

FINDORFF YARDS OFFICE LOFTS

Madison, Wisconsin



MILWAUKEE • MADISON • TUCSON

PROJECT

SEAL

CONSULTANTS

DRAWINGS

Civil

Ken Salki Design, Inc.
303 S. Paterson,
Suite One
Madison, WI 53703
Ph 608-251-3600
Fx 608-251-2330

- Survey (by Other)
- C100 Site Preparation & Erosion Control (For Reference Only)
- C181 Site Layout
- C192 Site Grading
- C193 Site Utilities
- C104 Erosion Control and Utility Details
- C105 Site Parking and Furnishing Details

Landscape

Ken Salki Design, Inc.
303 S. Paterson,
Suite One
Madison, WI 53703
Ph 608-251-3600
Fx 608-251-2330

- L100 Site Planting and Restoration

Architectural

Engberg Anderson
1 North Pinckney Street
Madison, Wisconsin 53703
Ph 608-250-0100
Fx 608-250-0200

- I100 Title Sheet
- I101 Site Photos
- FD01 Fire Department Access Plan
- A101 Building A Lower Level & First Floor Plans
- A102 Building A Roof Plan
- A401 Building A Exterior Elevations
- EO01 Site Photometrics (Produced by Enterprise Lighting)
- Building Signage (11' x 17')
- Rendered Building Elevations (11' x 17')
- Zoning Map (11' x 17')
- HVAC Schematics (11' x 17')
- Exterior Lighting Call Sheets (8-1/2' x 11')

FINDORFF YARDS OFFICE LOFTS

Madison, WI 53703
Urban Land Interest
10 East Doty Street
Suite 300
Madison, WI 53703
Project No. 081780

Issued For:
No. Description Date

GENERAL PROJECT NOTES

SQUARE FOOTAGE (ACREAGE) OF THE SITE:
73,130 SQUARE FEET (1.68 ACRES)

BUILDING FOOTPRINT: 7,172 sq

SQUARE FOOTAGE BY USE:
Use Square Feet
1) Speculative Office Space 14,287 sq

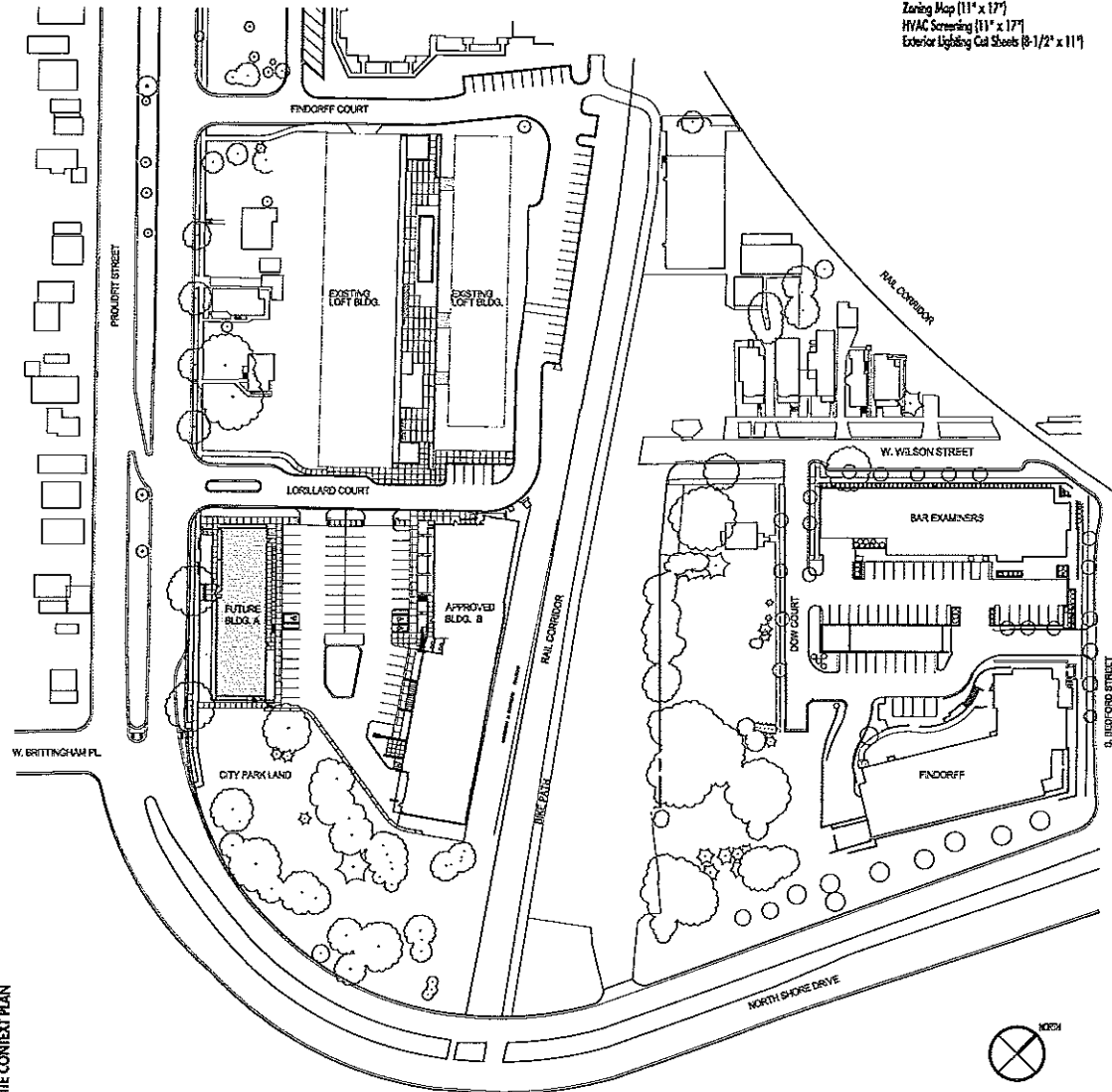
BUILDING SUMMARY

BUILDING TYPE	Office Building
OCCUPANCY CLASSIFICATION	B
CONSTRUCTION TYPE	TYPE 5-B
SPRINKLERED	YES
MAXIMUM ALLOWABLE AREA	27,000 SF/FLOOR
MAXIMUM ALLOWABLE STORES	3 (MAX HEIGHT 60')
TOTAL OCCUPANCY LOAD	Business Lower Level 72 (7,172 sq/100sqd per occupant) First Floor 72 (7,172 sq/100sqd per occupant) Total 144

BUILDING TOTALS

- Building A Lower Level	GSF = 2,172
	RSF = 7,172
	USF = 6,809
- Building A FIRST FLOOR	GSF = 7,125
	RSF = 7,125
	USF = 6,935
- Building A Square Foot Totals	
	GSF = 14,287
	RSF = 14,287
	USF = 13,744

TOTAL PARKING COUNTS	
- On Grade Parking	= 58 (1 Van Accessible, 2 Handicap)
Total Parking Spaces	= 58 (Parking Lot Footprint Previously Approved as Part of COP/SP for Building B)



URBAN DESIGN COMMISSION/ LANDMARK COMMISSION/ PLAN COMMISSION SUBMITTAL
SUBMITTED: APRIL 27, 2009 FOR:
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MAY 20, 2009 URBAN DESIGN COMMISSION INITIAL/FINAL APPROVAL MEETING
JULY 6, 2009 PLAN COMMISSION MEETING
NOT FOR CONSTRUCTION

Drawn by ed
Checked by ms
File 080780

City Review Set
Title Sheet

T100

SITE CONTEXT PLAN

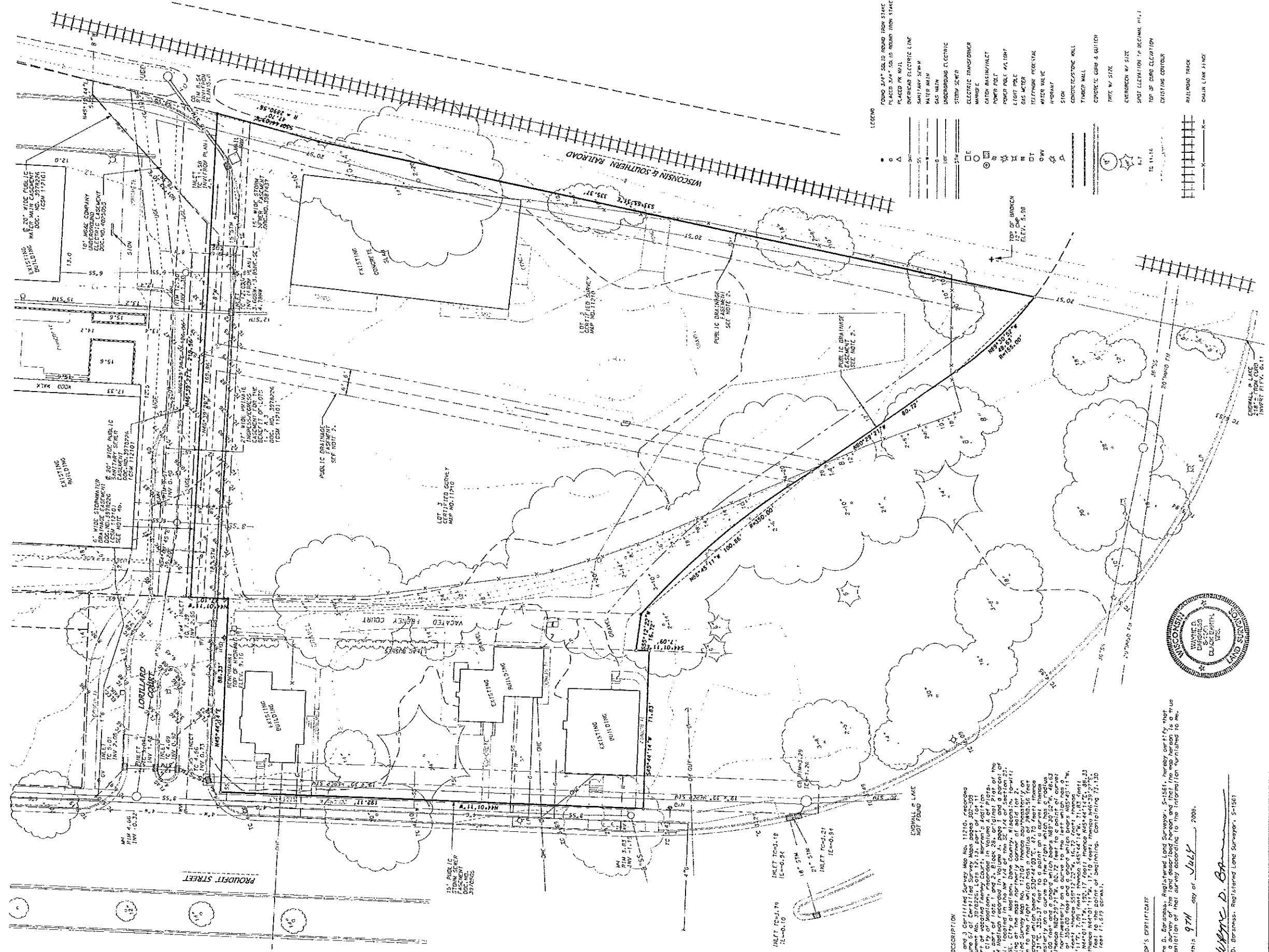
SITE LOCATION MAP

NOTES: (FROM DCM 11210)

- 1) Areas indicate the direction of surface drainage as follows: a) Individual property lines, drainage swales and b) be graded with the construction of each principal structure, and maintained by the lot owner unless modified with the approval of the City Engineer. c) The drainage swales are for property owners of ground level and shall be maintained by the lot owner.
- 2) All tanks within this survey are subject to a non-refundable permit for drainage purposes. The permit shall be obtained from the City Engineer. The permit fee shall be \$100.00. The permit shall be valid for one year from the date of issuance. The permit shall be renewed annually. The permit shall be valid for one year from the date of issuance. The permit shall be renewed annually. The permit shall be valid for one year from the date of issuance. The permit shall be renewed annually.

