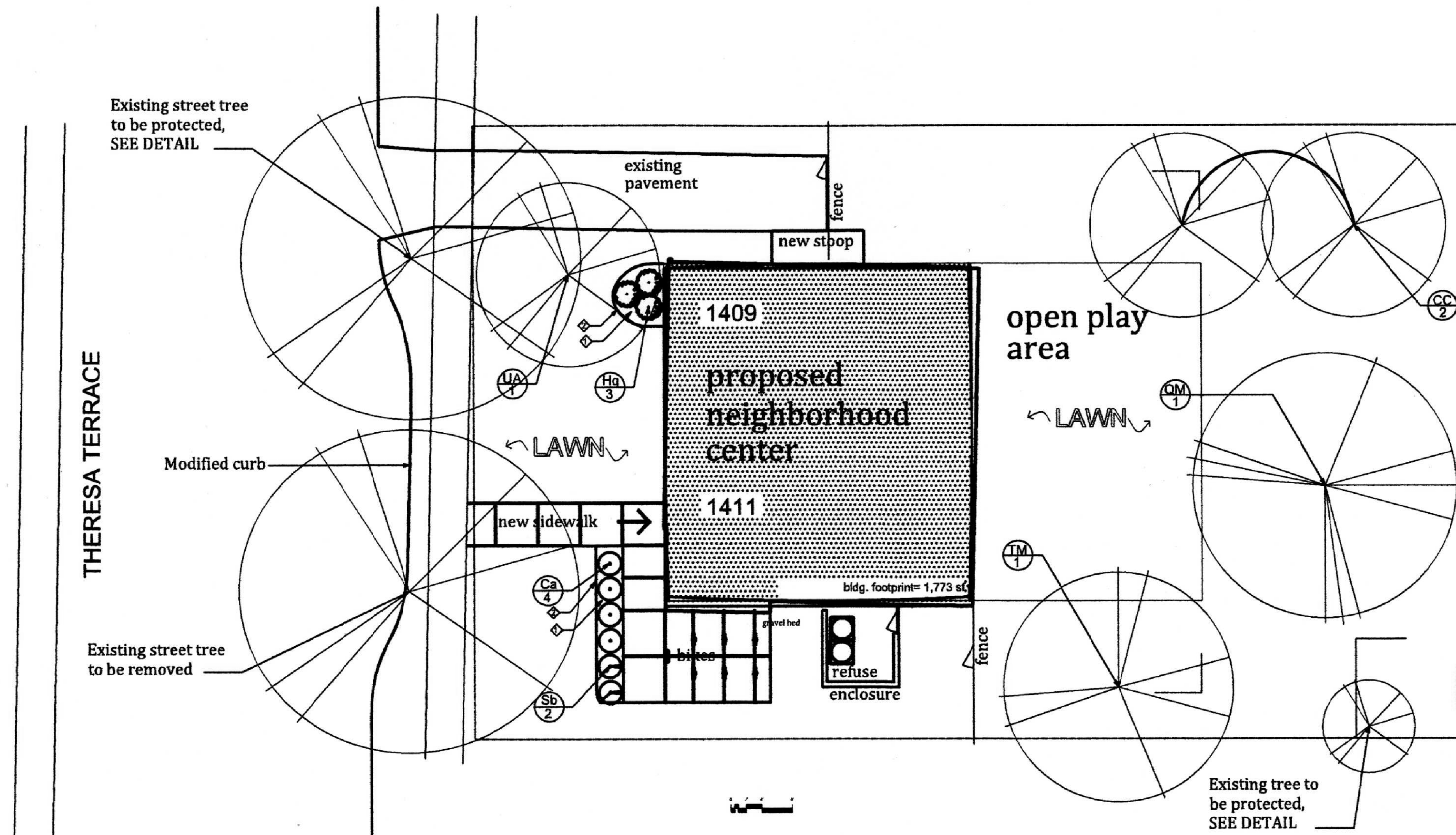
TREE PLANTING

NTS



SHRUB PLANTING

NTS



DKS
6-19-2014

City of Madison, WI Landscape Worksheet
30-May-14 Theresa Terrace Proposed Community Plan

Developed Lots	SF	Minimum Open Space Required (SF)	Landscape Points Subtotal
Total Developed Area	2,500	500	42
			Landscape Points Required
			42

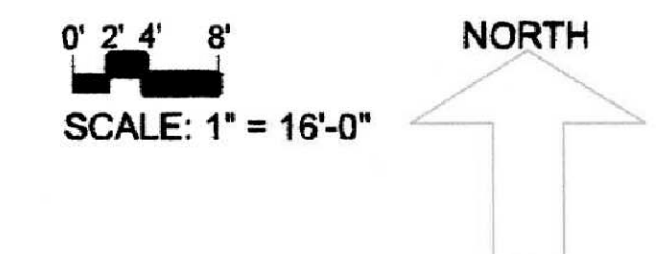
Development Frontage	LF	Overstory Trees Required	Shrubs Required
Total LF of Street Frontage Between Bldg./Parking & street	44	1	7

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	1		35
Shrub, deciduous	3	9		27
Development Frontage Deduction Total				62

General Site, Foundation, Screening				
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	5	4		20
Foundation Plantings Total				20

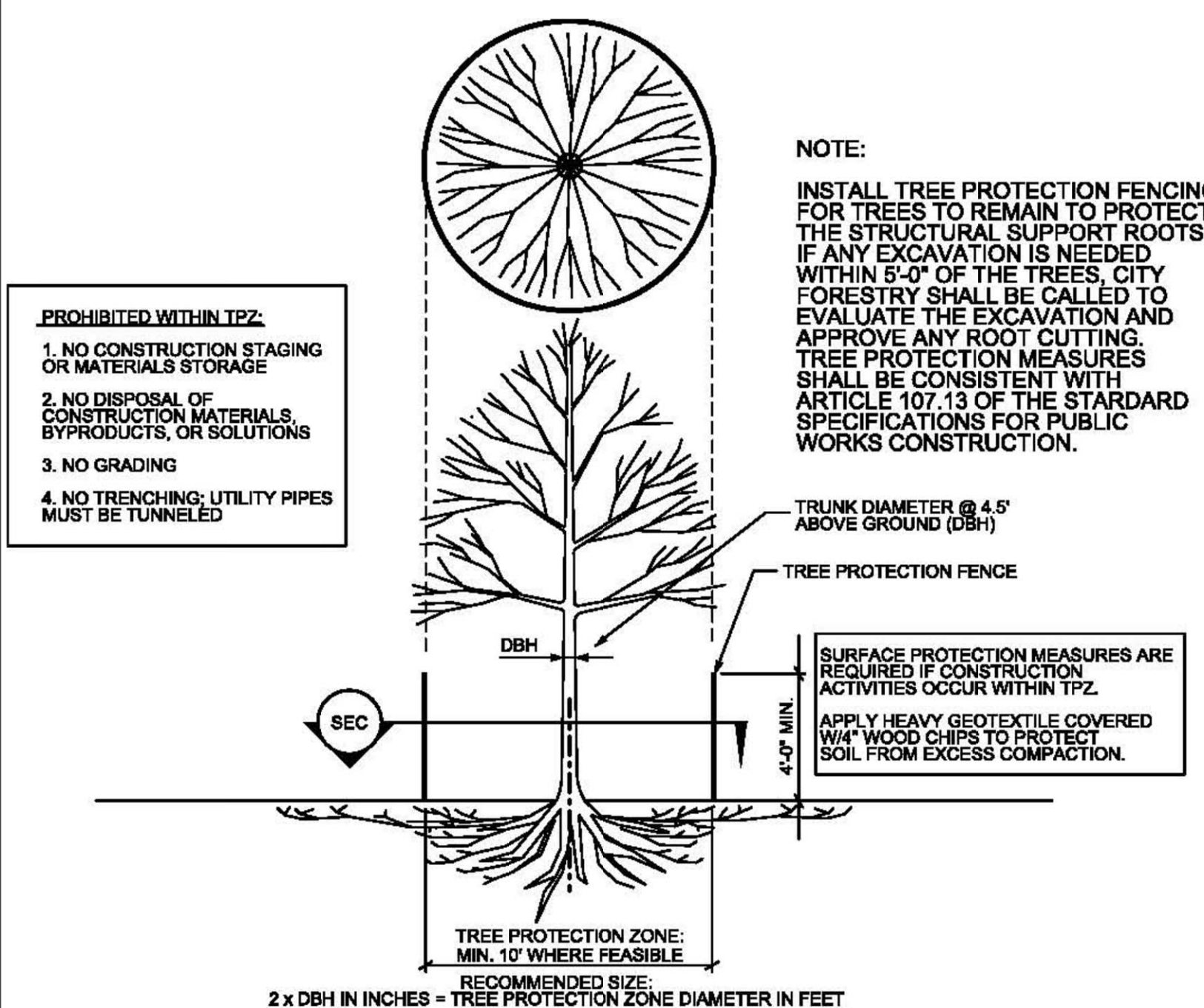
TOTAL LANDSCAPE POINTS 87

- LEGEND:**
- 1 SHREDDED BARK MULCH
 - 2 SHOVEL CUT EDGE



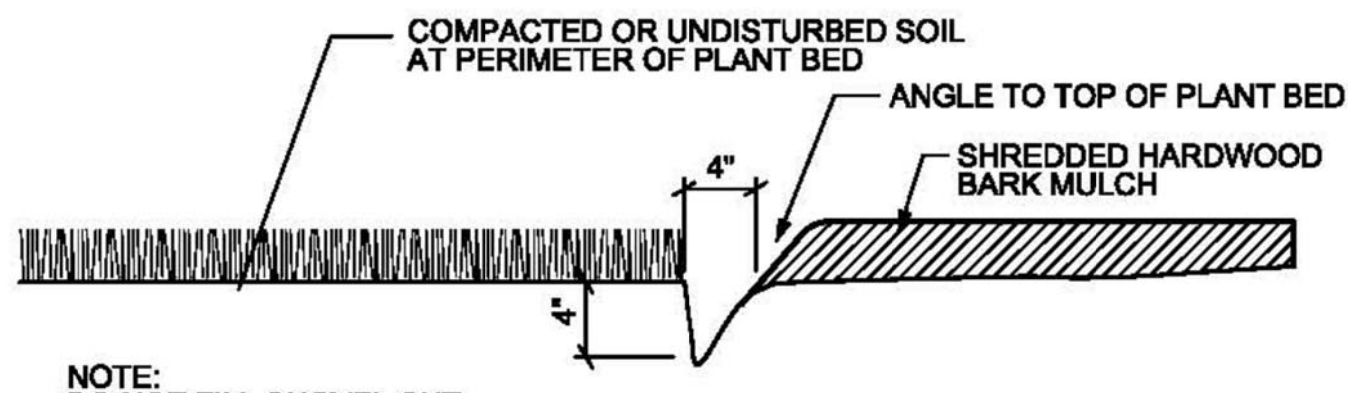
Plant List

Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments
CC	<i>Corylus colurna</i>	Turkish Filbert	2	2" Cal.	B&B	
QM	<i>Quercus macrocarpa</i>	Bur Oak	1	2" Cal.	B&B	
TM	<i>Tilia mongolica 'Harvest Gold'</i>	Harvest Gold Linden	1	2" Cal.	B&B	
Ca	<i>Caeanothus americana</i>	New Jersey Tea	4	18" ht	Cont	
Hq	<i>Hydrangea quercifolia 'Pee Wee'</i>	Pee Wee Oak Leaf Hydrangea	3	18" ht	Cont	
Sb	<i>Spiraea betulifolia 'Tor'</i>	Tor Birchleaf Spirea	2	18" ht	Cont	



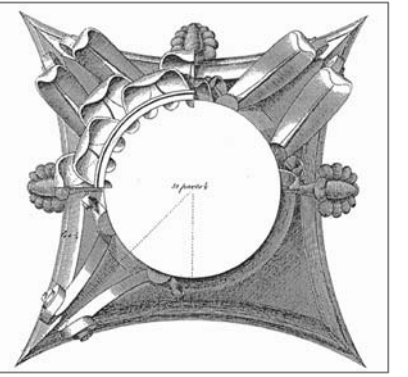
TREE PROTECTION

NTS



SHOVEL CUT EDGE

NTS



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FOUNDATION PLAN & DETAILS
Sheet Title

Sheet No:

A1.0

FOOTING SCHEDULE

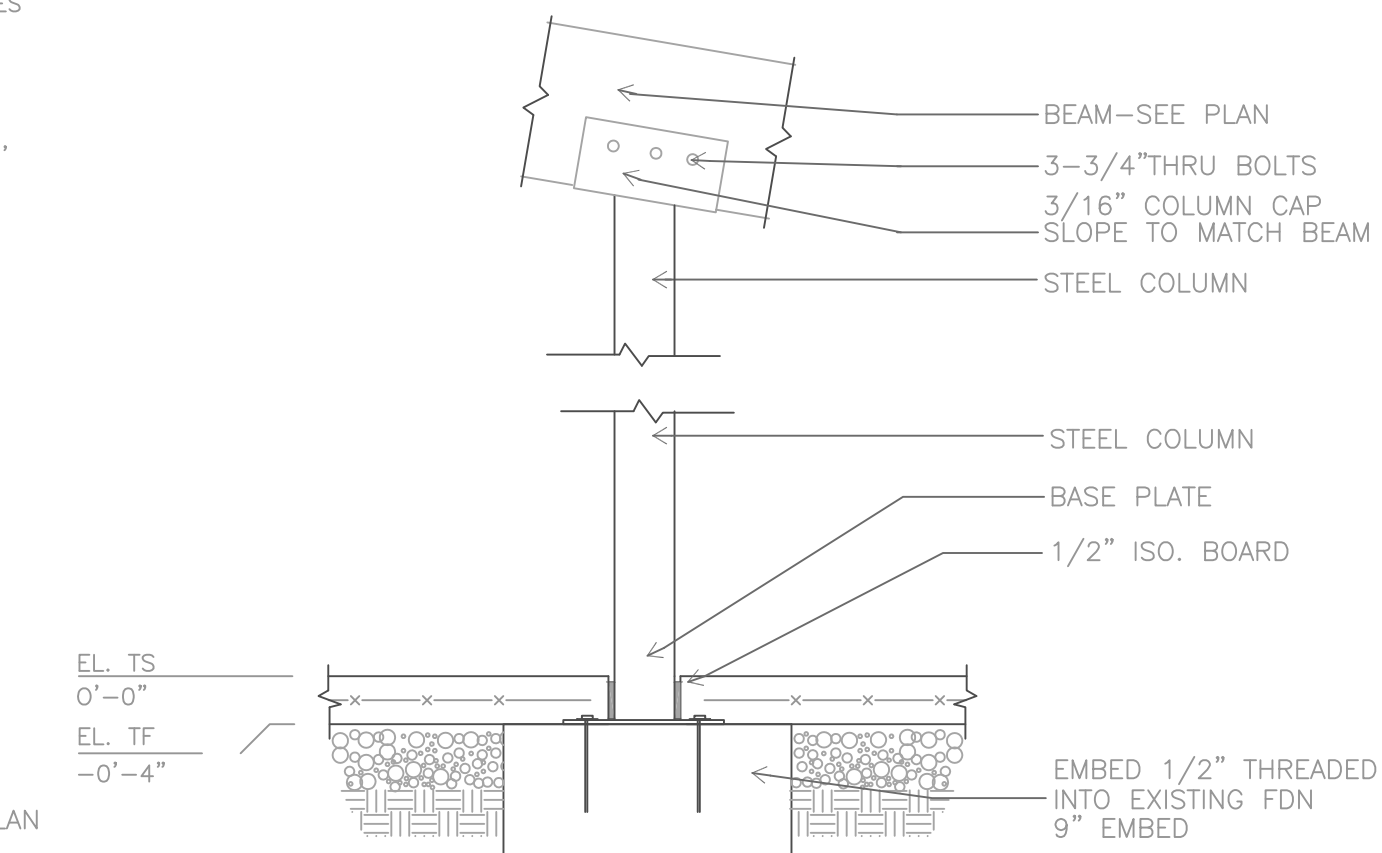
MARK	DIMENSIONS		REINFORCEMENT	REMARKS
	WIDTH	LENGTH		
W1	2'-0"	1'-0"	2 - #5 CONT.	
W2	16" DIA	36"	2 - #5 CONT.	

COLUMN & POST SCHEDULE

MARK	DESCRIPTION	STL COL BASE PLATE	
		WIDTH	LENGTH
C1	6" X 3" TUBE STEEL	15"	15"
C2	5 1/2" DIA. EXTRA STRONG STEEL PIPE	15"	15"
C3	6x6 SPF NO1/2 TREATED POST	6"	6"

STUD WALL CONNECTION

PROVIDE 1/2" DIA. ANCHOR BOLTS AT 6'-0" O.C. ALONG CONCRETE FOUNDATION WALL TO ANCHOR STUD WALL TO FOUNDATION.



2 COLUMN DETAIL
Scale: 3/4"=1'-0"

DESIGN DATA

LIVE LOADS
ROOF=30 psf + DRIFT
FLOOR=100 psf
CORRIDOR=100 psf
MECHANICAL RM=125 psf

SOIL BEARING PRESSURE (ASSUMED - VERIFY DURING CONSTRUCTION) q = 3000 psf

CONCRETE STRENGTHS:
FOOTINGS: f'c = 3000 psi
SLAB ON GRADE: f'c = 4000 psi
MASONRY PIERS (pea gravel): f'c = 3000 psi
BOND BEAMS (pea gravel): f'c = 4000 psi

BEAMS: f'c = 4000 psi

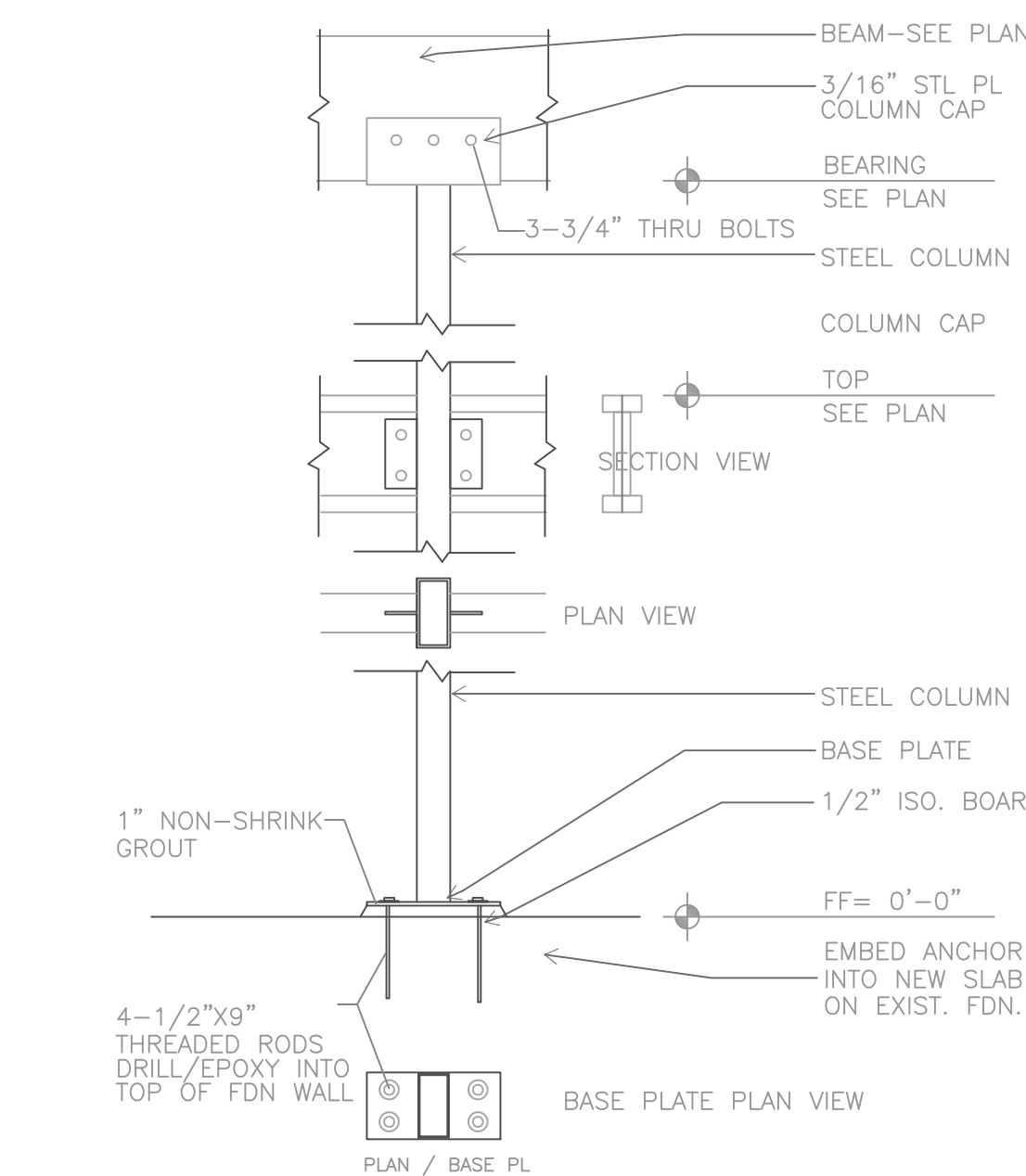
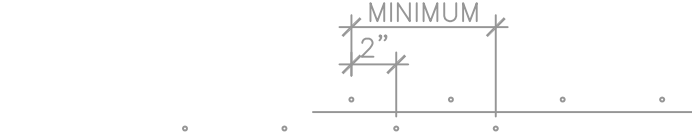
REINFORCING STEEL:
BARS (ASTM A 615, grade 60): fy = 60,000 psi
WF (ASTM A 185): fy = 65,000 psi

