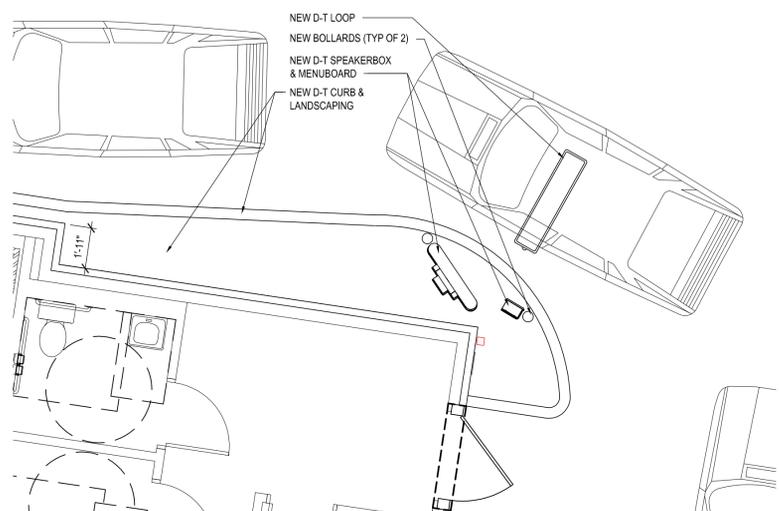


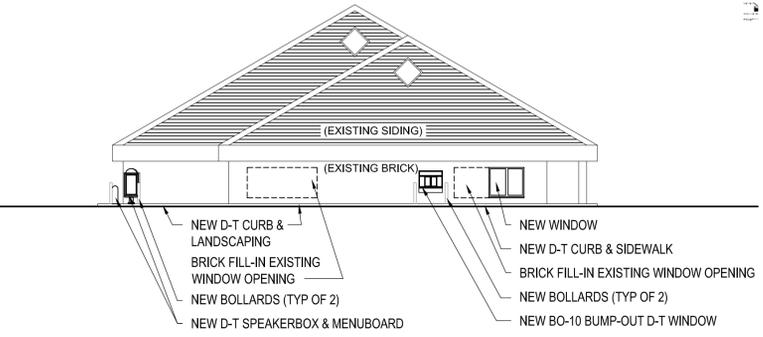
ENLARGED DRIVE-THRU DETAIL

1/4" = 1'-0"



ENLARGED DRIVE-THRU DETAIL

1/4" = 1'-0"