- 3) The lots within this certified survey are independent upon one another for stormwater runoff purposes. The lots are not to be considered as one lot for the purposes of the City Engineer and recorded at the Dane County Register of Deeds.
- 4) All lots accessed by this certified survey map are individually responsible for compliance with Chapter 23 of the Madison zoning ordinances in regard to stormwater retention or the time they develop.
- 5) The lands within this certified survey have been delineated as separate property as noted in Vol. 21516 Page 3 of Doc. No. 74337-6.
- 6) Agreement recorded as Doc. No. 394722-0.

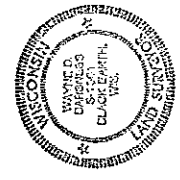
Surveyed for:
Urban Land Partners
10 East Park Street
Madison WI 53703



LEGAL DESCRIPTION
Lots 2 and 3 Certified Survey Map No. 11210, recorded in Volume 67 of Certified Survey Maps pages 202-203 to the City of Madison, recorded in Volume 4 of Plans to the City of Madison, recorded in Volume 1 of the City of Madison recorded in Volume 1, page 1 and a portion of land all located in the NW 1/4 of the SE 1/4 of Section 23, Township 7N, Range 9E, County of Dane, Wisconsin. The area is bounded on the north by the Wisconsin & Southern Railroad, on the east by the Wisconsin & Southern Railroad, on the south by the Wisconsin & Southern Railroad, and on the west by the Wisconsin & Southern Railroad. The area is bounded on the north by the Wisconsin & Southern Railroad, on the east by the Wisconsin & Southern Railroad, on the south by the Wisconsin & Southern Railroad, and on the west by the Wisconsin & Southern Railroad.

SURVEYOR'S CERTIFICATE
I, Wayne D. Baraness, Registered Land Surveyor, S-1261, hereby certify that I made a survey of the land described herein and that the map hereon is a true representation of the survey according to the information furnished to me.
Dated this 9th day of July, 2008.

Wayne D. Baraness, Registered Land Surveyor, S-1261



TOPOGRAPHIC AND BOUNDARY SURVEY
FINDORFF YARDS OFFICE LOFTS
LOCATED IN THE NW1/4 OF THE SE1/4 OF SECTION 23, T7N, R9E,
CITY OF MADISON, DANE COUNTY, WISCONSIN

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DATE: 7-9-08
REV. 1: 5-14-08
REV. 2: 7-22-08
REV. 3: 7-28-08
FN: 08-02-128
DRAWN BY: JEL





**FINDORFF YARDS OFFICE
LOFTS**

Urban Land Interest
10 E. Doty Street
Suite 300
Madison, WI 53703

081780.00

**Issued
For:**

No.	Description	Date
01	City Submittal	04/27/09

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SUBMITTED: APRIL 27, 2009 FOR:
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JULY 6, 2009 PLAN COMMISSION MEETING
NOT FOR CONSTRUCTION

**Site Preparation and
Erosion Control**

File	081780.00
Drawn By	rif
Checked By	ks/sw

**FOR
REFERENCE
ONLY**

NOTES

- See Sheet C104 for Erosion Control Details.
- Site will be excavated to construct underground parking structure below Building B.
- Provide silt filter on any pumping operation for the lower level parking grading.
- Provide stabilized construction entrance at all access points to the site from surrounding roadways.
- Remove all existing site utilities per plan. Plug or cap all laterals per City of Madison Standards.
- Demolition work is to be performed as indicated in a reuse and recycling plan to be formulated by General Contractor.
- Install silt fence where shown and inlet protection measures on all public and private inlets adjacent to construction boundary.
- Provide Wisconsin Department of Transportation (WIS DOT) Type C inlet protection for existing curb inlets per plan.
- Remove all areas of gravel and/or compacted gravel, concrete slag piles, or piles of refuse material and dispose of off-site.
- Gravel shall be excavated to a minimum depth of 12 inches in any area to receive plantings or seeding. Excavated gravel shall be disposed of off-site.
- Remove all existing private sidewalks, concrete stairs, concrete pads, and gravel areas associated with the three single family residential units to be removed along Proudfit Street.
- Protect all existing pavements, curbs, utilities, and other improvements, except where noted, during demolition and construction.
- Any unforeseen demolition or construction activities outside of the demolition line requires coordination with City of Madison and/or Wisconsin & Southern Railroad.
- Contractor shall make every attempt to protect existing concrete pad for mailbox. Mailbox may be temporarily or permanently relocated - coordinate with Owner and US Postal Service.
- Elevator lift currently stored at the northwest corner of the site shall be salvaged by contractor prior to site clearing and demolition, stored in a secure location during construction, and placed per detail 2/C107 after concrete pad has fully cured.

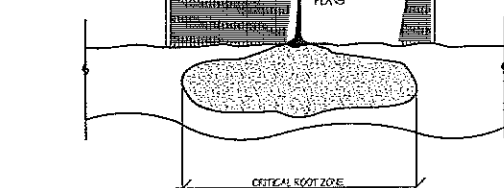
LEGEND

- REMOVE PAVEMENT
- REMOVE CURB
- REMOVE / PLUG / CAP UTILITY
- REMOVE EXISTING TREE
- TREE PROTECTION MEASURES
- PROTECT EXISTING FIRE HYDRANT (1)
- INLET PROTECTION (4)
- STONE TRACKING PAD (2)
- SILT FENCE
- CONSTRUCTION SECURITY FENCE WITH GATES - GENERAL CONTRACTOR TO ERECT, MAINTAIN AND REMOVE
- DEMOLITION LIMIT LINE

NOTE:
Site De-Watering: Water pumped from the site shall be treated by temporary sedimentation basins or other appropriate control measures. Such sedimentation basins shall have a depth of at least 3 feet, be surrounded by an fence or equivalent barrier and have sufficient surface area to provide a surface settling rate of not more than 1000 gallons per square foot per day at the highest de-watering pumping rate. Water may not be discharged in a manner that causes erosion on the site, a neighboring site, or the bed banks of a receiving water. Pumping/discharging site water at a rate greater than 70 GPM requires a permit with the Dane County Health Department.

NOTE:
SILT FENCE SHALL BE OWNED BY CONTRACTOR. SEE SPEC SECTION 3110.00

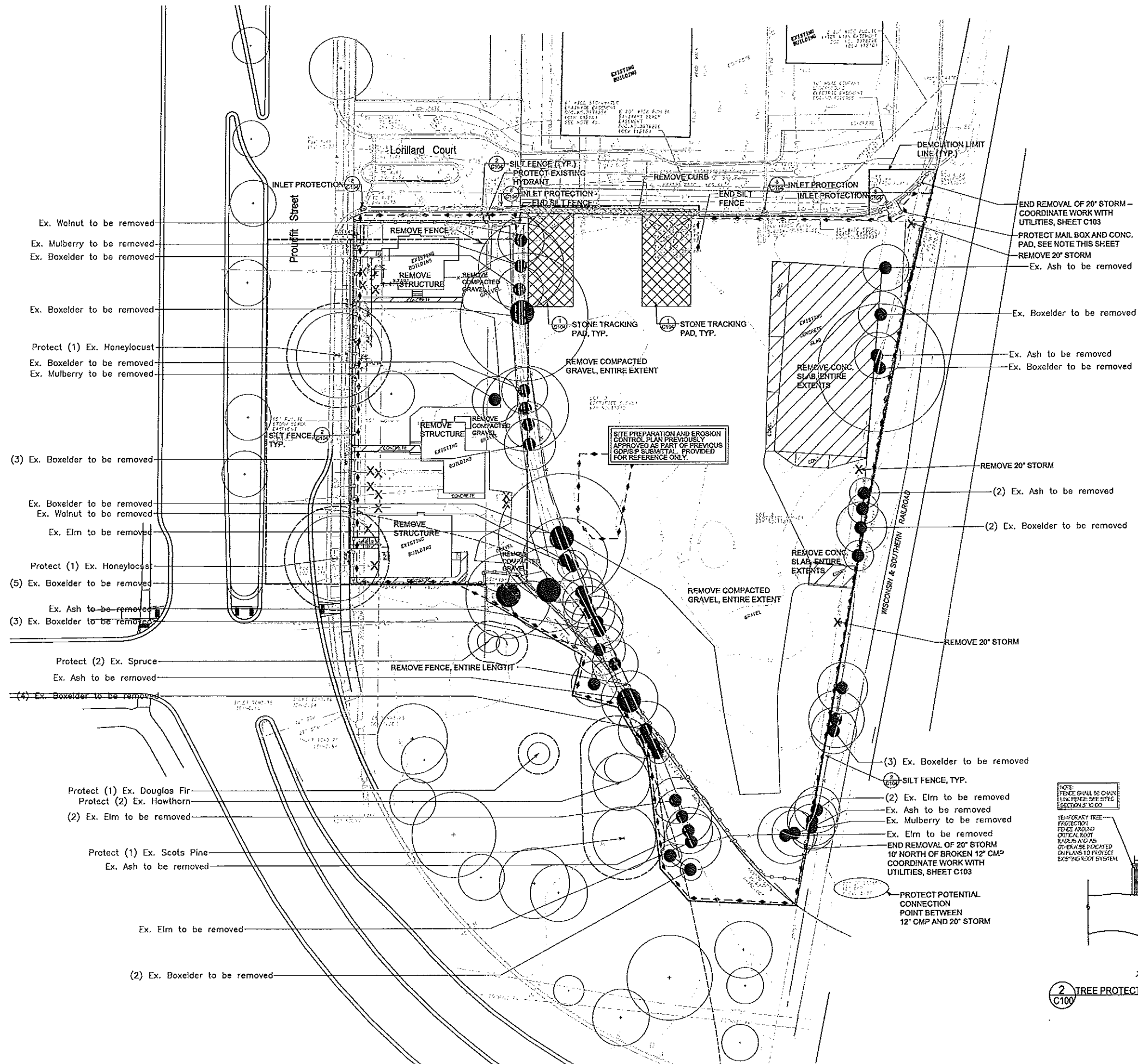
TEMPORARY TREE PROTECTION:
FENCE AROUND CRITICAL ROOT ZONES AND AS OTHERS BE LOCATED ON PLANS TO PROTECT EXISTING ROOT SYSTEM.



2 TREE PROTECTION DETAIL NOT TO SCALE



1 SITE PREPARATION AND EROSION CONTROL PLAN 1"=20'-0"



- Ex. Walnut to be removed
- Ex. Mulberry to be removed
- Ex. Boxelder to be removed
- Ex. Boxelder to be removed
- Protect (1) Ex. Honeylocust
- Ex. Boxelder to be removed
- Ex. Mulberry to be removed
- (3) Ex. Boxelder to be removed
- Ex. Boxelder to be removed
- Ex. Walnut to be removed
- Ex. Elm to be removed
- Protect (1) Ex. Honeylocust
- (5) Ex. Boxelder to be removed
- Ex. Ash to be removed
- (3) Ex. Boxelder to be removed
- Protect (2) Ex. Spruce
- Ex. Ash to be removed
- (4) Ex. Boxelder to be removed
- Protect (1) Ex. Douglas Fir
- Protect (2) Ex. Hawthorn
- (2) Ex. Elm to be removed
- Protect (1) Ex. Scots Pine
- Ex. Ash to be removed
- Ex. Elm to be removed
- (2) Ex. Boxelder to be removed



FINDORFF YARDS OFFICE LOFTS

Urban Land Interest
10 E. Doty Street
Suite 900
Madison, WI 53703

081780.00

Issued For:

No.	Description	Date
01	City Engineer	04-27-09

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Site Layout

File	081780.00
Drawn By	rif
Checked By	ks/sw

C101

ACCESSIBLE PARKING

*CITY OF MADISON REQUIRES MIN. 3 STALLS FOR AT-GRADE
58 TOTAL PARKING STALLS (1 STALL MUST BE VAN ACCESSIBLE)

TOTAL STALLS	AT GRADE ACC.	BELOW GRADE ACC.	TOTAL ACC.
58 AT-GRADE 45 UNDERGROUND	2 TYPICAL 1 VAN ACC.	1 TYPICAL 1 VAN ACC.	3 TYPICAL 2 VAN ACC.

