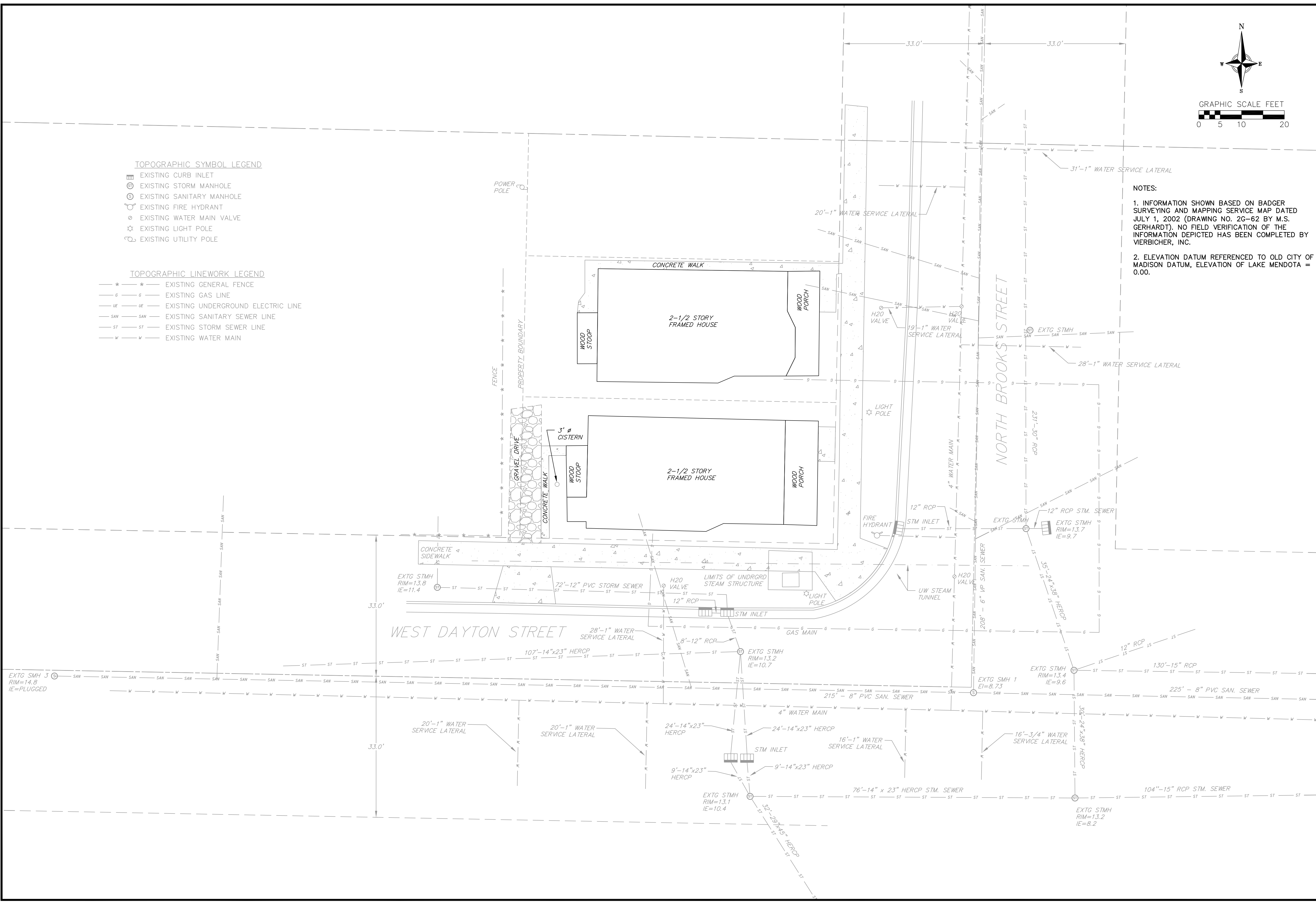


Brooks & Dayton Student Housing  
Madison, Wisconsin 53226

C-001	SITE PLAN
C-002	DEMOLITION PLAN
C-003	SITE GRADING AND EROSION CONTROL
C-004	UTILITY PLAN
A-001	LOWER LEVEL PLAN & PROJECT DATA
A-002	STREET LEVEL & SECOND FLOOR PLANS
A-003	THIRD & FOURTH FLOOR PLANS
A-004	FIFTH FLOOR & LOFT PLANS
A-005	ELEVATIONS - SOUTH AND EAST
A-006	ELEVATIONS - NORTH AND WEST



UDC & PLAN COMMISSION  
Information Set

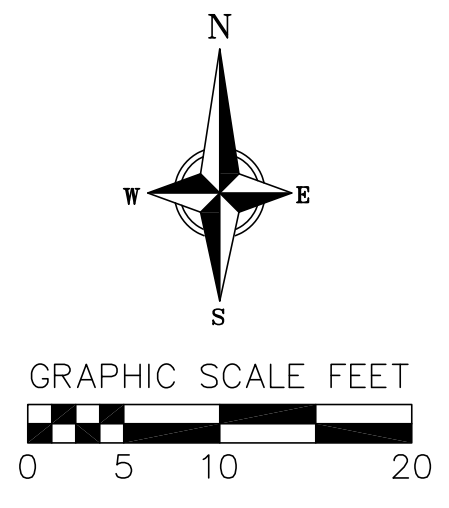


TOPOGRAPHIC SYMBOL LEGEND

- ⊞ EXISTING CURB INLET
- ⊕ EXISTING STORM MANHOLE
- ⊙ EXISTING SANITARY MANHOLE
- ⊕ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER MAIN VALVE
- ☆ EXISTING LIGHT POLE
- ⊕ EXISTING UTILITY POLE

TOPOGRAPHIC LINEWORK LEGEND

- \*—\*— EXISTING GENERAL FENCE
- g—g— EXISTING GAS LINE
- ue—ue— EXISTING UNDERGROUND ELECTRIC LINE
- san—san— EXISTING SANITARY SEWER LINE
- st—st— EXISTING STORM SEWER LINE
- w—w— EXISTING WATER MAIN



NOTES:

1. INFORMATION SHOWN BASED ON BADGER SURVEYING AND MAPPING SERVICE MAP DATED JULY 1, 2002 (DRAWING NO. 26-62 BY M.S. GERHARDT). NO FIELD VERIFICATION OF THE INFORMATION DEPICTED HAS BEEN COMPLETED BY VIERBICHER, INC.
2. ELEVATION DATUM REFERENCED TO OLD CITY OF MADISON DATUM, ELEVATION OF LAKE MENDOTA = 0.00.

**vierbicher** | engineers | architects  
planners

REEDSBURG - MADISON - PRABIE DU CHIEN  
1000 Wisconsin Avenue  
PO Box 1000  
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Phone: (608) 824-6332 Fax: (608) 824-6330

**Brooks & Dayton Student Housing**  
Site Plan  
Madison, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

SCALE AS SHOWN

DATE NOV. 30, 2011




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PROJECT NO. 33117752.00

C-001







LEGEND

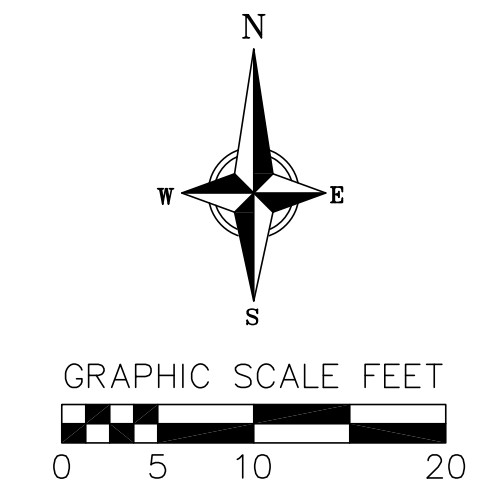
-  EXISTING BUILDING TO BE REMOVED
-  EXISTING CONCRETE/ASPHALT TO BE REMOVED
-  EXISTING GRAVEL TO BE REMOVED