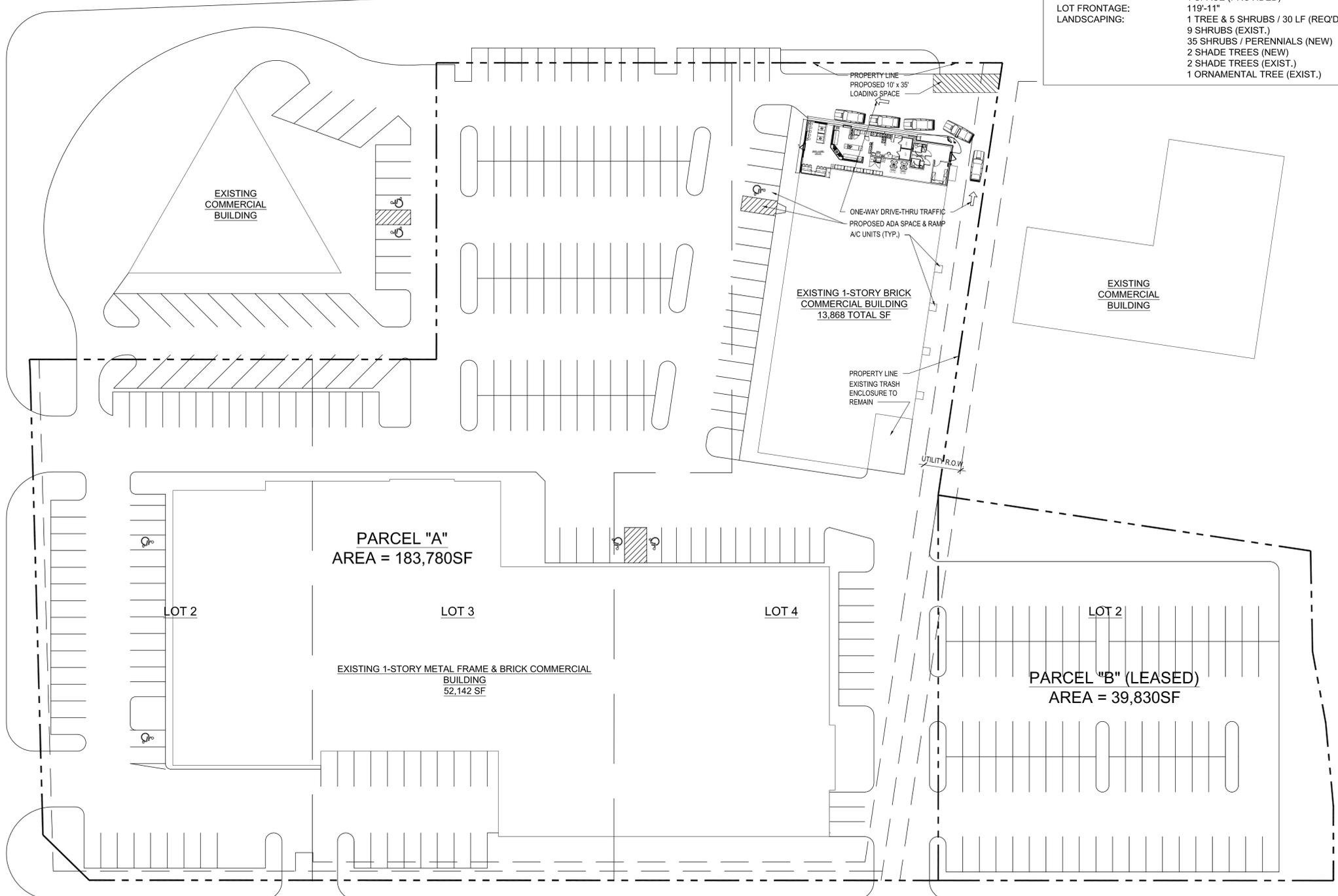


PROPOSED ELEVATION

1/16" = 1'-0"

ZONING ANALYSIS:

ZONING DISTRICT:	CC-T COMMERCIAL CORRIDOR - TRANSITIONAL DISTRICT
ZONING USE:	RESTAURANT (PERMITTED) DRIVE-THROUGH (CONDITIONAL USE)
FRONT YARD SETBACK:	20'-0" (REQ'D) 30'-0" (PROVIDED)
SIDE YARD SETBACK:	0'-0" (REQ'D) 19'-9" (PROVIDED)
LOT COVERAGE:	85% (MAXIMUM ALLOWABLE) 36% - BUILDINGS (PROVIDED) 93.15% - BUILDINGS & PAVEMENT
HEIGHT: ALLOWED)	1 STORY / 35 FT (PROVIDED)
GROSS FLOOR AREA:	40,000 SF (ALLOWED) 66,010 SF (PROVIDED)
OCCUPANCY (CAPACITY):	33 PERSONS
PARKING PROVIDED:	EXISTING TO REMAIN
OFF STREET LOADING:	1 SPACE (REQ'D) 1 SPACE (PROVIDED)
LOT FRONTAGE:	119'-11"
LANDSCAPING:	1 TREE & 5 SHRUBS / 30 LF (REQ'D) 9 SHRUBS (EXIST.) 35 SHRUBS / PERENNIALS (NEW) 2 SHADE TREES (NEW) 2 SHADE TREES (EXIST.) 1 ORNAMENTAL TREE (EXIST.)



SITE PLAN

1" = 30'-0"

EAST WASHINGTON AVE./L.S.H. 151

RIGHT-OF-WAY VARIES

DESCRIPTION: CAS FURNISHED

PARCEL A:

All of Lots Two (2), Three (3), and Four (4) of Certified Survey Map No. 2205, recorded in the Dane County Register of Deeds office in Volume 8 of Certified Survey Maps, Page 462, as Document No. 1491234, in the City of Madison, Dane County, Wisconsin.

AND

Part of Lot Two (2), Certified Survey Map No. 3382 recorded in the Dane County Register of Deeds office in Volume 13 of Certified Survey Maps, Pages 181 and 182, as Document No. 1652076, in the City of Madison, Dane County, Wisconsin, described as follows:

A parcel of land located in the Southwest Quarter and the Northwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4 and NW 1/4 SE 1/4) of Section Twenty-eight (28), Township 8 North, Range 10 East, in the City of Madison, Dane County, Wisconsin, commencing at the Southeast corner of said Section 28; thence South 89° 0' 48" West, 949.20 feet; thence North 35° 31' 48" West, 1132.82 feet to the point of beginning; thence continuing North 35° 31' 48" West, 209.50 feet; thence South 44° 00' 42" East, 207.21 feet; thence South 45° 59' 18" West, 30.90 feet to the point of beginning.

Tax Parcel No.: 60-0810-284-0802-0 (Commonly known as Princeton Place at 1753 Thierer Road)

PARCEL B:

Leasehold estate created by indenture of lease entered into by and between JACKSON CLINIC BUILDING PARTNERSHIP, as lessor(s), and DOUGLAS B. FRAKES, as lessee(s), dated February 18, 1998 an Affidavit of which was recorded in the office of the Register of Deeds for Dane County, Wisconsin on February 24, 1998, as Document No. 1922842, demising premises situated in said County and State and described as follows:

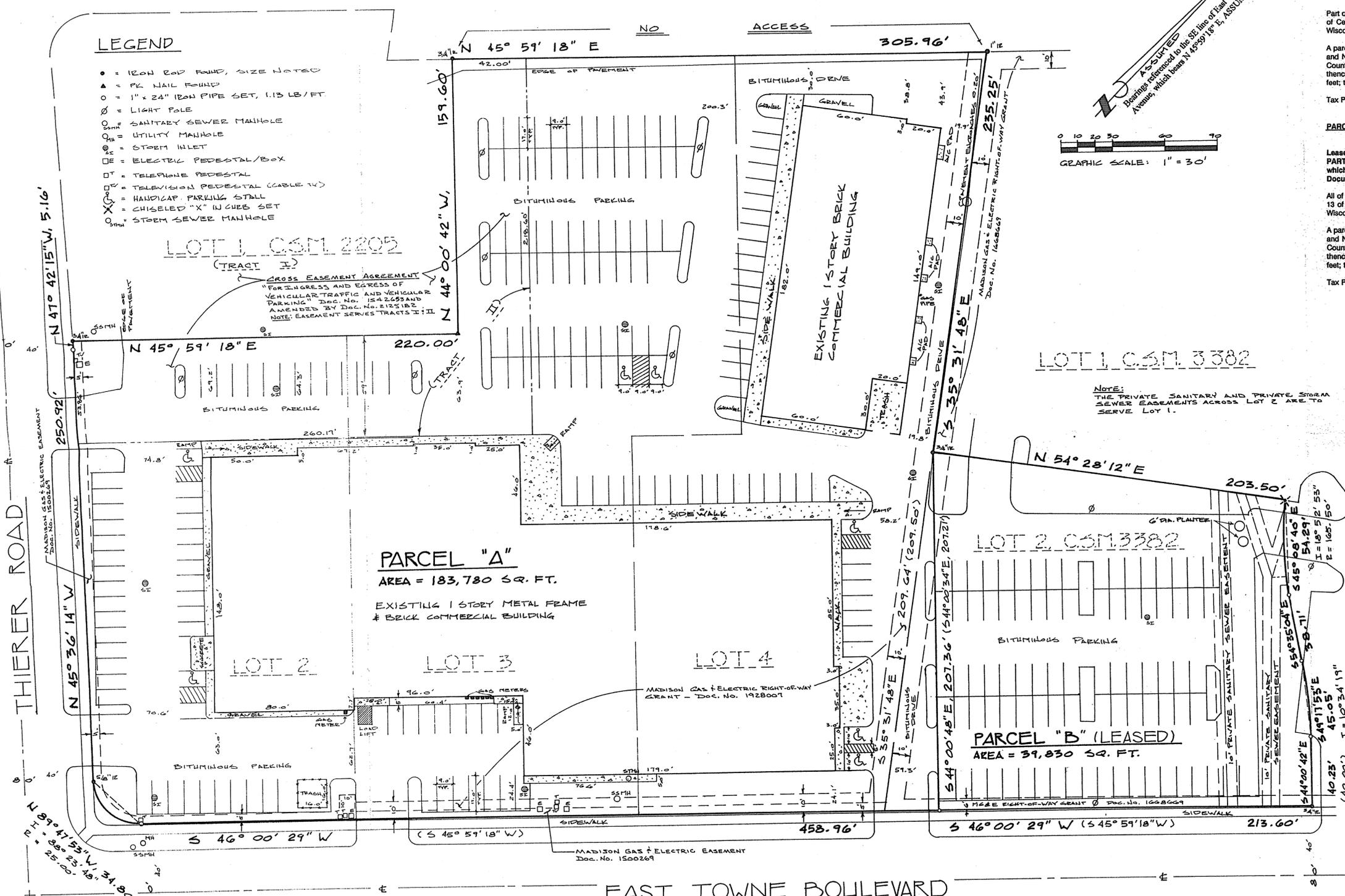
All of Lot Two (2) of Certified Survey Map No. 3382 recorded in the Dane County Register of Deeds Office in Volume 13 of Certified Survey Maps, Pages 181 and 182, as Document No. 1652076, in the City of Madison, Dane County, Wisconsin, except that part of Lot 2 described as follows:

A parcel of land located in the Southwest Quarter and the Northwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4 and NW 1/4 SE 1/4) of Section Twenty-eight (28), Township 8 North, Range 10 East, in the City of Madison, Dane County, Wisconsin, commencing at the Southeast corner of said Section 28; thence South 89° 0' 48" West, 949.20 feet; thence North 35° 31' 48" West, 1132.82 feet to the point of beginning; thence continuing North 35° 31' 48" West, 209.50 feet; thence South 44° 00' 42" East, 207.21 feet; thence South 45° 59' 18" West, 30.90 feet to the point of beginning.