BICYCLE PARKING

*CITY OF MADISON REQUIRES 1 BIKE PARKING STALL PER 10 AUTOMOBILE PARKING SPACES

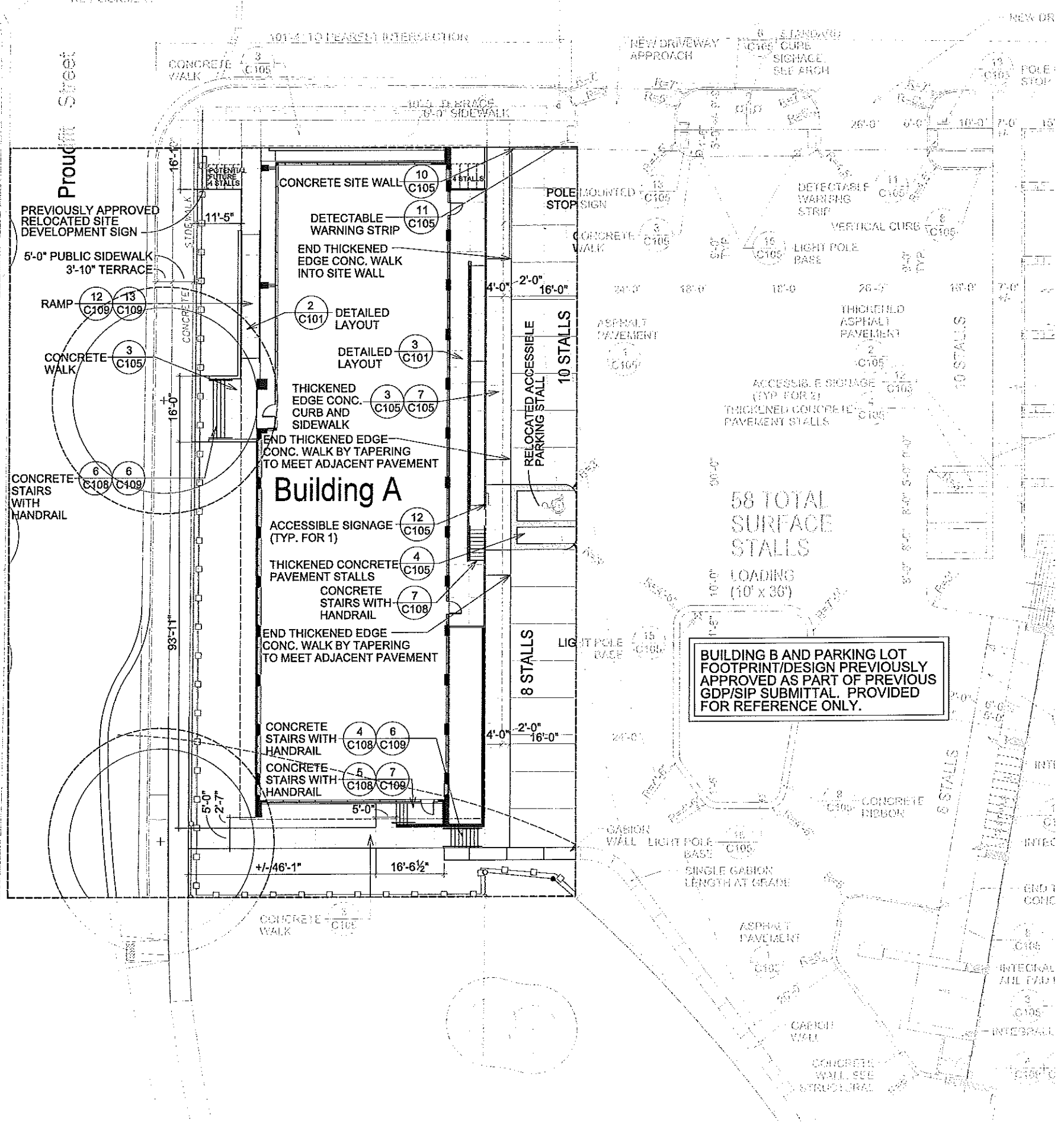
TOTAL AUTO. STALLS	BIKE STALLS REQUIRED	BIKE STALLS AT GRADE	BIKE STALLS BELOW GRADE PROVIDED	TOTAL BIKE STALLS PROVIDED
103 STALLS	11 STALLS	16 STALLS	9 STALLS	25 STALLS

NOTES

- Exterior Bicycle Racks will be from Madrax, Middleton, WI. See Detail 14, Sheet C105
- All right-of-way improvements require separate approval by the Board of Public Works and Common Council for the public right-of-way changes requested by the developer.
- All "Stop" signs shall be installed at a 7' height.
- Per developers agreement all improvements within the right-of-way shall be per City design. City will issue plans at a later date.
- Protect all existing pavements, curbs, utilities, and other improvements, except where noted, during demolition and construction.
- Any unforeseen demolition or construction activities outside of the demolition limit line requires coordination with City of Madison and/or Wisconsin & Southern Railroad.
- All asphalt, concrete sidewalk, and concrete curb and gutter repair work in Lorillard Ct. and other areas of City of Madison public right-of-way is to be done in accordance with City of Madison Standard Specifications.
- Contractor shall verify dimensions between buildings before beginning site pavement work and notify Landscape Architect immediately of any discrepancies.

LEGEND

- REVERSE CURB
- THICKENED ASPHALT PAVEMENT FOR FIRE LANE
- INTEGRALLY COLORED CONCRETE
- TREE PROTECTION MEASURES
- CONSTRUCTION SECURITY FENCE WITH GATES - GENERAL CONTRACTOR TO ERECT, MAINTAIN, AND REMOVE



1 SITE LAYOUT
C101 PLAN 1"=10'-0"





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LOFTS

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081780.00

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C1	City Submittal	04-27-09

NOTES

- Existing site survey and benchmark information was provided by D'Onofrio Kotke & Associates. The survey is dated 7-9-08. It is the contractor's responsibility to field verify survey information prior to start of construction and report any discrepancies.
- All right-of-way improvements require separate approval by the Board of Public Works and Common Council for the public right-of-way changes requested by the developer.
- Per developers agreement all improvements within the right-of-way shall be per City design. City will issue plans at a later date.
- All proposed spot elevations and proposed contours are final grades.
- The bioretention basin shall be excavated after parking lot has been graded and backfilled with material as shown in detail 7 / C104. The bioretention area is to be protected with silt fence until parking lot is paved.
- Protect all existing pavements, curbs, utilities, and other improvements during construction.
- Any unforeseen demolition or construction activities outside of the demolition limit line requires coordination with City of Madison and/or Wisconsin & Southern Railroad.

LEGEND

---	EXISTING CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
tc 10.32	EXISTING SPOT ELEVATION
7.6 or 8.4	PROPOSED SPOT ELEVATION
---	TREE PROTECTION
---	SILT FENCE
---	CONSTRUCTION SECURITY FENCE WITH GATES - GENERAL CONTRACTOR TO ERECT, MAINTAIN, AND REMOVE
(BC)	BOTTOM OF CURB
(TC)	TOP OF CURB
(BW)	BOTTOM OF WALL
(TW)	TOP OF WALL
(BS)	BOTTOM OF STEP (STAIRS)
(TS)	TOP OF STEP (STAIRS)
(BR)	BOTTOM OF RAMP
(TR)	TOP OF RAMP
(FL)	FLOWLINE
(LP)	LOW POINT
(SW)	SIDEWALK
(EX)	EXISTING
(FDN)	FOUNDATION OF BUILDING
FFE	FINISHED FLOOR ELEVATION
LLE	LOWER LEVEL ELEVATION
ARCH	FOUNDATION WALL ELEVATION (SEE ARCHITECTURAL PLANS)



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Site Grading

File	081780.00
Drawn By	rif
Checked By	ks/sw



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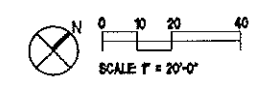
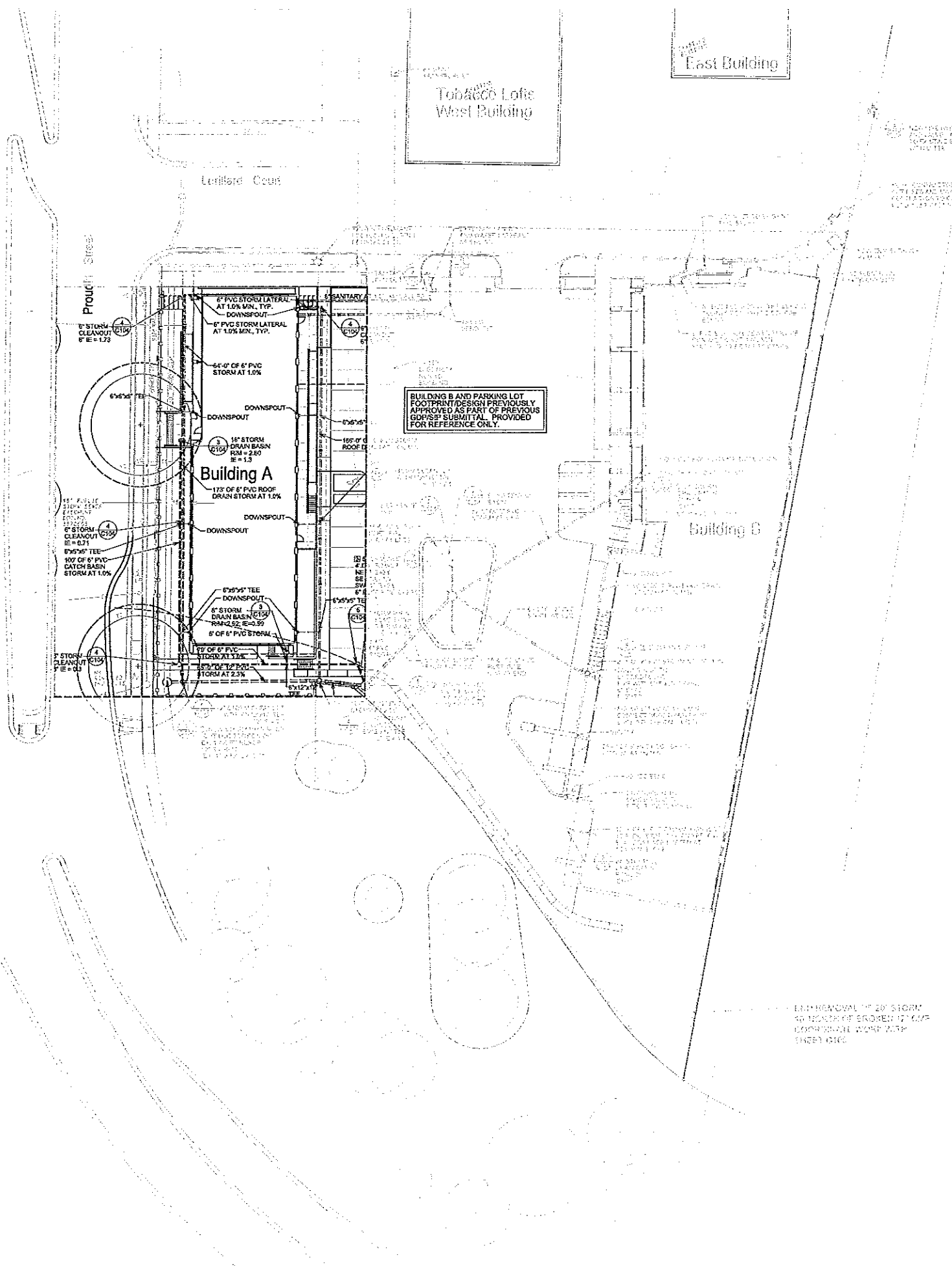
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Site Utilities

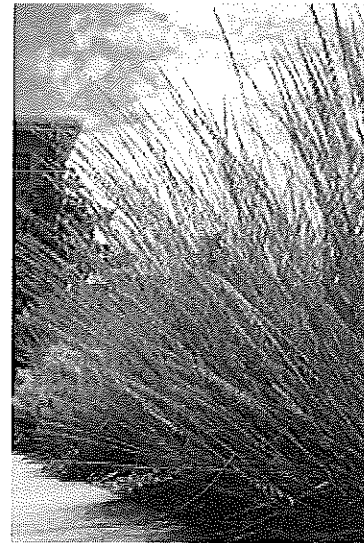
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Checked By	ks/sw