TOPOGRAPHIC SYMBOL LEGEND

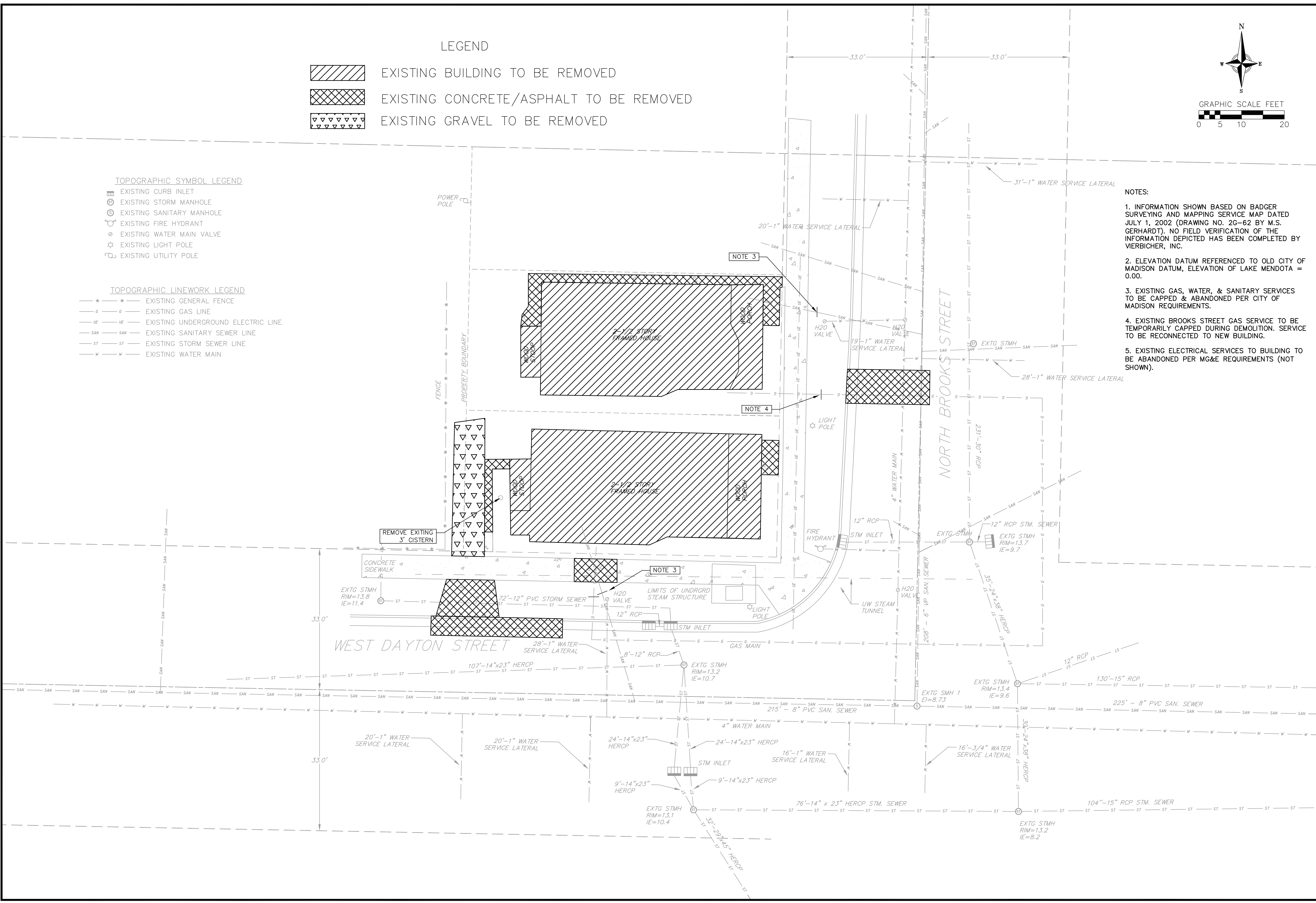
-  EXISTING CURB INLET
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-  EXISTING WATER MAIN



- NOTES:
1. INFORMATION SHOWN BASED ON BADGER SURVEYING AND MAPPING SERVICE MAP DATED JULY 1, 2002 (DRAWING NO. 2G-62 BY M.S. GERHARDT). NO FIELD VERIFICATION OF THE INFORMATION DEPICTED HAS BEEN COMPLETED BY VIERBICHER, INC.
  2. ELEVATION DATUM REFERENCED TO OLD CITY OF MADISON DATUM, ELEVATION OF LAKE MENDOTA = 0.00.
  3. EXISTING GAS, WATER, & SANITARY SERVICES TO BE CAPPED & ABANDONED PER CITY OF MADISON REQUIREMENTS.
  4. EXISTING BROOKS STREET GAS SERVICE TO BE TEMPORARILY CAPPED DURING DEMOLITION. SERVICE TO BE RECONNECTED TO NEW BUILDING.
  5. EXISTING ELECTRICAL SERVICES TO BUILDING TO BE ABANDONED PER MG&E REQUIREMENTS (NOT SHOWN).



**vierbicher**  
 planners | engineers | advisors  
 REEDSBURG - MADISON - PRABIE DU CHEN  
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 Phone: (608) 856-6532 Fax: (608) 856-6530

**Brooks & Dayton Student Housing**  
 Demolition Plan  
 Madison, Wisconsin

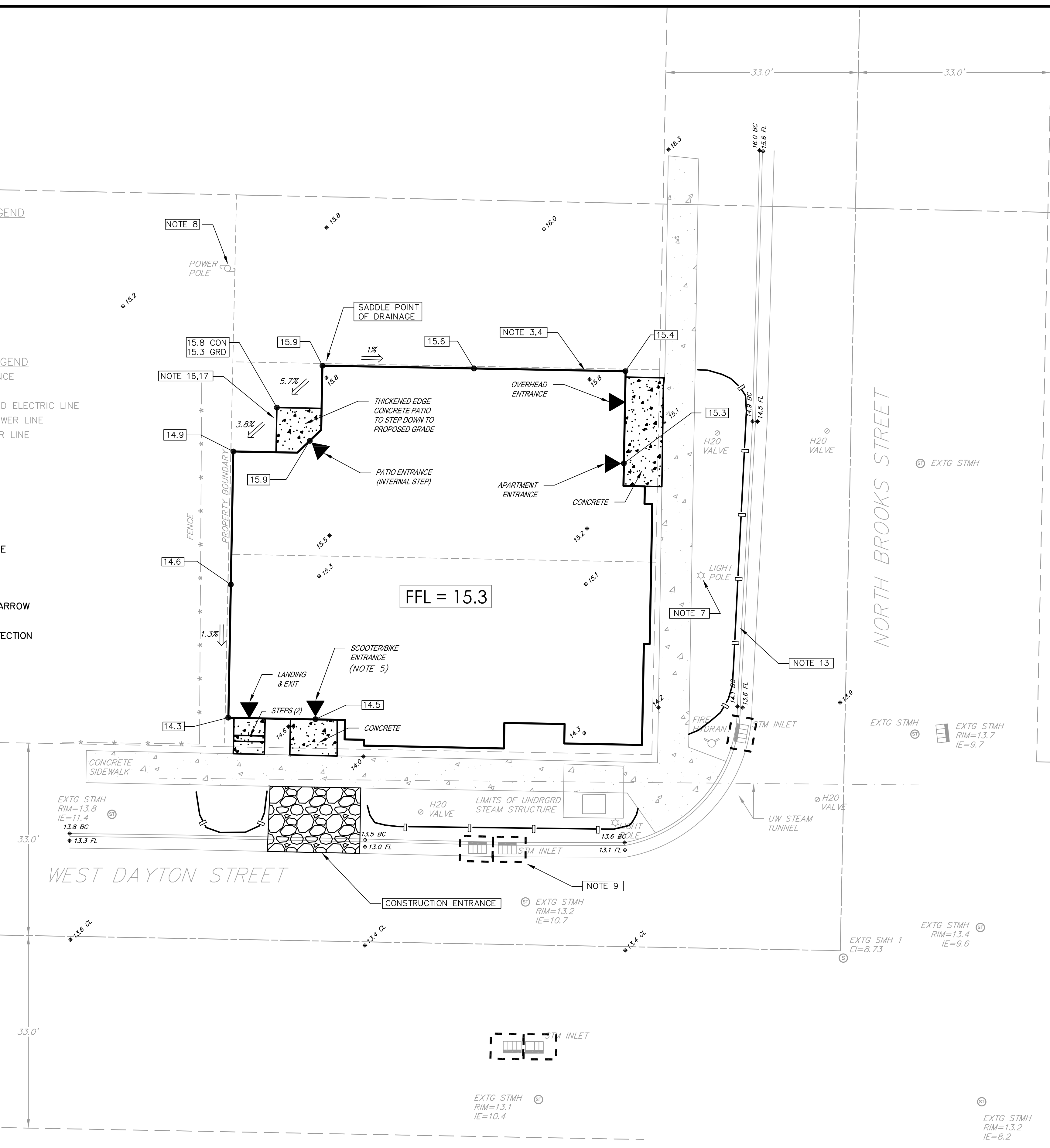
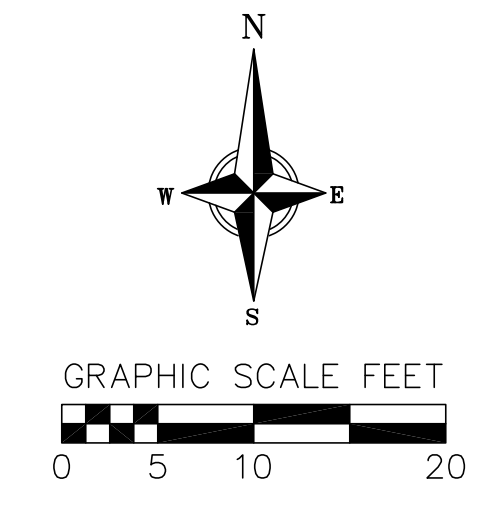
REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN
DATE NOV. 30, 2011
DRAFTER RHAN TPET
CHECKED TSCH
PROJECT NO. 33117752.00