STRUCTURAL STEEL:
ANGLES, CHANNELS, PLATES & BARS (ASTM A36): Fy = 36,000 psi
ROUND PIPE: Fy = 36,000 psi
TUBES (ASTM 500 GR B): Fy = 46,000 psi
WF SECTIONS (ASTM A992): Fy = 50,000 psi

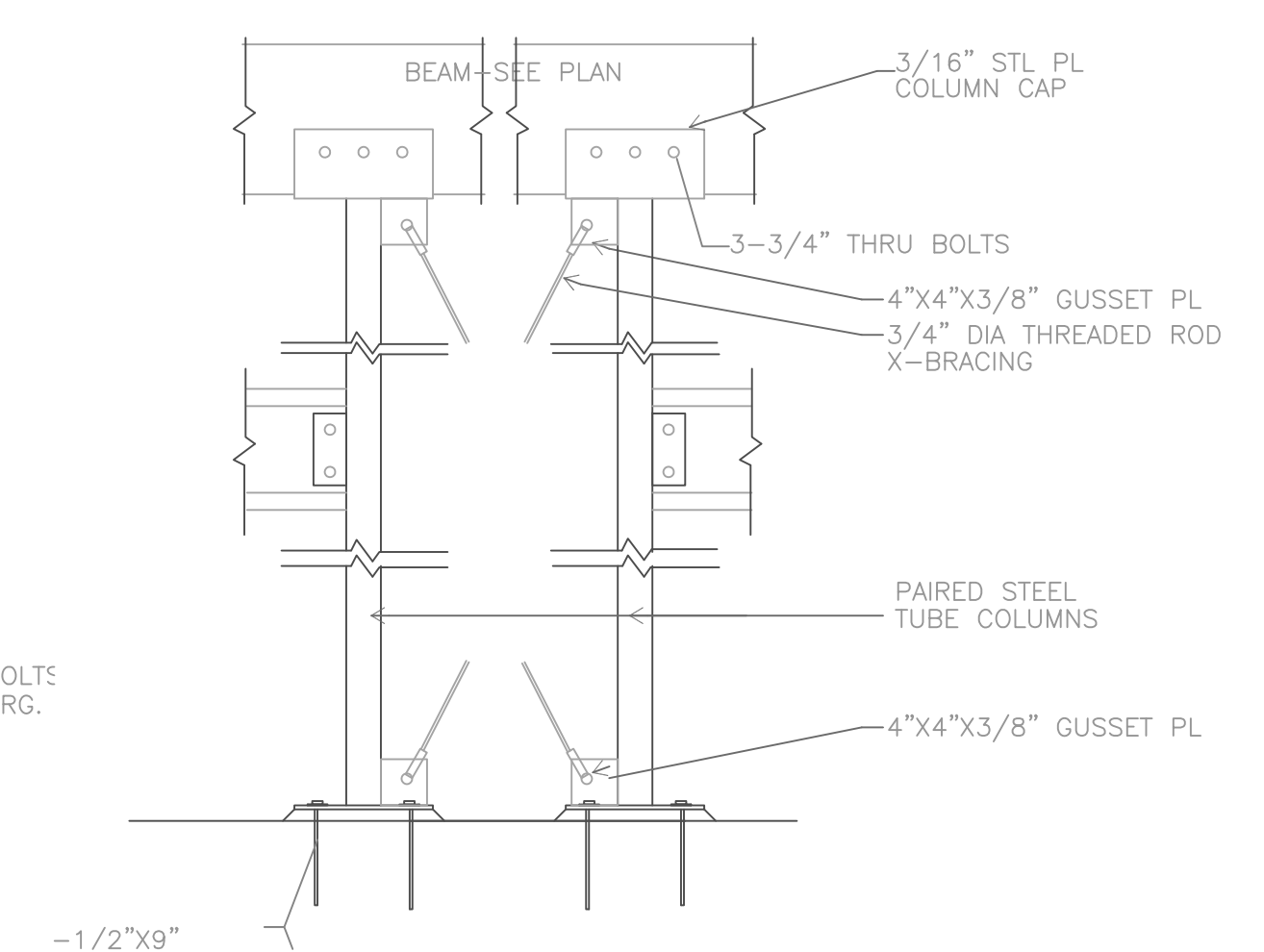
CONCRETE MASONRY UNITS: (ASTM A 90, grade N) f'm = 1800 psi

REINFORCING NOTES

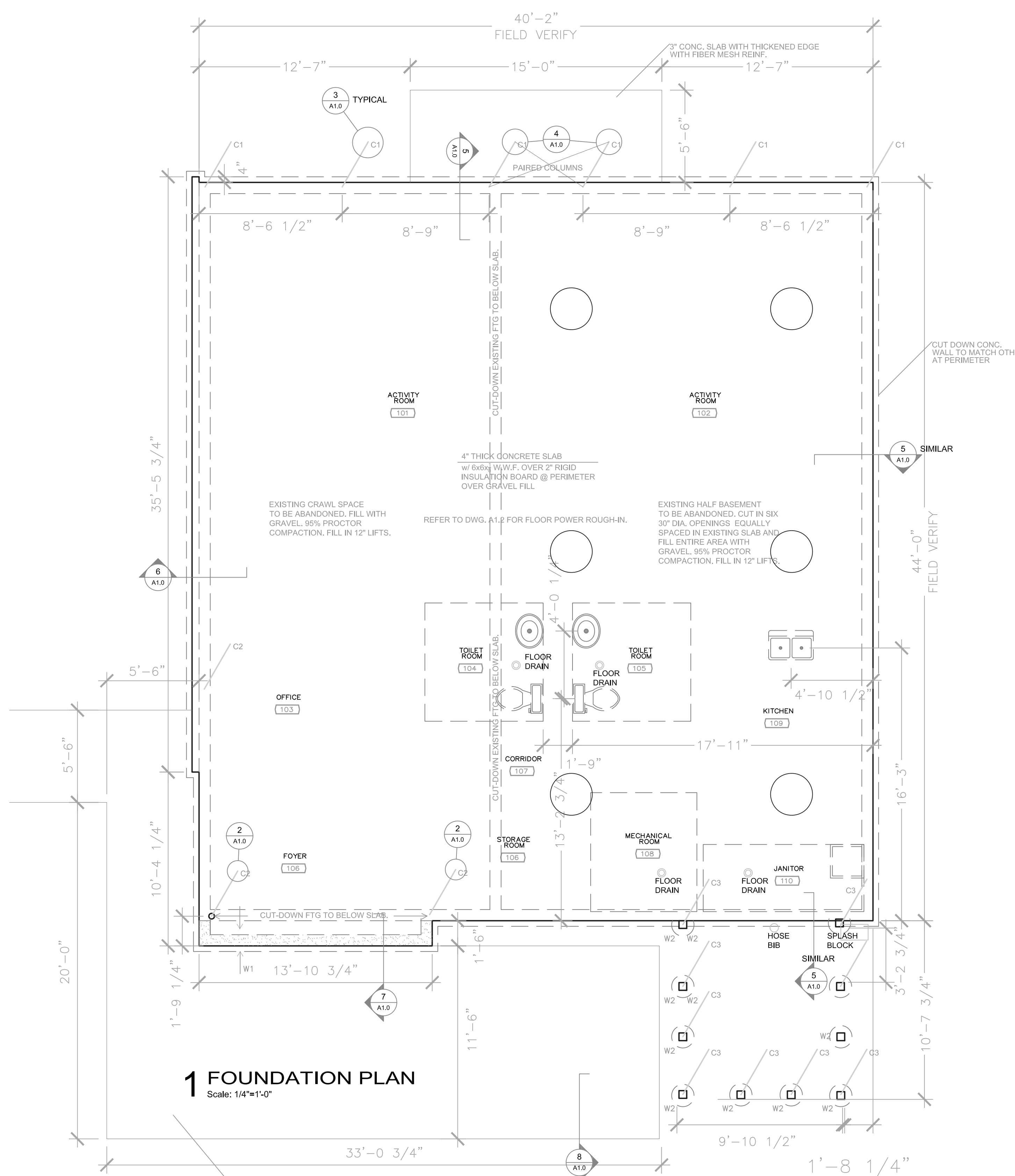
- REINFORCING SHALL BE DETAILED IN ACCORDANCE WITH ACI 318R-80.
- ALL LAPS SHALL BE CLASS 'B' PER ACI 318R-80 UNLESS OTHERWISE NOTED ON THE DESIGN DRAWINGS, OR UNLESS THE DETAILER TAKES SPECIAL CARE TO PROVIDE STAGGERED LAPS. USE TOP BAR LAP LENGTHS FOR ALL HORIZONTAL WALL BARS AND FOR TOP BARS IN SLABS AND BEAMS OVER 14 INCHES DEEP.
- CORNER BARS WITH CLASS 'B' PER 318R-80 LAPS SHALL BE PROVIDED AT ALL WALL CORNERS AND INTERSECTIONS PER ACI 318R-80 FIGURE 11, EXCLUDING TOP CENTER DETAIL.
- HORIZONTAL BARS, EXCEPT FOR CONTINUOUS STRINGS FROM ONE CORNER OF OPENING TO ANOTHER, SHALL BE DETAILED TO SHOW THE DISTANCE FROM AT LEAST ONE END OF THE BAR TO THE NEAREST BUILDING GRID LINE OF WALL.
- PROVIDE MINIMUM COVER PER ACI 318-95, 7.7.1.



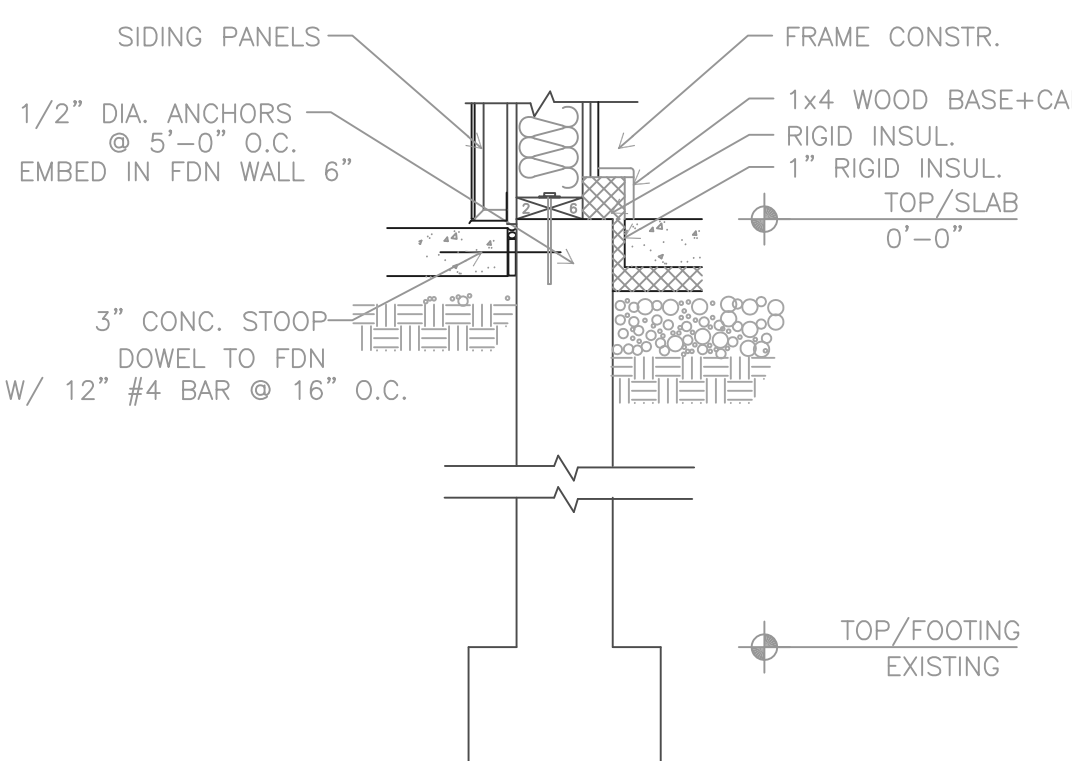
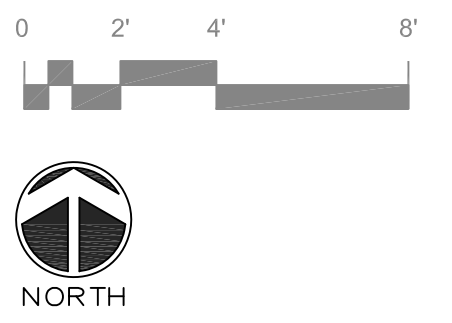
3 COLUMN DETAIL
Scale: 3/4"=1'-0"



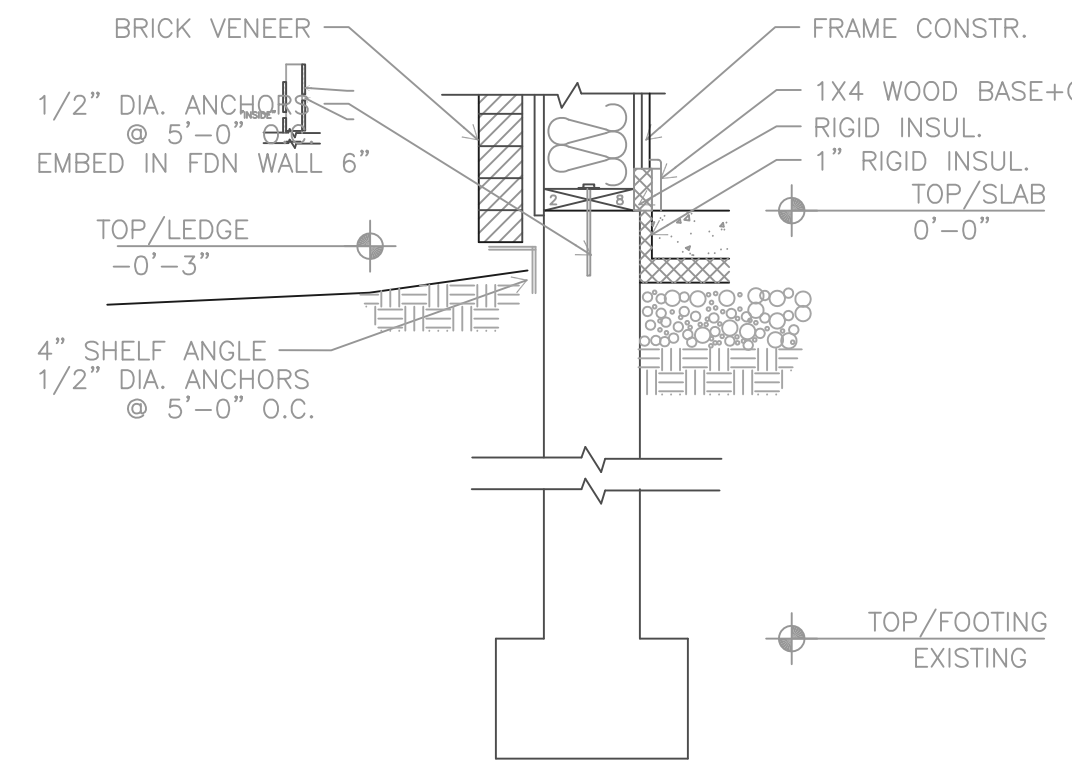
4 PAIRED COLUMN DETAIL
Scale: 3/4"=1'-0"



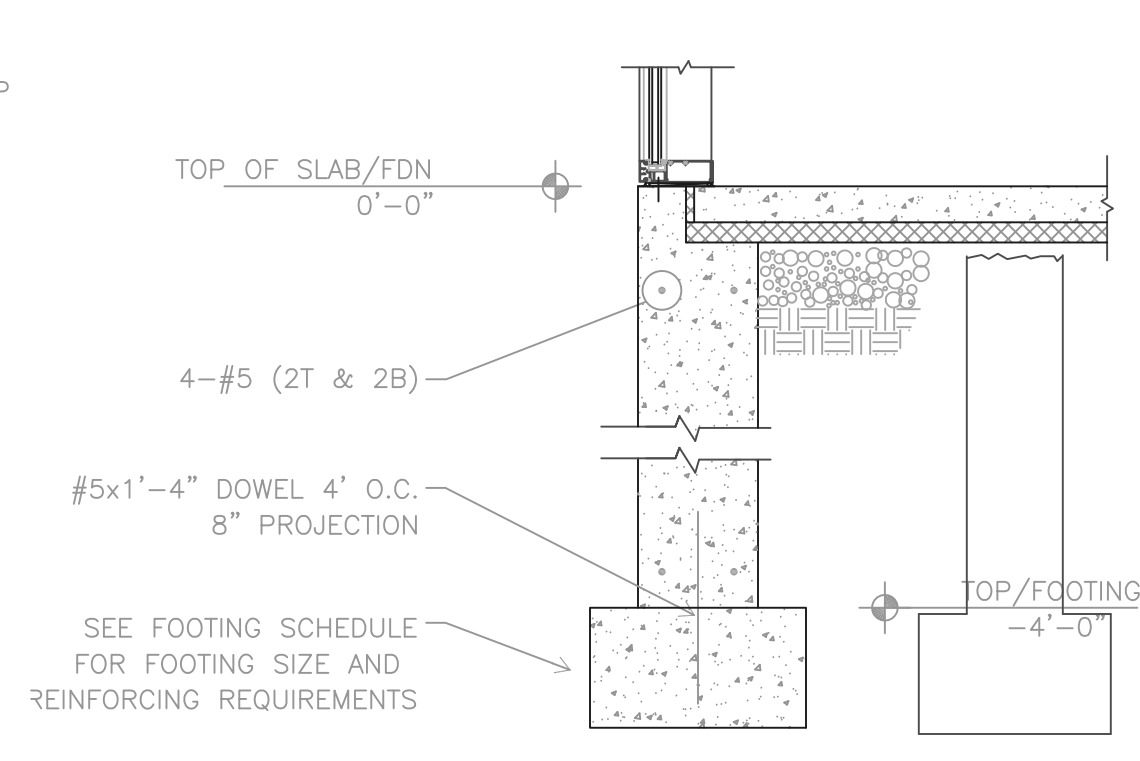
1 FOUNDATION PLAN
Scale: 1/4"=1'-0"