Tax Parcel No.: 60-0810-284-0805-4 (Commonly known as 4102 East Towne Boulevard)

LEGEND

- = IRON ROD FOUND, SIZE NOTED
- ▲ = PL NAIL FOUND
- = 1" x 24" IRON PIPE SET, 1.13 LB/FT
- = LIGHT POLE
- _{SM} = SANITARY SEWER MANHOLE
- _{UM} = UTILITY MANHOLE
- _{SI} = STORM INLET
- = ELECTRICAL PEDESTAL/BOX
- _T = TELEPHONE PEDESTAL
- _{TV} = TELEVISION PEDESTAL (CABLE TV)
- _{HP} = HANDICAP PARKING STALL
- _{CS} = CHISELED "X" IN CURB SET
- _{SM} = STORM SEWER MANHOLE



LOT 1, CSM 3382

NOTE: THE PRIVATE SANITARY AND PRIVATE STORM SEWER EASEMENTS ACROSS LOT 2 ARE TO SERVE LOT 1.

SURVEYOR'S CERTIFICATE

I, Mark Steven Gerhardt, a Registered Surveyor of the State of Wisconsin, certifies to LaSalle National Bank, its successors and assigns, First American Title Insurance Company and Princeton Place L.L.C.; that this plat of survey is made in accordance with the minimum standards established by said state for surveys and land surveyors and with the minimum detail requirements for land title surveys as adopted by The American Land Title Association and American Congress on Surveying and Mapping for an Urban Survey and in accordance with First American Title Insurance Company Commitment No. 978884; that this survey correctly shows the location of all buildings, structures and other improvements situated on the subject Premises; and that except as shown, there are no visible or recorded easements or rights-of-way across said Premises or any other easements or rights-of-way of which the undersigned has been advised, no party walls, no encroachments onto adjoining premises, streets or alleys by any of said buildings, structures or other improvements, and no encroachments onto said premises by buildings, structures or other improvements situated on adjoining premises.

Date: December 2, 1997

Mark Steven Gerhardt,
Wisconsin Land Surveyor, S-1983

NOTES:

- 1) This property lies in Zone "C" per Flood Insurance Rate Map Community Panel No. 550083 0023 D as revised September 18, 1986 per the City of Madison Engineering Department.
- 2) This property contains no "Designated Wetlands" per the City of Madison Engineering Department on 12/2/1997.



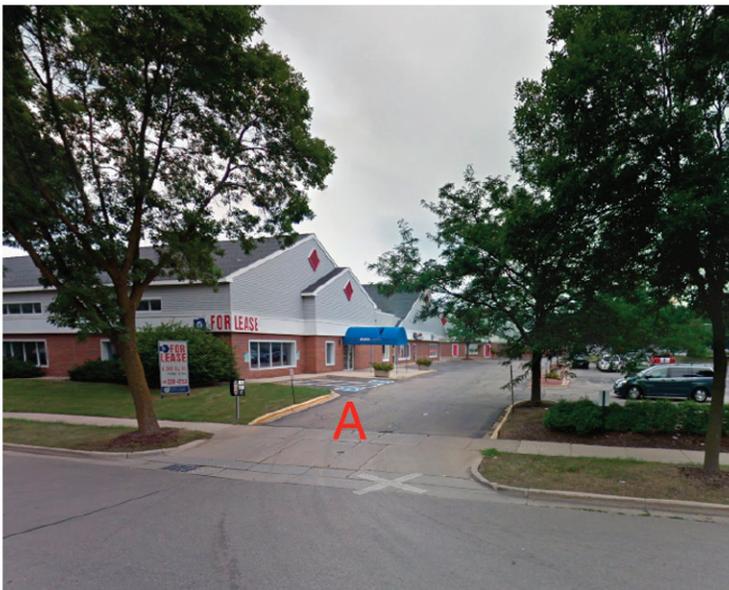
THE FOLLOWING EASEMENTS ARE NOT PLOTTABLE:

- Easement to Wisconsin Telephone Company as contained in Instrument recorded on December 7, 1927, as Document No. 482723.
- Easement to Wisconsin Telephone Company as contained in Instrument recorded on December 7, 1927, as Document No. 482726.
- Easement and rights granted to Wisconsin Telephone Company and the American Telephone Company, their heirs and assigns, as contained in Instrument recorded on July 31, 1942, as Document No. 660884.

Surveyed For: Princeton Place L.L.C.
Attn: Mr. John Phillip
P.O. Box 7700
Madison, WI 53707-7700
(608) 241-2100

BADGER SURVEYING AND MAPPING SERVICE
2121 NORTH SHEPHERD AVENUE - MADISON, WISCONSIN 53704 - (608) 244-2010 - FAX: (608) 244-5272

SCALE: 1" = 30'	APPROVED BY: M.S. GERHARDT	DRAWN BY: SLO
DATE: 12-2-97	REVISED: NA	
ALTA-ACSM SURVEY		
DRAWING NUMBER:		976-204



PH: 217-877-2345
FAX: 217-877-2347

Signs & Graphics, Inc.