C103





Freeman Maple (AF)



Side Oats Gramma (bc)



Korean Feather Reed Grass (cb)



Variegated Palm Sedge



Pennsylvania Sedge



Fox Sedge



Winter King Hawthorn (CV)



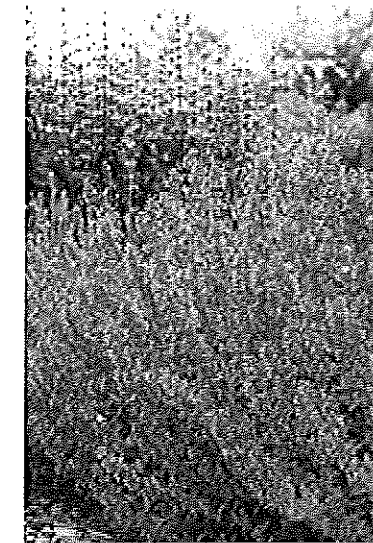
Pale Purple Coneflower (ep)



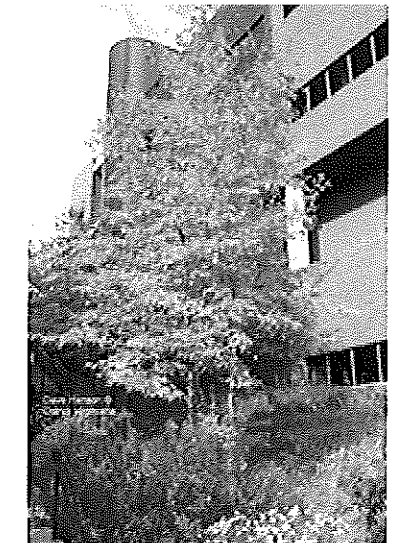
Kobold Blazing Star (ls)



Little Bluestem Mass (ss)



Walker's Low Catmint (nw)



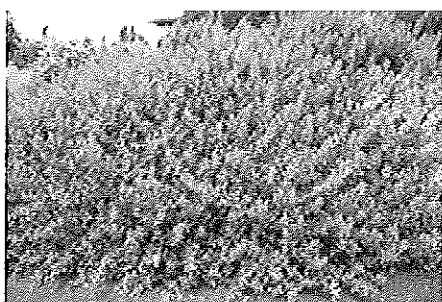
Hornbeam (OV)



Heavy Metal Switchgrass (pv)



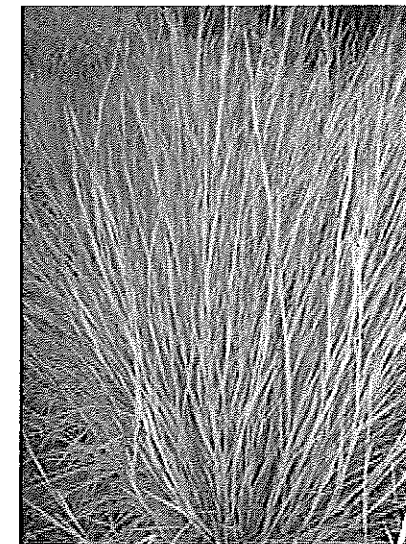
Quaking Aspen (PT)



Fragrant Sumac (Ra & Rg)



Riprap Stone Mulch



Little Bluestem (ss)



**Prairie Dropseed (sh) with
Pale Purple Coneflower (ep)**

**FINDORFF YARDS OFFICE
LOFTS**

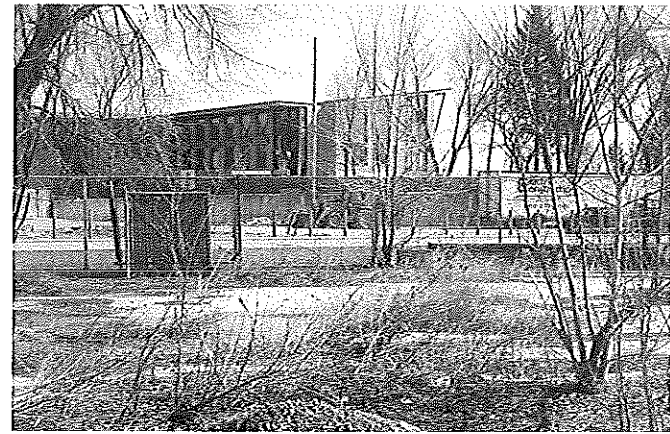
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Checked by	ms
File	080780

City Review Set
Site Photos



1.



5.



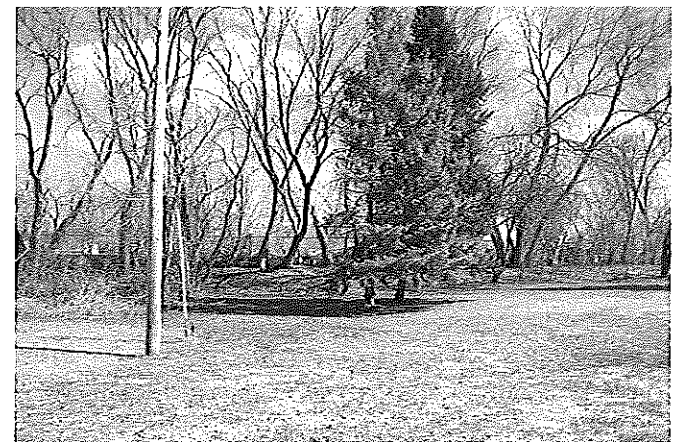
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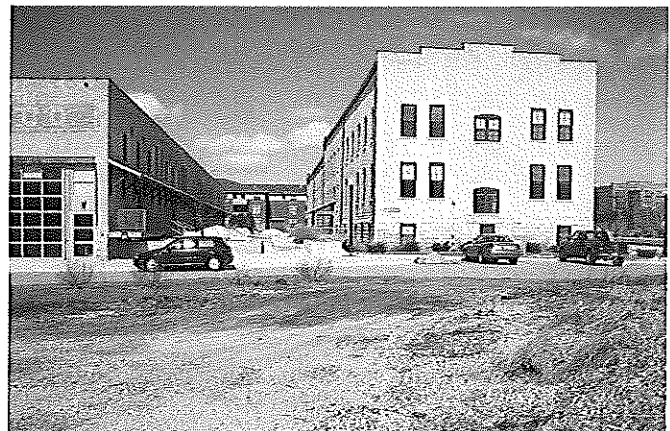
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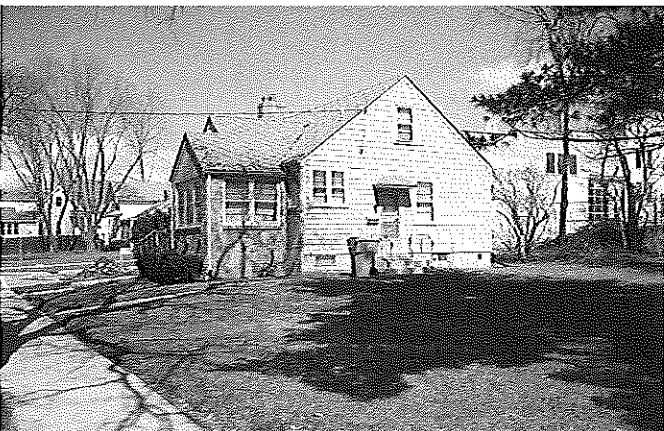
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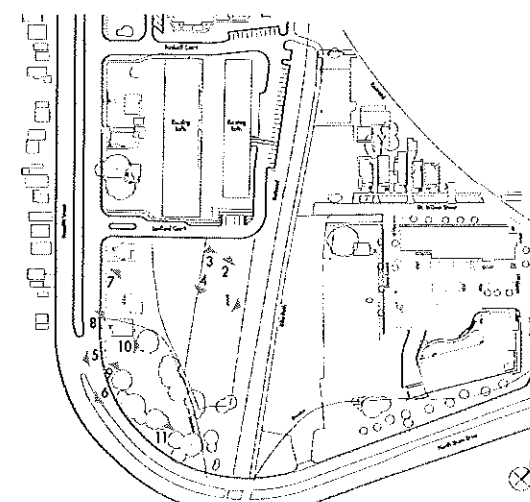
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4.



8.



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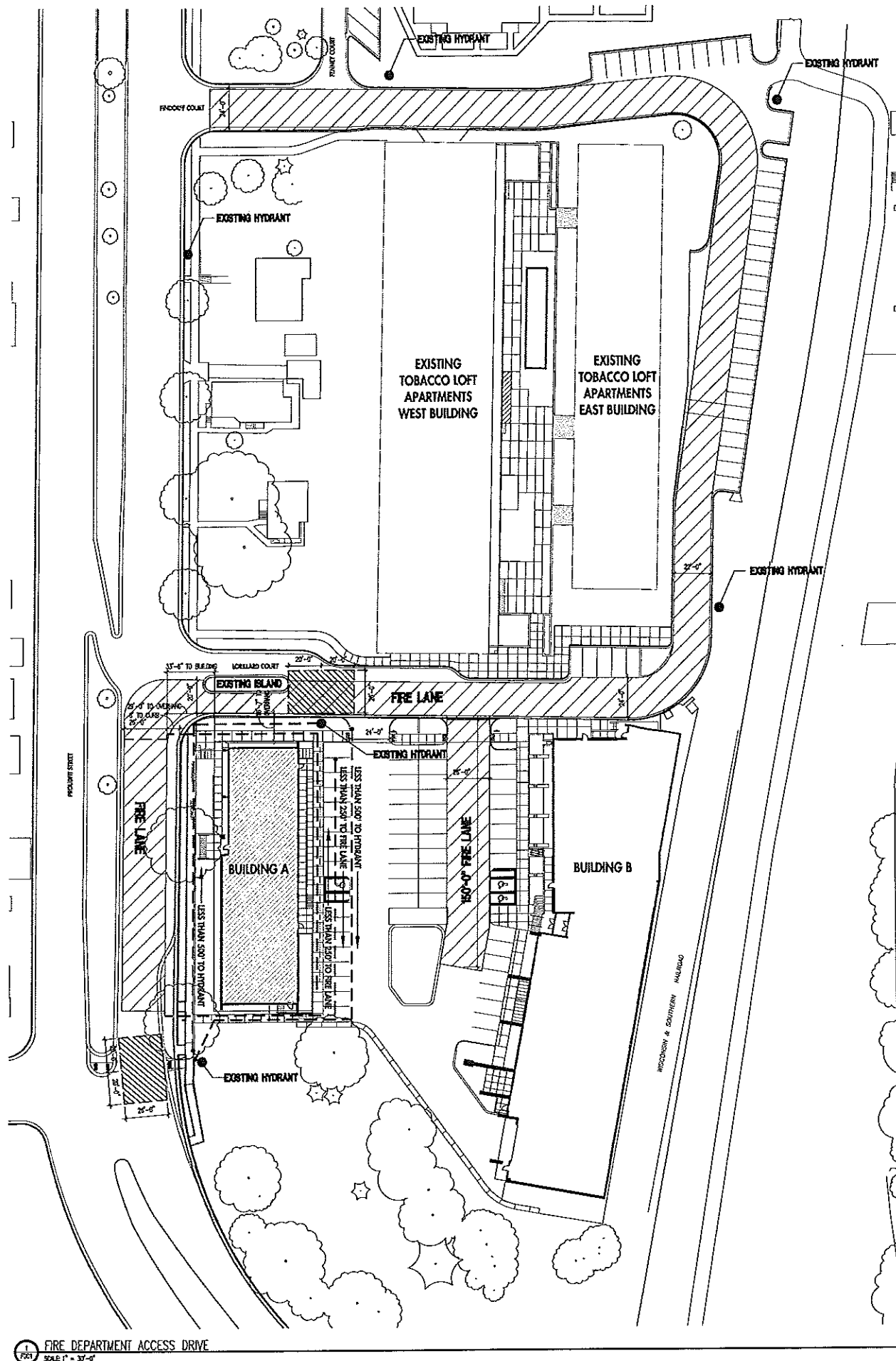
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File 080780