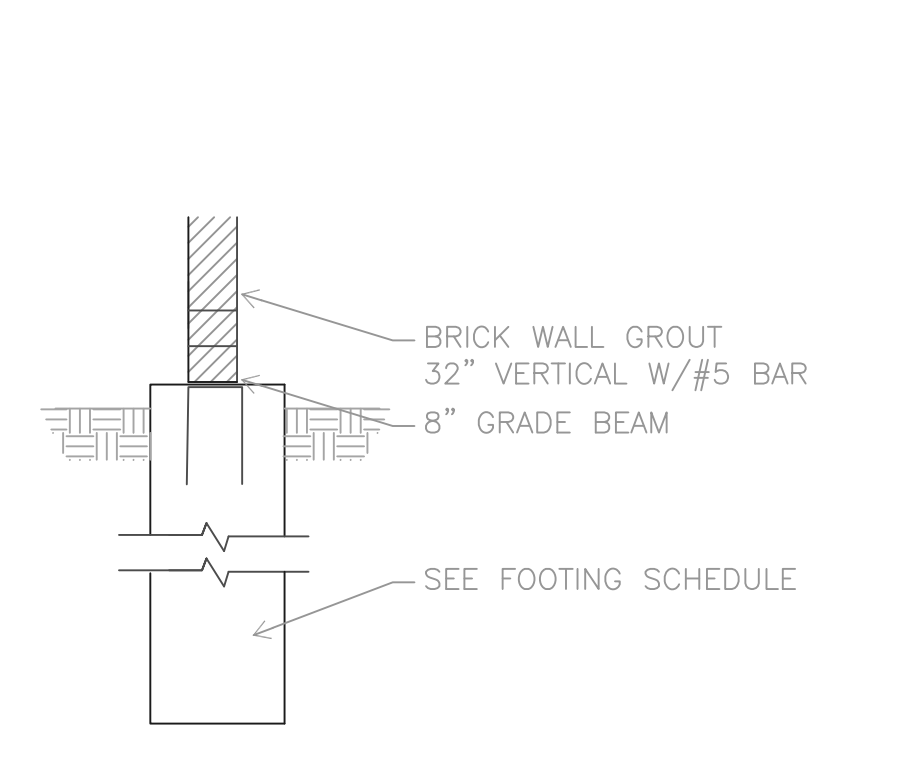
5 FOOTING DETAIL
Scale: 3/4"=1'-0"



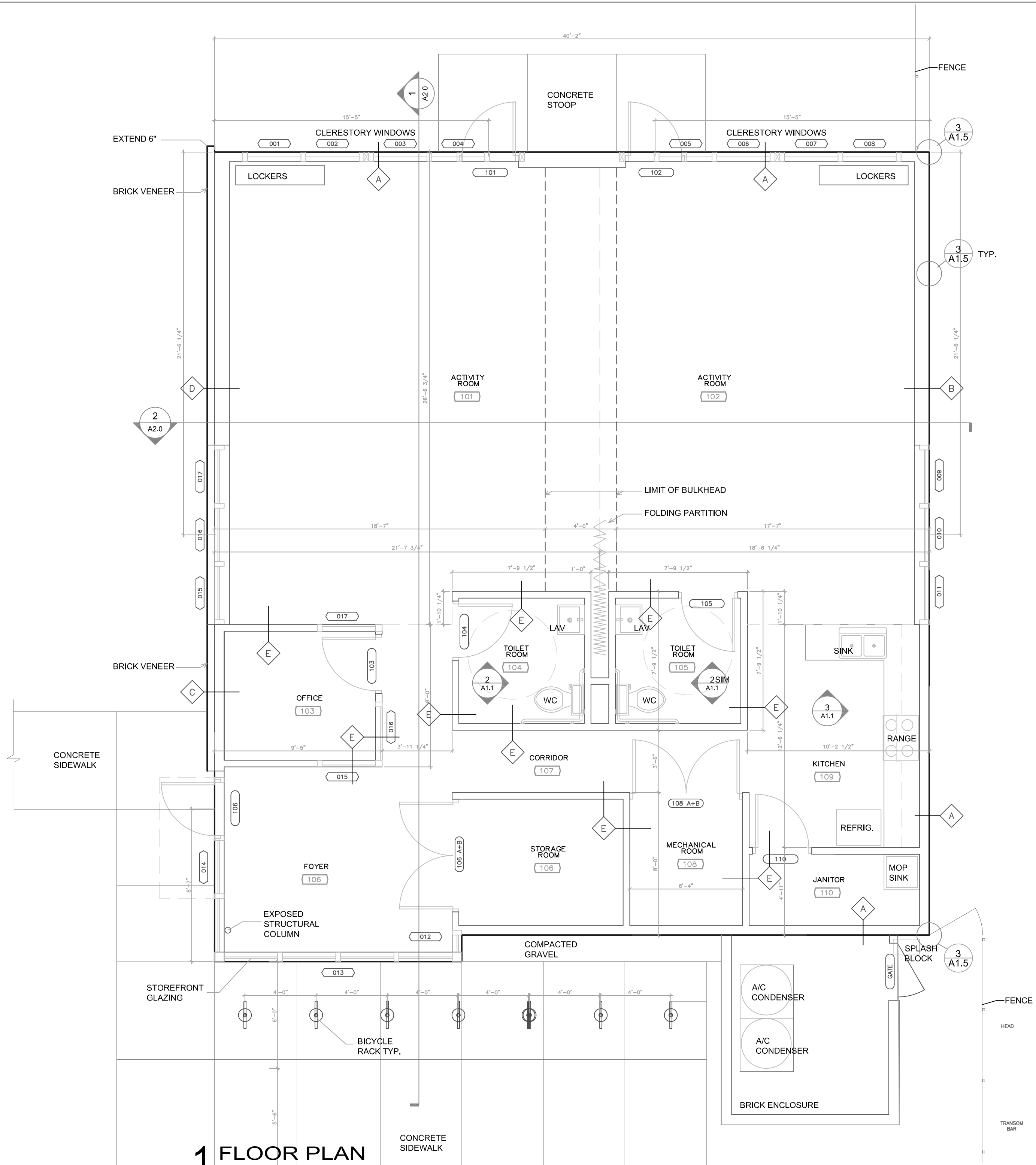
6 FOOTING DETAIL @ BRICK
Scale: 3/4"=1'-0"



7 NEW FOOTING DETAIL
Scale: 3/4"=1'-0"



8 ENCLOSURE DETAIL
Scale: 3/4"=1'-0"



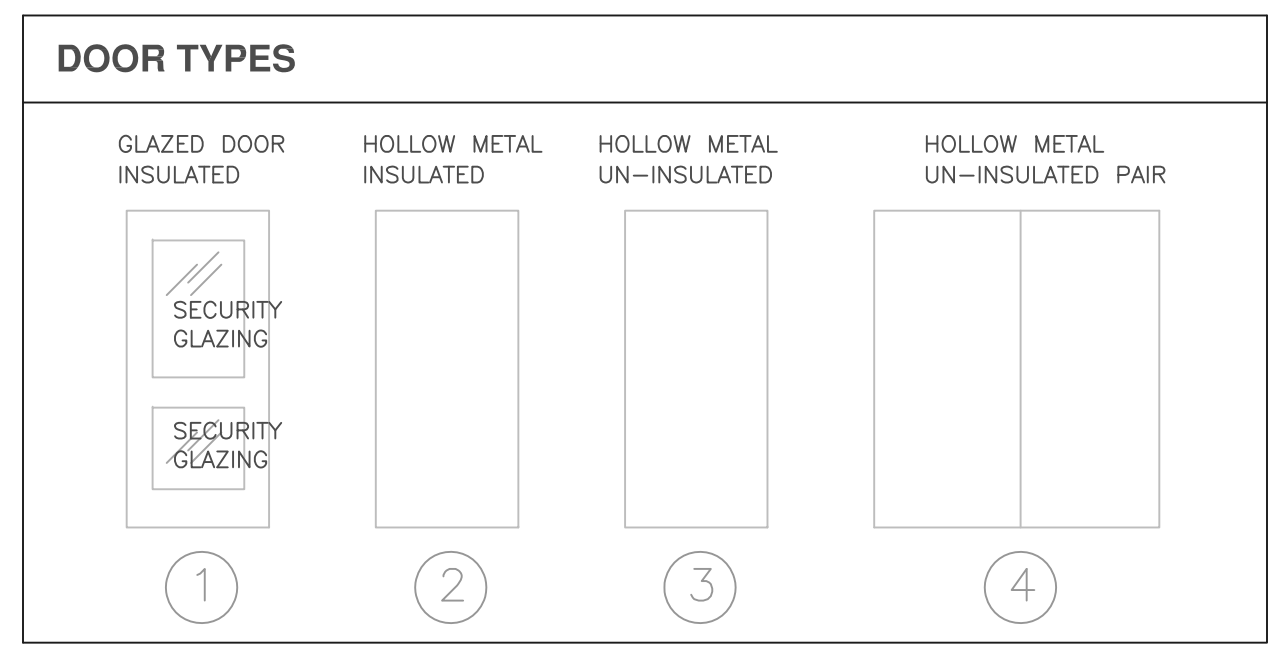
DOOR SCHEDULE

DOOR #	SIZE	TYPE	HARDWARE FUNCTION	NOTES
101	36" X 80" X 1 3/4"	2	EM. EGRESS	EGRESS ONLY-- PUSH BAR
102	36" X 80" X 1 3/4"	2	EM. EGRESS	EGRESS ONLY-- PUSH BAR
103	36" X 80" X 1 3/4"	3	OFFICE	
104	36" X 80" X 1 3/4"	3	PRIVACY	ADA TOILET
105	36" X 80" X 1 3/4"	3	PRIVACY	ADA TOILET
106	36" X 80" X 1 3/4"	1	ENTRANCE	SEE DETAIL: 6/A1.1
106A+B	36" X 80" X 1 3/4"	4	STORAGE	SECURED
108A+B	36" X 80" X 1 3/4"	4	STORAGE	
110	36" X 80" X 1 3/4"	3	OFFICE	
GATE	36" X 72" X 1"		HASP/LATCH	

TYPICAL DETAILS: 7/A1.1 U.N.O.

WINDOW SCHEDULE

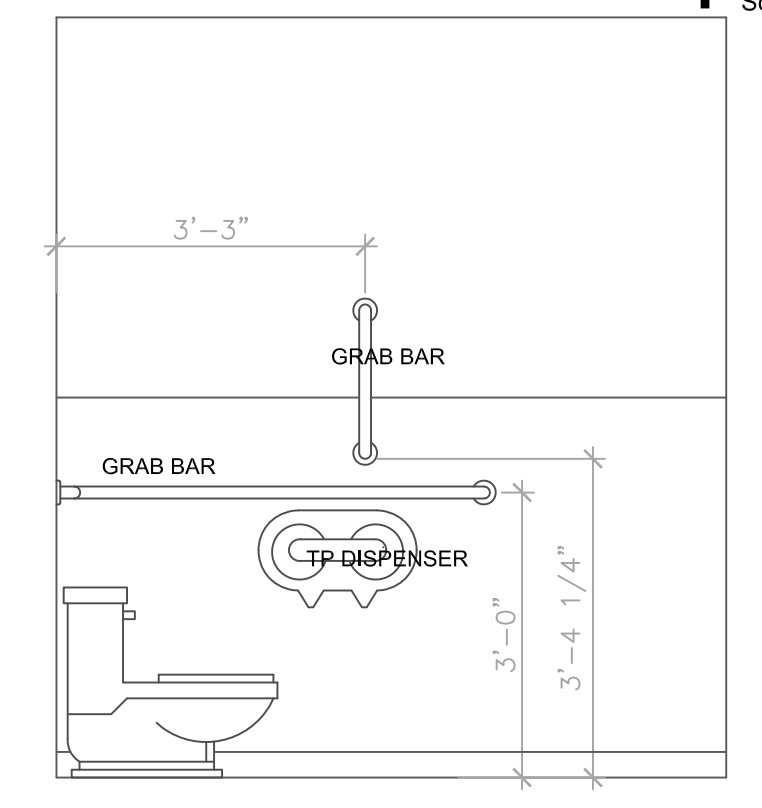
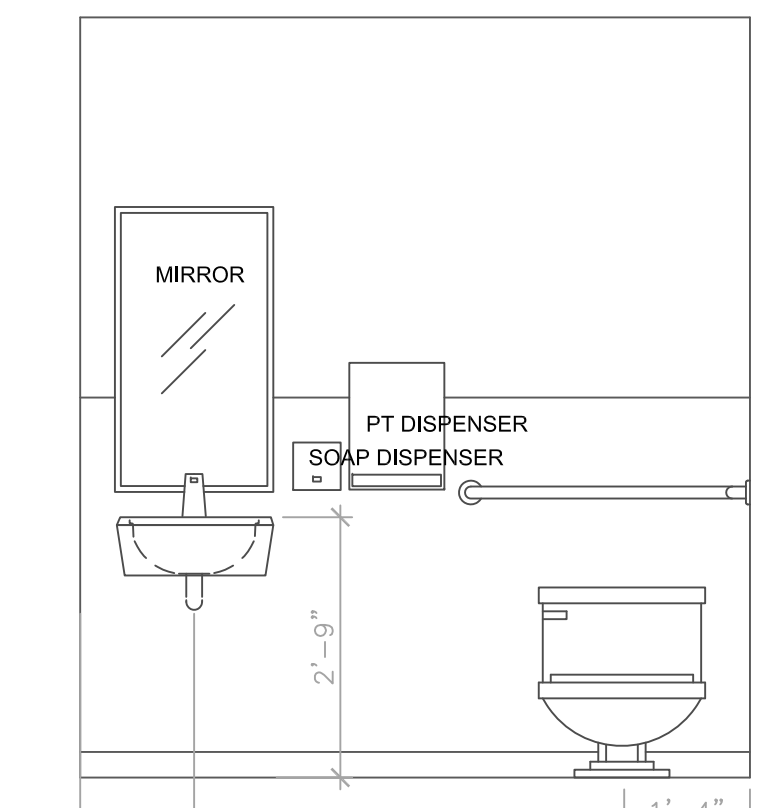
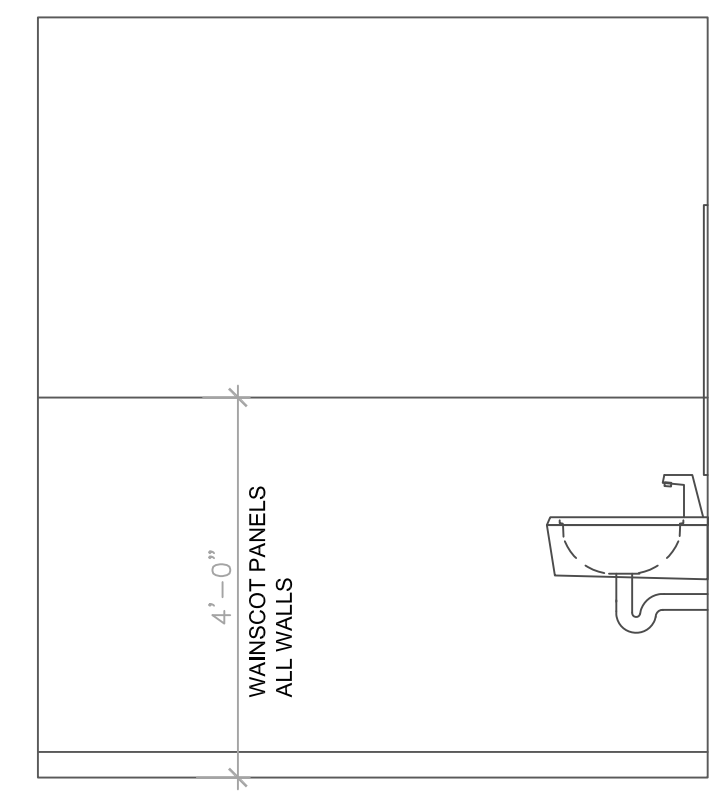
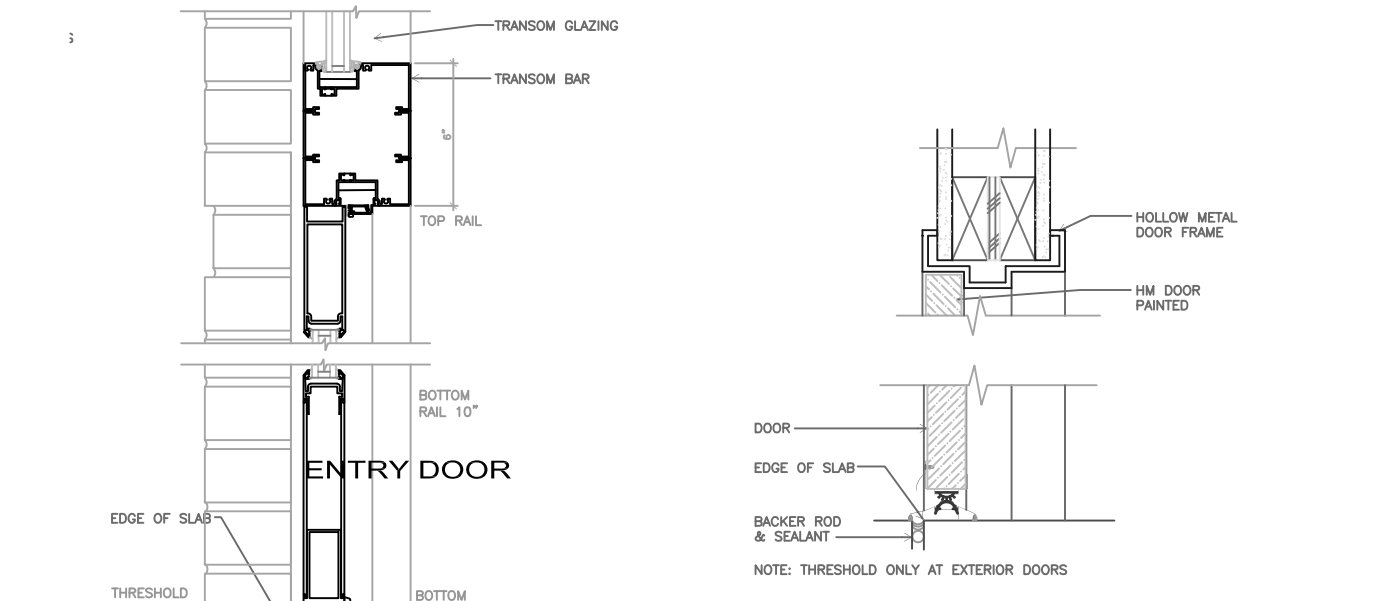
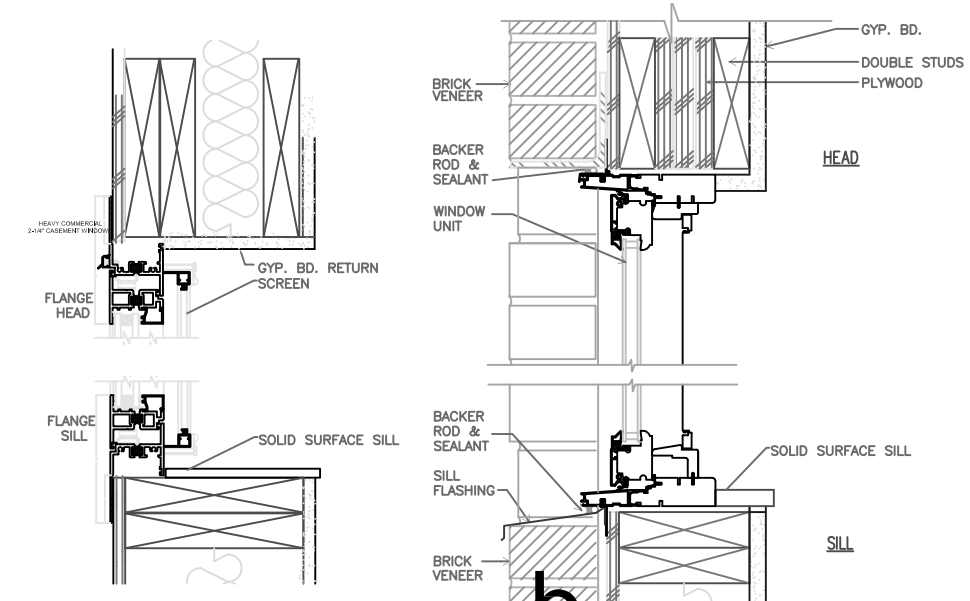
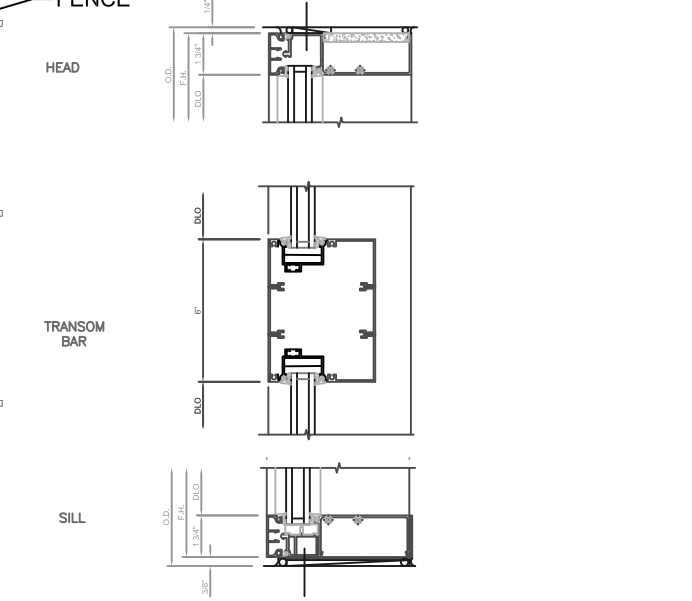
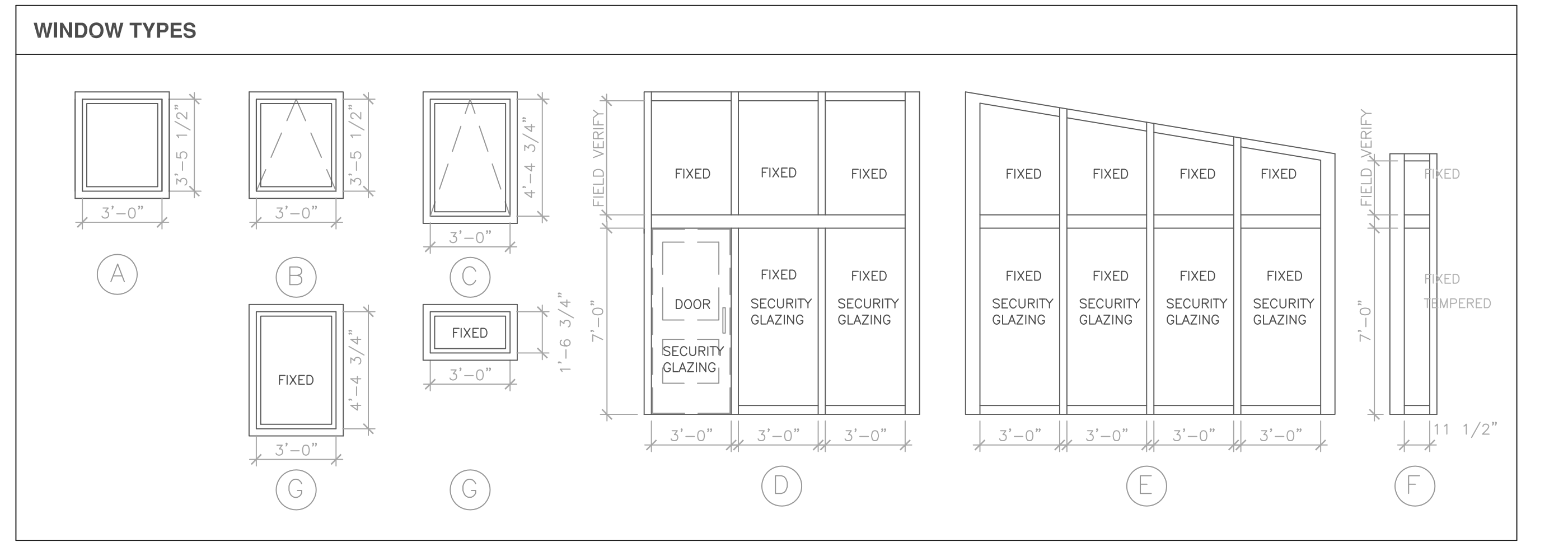
WINDOW #	DESCRIPTION	TYPE	HEAD/SILL	JAMB	REMARKS
001	FIXED	A	5a/A1.1	SIM.	CLERESTORY
002	FIXED	A	5a/A1.1	SIM.	CLERESTORY
003	AWNING	B	5a/A1.1	SIM.	CLERESTORY--access with ladder
004	FIXED	A	5a/A1.1	SIM.	CLERESTORY
005	FIXED	A	5a/A1.1	SIM.	CLERESTORY
006	AWNING	B	5a/A1.1	SIM.	CLERESTORY--access with ladder
007	FIXED	A	5a/A1.1	SIM.	CLERESTORY
008	FIXED	A	5a/A1.1	SIM.	CLERESTORY
009	AWNING	C	5a/A1.1	SIM.	
010	AWNING	C	5a/A1.1	SIM.	
011	AWNING	C	5a/A1.1	SIM.	
012	FIXED	F	4/A1.1	4/A1.1	STOREFRONT
013	FIXED	E	4/A1.1	4/A1.1	STOREFRONT
014	FIXED	D	4/A1.1	4/A1.1	STOREFRONT
015	FIXED	C	5b/A1.1	SIM.	
016	FIXED	C	5b/A1.1	SIM.	
017	FIXED	C	5b/A1.1	SIM.	