2901 N. Woodford St. Decatur, IL 62526

For: Jimmy John's Gourmet Sandwiches - Madison, WI

Quantity: Three (3) double sided internally illuminated "Drive Thru" directional signs

Vinyl Colors: 3630-22 Black and 3630-83 Regal Red

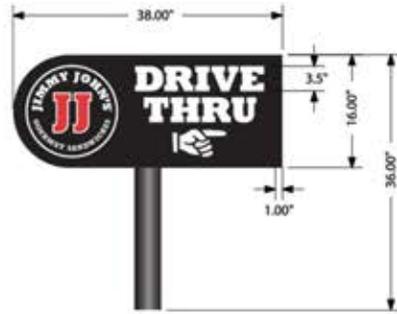
Quantity: One (1) double sided internally illuminated "Exit Only" directional signs

Vinyl Colors: 3630-22 Black and 3630-83 Regal Red

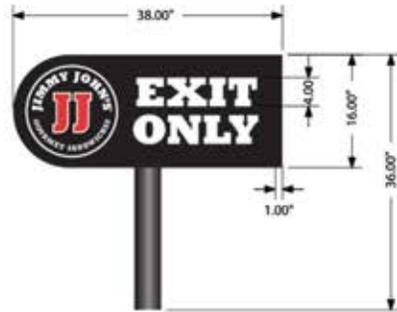
This is an original unpublished drawing confidentially submitted for your personal use in connection with a project being planned for you by Bendsen Signs and Graphics, Inc. It is not to be shown or described to other nor is it to be used reproduced, copied or exhibited in any fashion.



Designer: KL
Date: 08-03-15
Sketch No. MDSN_102



A, B, C



D



PH: 217-877-2348
FAX: 217-877-2347

Signs & Graphics, Inc.

2901 N. Woodford St. Decatur, IL 62526

For: Jimmy John's Gourmet Sandwiches - Madison, WI

Quantity: Three (3) double sided internally illuminated "Drive Thru" directional signs

Vinyl Colors: 3630-22 Black and 3630-83 Regal Red

Quantity: One (1) double sided internally illuminated "Exit Only" directional signs

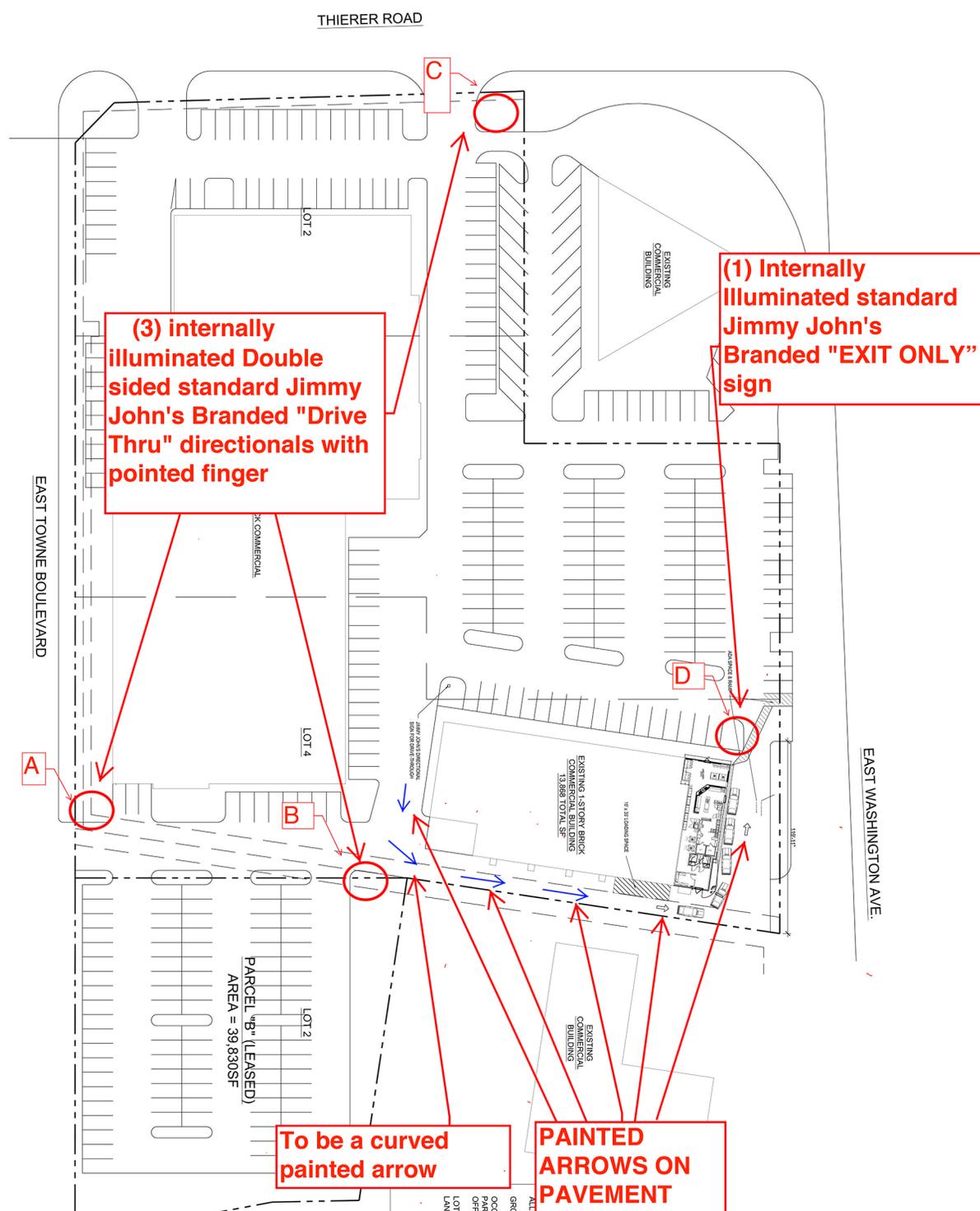
Vinyl Colors: 3630-22 Black and 3630-83 Regal Red