Fire Department Access Plan

FD01

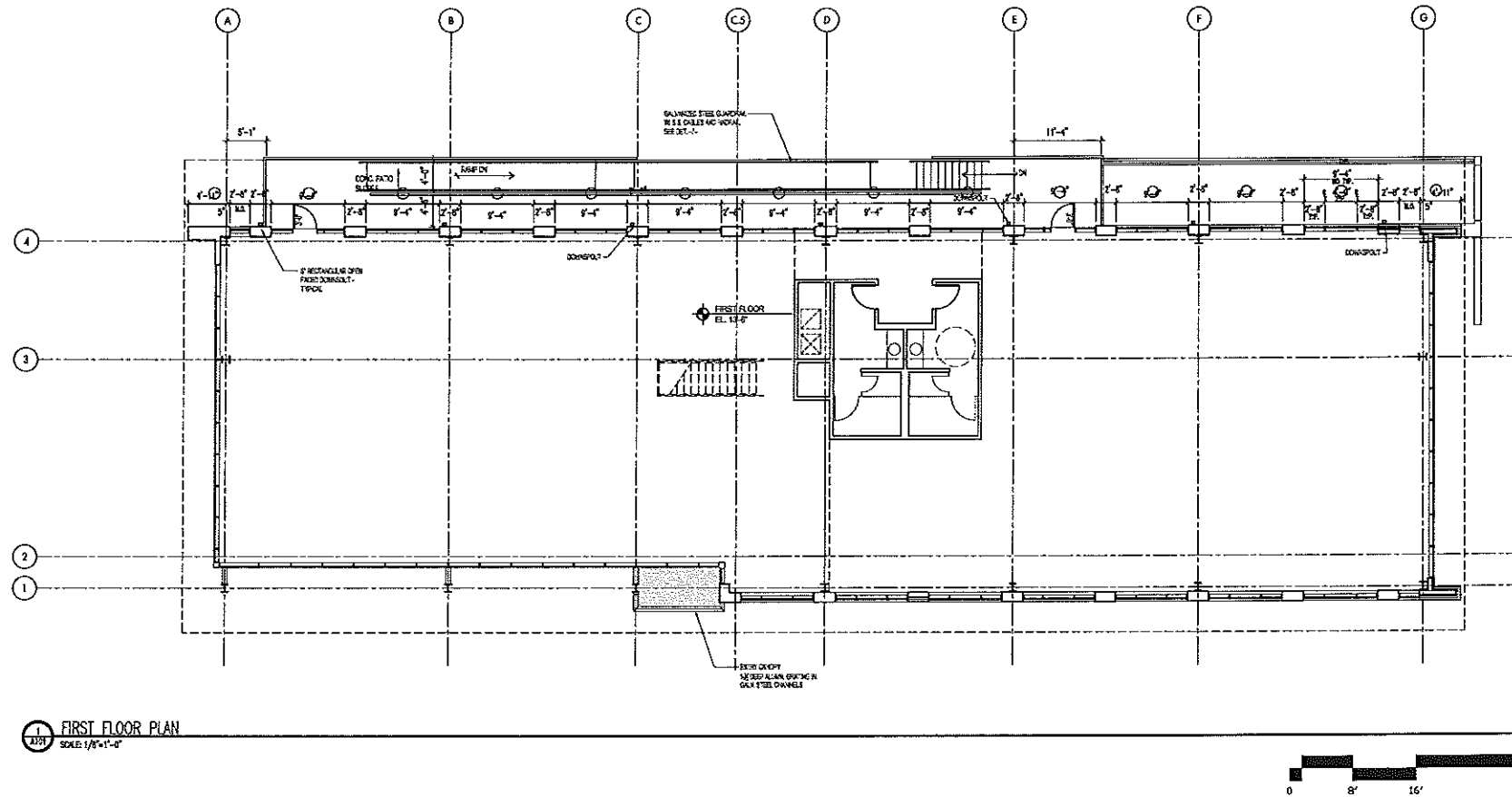


FIRE DEPARTMENT ACCESS DRIVE
SCALE: 1" = 37'-0"

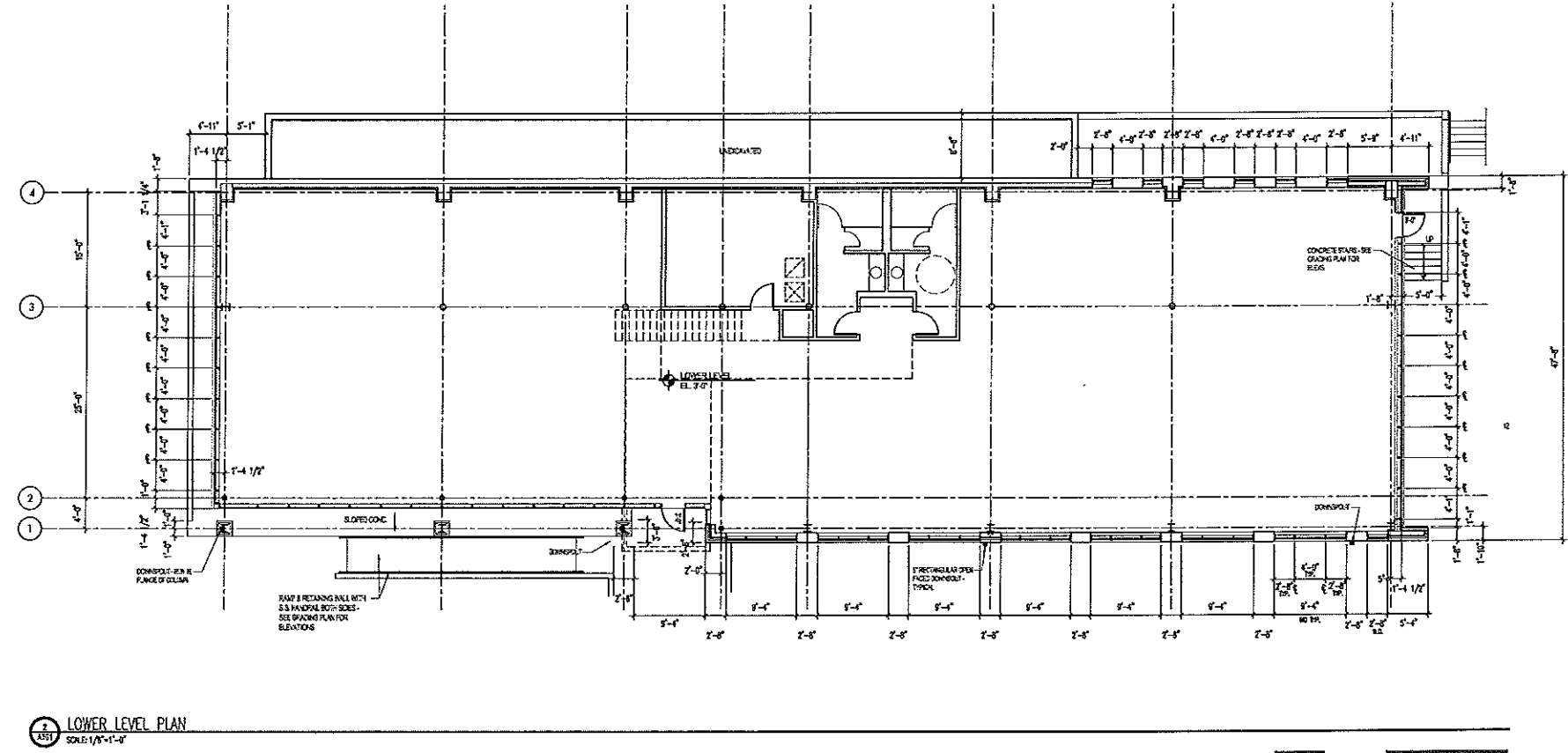
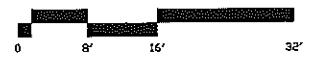
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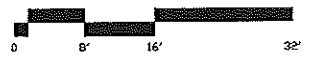
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1 FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



2 LOWER LEVEL PLAN
SCALE: 1/8"=1'-0"



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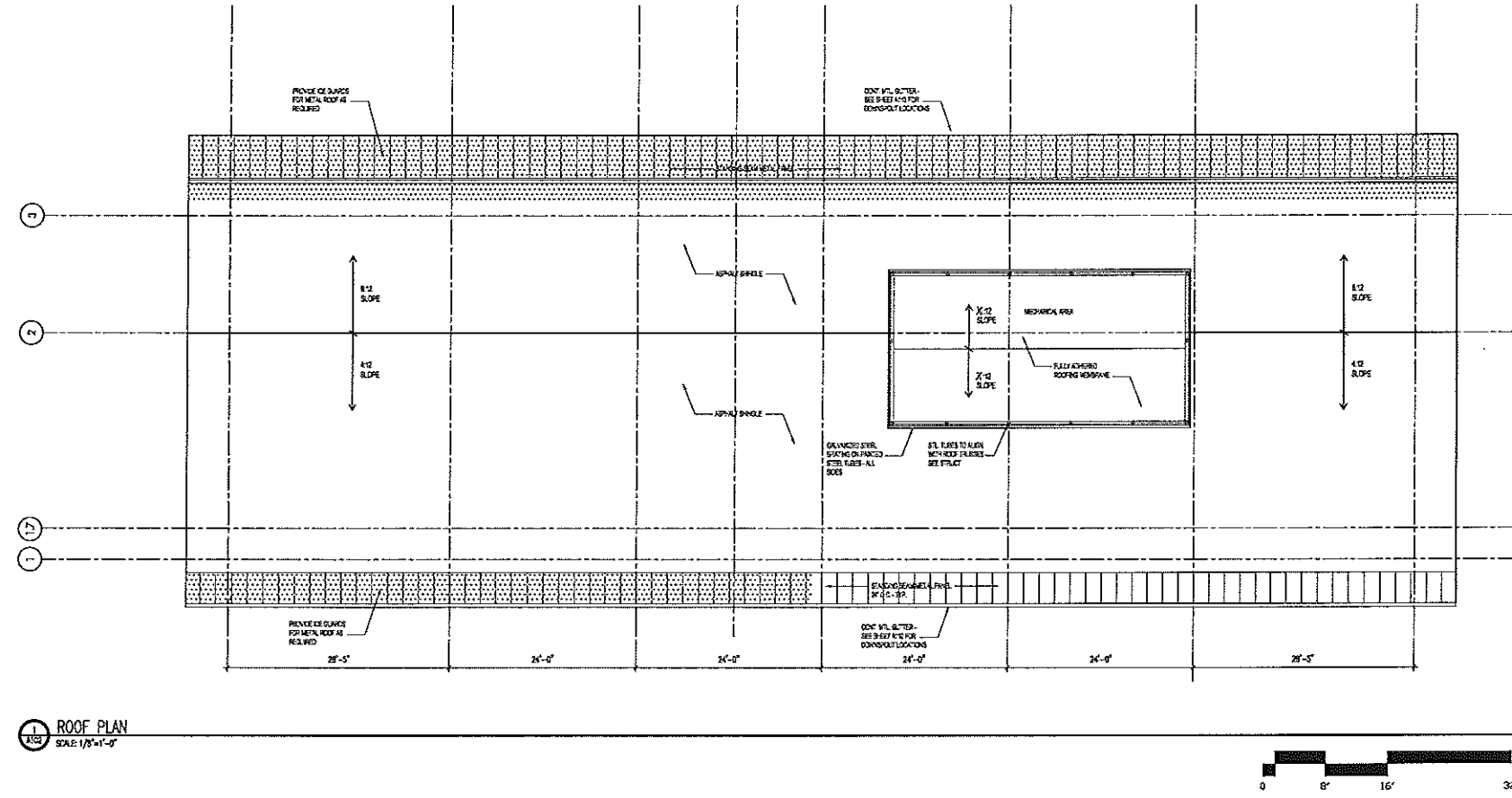
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FLOOR PLANS

Building A
Lower Level &
First Floor Plans

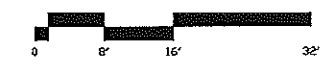
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Project No. 061720