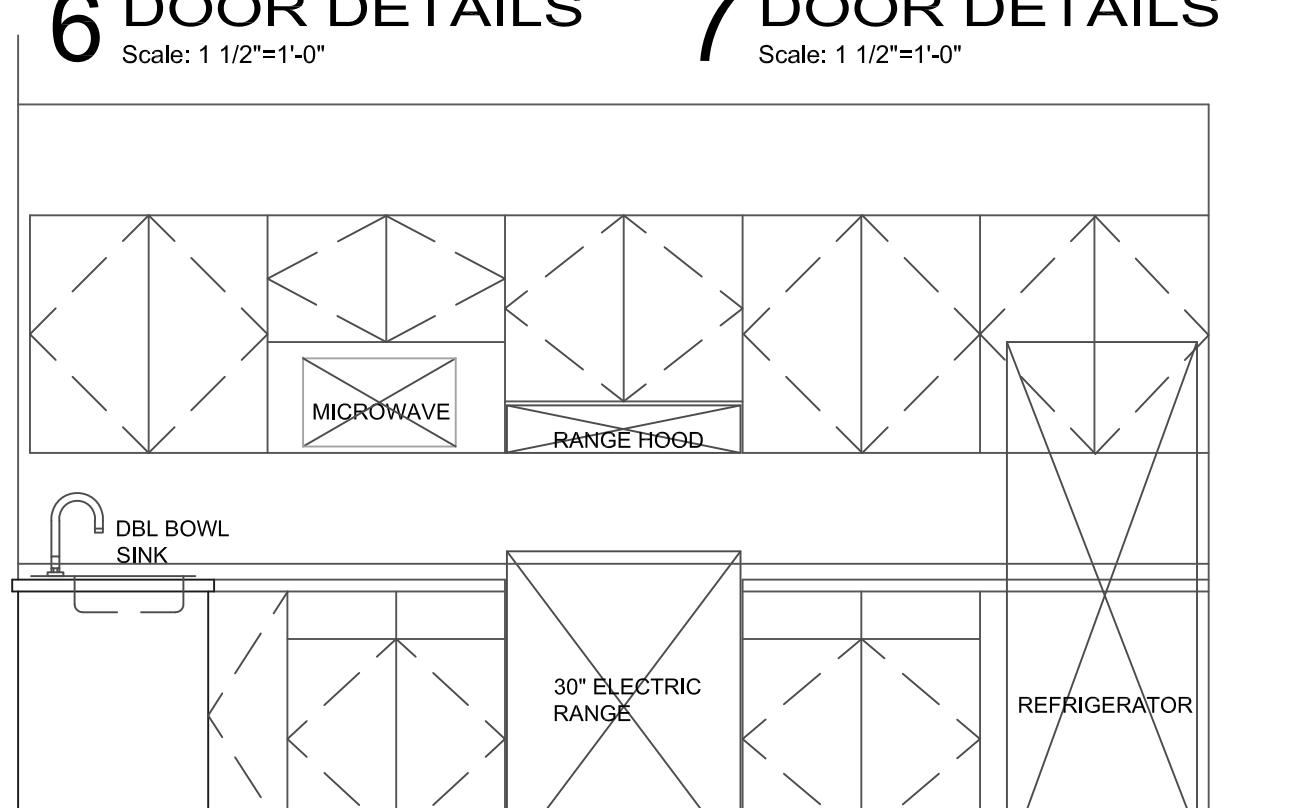
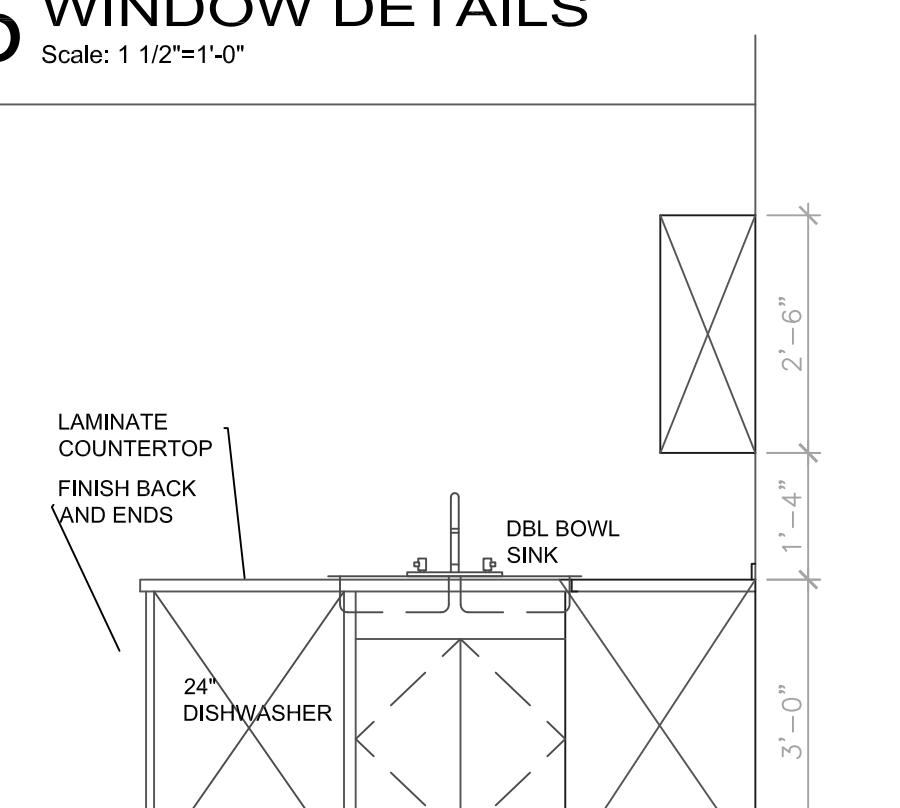
ROOM FINISH SCHEDULE

ROOM #	CEILING	WALLS	BASE	FLOOR	REMARKS
101	GYP+PAINT	GYP+PAINT	WOOD	RESILIENT SHEET	
102	GYP+PAINT	GYP+PAINT	WOOD	RESILIENT SHEET	
103	GYP+PAINT	GYP+PAINT	WOOD	RESILIENT SHEET	
104	GYP+PAINT	GYP+PAINT	VINYL	RESILIENT SHEET	WAINSCOT PANELS
105	GYP+PAINT	GYP+PAINT	VINYL	RESILIENT SHEET	WAINSCOT PANELS
106	GYP+PAINT	GYP+PAINT	VINYL	SEALED CONC.	
107	GYP+PAINT	GYP+PAINT	VINYL	RESILIENT SHEET	
108	GYP+PAINT	GYP+PAINT	VINYL	SEALED CONC.	
109	GYP+PAINT	GYP+PAINT	VINYL	RESILIENT SHEET	
110	GYP+PAINT	GYP+PAINT	VINYL	SEALED CONC.	WAINSCOT PANELS

NOTE: DO NOT PAINT EXPOSED DUCTWORK.



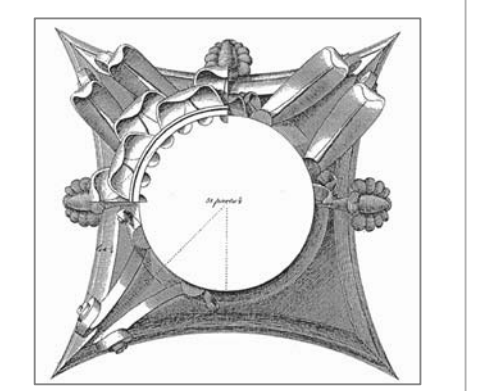
2 TOILET 104 - ELEVATIONS / 105 SIMILAR
Scale: 1/2"=1'-0"



3 KITCHEN 109 - ELEVATIONS
Scale: 1/2"=1'-0"

ISTHMUS
ARCHITECTURE, INC.

613 Williamson Street
Suite 203
Madison, WI 53703
Phone: 608.294.0206
Fax: 608.294.0207



This work was prepared by me or under my supervision and certification as the Supervisor of construction is defined in Section 1.203 of the Rules & Regulations of the Board of Professional Engineers, Architects and Surveyors of the State of Wisconsin.

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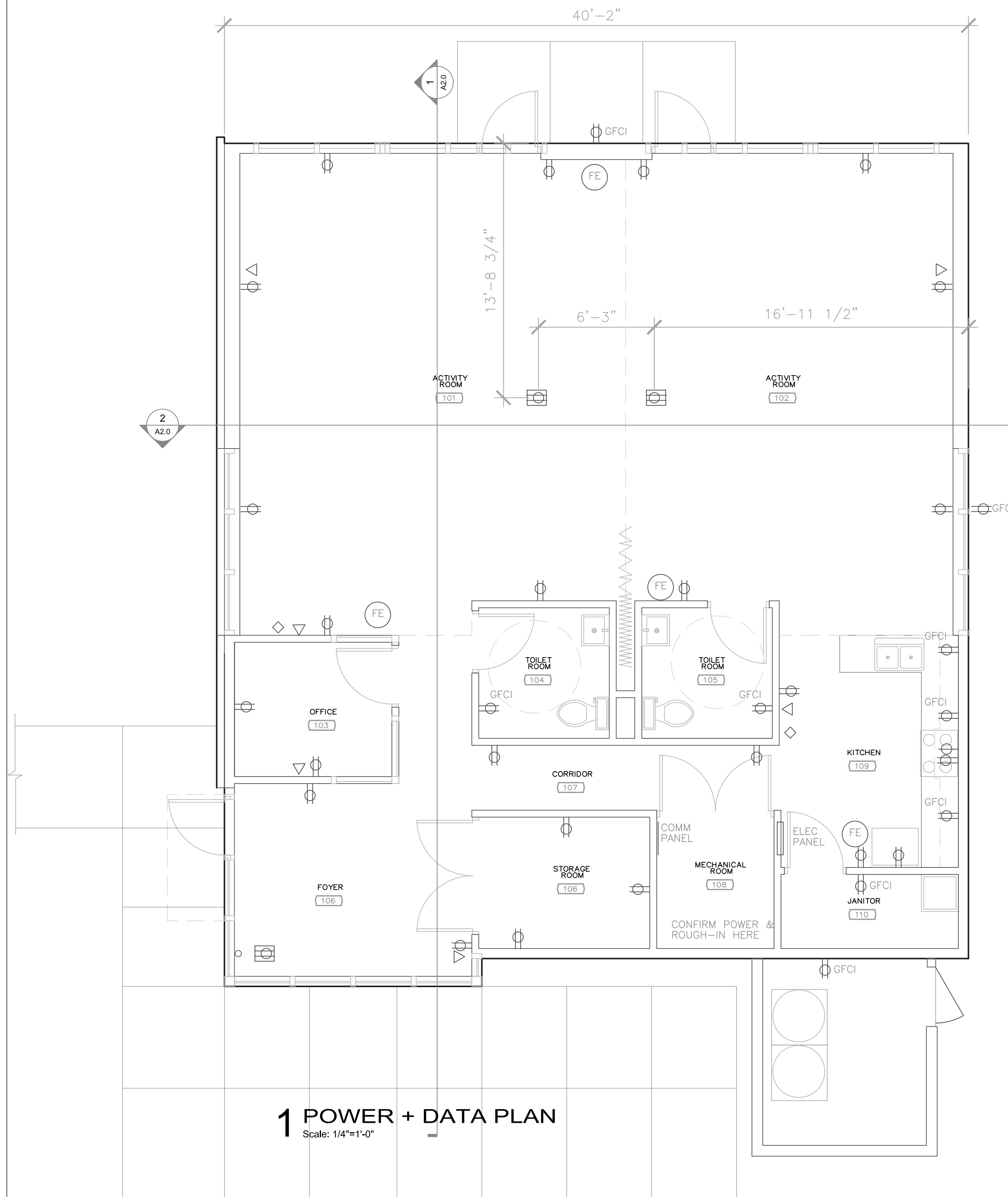
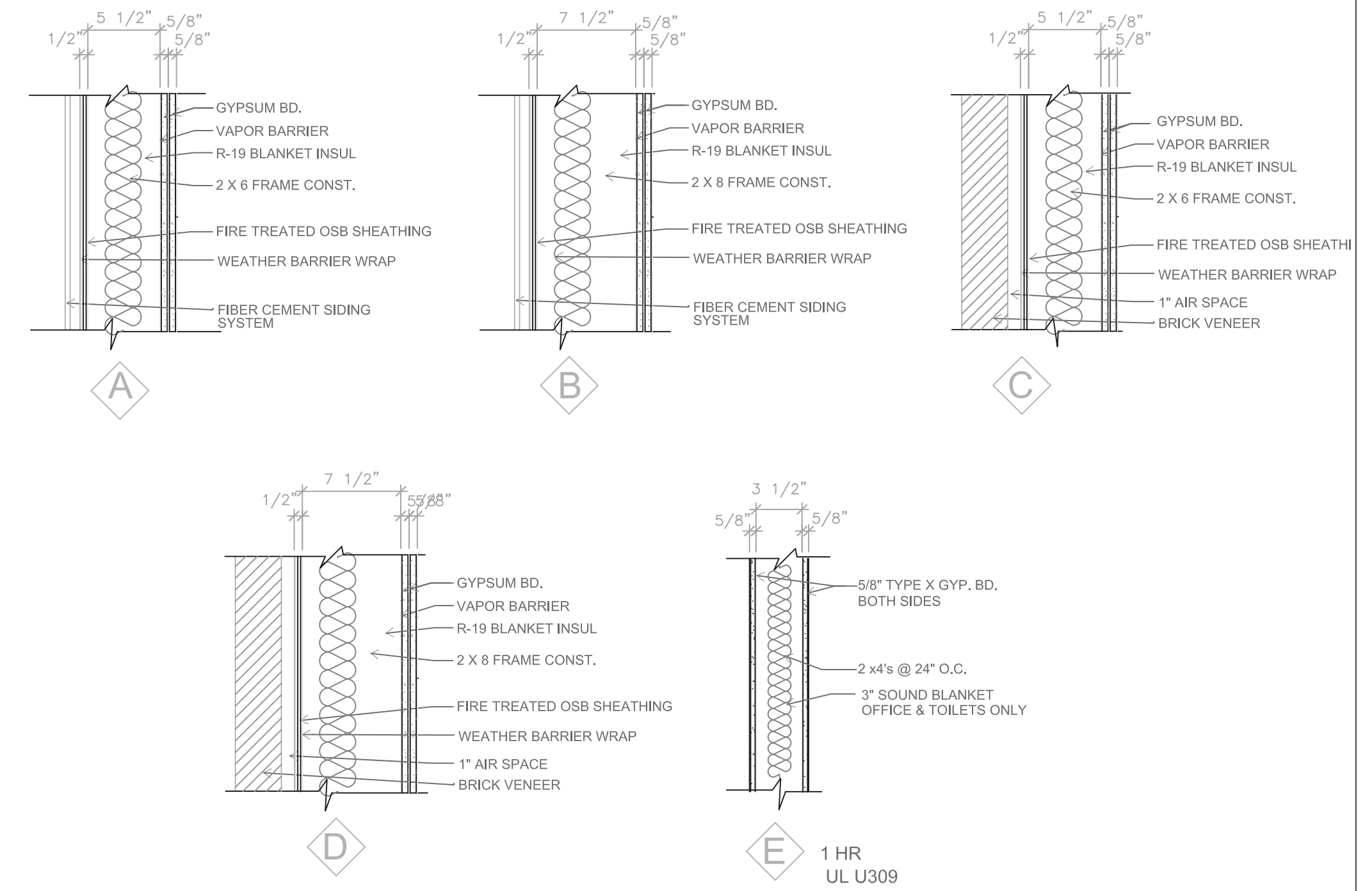
Proj. No.: 1404.01
Scale:
Drawn By: pr
Date: 06-11-2014
Rebid Date:
Rev. Date:
FLOOR PLAN
SCHEDULES, DETAILS
Sheet Title