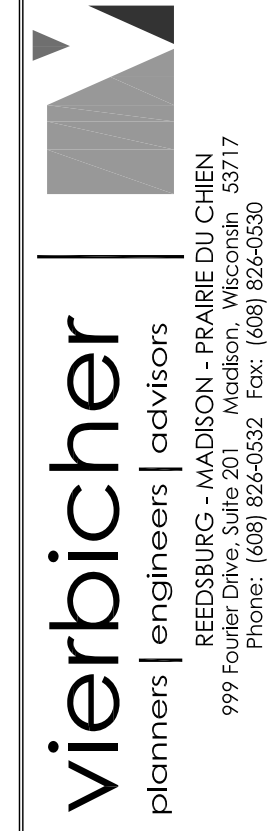
C-002

© 2011 Vierbicher Associates, Inc. 29 Nov 2011 - 9:09a M:\JM Properties\33117752\_202 N Brooks St\ENGINEERING\Civil 3D\ASP-BrooksDayton\_BASE.ENG.dwg by: coop

- TOPOGRAPHIC SYMBOL LEGEND**
- ⊕ EXISTING CURB INLET
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  - ⊕ EXISTING SANITARY MANHOLE
  - ⊕ EXISTING FIRE HYDRANT
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- \*—\*— EXISTING GENERAL FENCE
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  - UE—UE— EXISTING UNDERGROUND ELECTRIC LINE
  - SAM—SAM— EXISTING SANITARY SEWER LINE
  - ST—ST— EXISTING STORM SEWER LINE
  - W—W— EXISTING WATER MAIN
- LEGEND**
- ▨ NEW CONCRETE
  - 15.5 PROPOSED SPOT GRADE
  - 15.8 EXISTING SPOT GRADE
  - ⇒ PROPOSED DRAINAGE ARROW
  - ⊔ PROPOSED INLET PROTECTION
  - |— PROPOSED SILT FENCE



- NOTES:**
1. INFORMATION SHOWN BASED ON BADGER SURVEYING AND MAPPING SERVICE MAP DATED JULY 1, 2002 (DRAWING NO. 2G-62 BY M.S. GERHARDT). NO FIELD VERIFICATION OF THE INFORMATION DEPICTED HAS BEEN COMPLETED BY VIERBICHER, INC.
  2. ELEVATION DATUM REFERENCED TO OLD CITY OF MADISON DATUM, ELEVATION OF LAKE MENDOTA = 0.00.
  3. FOUNDATION ALONG NORTH SIDE OF BUILDING TO EXTEND ABOVE THE PROPOSED FIRST FLOOR GRADE. TOP OF FOUNDATION = 16.4.
  4. TEMPORARY GRADING EASEMENTS REQUIRED FROM ADJACENT PROPERTY OWNERS.
  5. FOUNDATION FOR SCOOTER/BIKE ENTRANCE TO BE STEPPED. MINIMUM OPENING ELEVATION TO BE 6 INCHES ABOVE LOW POINT IN ADJACENT SIDEWALK (14.5).
  6. EXISTING FEATURES TO BE DEMOLISHED SHOWN ON SHEET C-001.
  7. EXISTING LIGHT POLES TO REMAIN.
  8. EXISTING ELECTRICAL POWER POLE TO REMAIN.
- EROSION CONTROL MEASURES**
9. INLET PROTECTION (TYPE D) – TO BE INSTALLED IN ALL STORM SEWER CATCH BASIN UNLESS OTHERWISE NOTED.
  10. TRACKING PADS – TO BE PLACED AS SHOWN.
  11. EROSION MATTING (CLASS I, TYPE B) – TO BE INSTALLED IN THE TERRACE.
  12. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET.
  13. INSTALL TRACKING PAD OF BREAKER RUN ROCK AS SHOWN TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC OR PRIVATE ROADWAY. SEDIMENT REACHING THE PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
  14. STABILIZED DISTURBED GROUND ALL DISTURBED GROUND AND SOIL OR DIRT STORAGE PILES SHALL BE CONTAINED ON THE SITE BY FILTER BARRIERS OR OTHER SUITABLE MEANS. THE CONTAINMENT MEASURES SHALL REMAIN IN PLACE UNTIL THE SITE IS ADEQUATELY STABILIZED.
  15. SITE DE-WATERING WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR THEIR APPROPRIATE CONTROL MEASURES. SUCH SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NOT MORE THAN 1500 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER.
- SITE LANDSCAPING NOTES**
16. ALL DISTURBED AREAS TO BE RESTORED WITH TURF GRASS.
  17. FOUNDATION PLANTINGS TO BE INSTALLED ALONG REAR PATIO AREA OF THE BUILDING.



**Brooks & Dayton Student Housing**  
 Site Grading And Erosion Control  
 Madison, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE NOV. 30, 2011