This is an original unpublished drawing confidentially submitted for your personal use in connection with a project being planned for you by Bendsen Signs and Graphics, Inc. It is not to be shown or described to other nor is it to be used reproduced, copied or exhibited in any fashion.



Designer: KL
Date: 08-03-15

Signs & Graphics, Inc. Sketch No. MDSN_1033



(3) internally illuminated Double sided standard Jimmy John's Branded "Drive Thru" directionals with pointed finger

(1) Internally illuminated standard Jimmy John's Branded "EXIT ONLY" sign

To be a curved painted arrow

PAINTED ARROWS ON PAVEMENT

ZONING ANALYSIS:

REG DISTRICT:	CC-1 COMMERCIAL CORRIDOR - RESTAURANT (PERMITTED)
REG USE:	DRIVE-THROUGH (CONDITIONAL)
FT YARD SETBACK:	20'-0" (REQD)
YARD SETBACK COVERAGE:	0% (REQD)
YARD SETBACK COVERAGE:	85% (MAXIMUM ALLOWABLE)
YARD SETBACK COVERAGE:	35% - BUILDINGS & PAVEMENT
YARD SETBACK COVERAGE:	5-35' (NEW)
YARD SETBACK COVERAGE:	1-35' (NEW)
YARD SETBACK COVERAGE:	1-35' (EXIST)
GROSS FLOOR AREA:	1 STORY / 35 FT (PROVIDED)
OCCUPANCY CAPACITY:	66,010 SF (PROVIDED)
PARKING PROVIDED:	33 PERSONS
EXISTING TO REMAIN:	EXISTING TO REMAIN
SPRINKLER SYSTEM:	1 SPACE (PROVIDED)
LOT FRONTAGE:	119'-11"
LANDSCAPING:	9 SHRUBS (NEW) / 2 SHRUBS (EXIST) / 2 SHADE TREES (NEW) / 2 SHADE TREES (EXIST) / 1 ORNAMENTAL TREE (EXIST)

EAST WASHINGTON AVENUE

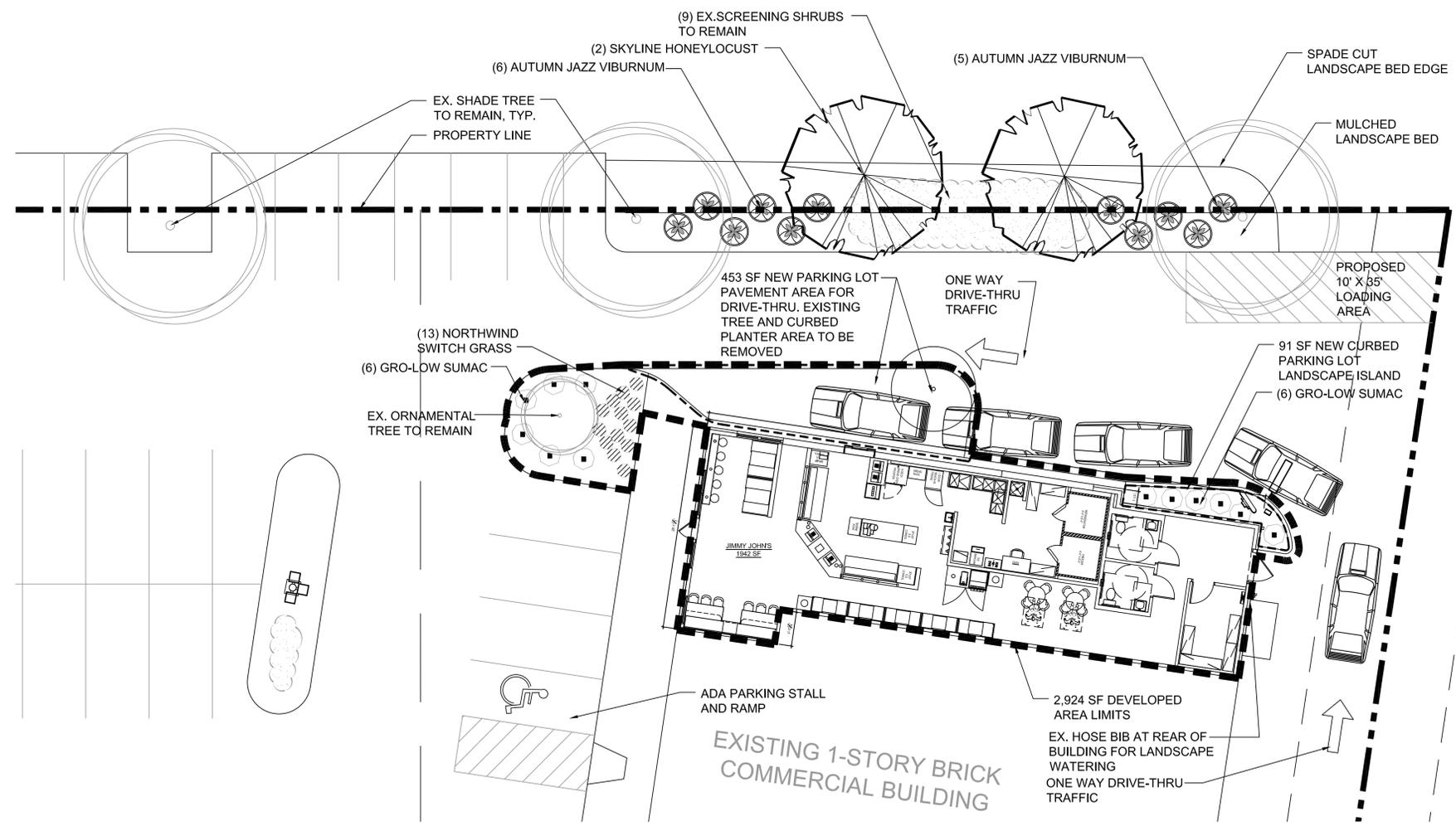
OWNER
JIMMY JOHN'S
 Since 1953
 WORLD'S GREATEST GOURMET SANDWICHES
 JIMMY JOHN'S FRANCHISE, LLC
 2217 FOX DRIVE, CHICAGO, IL 60620
 217-356-9900 FAX 217-359-2956