Sheet No:
A1.1

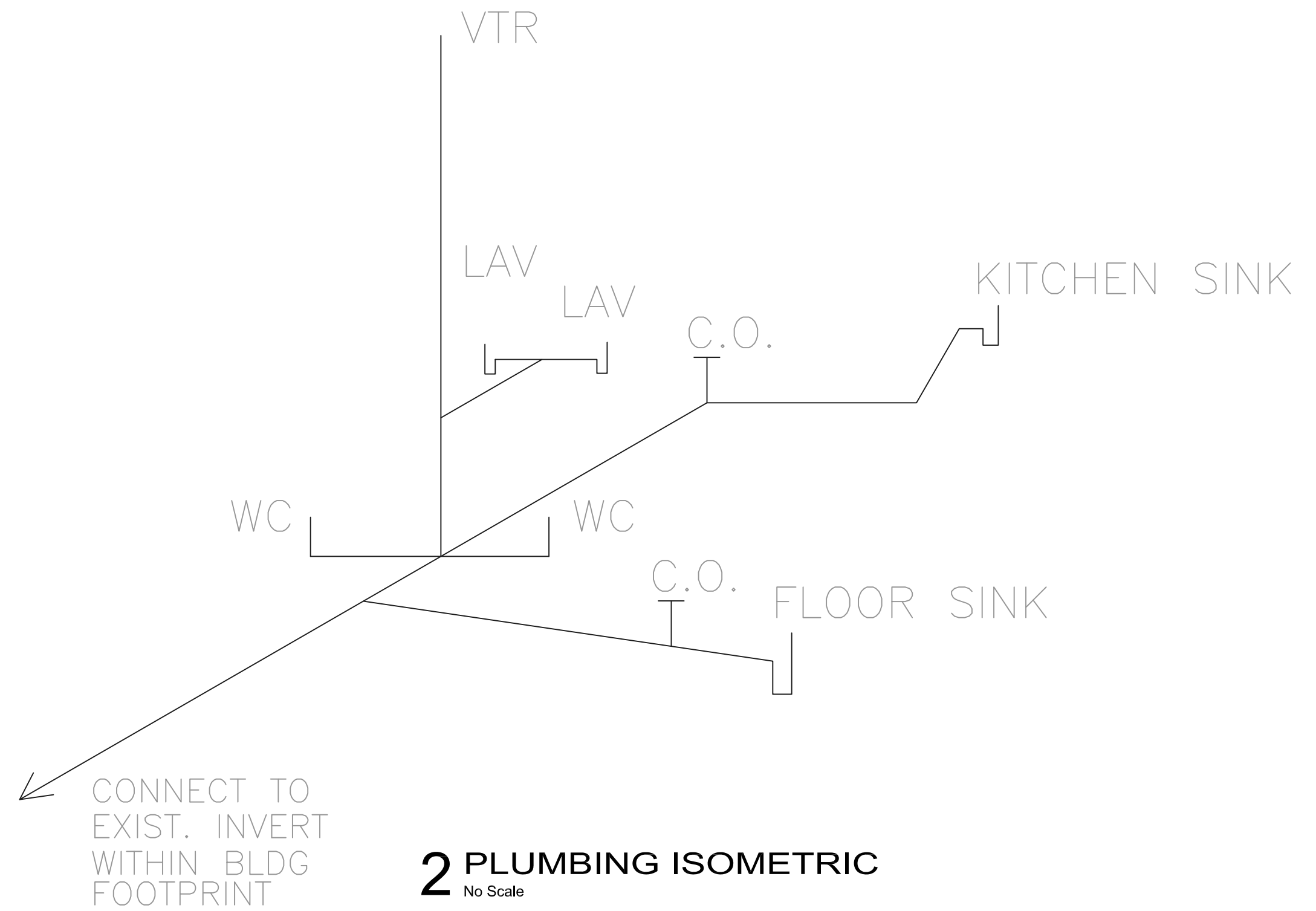
ELECTRICAL / POWER / DATA SYMBOLS

-  WALL MOUNTED DUPLEX RECEPTACLE
-  WALL MOUNTED DUPLEX RECEPTACLE WITH GROUND FAULT PROTECTION
-  IN-FLOOR DUPLEX RECEPTACLE
-  240v RANGE RECEPTACLE
-  COMM/DATA JACK
-  THERMOSTAT
-  FIRE EXTINGUISHER

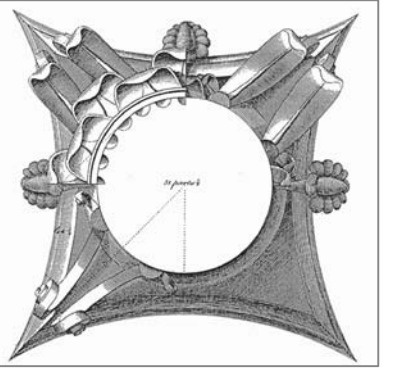
WALL TYPES



1 POWER + DATA PLAN
Scale: 1/4"=1'-0"



2 PLUMBING ISOMETRIC
No Scale



This work was prepared for me or under my supervision, and construction of this project will be under my supervision. Supervision of construction is defined in Section 1.201 of the Rules & Regulations of the Board of Professional Engineers, Architects and Surveyors of the State of Wisconsin.

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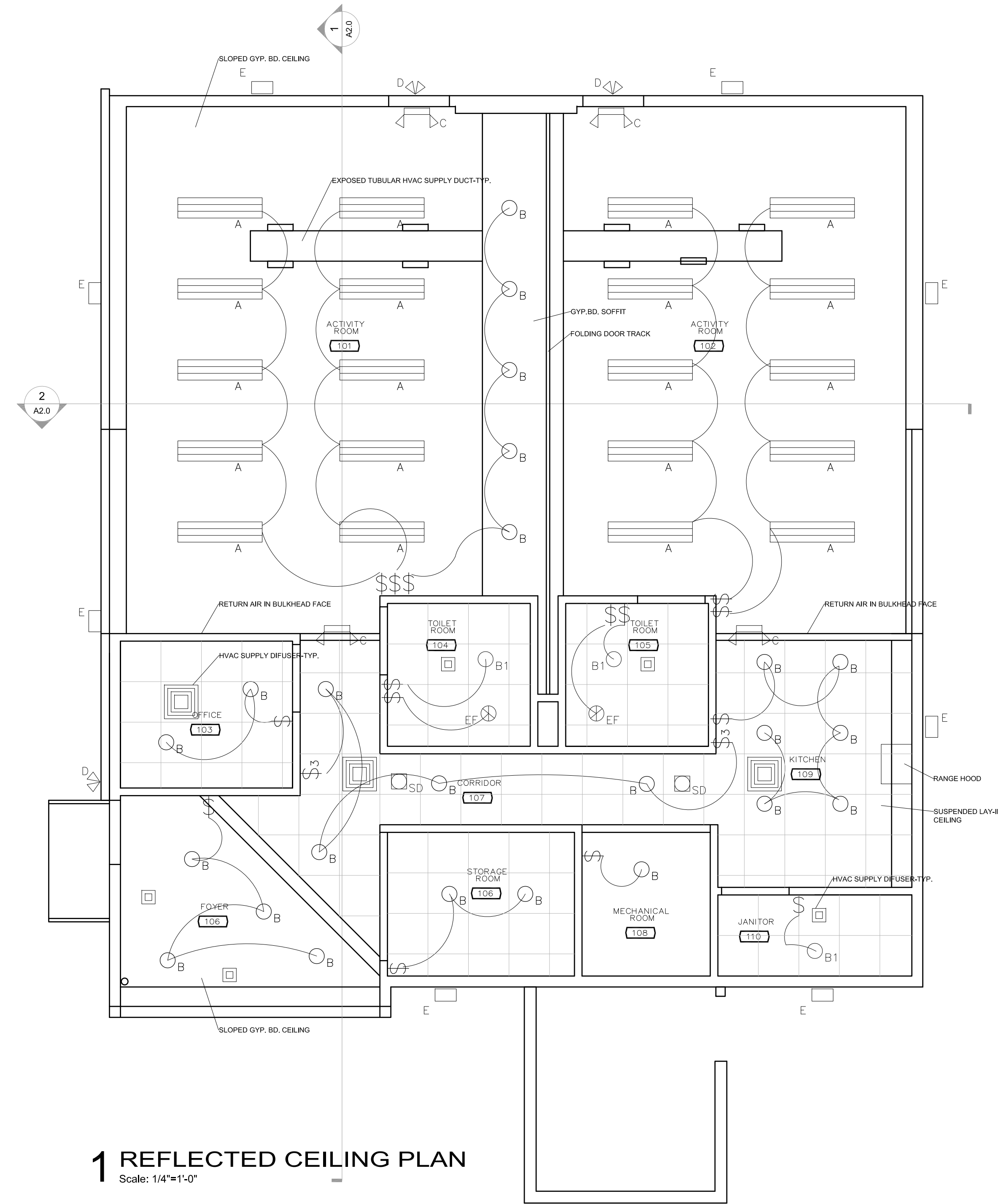
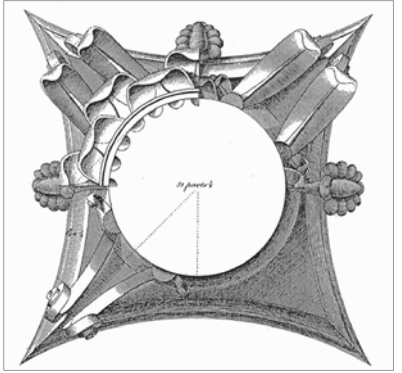
Rebid Date:

Rev. Date:

POWER + DATA PLAN
WALL TYPES
PLUMBING ISOMETRIC
Sheet Title

Sheet No:

A1.2



1 REFLECTED CEILING PLAN
Scale: 1/4"=1'-0"

ELECTRICAL / POWER / DATA SYMBOLS

- A SUSPENDED UP/DN LIGHT
- B TYP. RECESSED CAN WITH BLACK BAFFLE
- B1 TYP. RECESSED FIXTURE FOR WET AREAS
- C ILLUM EXIT SIGN W/EMERGENCY
- D BUILDING EXTERIOR - WALL MOUNT
- E EXTERIOR WALL MOUNT
- EF RECESSED CEILING MOUNT EXHAUST FAN
- SD CEILING MOUNTED SMOKE DETECTOR
- \$ SWITCH
- \$3 THREE-WAY SWITCH
- ⊕ WALL MOUNTED DUPLEX RECEPTACLE

NOTES:

THESE DRAWINGS INDICATE NEW WORK/DEVICE LOCATIONS ONLY.
ALL SWITCHES ARE MOUNTED AT 44" UNLESS OTHERWISE NOTED.
SWITCHES ACCOMPANIED BY OUTLET ARE TO HAVE ONE BOX WITH SWITCH/OUTLET COMBINATION PLATE.
GANG BOXES TOGETHER WHENEVER POSSIBLE.
EXTERIOR LIGHTING FIXED TO BLDG. TO BE CONTROLLED BY PHOTOCCELL.
FIRE SPRINKLER PIPING IS TO RUN CONCEALED IN PUBLIC AREAS.

This work was prepared by me or under my supervision, and construction of this project will be under my supervision. Supervision of construction is defined in Section 1.000 of the Rules & Regulations of the Board of Professional Engineers, Architects and Surveyors of the State of Wisconsin.
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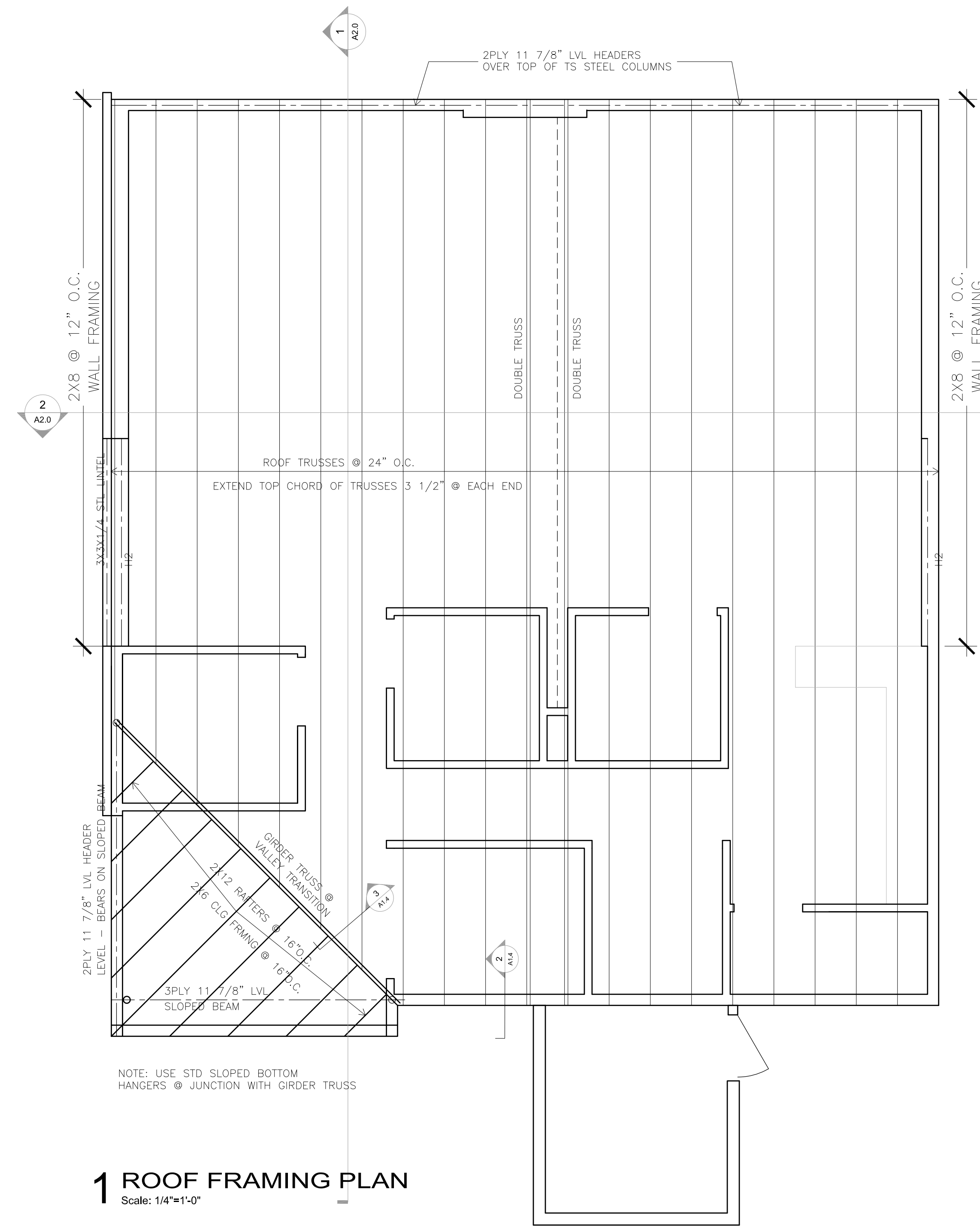
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Community Development Division

Proj. No.:	1404.01
Scale:	
Drawn By:	pr
Date:	06-11-2014
Rebid Date:	
Rev. Date:	

REFLECTED CEILING PLAN + LIGHTING
Sheet Title

Sheet No:
A1.3



1 ROOF FRAMING PLAN
Scale: 1/4"=1'-0"

ROOF TRUSS DESIGN LOADS

- 1.) ALL TRUSSES SHALL BE DESIGNED FOR A MINIMUM OF 38 PSF LIVE LOAD PLUS 20 DEAD LOAD (10 TOP CHORD, 10 BOTTOM CHORD) + APPLICABLE SNOW DRIFT PER 18C 2000 & WISCONSIN ADMIN. CODE.
- 2.) ALL TRUSSES SHALL BE DESIGNED FOR A MINIMUM UPLIFT OF 20 PSF OVER INTERIOR SPACES AND 30 PSF AT EXTERIOR CANOPIES AND SOFFITS (MINUS 10 PSF TOTAL DEAD LOAD).
- 3.) OTHER LIVE LOADS SHOWN ON THESE DRAWINGS ARE IN ADDITION TO THOSE LISTED ABOVE.

ROOF TRUSS BRACING NOTES

- 1.) ALL BRACING SHOWN OR DESCRIBED SHALL BE MINIMUM 2x4 WITH (2) - 16d IN EVERY TRUSS IT CROSSES.
- 2.) ALL TRUSS TOP CHORDS SHALL BE CONTINUOUSLY BRACED BY THE ROOF DECKING.
- 3.) ALL TRUSS WEB MEMBERS SHALL BE BRACED @ 4'-0" O.C. UNLESS CALCULATIONS SHOW OTHERWISE.
- 4.) ALL HORIZONTAL BRACING SHALL BE STIFFENED @ 20'-0" O.C. WITH:
A 5/8" PLYWOOD SHEET EXTENDED TO ROOF DECK OR SHEAR WALL.
- 5.) ALL TRUSS BOTTOM CHORDS SHALL BE BRACED @ 6'-0" O.C. UNLESS CALCULATIONS SHOW OTHERWISE. CONTINUOUS SHEETING APPLIED TO BOTTOM CHORD WILL SATISFY THIS BRACING REQUIREMENT.

HEADER/BEAM SCHEDULE

HEADER	TYPE	S _x	END REACTIONS OR POST SIZE
H1	2 - 2x10 NO.2 SPF	42	2-2x6
H2	2 - 2x12 NO.2 SPF	63.28	2-2x6
H3	3 - 2X10 LVL	64.1	2-2x6
H4	3 - 2X12	94.9	2-2x6

FRAMING NOTES

- 1.) FRAMING MEMBERS:
VERTICAL MEMBERS:
KD, 15% MOISTURE CONTENT OR LESS
- 2.) TOP & BOTTOM PLATES OF STUD WALLS SHALL BE SAME GRADE AS STUDS. FIRST FLOOR TOP PLATES SHALL BE DOUG FIR LARCH OR SOUTHERN YELLOW PINE SPECIES. BOTTOM PLATE AT SLAB SHALL BE TREATED SOUTHERN YELLOW PINE.
- 3.) USE JOIST HANGERS DESIGNED FOR GIVEN MEMBER SIZE TO SUPPORT ALL JOISTS/HEADERS FRAMING INTO SIDES OF OTHER MEMBERS.
- 4.) PLYWOOD SHALL BE ATTACHED TO ALL WIND SHEAR WALLS & CORRIDOR WALLS WITH WALL BOARD @ 7" O.C. WITH 5d NAILS IN 1/2" GYPSUM AND 6d NAILS IN 5/8" GYPSUM.
- 5.) 1/2" APA RATED OSB OR PLYWOOD SHALL BE ATTACHED TO THE TOP CHORD OF ROOF TRUSSES WITH 8d NAILS @ 4" O.C. ALONG EDGES & 12" O.C. ALONG INTERMEDIATE MEMBERS. STAGGER PANEL EDGES.

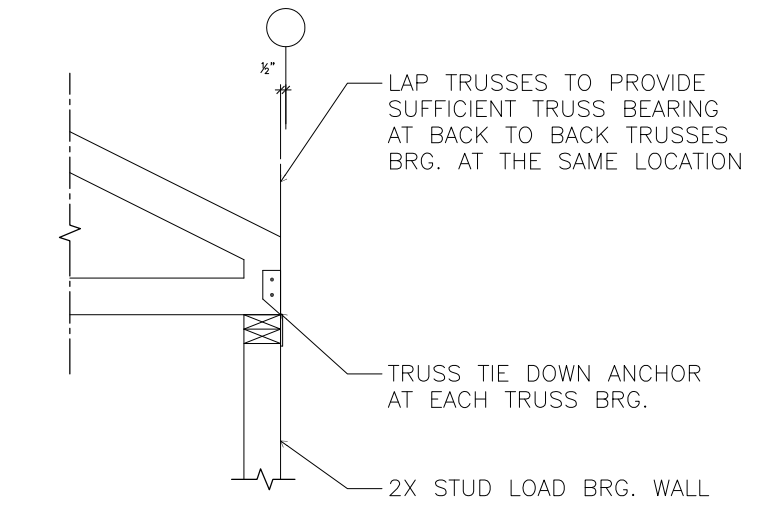
ROOF TRUSS NOTES

WOOD TRUSS SHOP DRAWINGS SHALL SHOW THE FOLLOWING INFO. AND MUST BE REVIEWED BY THE ARCHITECT.