No.	Description	Date



1 ROOF PLAN
SCALE: 1/8"=1'-0"



URBAN DESIGN COMMISSION/ LANDMARK COMMISSION/ PLAN COMMISSION SUBMITTAL
 SUBMITTED: APRIL 27, 2009 FOR:
 MAY 18, 2009 LANDMARK COMMISSION MEETING
 MAY 20, 2009 URBAN DESIGN COMMISSION INITIAL/FINAL APPROVAL MEETING
 JULY 6, 2009 PLAN COMMISSION MEETING
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Drawn by
Checked by
File
FLOOR PLANS

**Building A
Roof Plan**

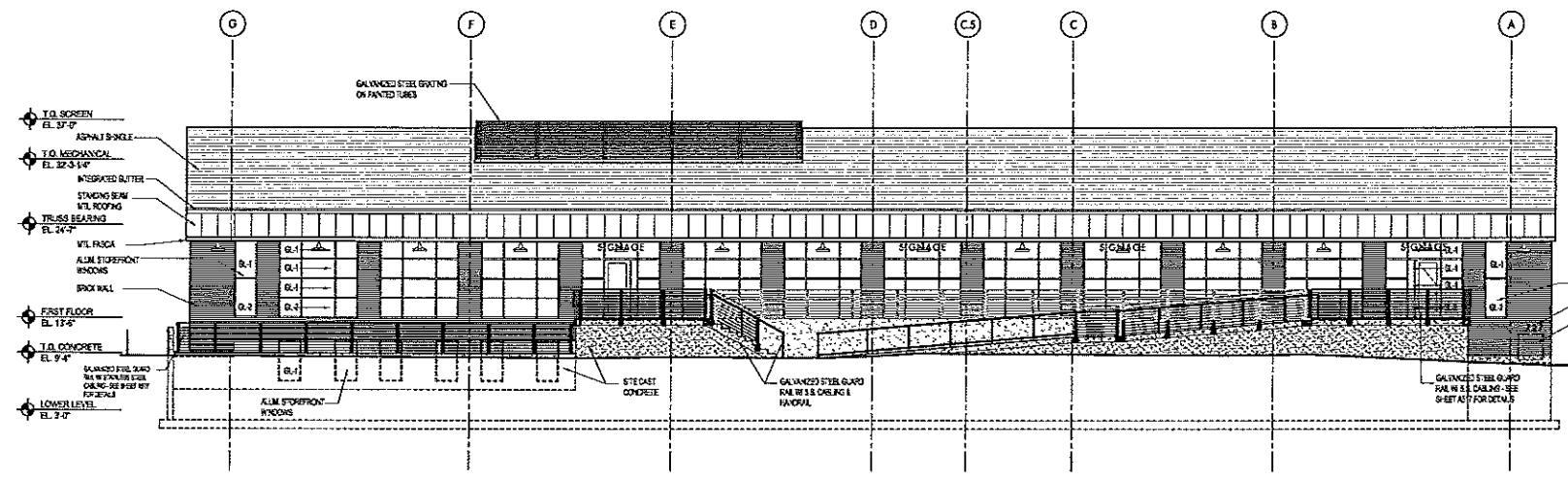


**FINDORFF YARDS OFFICE
LOFTS**

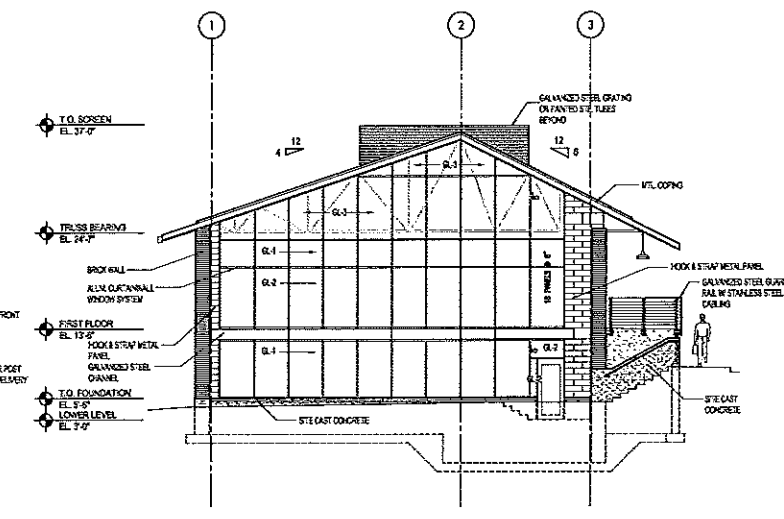
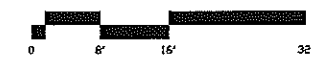
Madison, WI 53703
Urban Land Institute
13 East Doty Street
Suite 300
Madison, WI 53703
Project No. 061780

Issued For:

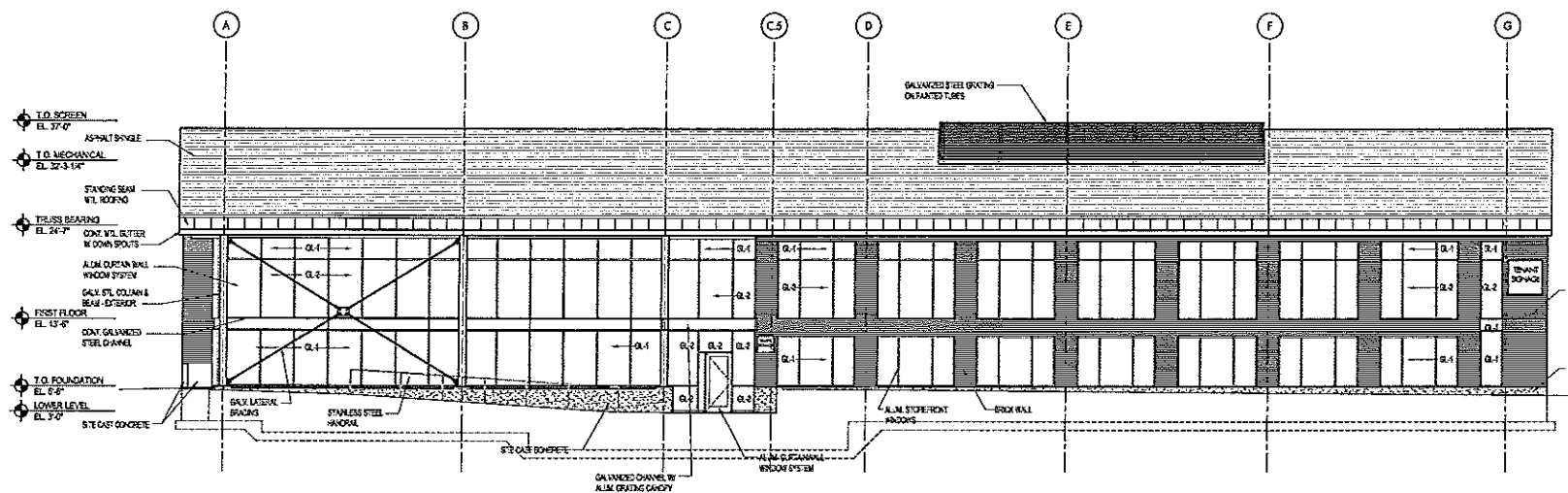
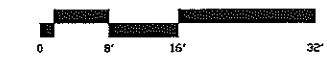
No.	Description	Date



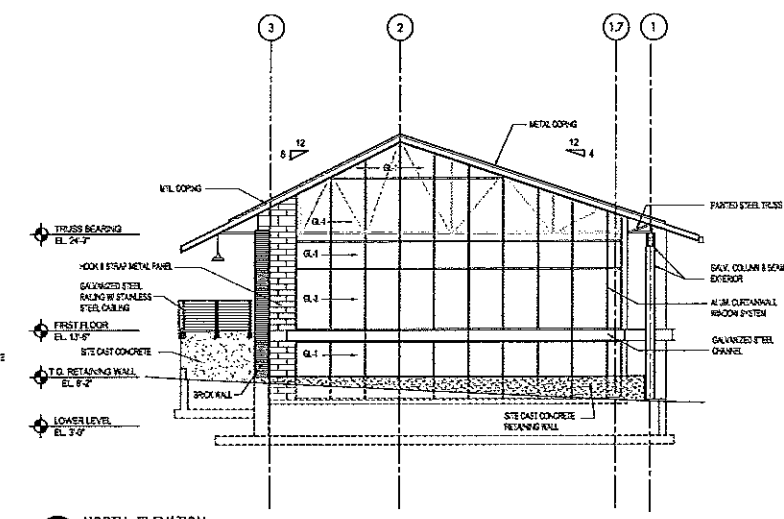
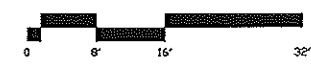
1 EAST ELEVATION
SCALE: 1/8"=1'-0"



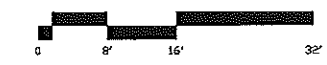
2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



3 WEST ELEVATION
SCALE: 1/8"=1'-0"



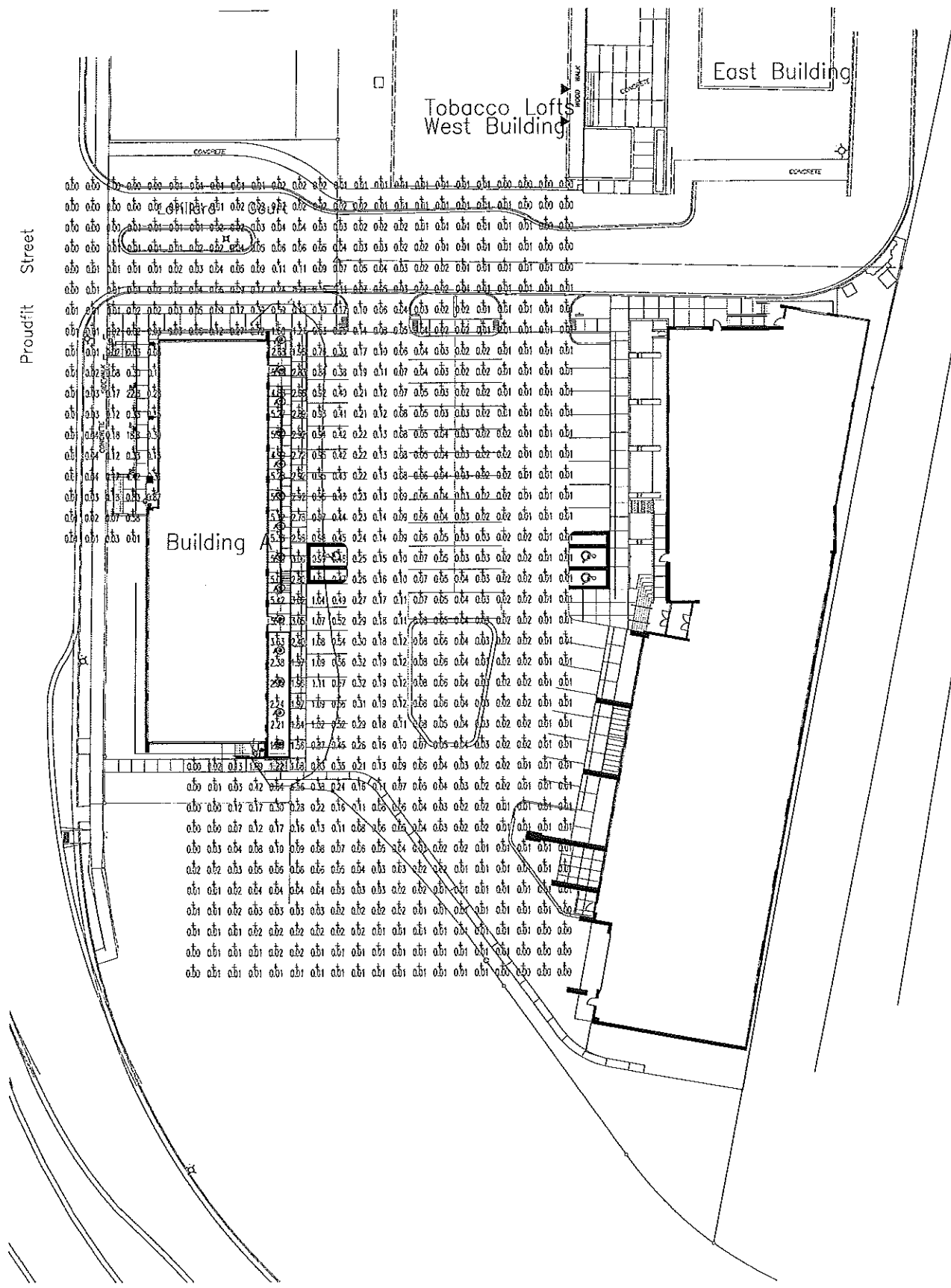
4 NORTH ELEVATION
SCALE: 1/8"=1'-0"