ARCHITECT OF RECORD
tap
 The Architects Partnership



529 North Barron Boulevard
 Grayslake, IL 60030
 (847)223-1891 (847)223-1892 FAX
 website: www.3ddesignstudio.com
 email: info@3ddesignstudio.com

Plant List			
SHADE TREES	COMMON NAME	BOTANICAL NAME	QUANT SIZE
	"Skyline" Honeylocust	<i>Ginkgo biloba "Autumn Gold"</i>	2 2.5" BB
SHRUBS	COMMON NAME	BOTANICAL NAME	QUANT SIZE
	"Gro-low" Sumac	<i>Rhus aromatica "Gro-Low"</i>	12 #3 Gal.
	"Autumn Jazz" Viburnum	<i>Viburnum dentatum "Autumn Jazz"</i>	11 #3 Gal.
PERENNIALS	COMMON NAME	BOTANICAL NAME	QUANT SIZE
	"Northwind" Switch Grass	<i>Panicum virgatum "Northwind"</i>	13 #3 Gal.



LANDSCAPE CODE CALCULATIONS:

DEVELOPED AREA LANDSCAPE CALCULATION
 DEVELOPED AREA (AS SHOWN ON PLAN): 2,924 SF / 300 = 9.75 PLANT UNITS OR 50 POINTS REQUIRED.
 PROPOSED LANDSCAPE:
 (12) 3 GAL. DECIDUOUS SHRUBS = 24 POINTS
 (13) 3 GAL. ORNAMENTAL GRASSES = 26 POINTS
TOTAL OF 50 POINTS PROPOSED.

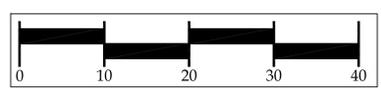
DEVELOPMENT FRONTAGE LANDSCAPE CALCULATION
 120 LF OF FRONTAGE / 30 = 4 SHADE TREES AND 20 SHRUBS REQUIRED.
 PROPOSED LANDSCAPE:
 (2) NEW SHADE TREES PLUS (2) EXISTING SHADE TREES = 4 TOTAL SHADE TREES.
 (11) NEW SCREENING SHRUBS PLUS (9) EXISTING SHRUBS = 20 TOTAL SHRUBS.
 (NOTE - FENCING NOT PROPOSED SINCE REMAINING DEVELOPMENT DOES NOT HAVE FENCING.)

INTERIOR PARKING LOT LANDSCAPE CALCULATION
 NEW PARKING LOT / DRIVE LANE ASPHALT AREA - 453 SF.
 EXISTING ASPHALT PARKING REMOVED FOR NEW PARKING LOT LANDSCAPE ISLAND 79 SF.
 TOTAL NEW PAVEMENT AREA - 374 SF
 374 X 5% = 18.7 SF OF INTERIOR PLANTING ISLANDS REQUIRED AND 91 SF OF PARKING LOT ISLAND PROPOSED.