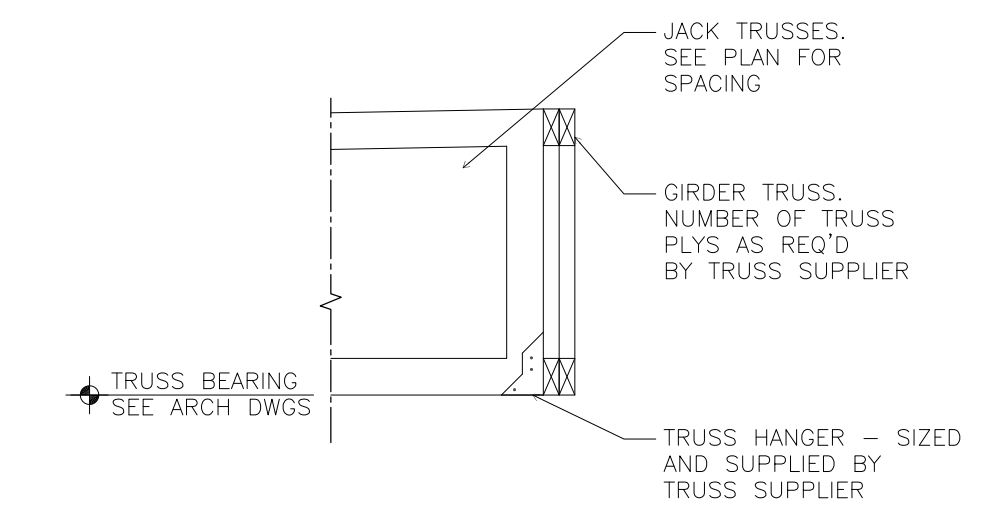
- 1.) INFORMATION WHICH THE RESPONSIBLE BUILDING DESIGN PROFESSIONAL WILL CHECK FOR COMPLIANCE WITH CONTRACT DOCUMENTS:
 - a. ERECTION PLAN: SHOWING DIMENSIONED LOCATIONS AND TRUSS IDENTIFICATION.
 - b. BEARING DETAILS: SHOWING BEARING LENGTH, WIDTH, AND DEPTH INDICATING CONFORMANCE TO DESIGN CALCULATIONS.
 - c. DESIGN LOADS: ALL DEAD AND LIVE LOADS SHALL BE SHOWN ON THE FRAMING PLAN OR TRUSS ELEVATION INDICATING CONFORMANCE TO TRUSS CALCULATIONS.
 - d. ALL PERMANENT BRACING: SHOW TOP CHORD, BOTTOM CHORD, & WEB MEMBER BRACING ON FRAMING PLAN AND TRUSS ELEVATION. SUPPLIER AND INSTALLER OF THIS BRACING SHALL ALSO BE INDICATED.
 - e. TRUSS DIMENSIONS: SHOW DEPTH, SPAN BEARING, HEIGHT, AND SLOPES AT ALL CRITICAL POINTS.
- 2.) INFORMATION THAT SHALL BE THE RESPONSIBILITY OF THE FABRICATOR AND TRUSS DESIGNER AND SHALL BE PROVIDED FOR INFORMATION WITH THE SHOP DRAWING SUBMITTAL.
 - a. MEMBER DESIGN: INCLUDING WEB CONFIGURATION, MEMBER SIZE, GRADE OF LUMBER, FABRICATED SPLICES, AND MEMBER BRACING REQUIRED BY TRUSS DESIGN.
 - b. INTERIOR CONNECTION: DESIGN AND SHOW DETAIL OF WEB AND CHORD CONNECTIONS, CONNECTOR PLATES AND PLATE CAPACITIES.
 - c. ERECTION PLAN: SHOW SPACING AND LAYOUT OF ANY TEMPORARY BRACING REQUIRED FOR ERECTION.
 - d. STRUCTURAL DESIGN OF TRUSSES: SUBMIT COMPLETE TRUSS CALCULATIONS AND OBTAIN ALL APPROVALS NECESSARY FOR CONFORMANCE TO BUILDING CODE. VERIFY SUBMITTAL AND APPROVAL BY SENDING COPY TO BUILDING DESIGN PROFESSIONAL.
 - e. CONTRACTOR: FURNISH INSTALLER WITH ALL DATA NECESSARY FOR PROPER INSTALLATION.

TRUSS CONNECTOR

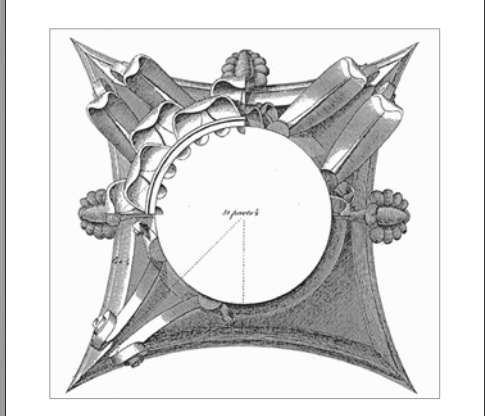
USE SIMPSON STRONG-TIE H2.5, H4, OR H5 AT ALL TRUSS DESIGN BEARING POINTS AT BOTH EXTERIOR AND CORRIDOR WALLS.



2 ROOF FRAMING DETAIL
No Scale



3 ROOF FRAMING DETAIL
No Scale



This work was prepared by me or under my supervision and contribution of the Supervision of construction is defined in Section 1301 of the Statutes of the State of Wisconsin.

The Contractor shall verify all dimensions at the job site and confirm with the Architect before proceeding with the work.

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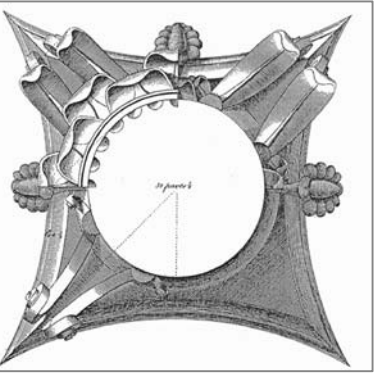
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1409/1411 Theresa Terrace, Madison, WI
City of Madison
Community Development Division

Proj. No.:	1404.01
Scale:	
Drawn By:	pr
Date:	06-11-2014
Rebid Date:	
Rev. Date:	

ROOF FRAMING PLAN
Sheet Title

Sheet No:

A1.4



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Proj. No.: 1404.01

Scale:

Drawn By: pr

Date: 06-11-2014

Rebid Date:

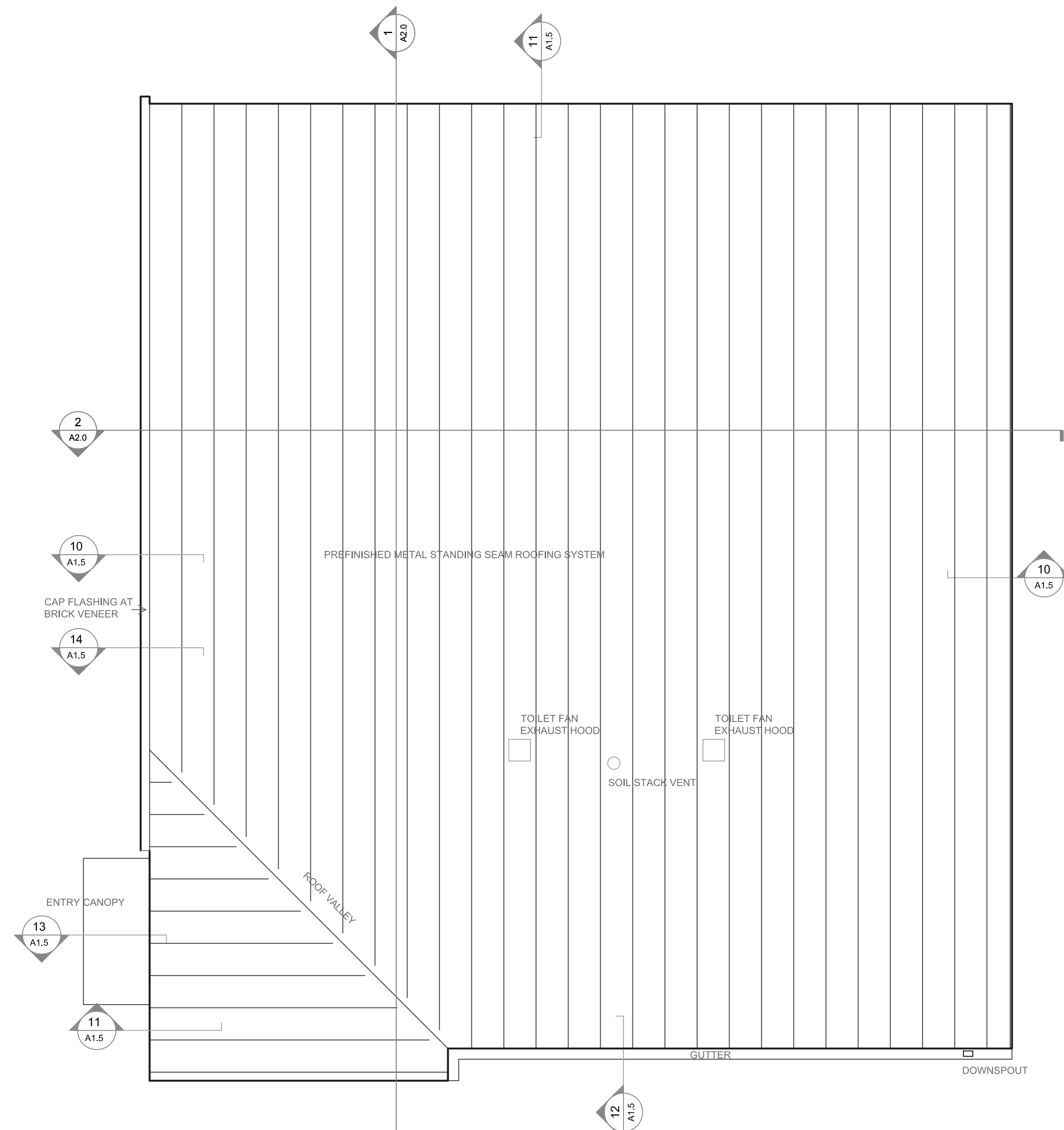
Rev. Date:

ROOF PLAN + DETAILS

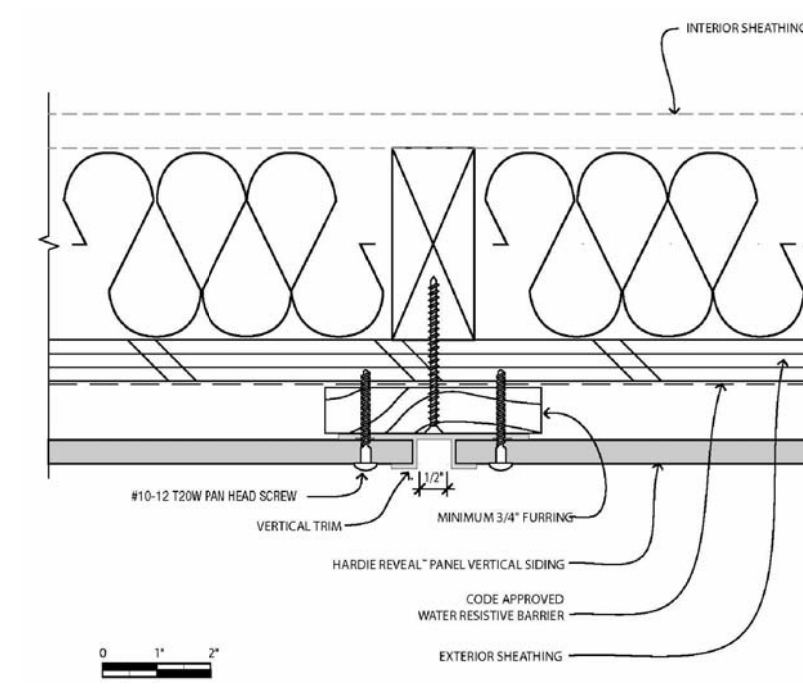
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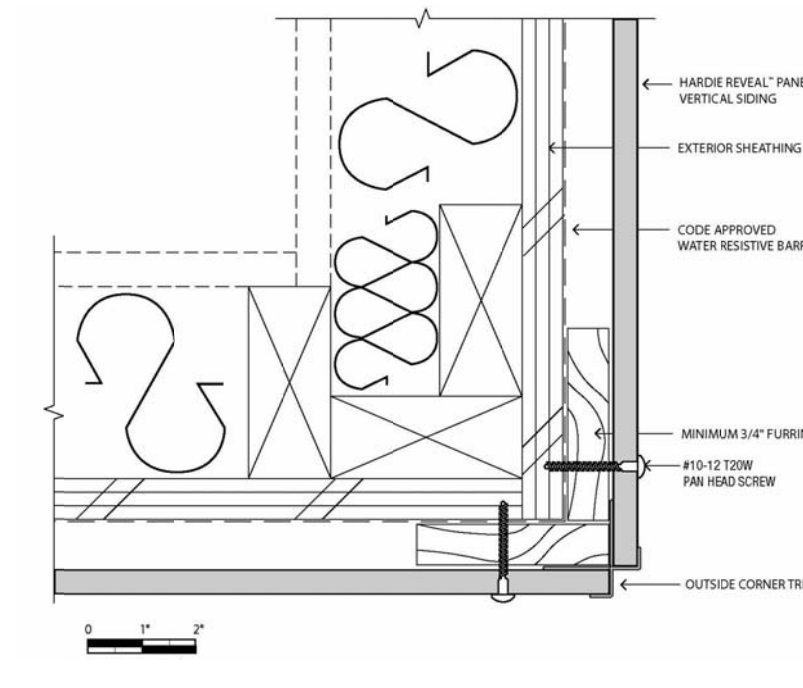
A1.5



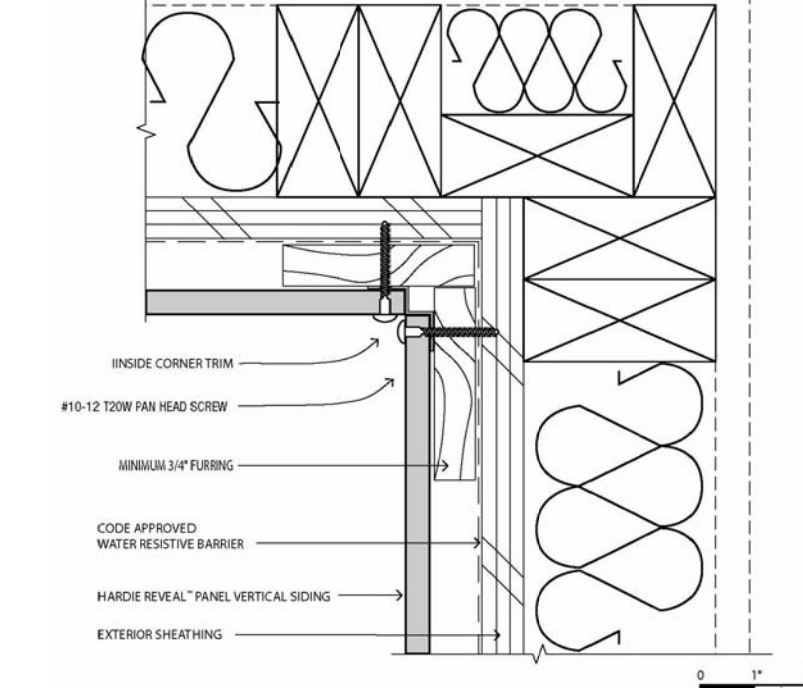
1 ROOF PLAN
Scale: 1/4"=1'-0"