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Drawn by: mz
Checked by: ms
File: 1780_A401.dwg

Building A
Exterior Elevations



**FINDORFF YARDS OFFICE
LOFTS**

Madison, WI 53703
 Urban Land Institute
 10 East Dwyer Street
 Suite 300
 Madison, WI 53703
 Project No. 081780

Issued For:
 No. Description Date

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 Checked by: ms
 File: 081780

Site Photometrics

CONTOUR: 0.50 FC AT 4' AFG

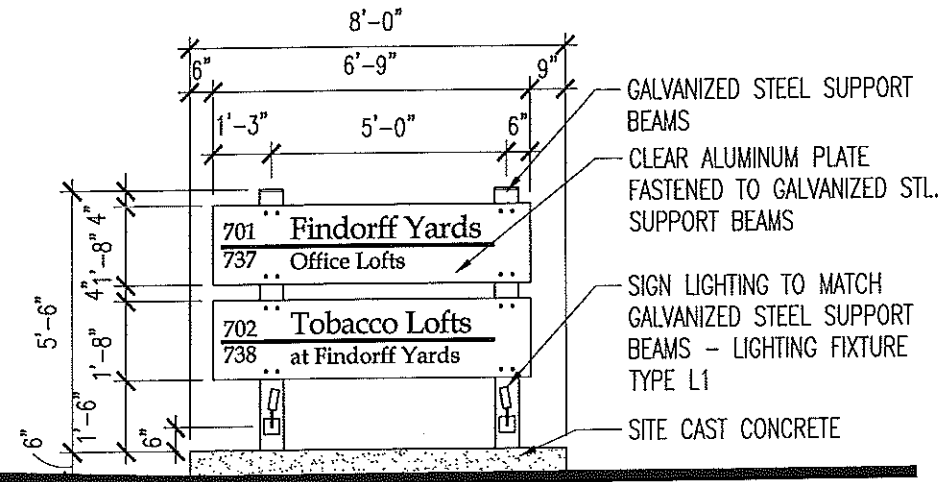
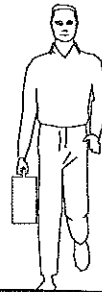
Findorff Yards - BUILDINGS & LUMINAIRE SCHEDULE						
TYPE	DESCRIPTION	TAG	LUMENS	MOUNTING HGT	QTY	
A	Bussellto WS17/XX/BC/CR17/XX	(1) CFL32	2400	VARIABLE	0.60	14
B	Bussellto SFM1-FR-CH49/CF26	(1) CFL26	1800	12' AFG	0.64	3
C	Lumiere 912-2-SOPAR20-120-NFL	(2) SOPAR20NFL	1100	12' AFG	0.90	1
G1	Lumiere 912-SOPAR20-120-NFL	(1) SOPAR20NFL	550	12' AFG	0.90	1

1 Exterior Light Fixture Schedule
 SCALE: 1" = 24" = 0"

2 Site Photometrics
 SCALE: 1" = 24" = 0"

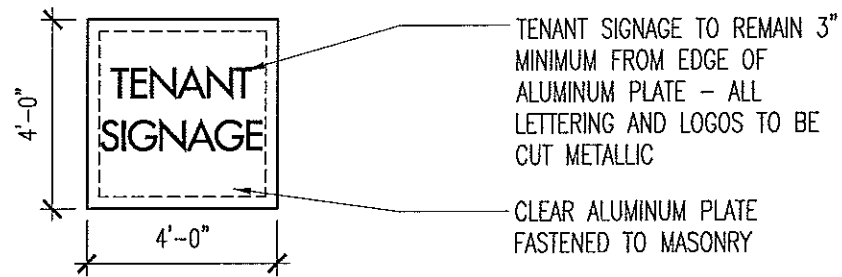
RELOCATED DEVELOPMENT SIGNAGE

- signange previously approved as part of Development GDP and Building-B SIP



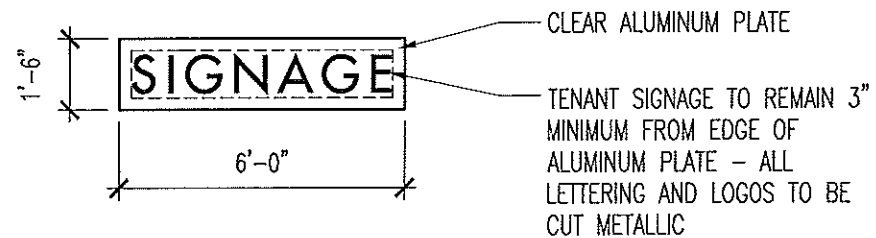
SIGNAGE NOTES FOR RELOCATED/PREVIOUSLY APPROVED SITE SIGN AT LORILLARD CT. ENTRY:

- 1) SEE SITE PLAN IN DRAWING SET FOR LOCATION
- 2) LETTERING TO BE CUT METALLIC ON CLEAR ALUMINUM PLATE
- 3) LETTERING AND LOGOS TO REMAIN MINIMUM 2" FROM EDGE OF ALUMINUM PLATE
- 4) MAXIMUM ALLOWED AREA FOR SIGNAGE AT THIS LOCATION TO BE 3'-8" x 6'-9"



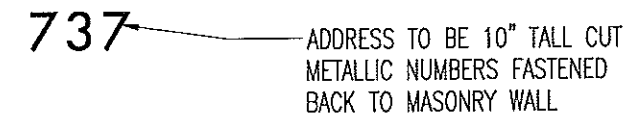
SIGNAGE NOTES FOR TENANT SIGN AT SOUTHWEST CORNER:

- 1) SEE BUILDING ELEVATIONS IN DRAWING SET FOR LOCATION
- 2) TENANT SIGN TO BE CUT METALLIC LETTERING ON CLEAR ALUMINUM PLATE
- 3) LETTERING AND LOGO ON TENANT SIGNS TO REMAIN MINIMUM 3" FROM EDGE OF ALUMINUM PLATE



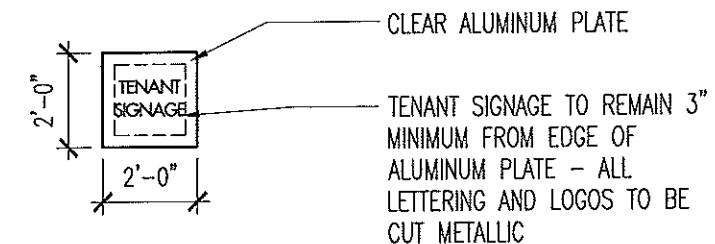
SIGNAGE NOTES FOR SIGNS ON EAST ELEVATION:

- 1) SEE BUILDING ELEVATIONS IN DRAWING SET FOR LOCATION
- 2) MAXIMUM ALLOWED AREA FOR TENANT(S) SIGNAGE AT THIS LOCATION TO BE 1'-6" x 6'-0"



SIGNAGE NOTES FOR ADDRESS:

- 1) SEE BUILDING ELEVATIONS IN DRAWING SET FOR LOCATION



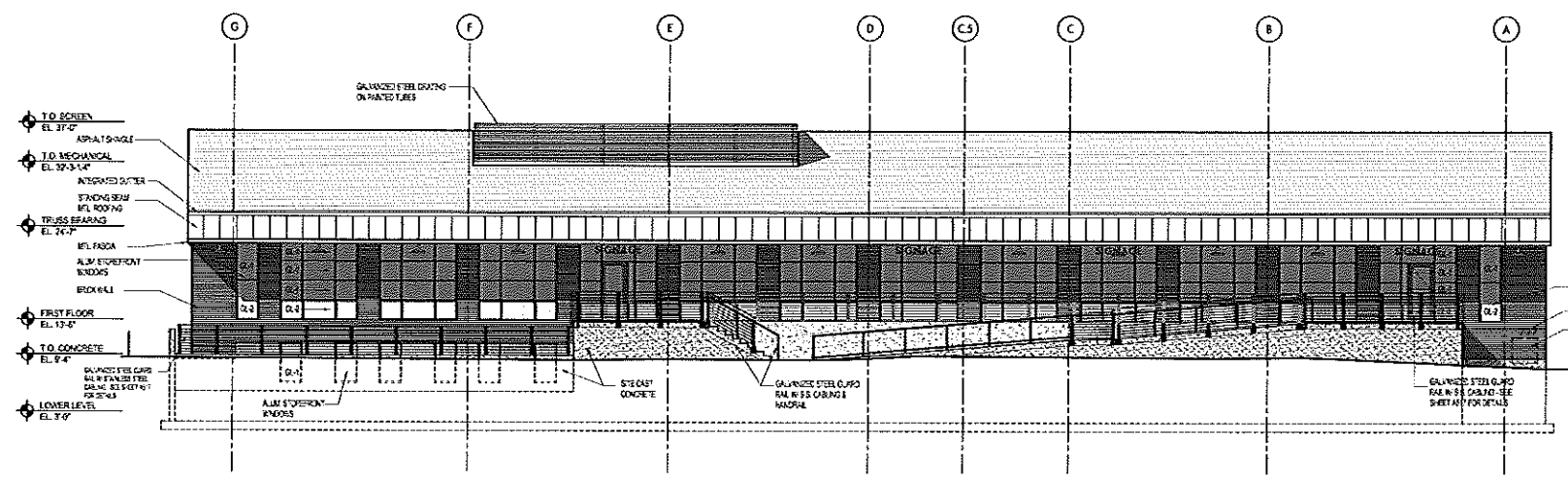
SIGNAGE NOTES FOR SIGN ON WEST ELEVATION:

- 1) SEE BUILDING ELEVATIONS IN DRAWING SET FOR LOCATION
- 2) MAXIMUM ALLOWED AREA FOR TENANT(S) SIGNAGE AT THIS LOCATION TO BE 1'-6" x 7'-4"

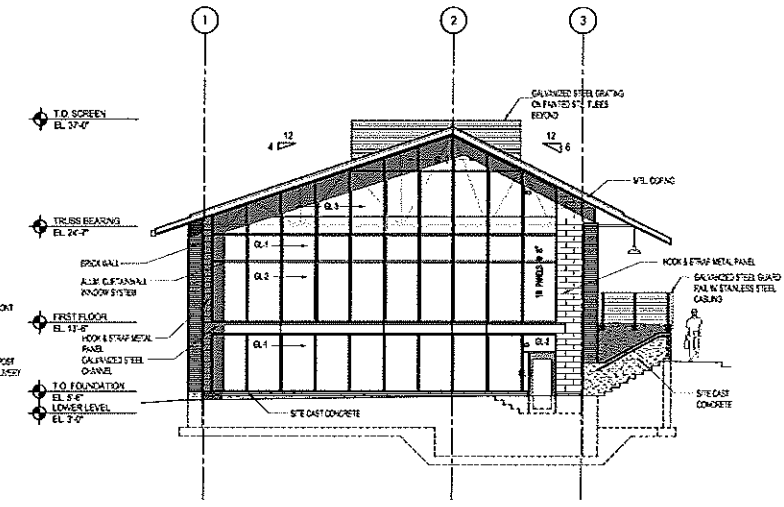
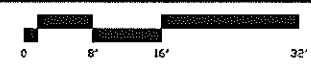
FINDORFF YARDS OFFICE LOFTS

Milwaukee, WI 53203
 Urban Land Institute
 10 East Dwyer Street
 Suite 200
 Madison, WI 53703
 Project No. 081780