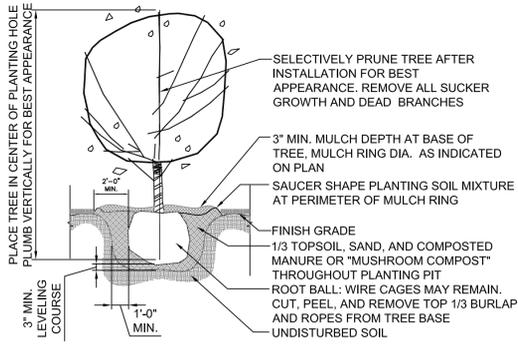
LANDSCAPE GENERAL NOTES:

1. ALL PLANT MATERIAL IS SUBJECT TO AVAILABILITY AND CORRECT SEASONAL PLANTING PROCEDURE. ANY AND ALL SUBSTITUTIONS REQUEST MUST BE SUBMITTED IN WRITING TO THE OWNER'S REPRESENTATIVE PRIOR TO ORDERING SUBSTITUTION MATERIALS.
2. ALL PLANTS SHALL RECEIVE MIN. 4" DEPTH OF SHREDDED HARDWOOD BARK MULCH COVER IN PLANTING BED, INCLUDING PERENNIAL PLANTINGS.
3. THE LANDSCAPE CONTRACTOR SHALL STAKE AND LAYOUT ALL INSTALLATIONS AND BEDS FOR APPROVAL BY OWNER'S REPRESENTATIVE. FAILURE TO RECEIVE REVIEW AND APPROVAL MAY BE CAUSE TO REQUIRE THE REMOVAL OF PLANTS AND REINSTALLATION AT NO ADDITIONAL COST TO THE OWNER.
4. THE CONTRACTOR SHALL SUPPLY LANDSCAPE PLANTING SOIL MIX FOR ALL PERENNIAL PLANTING BEDS TO CONSIST OF 1/3 TOPSOIL, 1/3 SAND AND 1/3 COMPOSTED MANURE OR "MUSHROOM COMPOST". THIS MIXTURE IS TO BE ROTOTILLED INTO THE SOIL A MINIMUM OF 8" THROUGHOUT THE BED, AFTER INSTALLATION MULCH AS SPECIFIED ABOVE. CONTRACTOR MUST ALSO WORK INTO SOIL TERRASORB HB AT A RATE PER THE MANUFACTURER'S RECOMMENDATION ALL SHRUB AND NON-IRRIGATED TREE AND PERENNIAL BEDS. SUBMIT MANUFACTURER'S LITERATURE FOR APPROVAL PRIOR TO IMPLEMENTATION.
5. ANY EXISTING TURF AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION SHALL BE RESTORED WITH SOD AS NECESSARY.

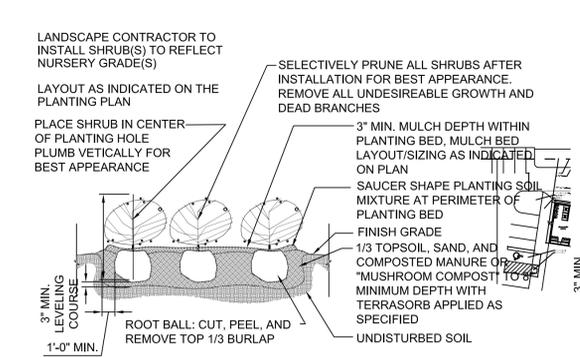
1 Landscape Plan
 SCALE: 1" = 10'



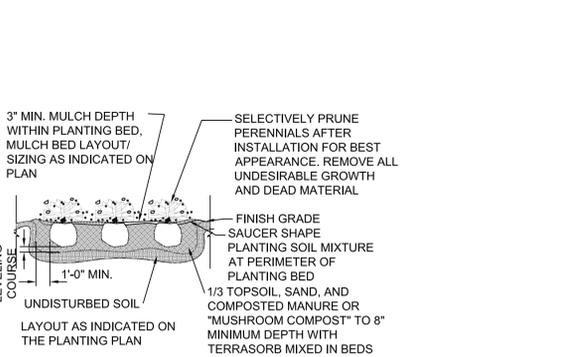
- NOTES:
 1. LANDSCAPE CONTRACTOR SHALL CONFIRM TREE PIT DOES NOT HOLD WATER.
 2. LANDSCAPE CONTRACTOR TO INSTALL TREE AT ELEVATION OF NURSERY GRADE
 3. LAYOUT AS INDICATED ON THE PLANTING PLAN



2 Tree Planting Detail
 SCALE: N.T.S.



3 Shrub Planting Detail
 SCALE: N.T.S.



4 Perennial Planting Detail
 SCALE: N.T.S.

sheet title
Jimmy John's - Store #59C
 Landscape Plan

scale	AS NOTED
design	3D
date	7.1.15
revision	8.12.15
revision	

sheet
1
 of 1 sheet(s)