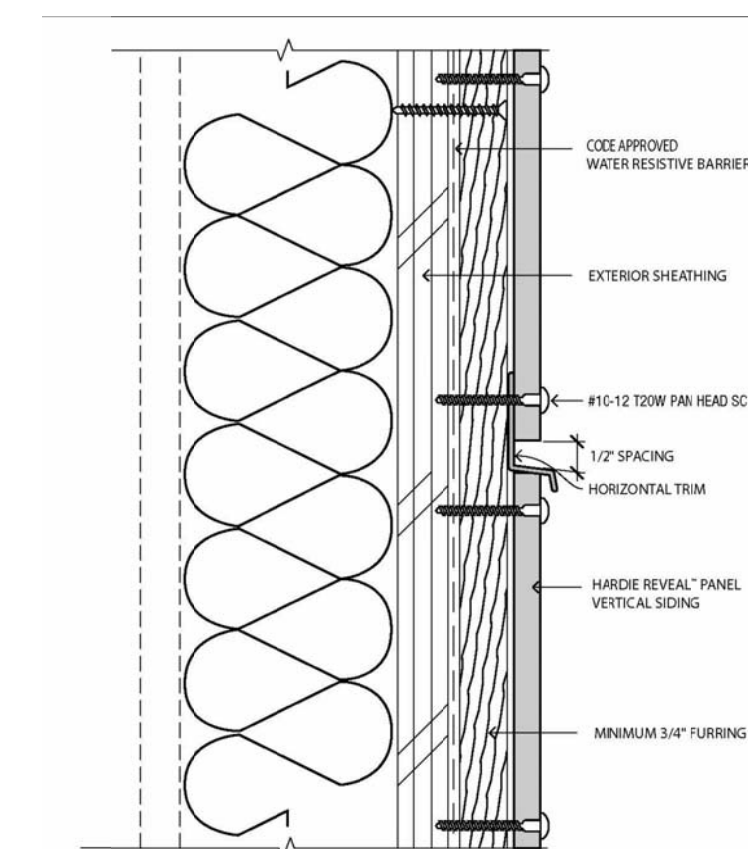
2 SIDING-VERTICAL JOINT
Scale: Noted



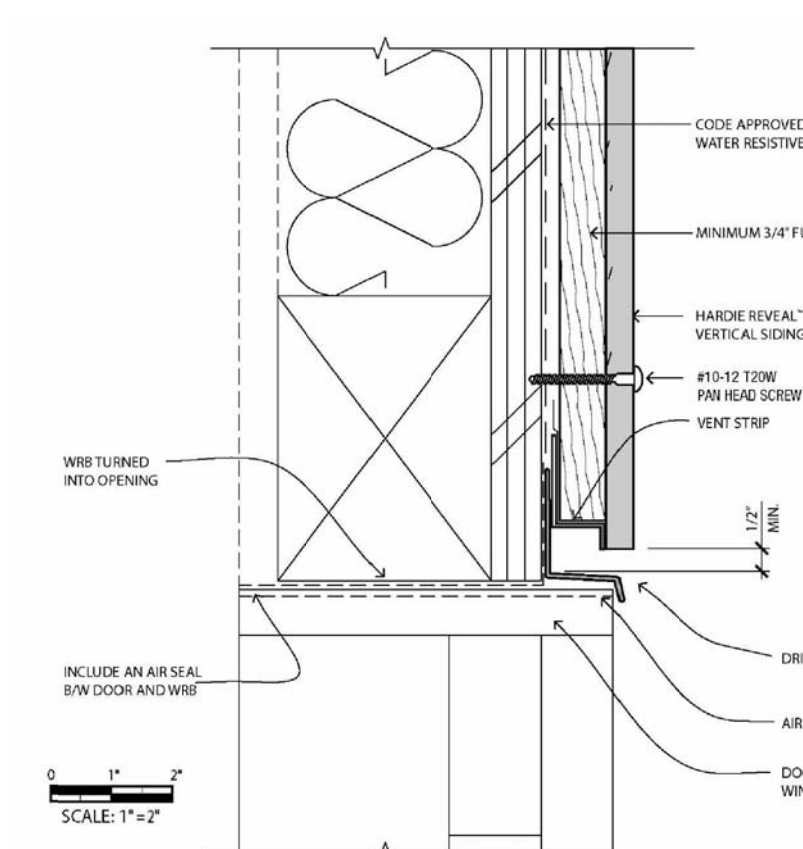
3 SIDING-OUTSIDE CORNER
Scale: Noted



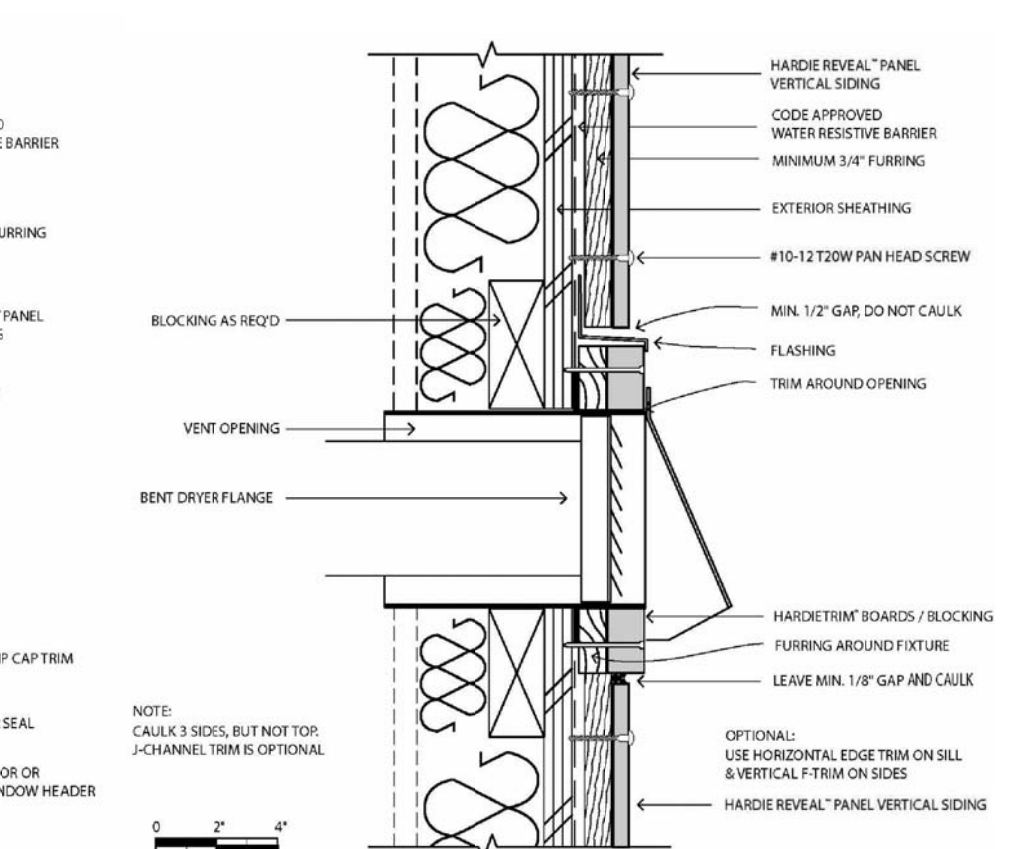
4 SIDING-INSIDE CORNER
Scale: noted



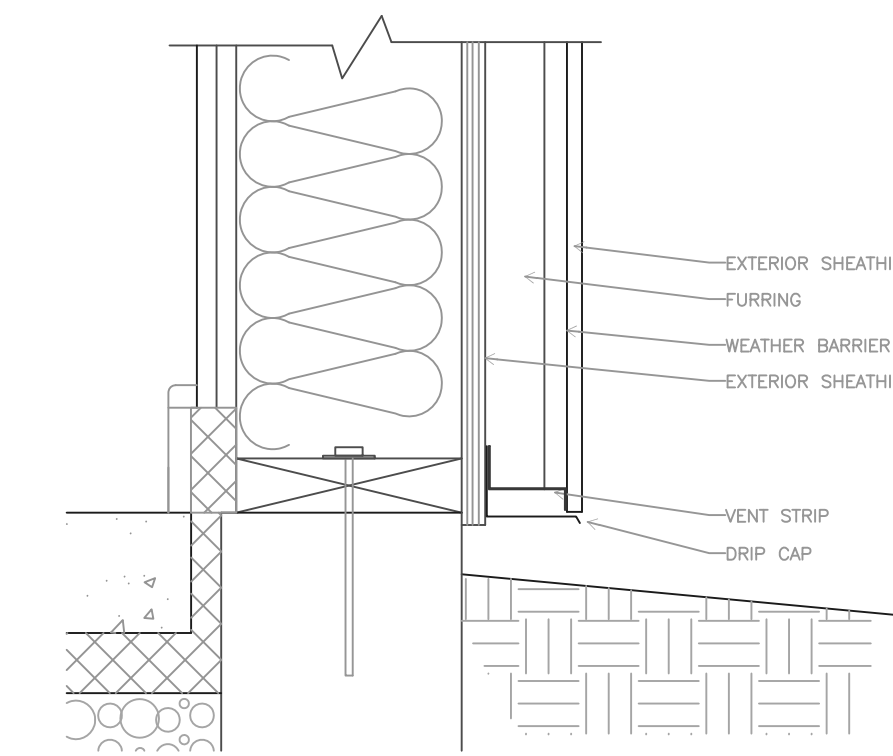
5 SIDING-HORIZ JOINT
Scale: Noted



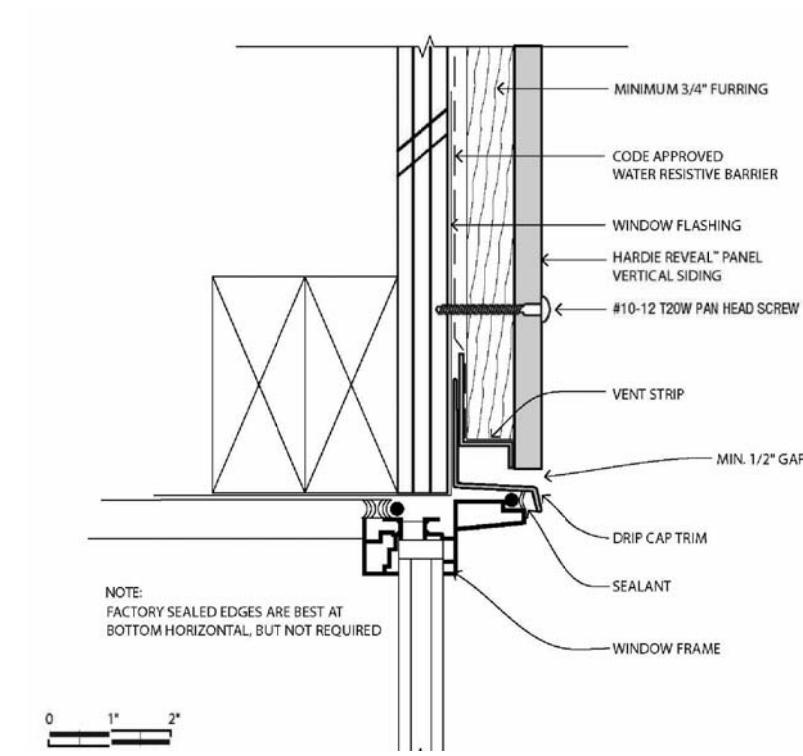
6 SIDING-DOOR HEAD
Scale: Noted



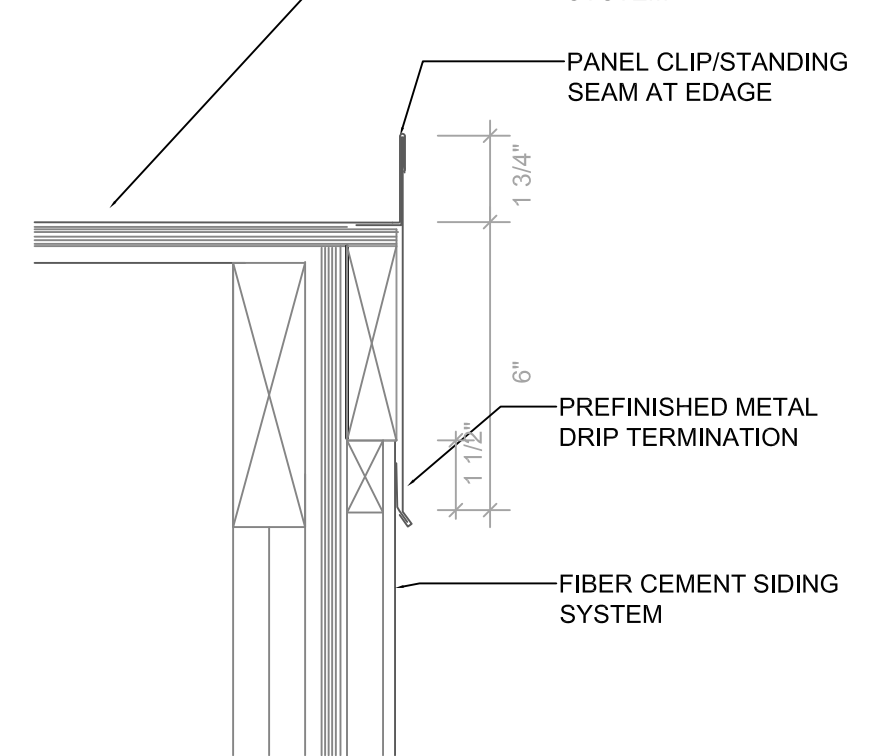
7 SIDING-BLOCK PENETRATION
Scale: Noted



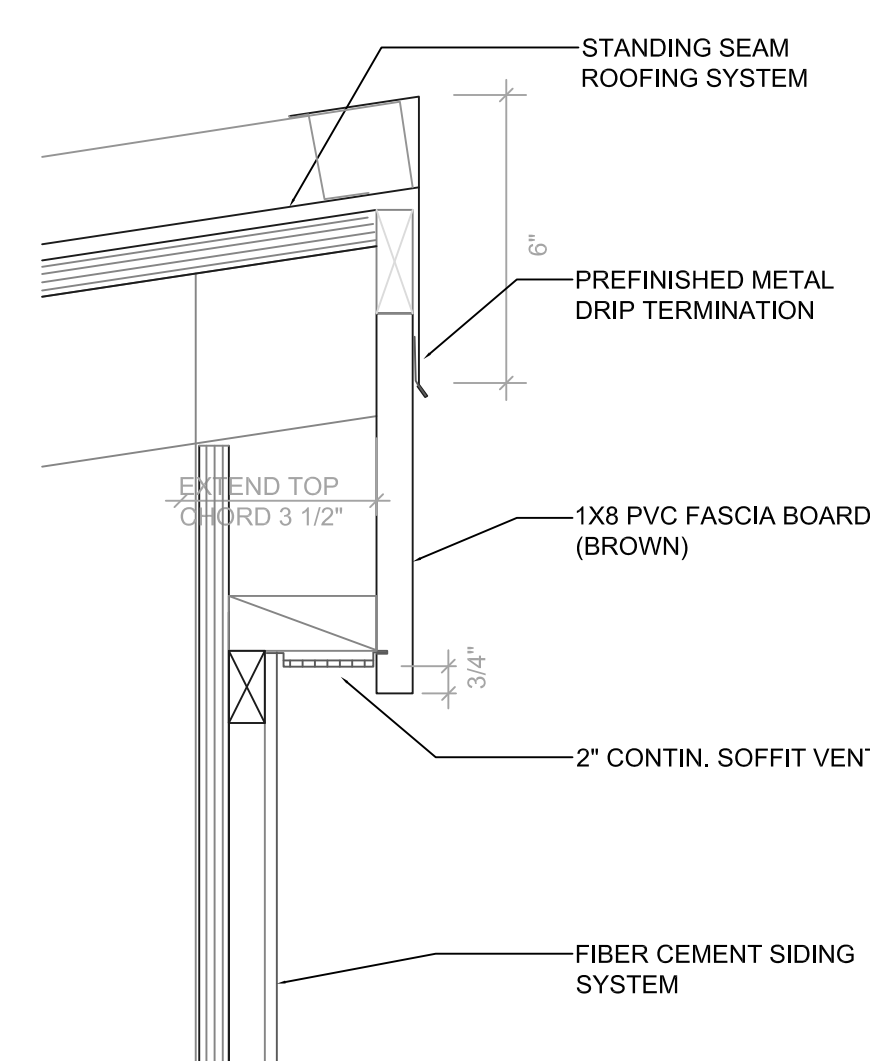
8 SIDING @ FOUNDATION
Scale: 3"=1'-0"



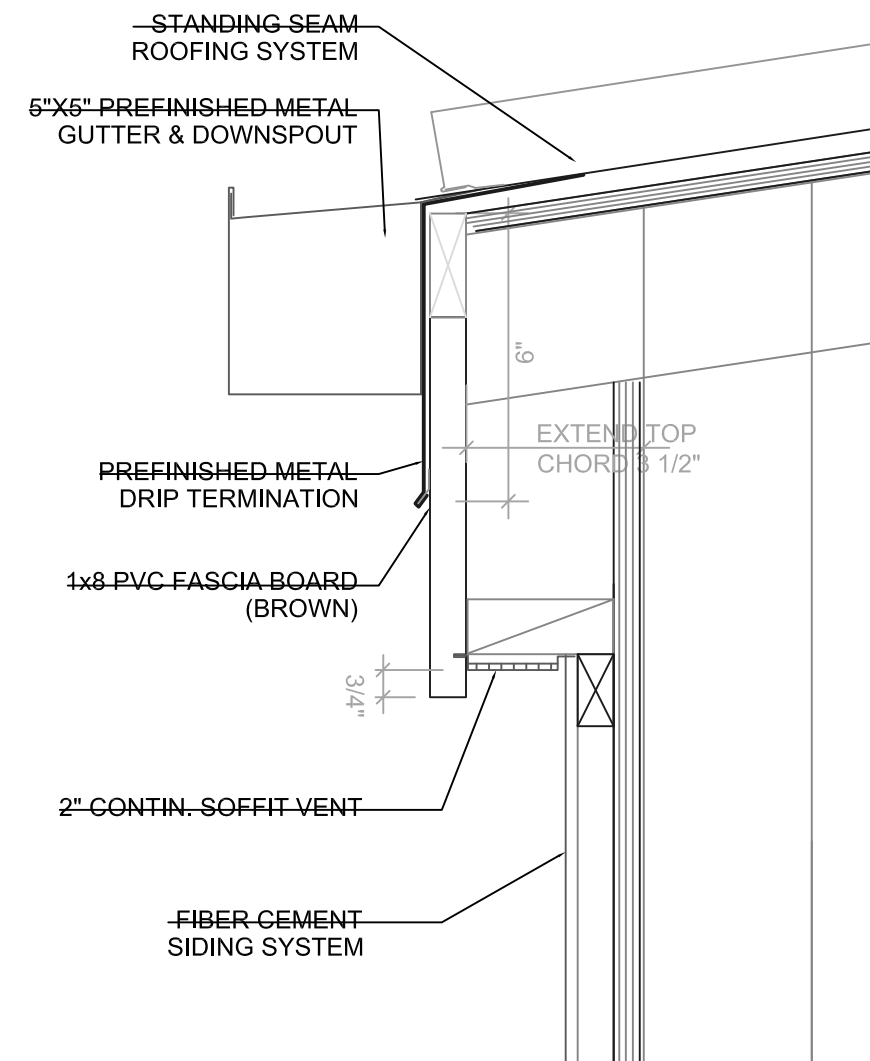
9 SIDING-WINDOW HEAD
Scale: Noted



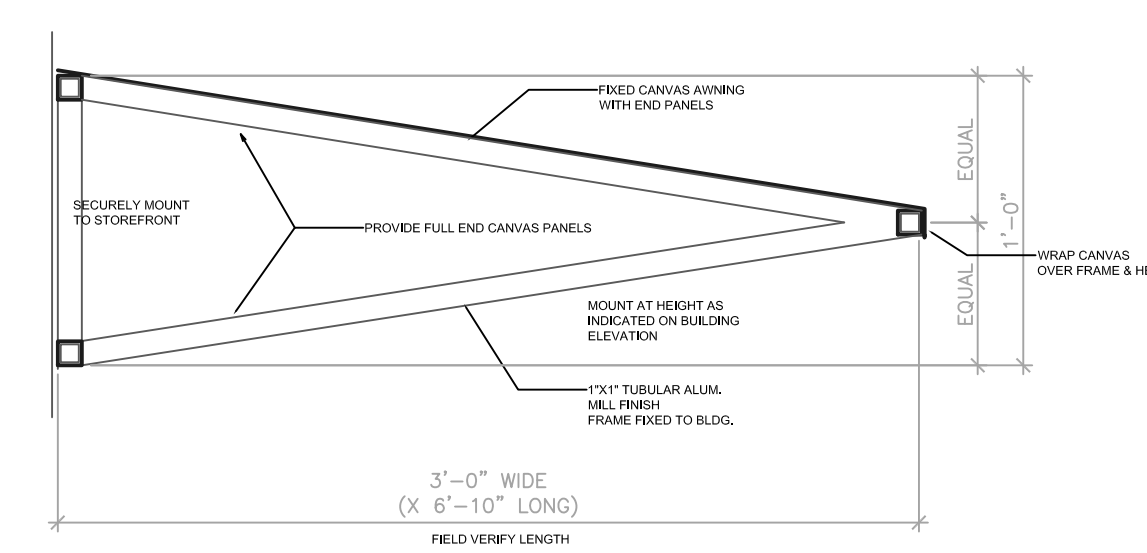
10 ROOF EDGE DETAIL
Scale: 3"=1'-0"



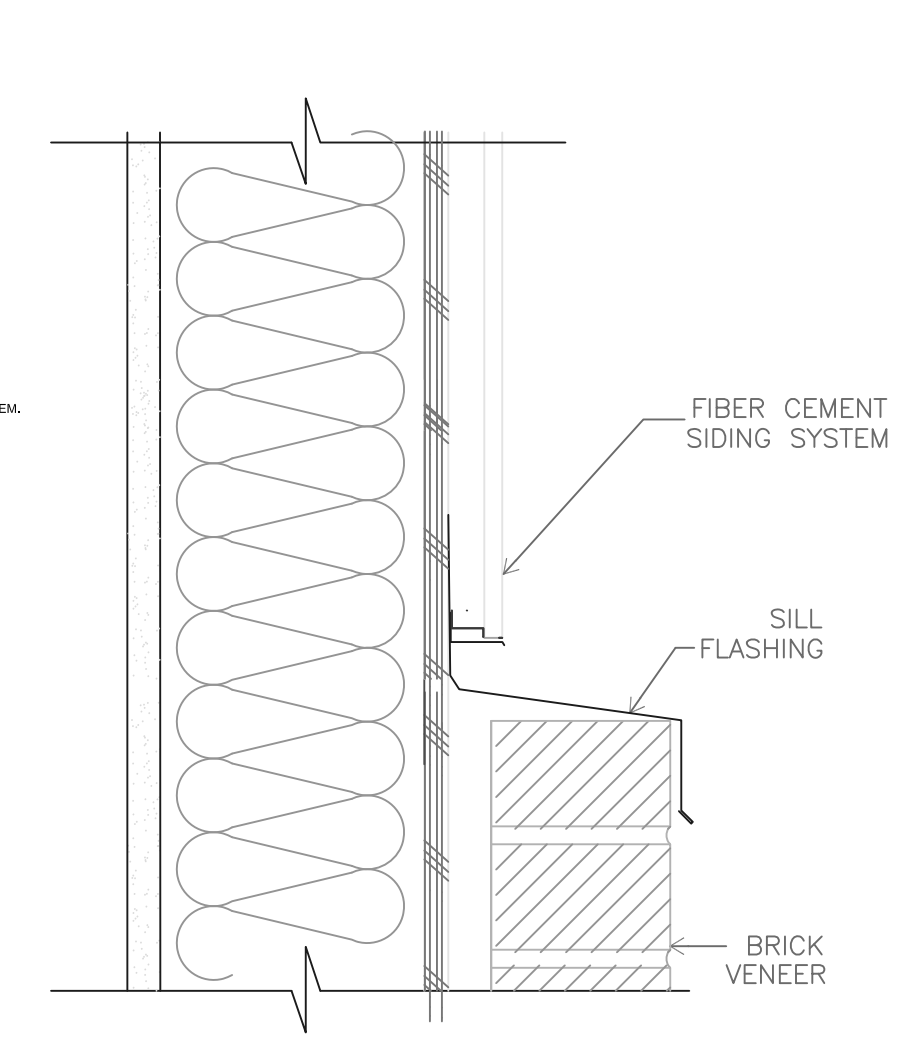
11 ROOF EDGE DETAIL
Scale: 3"=1'-0"



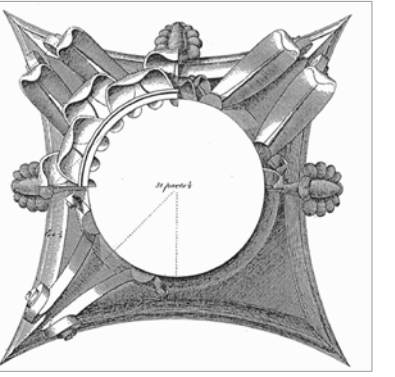
12 ROOF GUTTER DETAIL
Scale: 3"=1'-0"



13 ENTRY CANOPY DETAIL
Scale: 1 1/2"=1'-0"



14 WALL FLASHING DETAIL
Scale: 3"=1'-0"



This work was prepared by me or under my supervision and construction of this project will be under my supervision. Supervision of construction is defined in Section 1.20(3) of the Rules & Regulations of the Board of Professional Engineers, Architects and Surveyors of the State of Wisconsin.