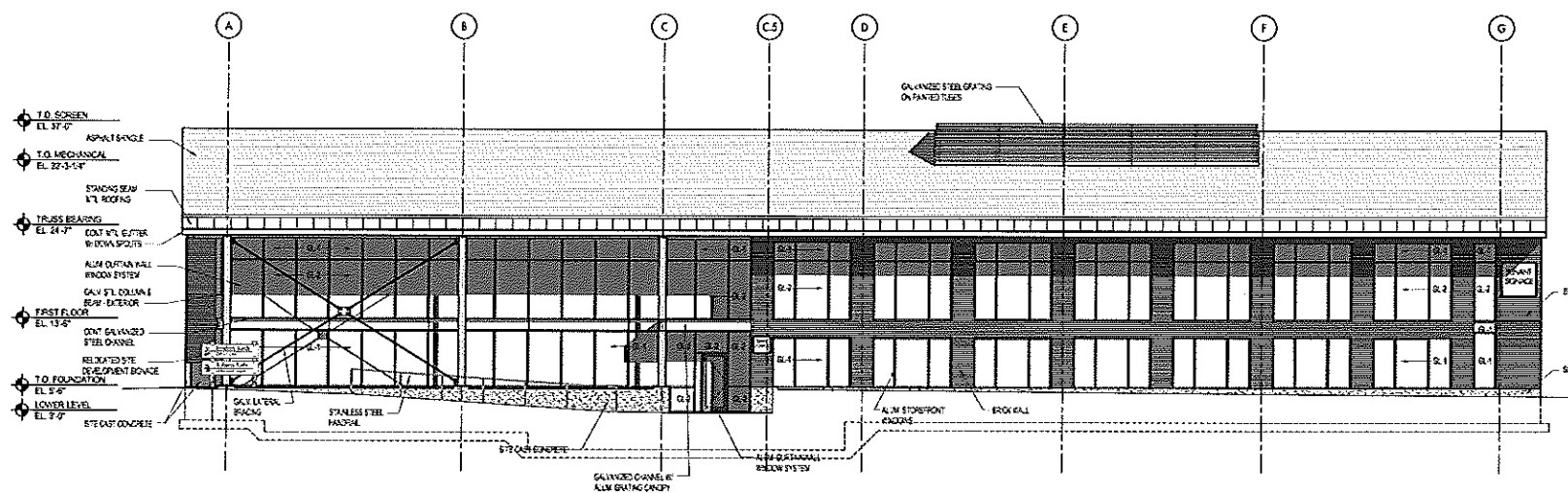
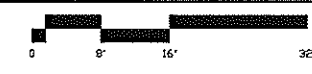
No.	Description	Date



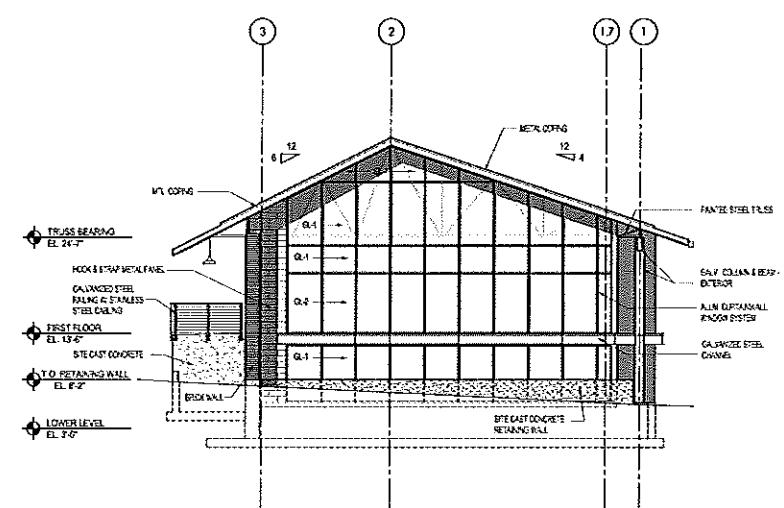
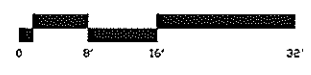
1 EAST ELEVATION
 SCALE 1/8"=1'-0"



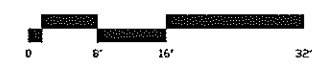
4 SOUTH ELEVATION
 SCALE 1/8"=1'-0"



3 WEST ELEVATION
 SCALE 1/8"=1'-0"



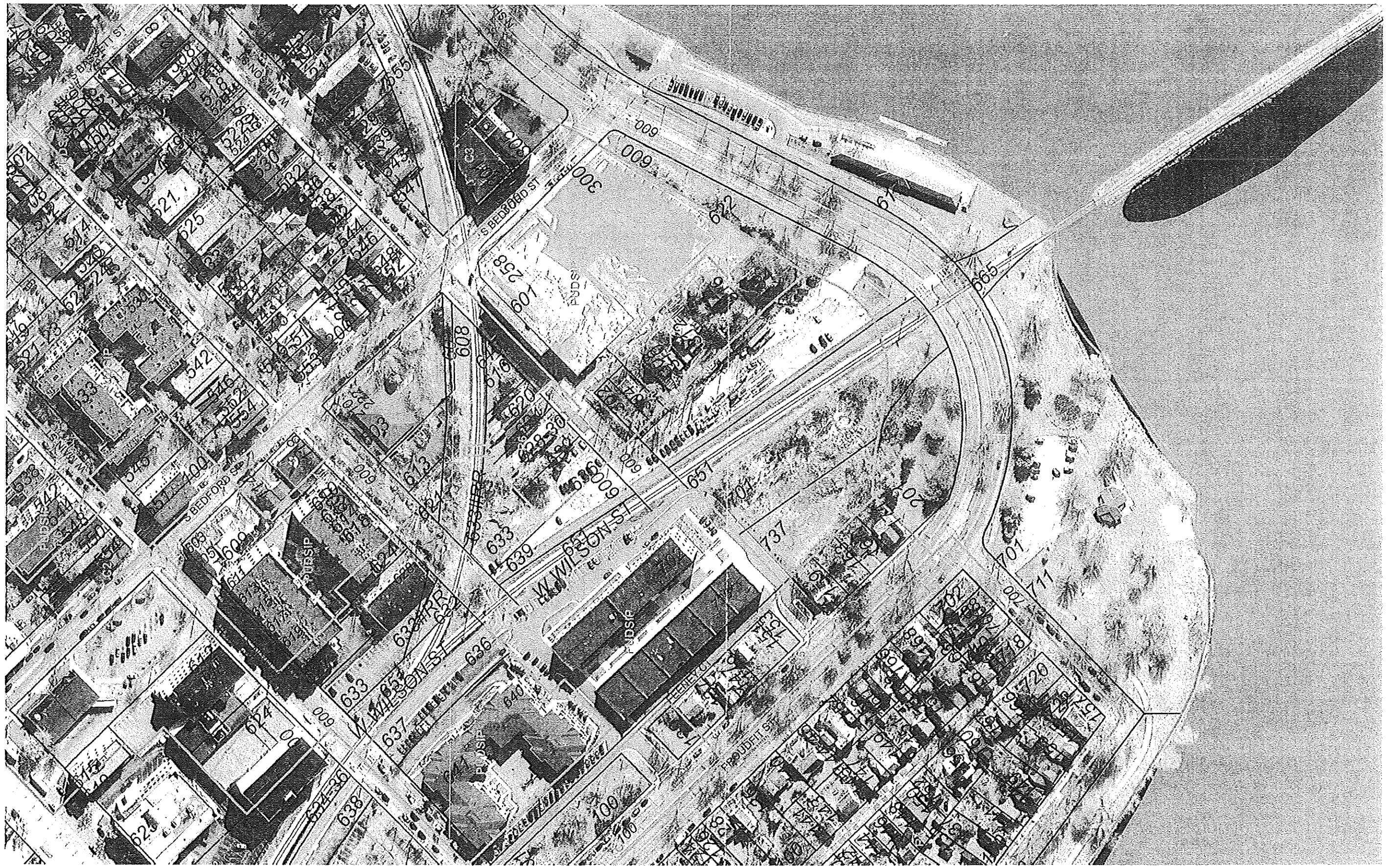
4 NORTH ELEVATION
 SCALE 1/8"=1'-0"



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Building A
 Exterior Elevations



FINDORFF YARDS OFFICE LOFTS - BUILDING A



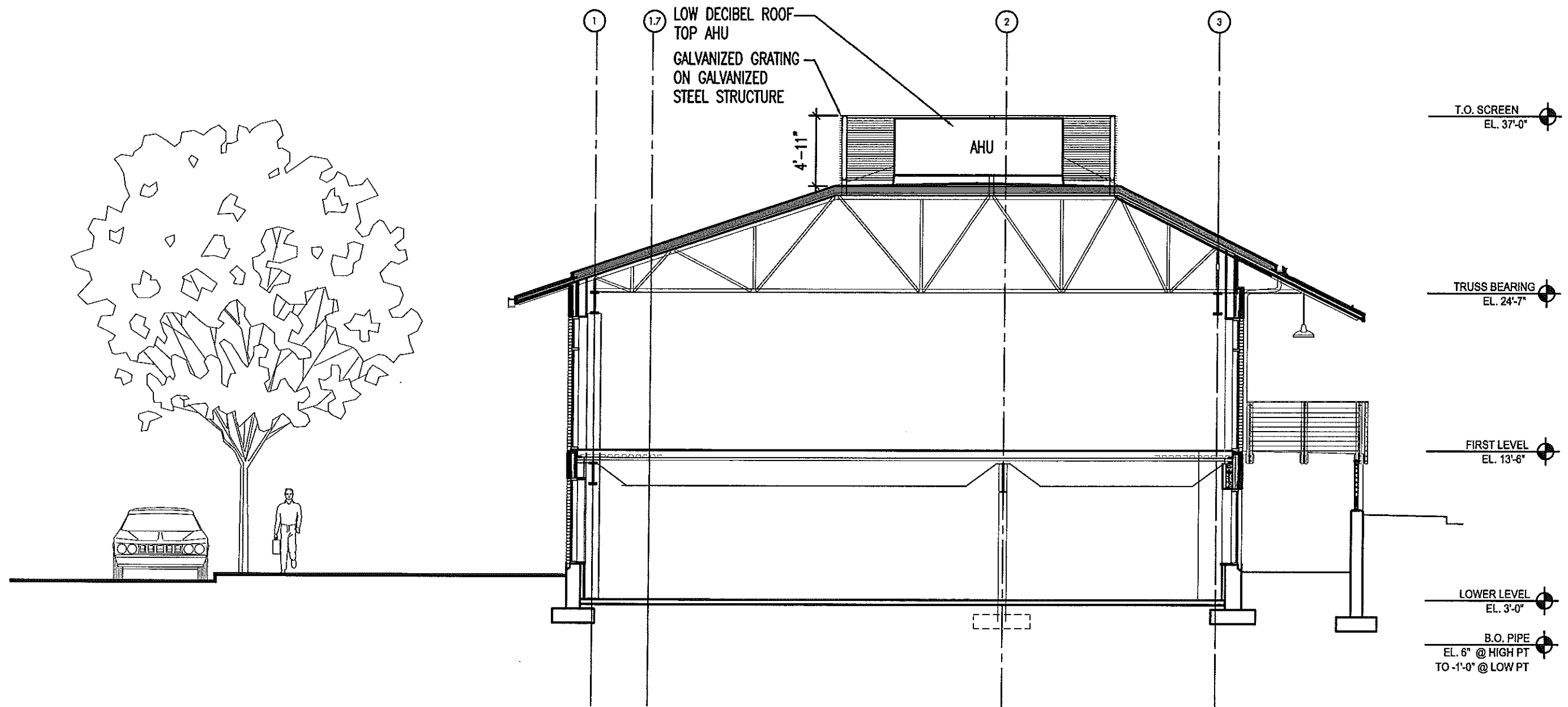
Zoning Map

Scale: None

CITY SUBMITTAL - Submitted April 27, 2009

Engberg Anderson Project No. 081780

 Urban Land Interests
Development and Property Management



TYPICAL BUILDING HVAC SCREENING