DRAFTER RHAN TPET

CHECKED TSCH

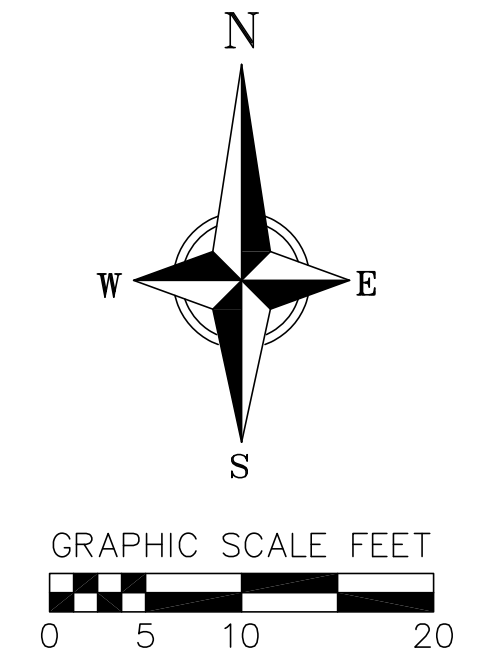
PROJECT NO. 33117752.00

**C-003**

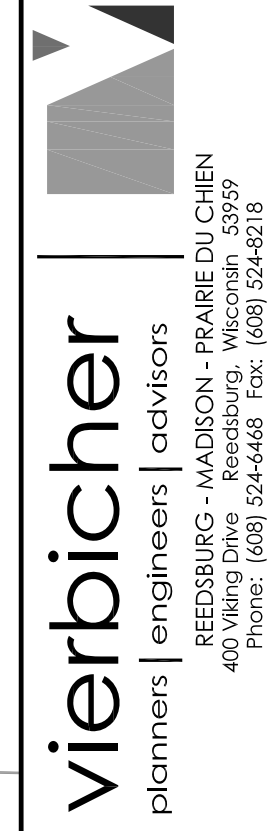
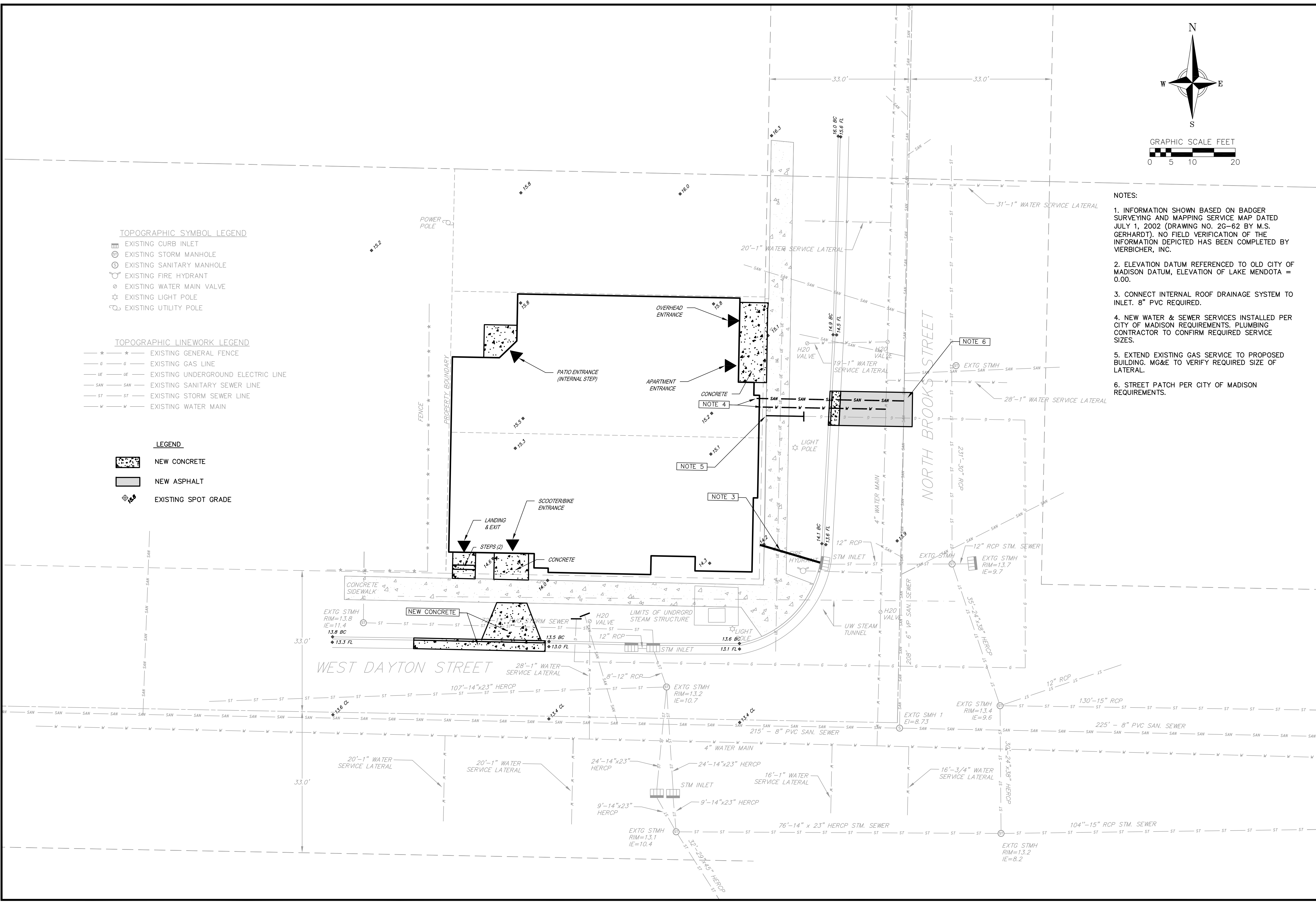
- TOPOGRAPHIC SYMBOL LEGEND**
- ⊞ EXISTING CURB INLET
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- \*—\*— EXISTING GENERAL FENCE
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  - ST—ST— EXISTING STORM SEWER LINE
  - W—W— EXISTING WATER MAIN

- LEGEND**
- ▨ NEW CONCRETE
  - ▨ NEW ASPHALT
  - ⊕ EXISTING SPOT GRADE



- NOTES:**
1. INFORMATION SHOWN BASED ON BADGER SURVEYING AND MAPPING NO. 2G-62 BY M.S. GERHARDT). NO FIELD VERIFICATION OF THE INFORMATION DEPICTED HAS BEEN COMPLETED BY VIERBICHER, INC.
  2. ELEVATION DATUM REFERENCED TO OLD CITY OF MADISON DATUM, ELEVATION OF LAKE MENDOTA = 0.00.
  3. CONNECT INTERNAL ROOF DRAINAGE SYSTEM TO INLET. 8" PVC REQUIRED.
  4. NEW WATER & SEWER SERVICES INSTALLED PER CITY OF MADISON REQUIREMENTS. PLUMBING CONTRACTOR TO CONFIRM REQUIRED SERVICE SIZES.
  5. EXTEND EXISTING GAS SERVICE TO PROPOSED BUILDING. MG&E TO VERIFY REQUIRED SIZE OF LATERAL.
  6. STREET PATCH PER CITY OF MADISON REQUIREMENTS.