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Theresa Terrace Neighborhood Center
1409/1411 Theresa Terrace, Madison, WI
City of Madison
Community Development Division

Proj. No.: 1404.01

Scale:

Drawn By: pr

Date: 06-11-2014

Rebid Date:

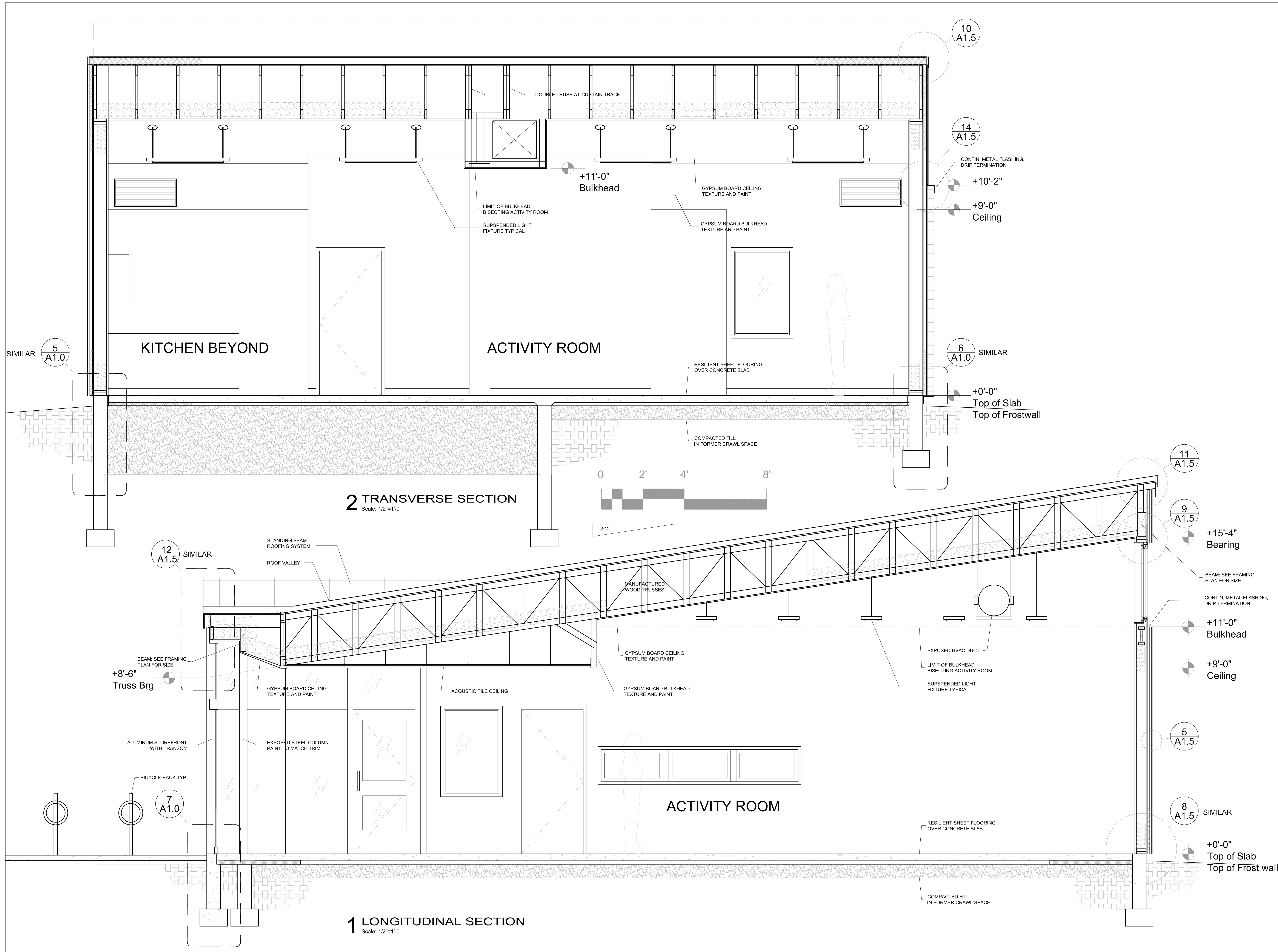
Rev. Date:

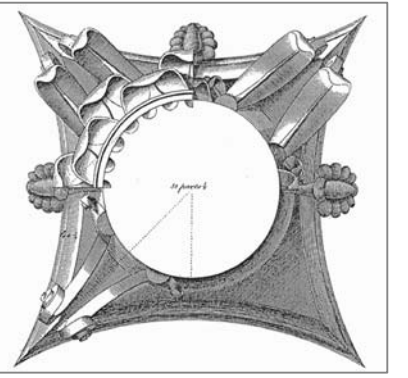
BUILDING SECTIONS

Sheet Title

Sheet No:

A2.0





This work was prepared by me or under my supervision and certification of the Supervisor of construction is defined in Section 1.23(3) of the Rules & Regulations of the Board of Professional Engineers, Architects and Surveyors of the State of Wisconsin.

The Contractor shall verify all dimensions of the job site and confirm with the Architect before proceeding with the work.

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Theresa Terrace Neighborhood Center
1409/1411 Theresa Terrace, Madison, WI
City of Madison
Community Development Division

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Scale:

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Date: 06-11-2014

Rebid Date:

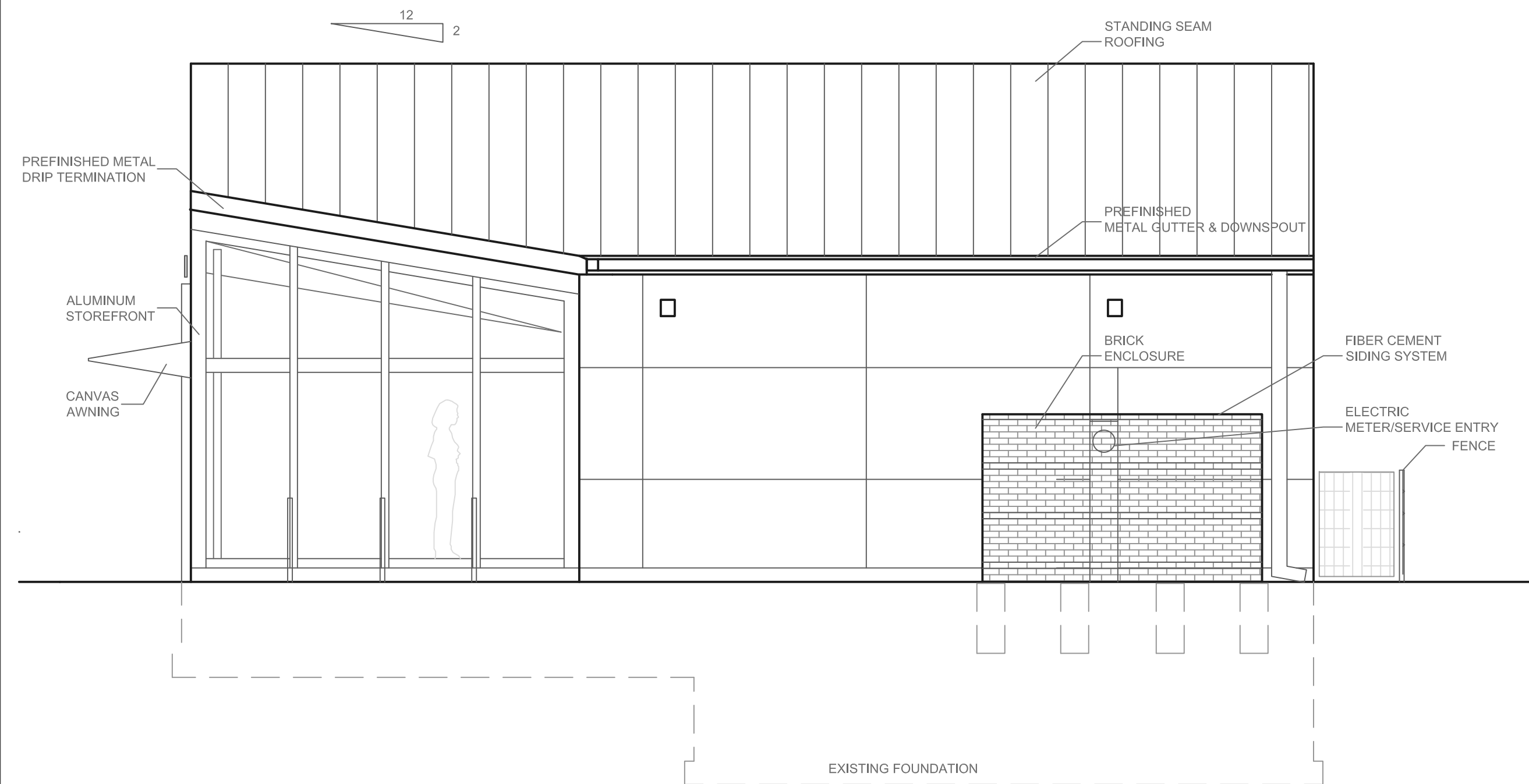
Rev. Date:

BUILDING ELEVATIONS

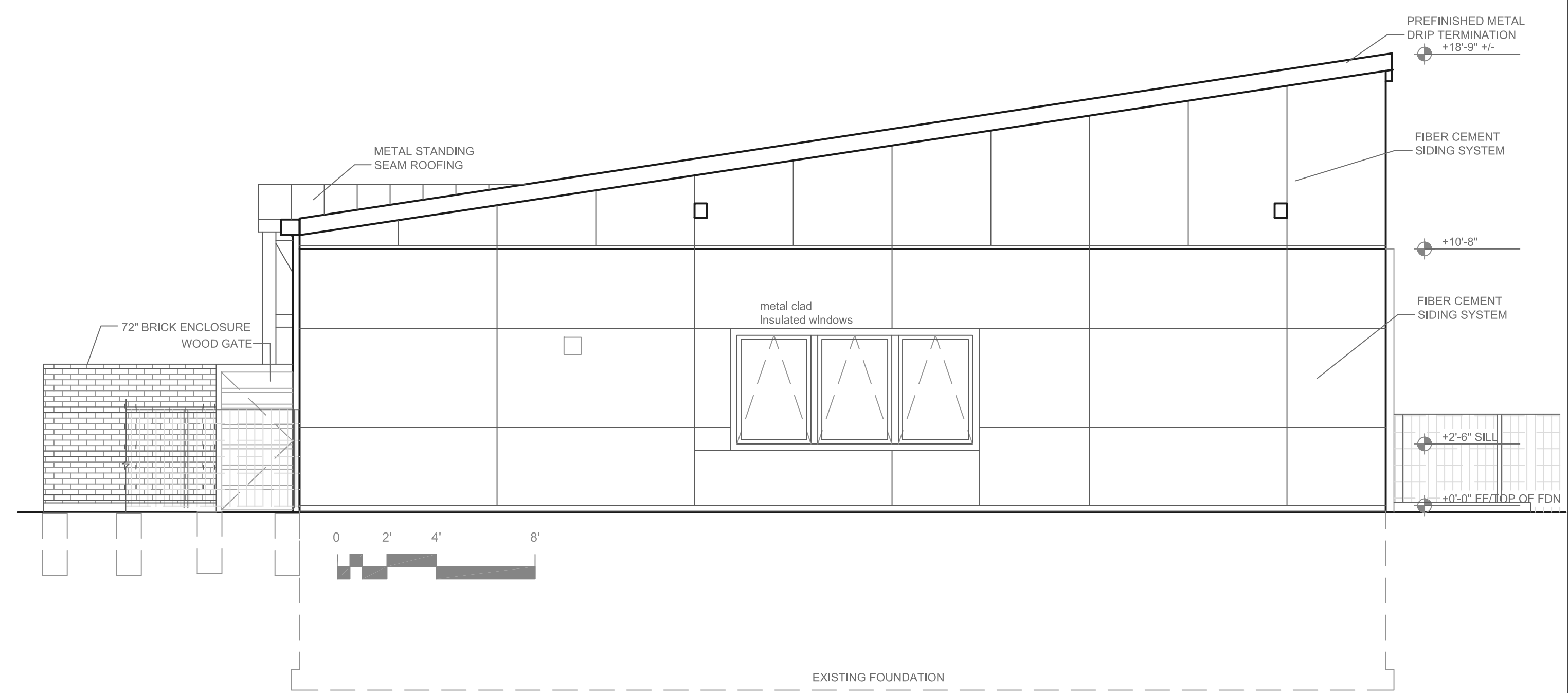
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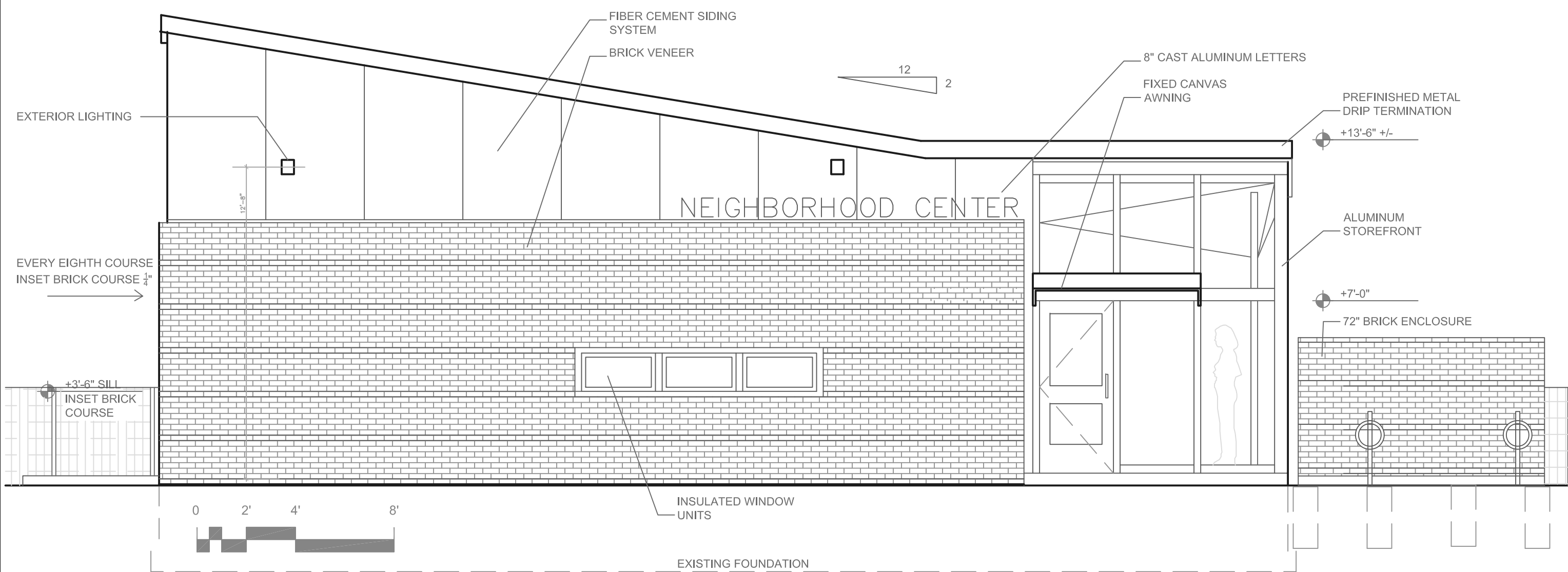
A3.0



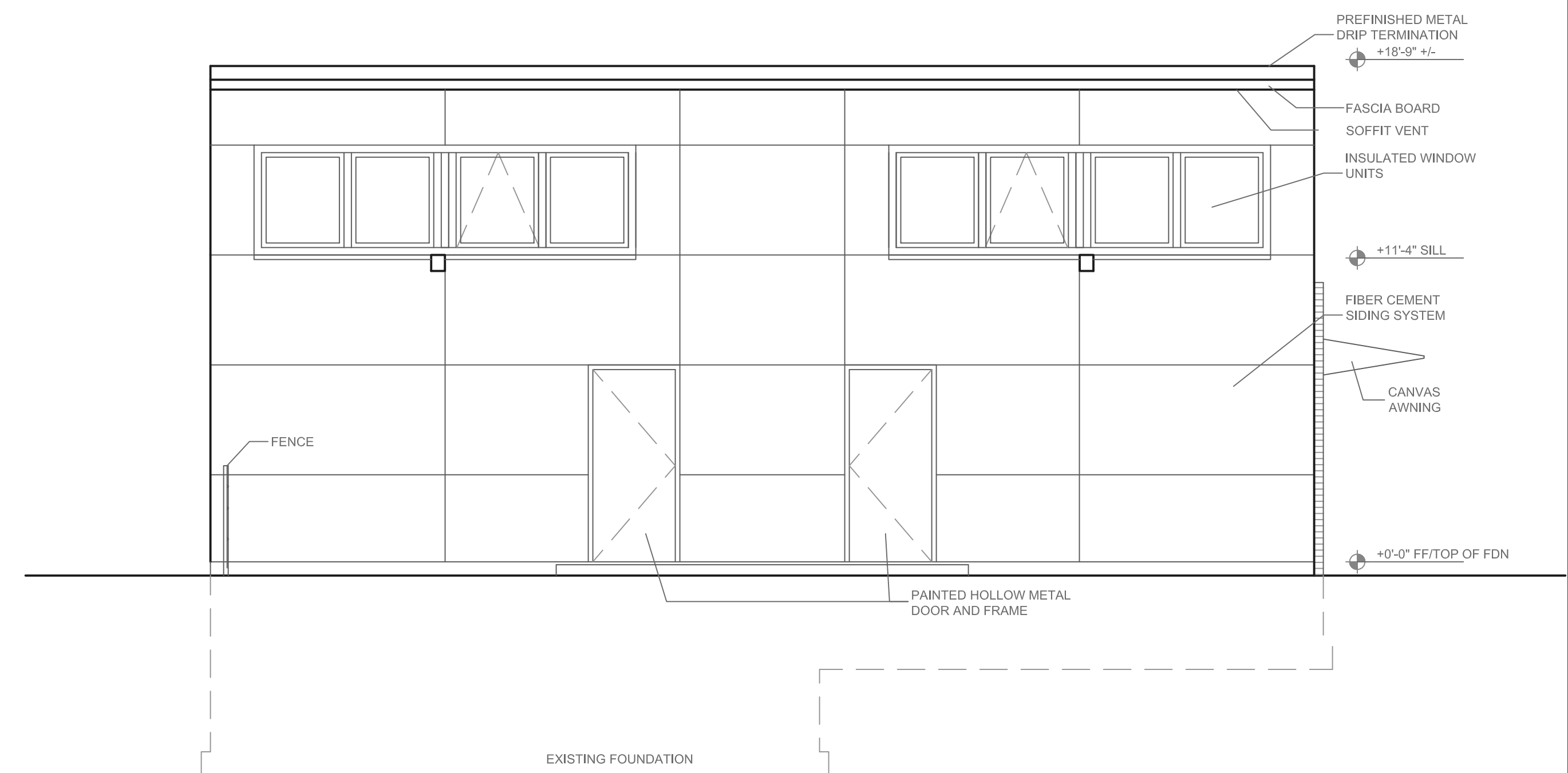
2 South Elevation
Scale: 1/4"=1'-0"



3 East Elevation
Scale: 1/4"=1'-0"



1 West Elevation
Scale: 1/4"=1'-0"



1 North Elevation
Scale: 1/4"=1'-0"