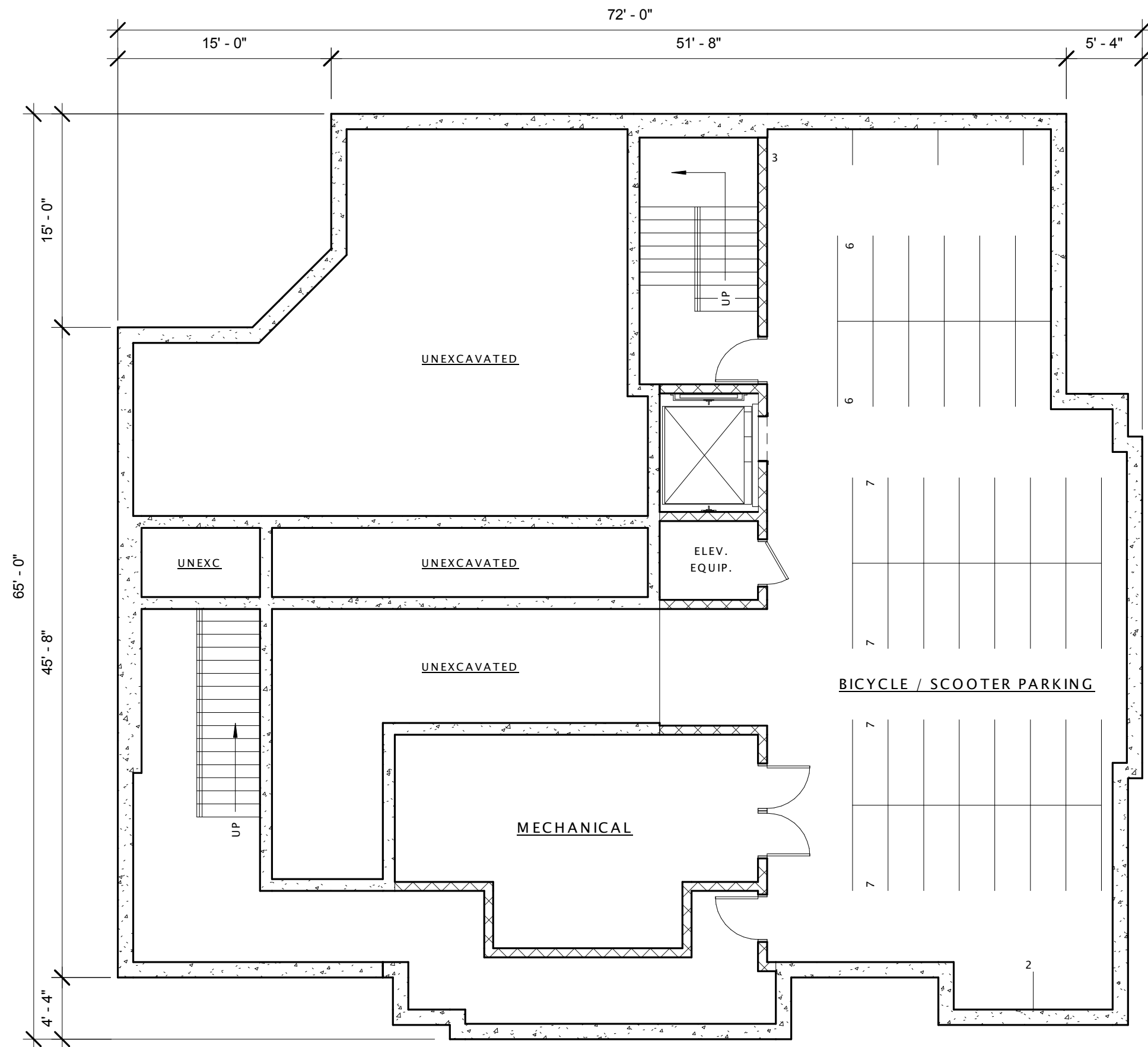


**Brooks & Dayton Student Housing**  
Utility Plan  
Madison, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

SCALE AS SHOWN  
DATE NOV. 30, 2011  
DRAFTER TPET  
CHECKED TSCH  
PROJECT NO. 33117752

**C-004**



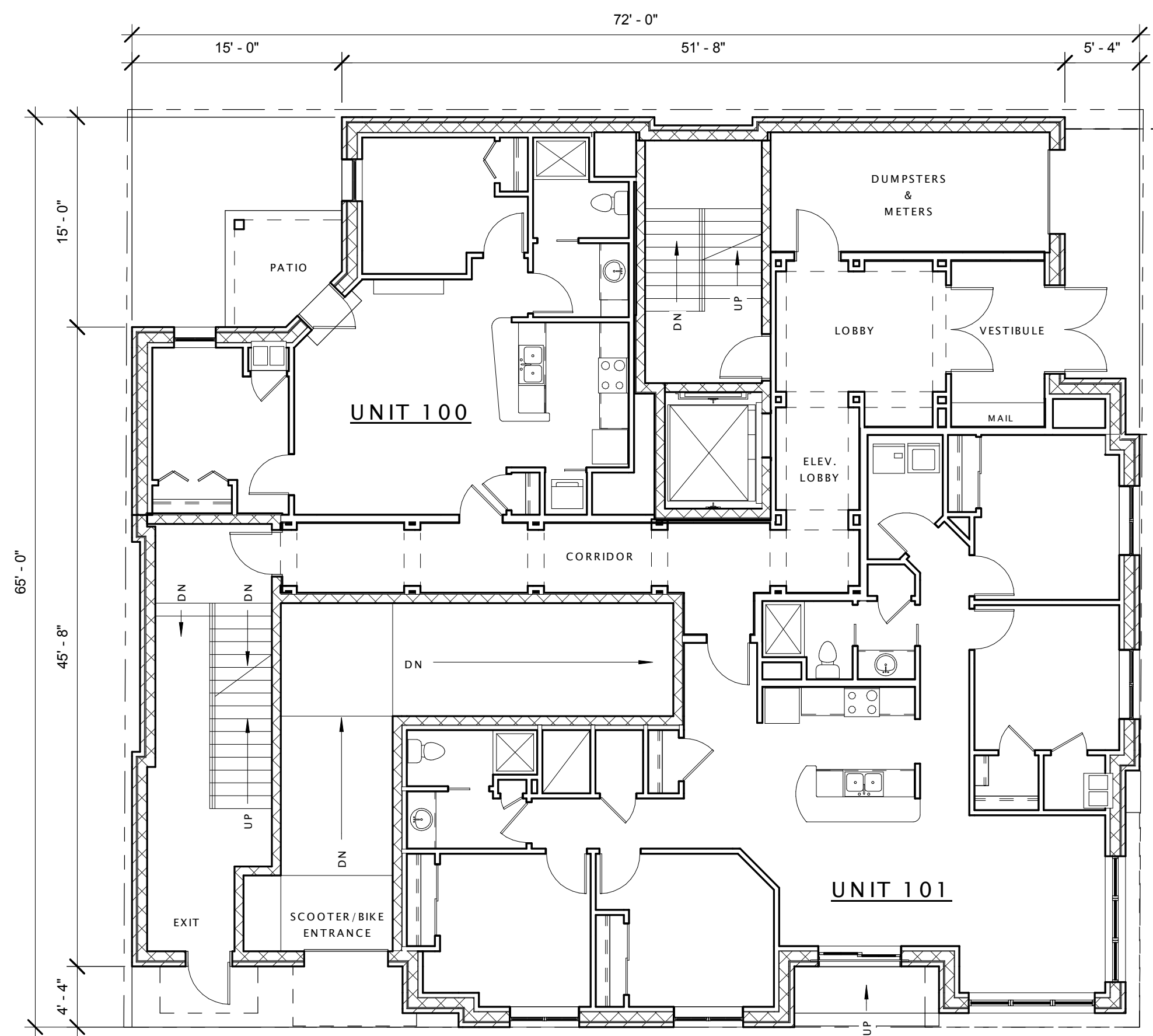
① LOWER LEVEL PLAN  
1/8" = 1'-0"

**PROJECT DATA:**

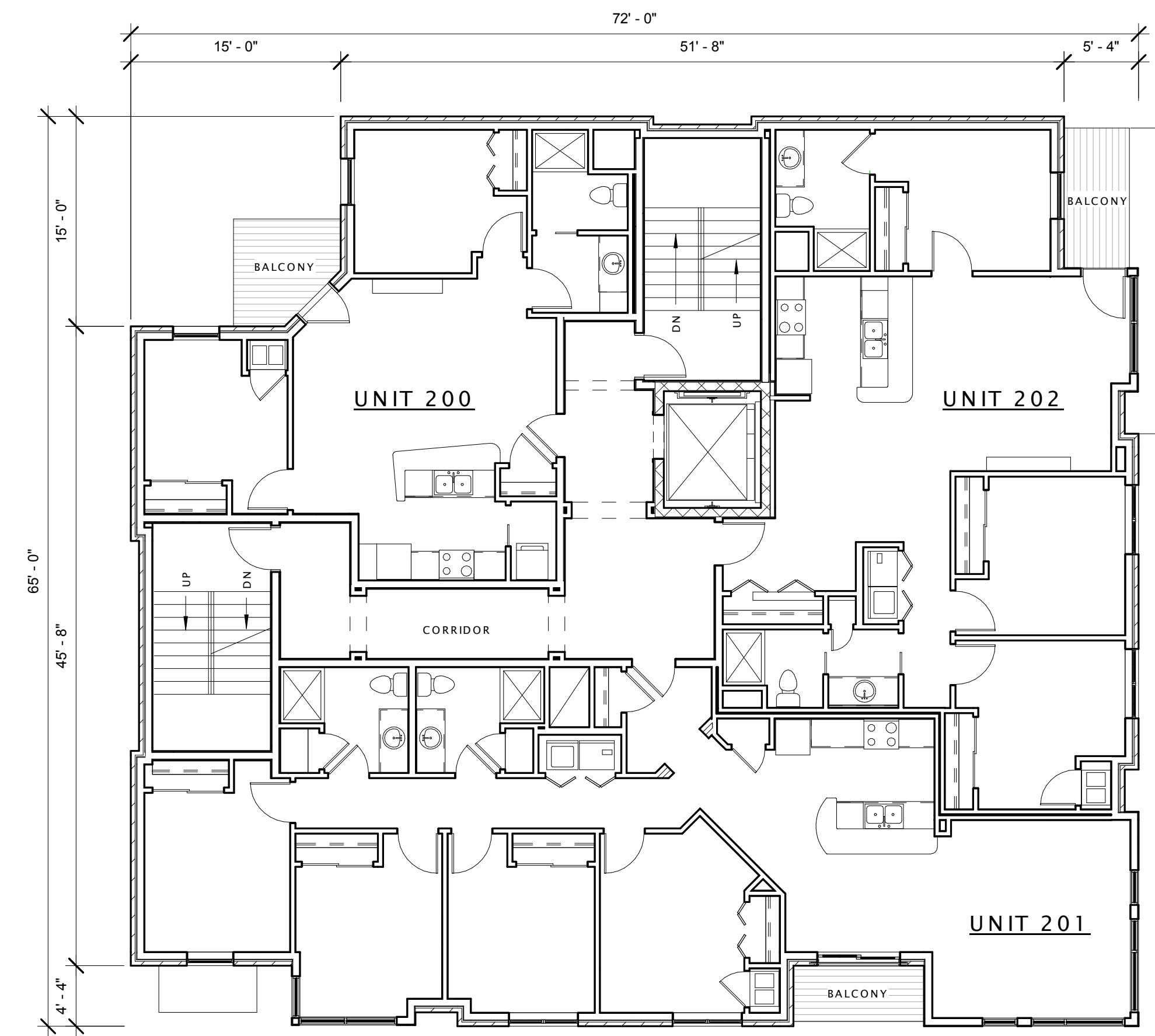
SITE AREA:	4,791.60 sf
PROPOSED DWELLING UNITS:	14 dwelling units
PROPOSED BEDROOMS:	45 bedrooms
TOTAL GROSS FLOOR AREA:	22,025 sf
PROPOSED FLOOR AREA RATIO:	4.60
PROPOSED OPEN SPACE:	55 sf/dwelling unit
PROPOSED BUILDING HEIGHT:	60 feet
PROPOSED BICYCLE/SCOOTER PRK'G:	45 spaces

**UNIT DATA**

FLOOR	5 BEDS	4 BEDS	3 BEDS	2 BEDS	UNIT TOTAL	BED TOTAL
FIFTH	1	1	1	-	3	12
FOURTH	-	1	1	1	3	9
THIRD	-	1	1	1	3	9
SECOND	-	1	1	1	3	9
GROUND	-	1	-	1	3	6
<b>TOTALS</b>	<b>1</b>	<b>5</b>	<b>4</b>	<b>4</b>	<b>14</b>	<b>45</b>



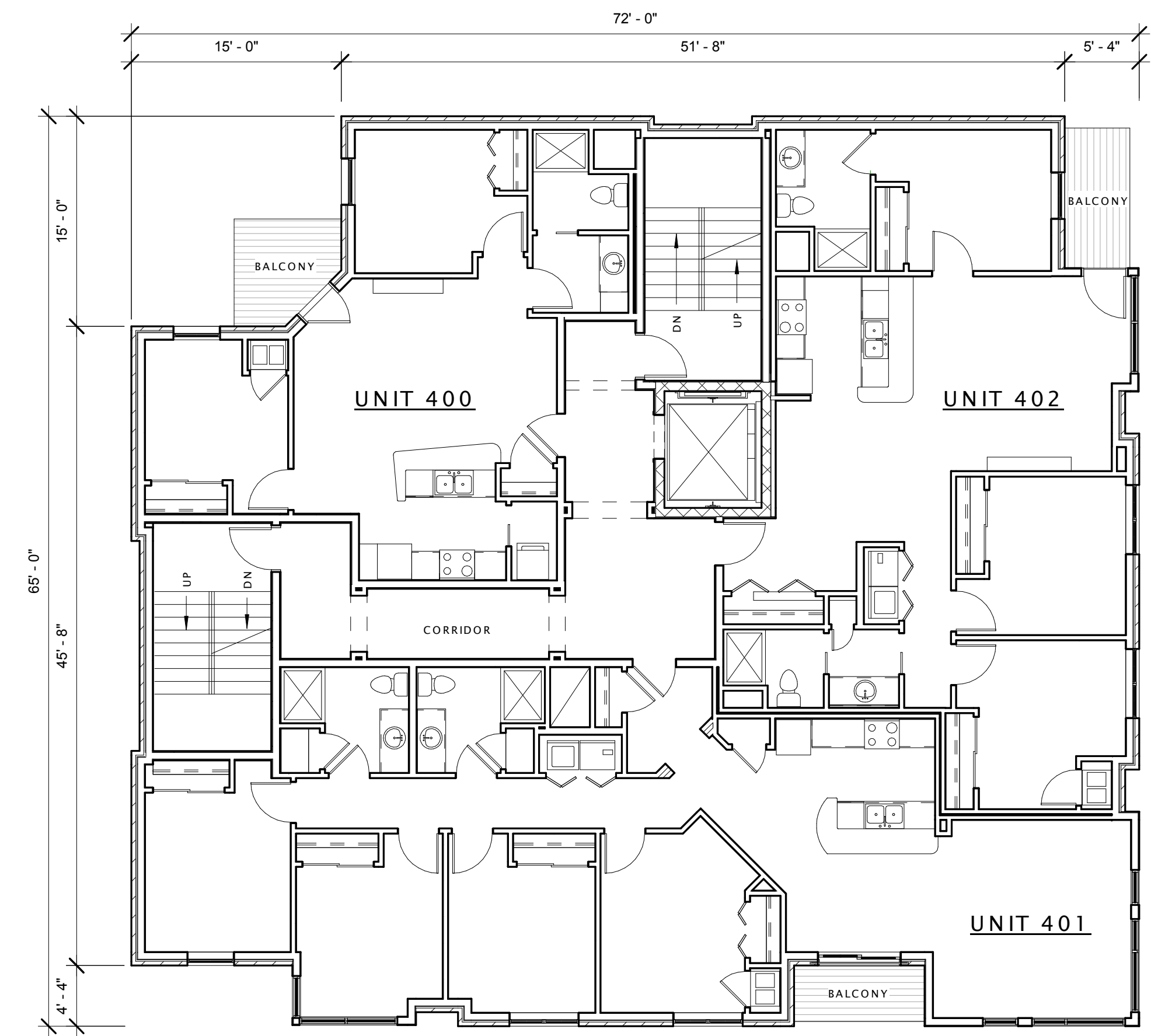
① STREET LEVEL FLOOR PLAN  
1/8" = 1'-0"



② FLOOR PLANS - FLOORS 2 TO 5  
1/8" = 1'-0"

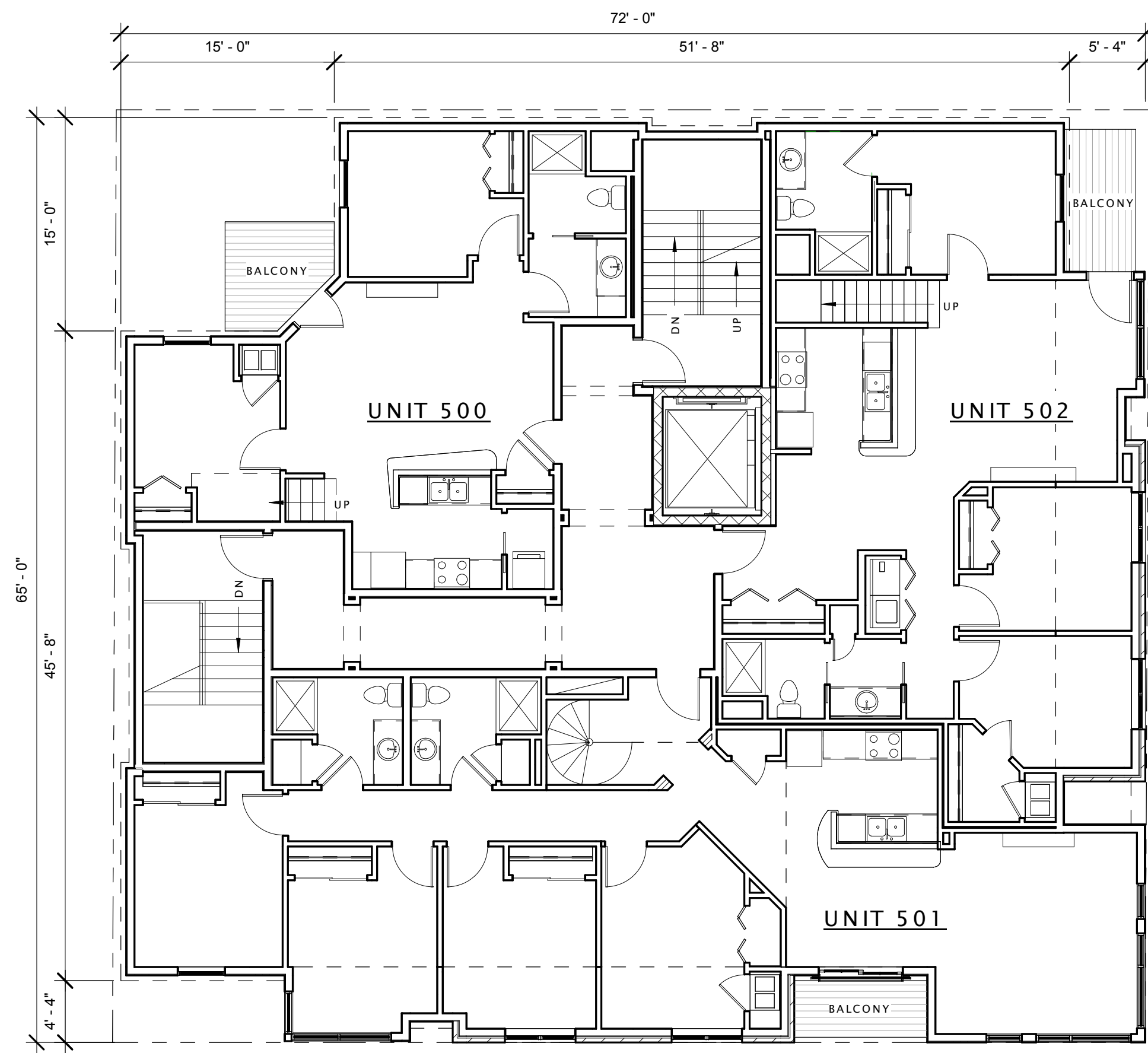


① THIRD FLOOR PLAN  
1/8" = 1'-0"

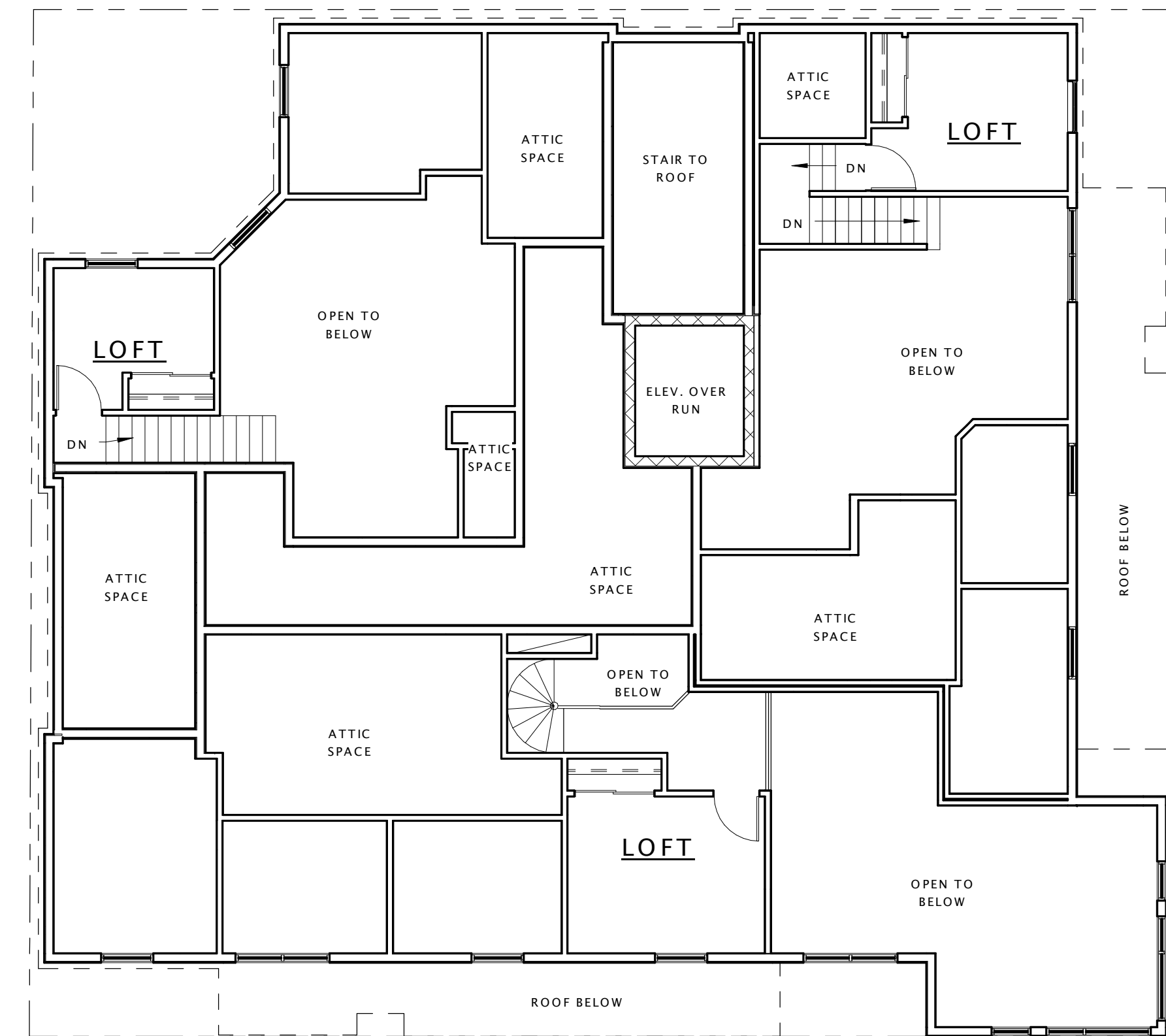


② FOURTH FLOOR PLAN  
1/8" = 1'-0"

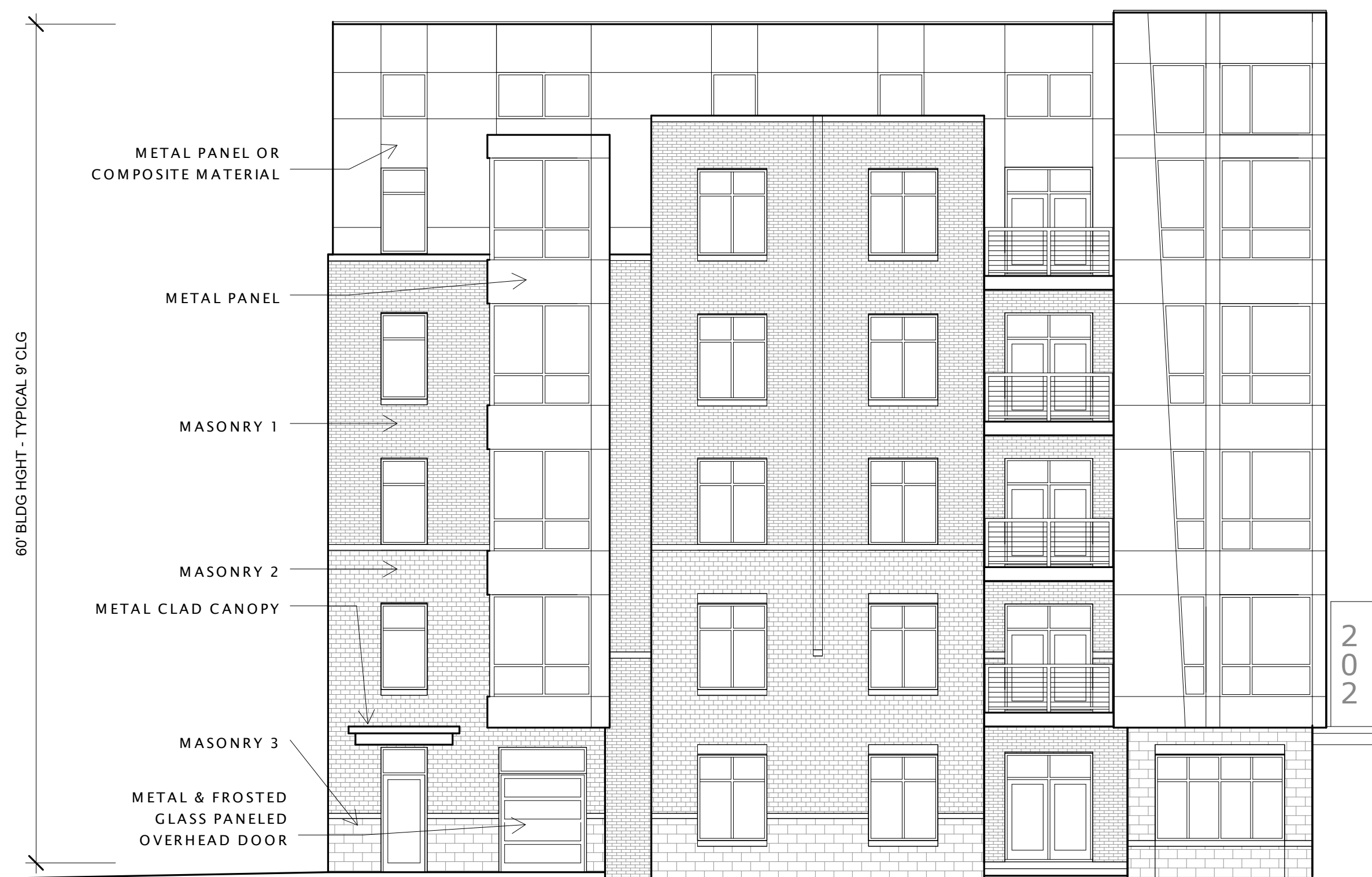




① FIFTH FLOOR PLAN  
1/8" = 1'-0"



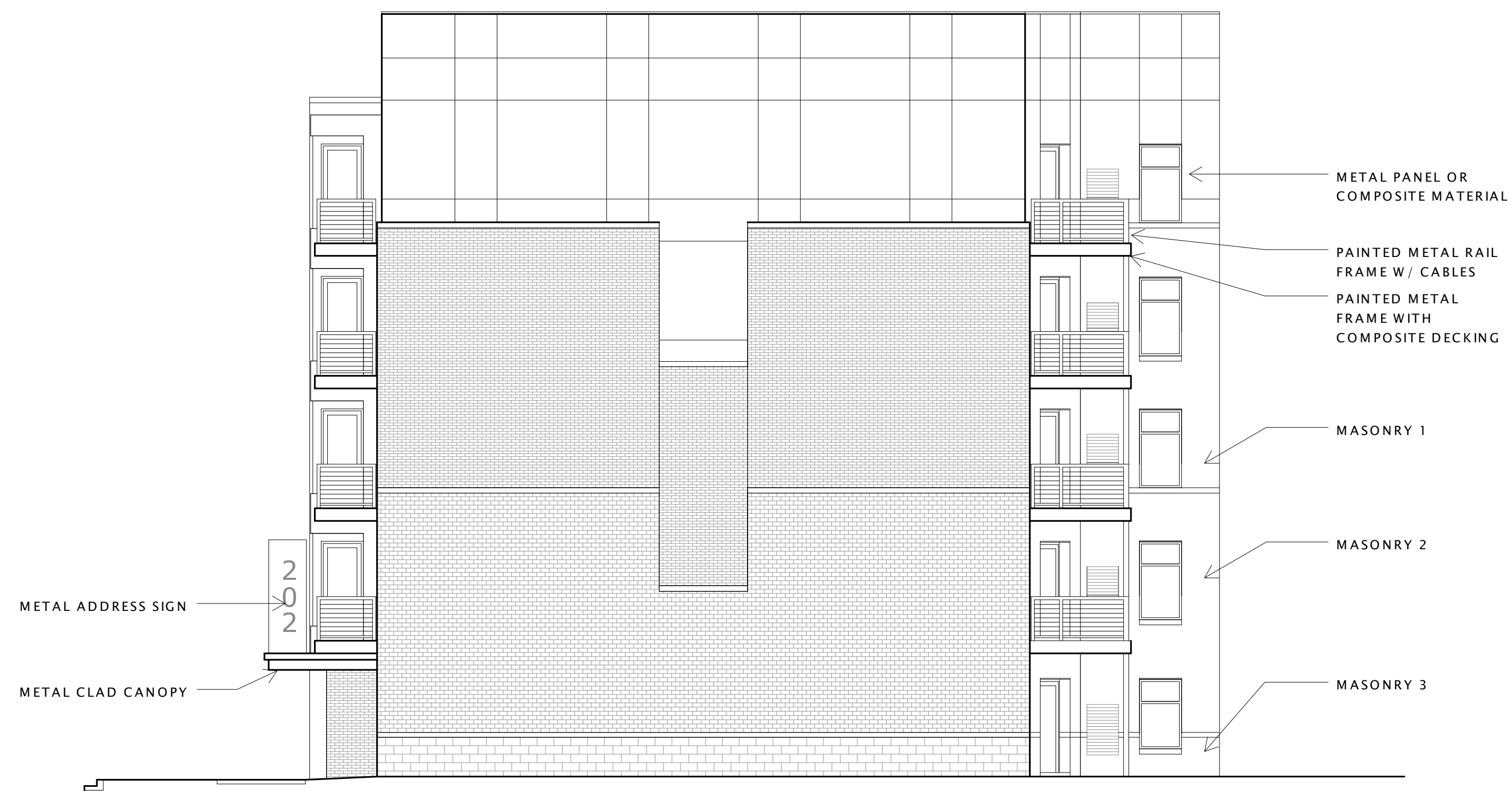
② FIFTH FLOOR LOFT PLAN  
1/8" = 1'-0"



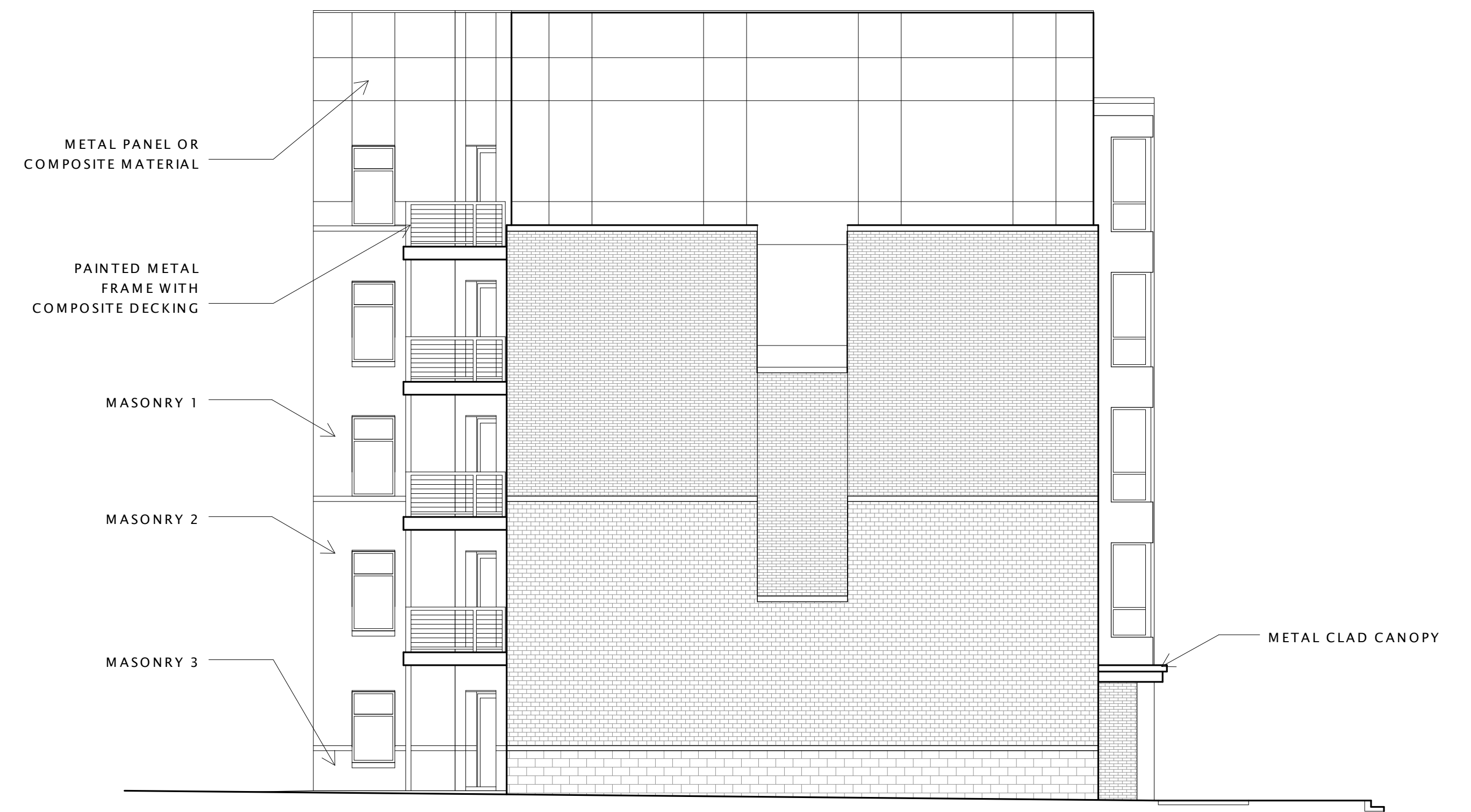
③ SOUTH ELEVATION (WEST DAYTON STREET)  
1/8" = 1'-0"



② EAST ELEVATION (NORTH BROOKS STREET)  
1/8" = 1'-0"



① NORTH ELEVATION  
1/8" = 1'-0"



② WEST ELEVATION  
1/8" = 1'-0"



WEST DAYTON STREET ELEVATION



NORTH BROOKS STREET ELEVATION