

Theta Chi Fraternity  
**Aerial**

November 26, 2012



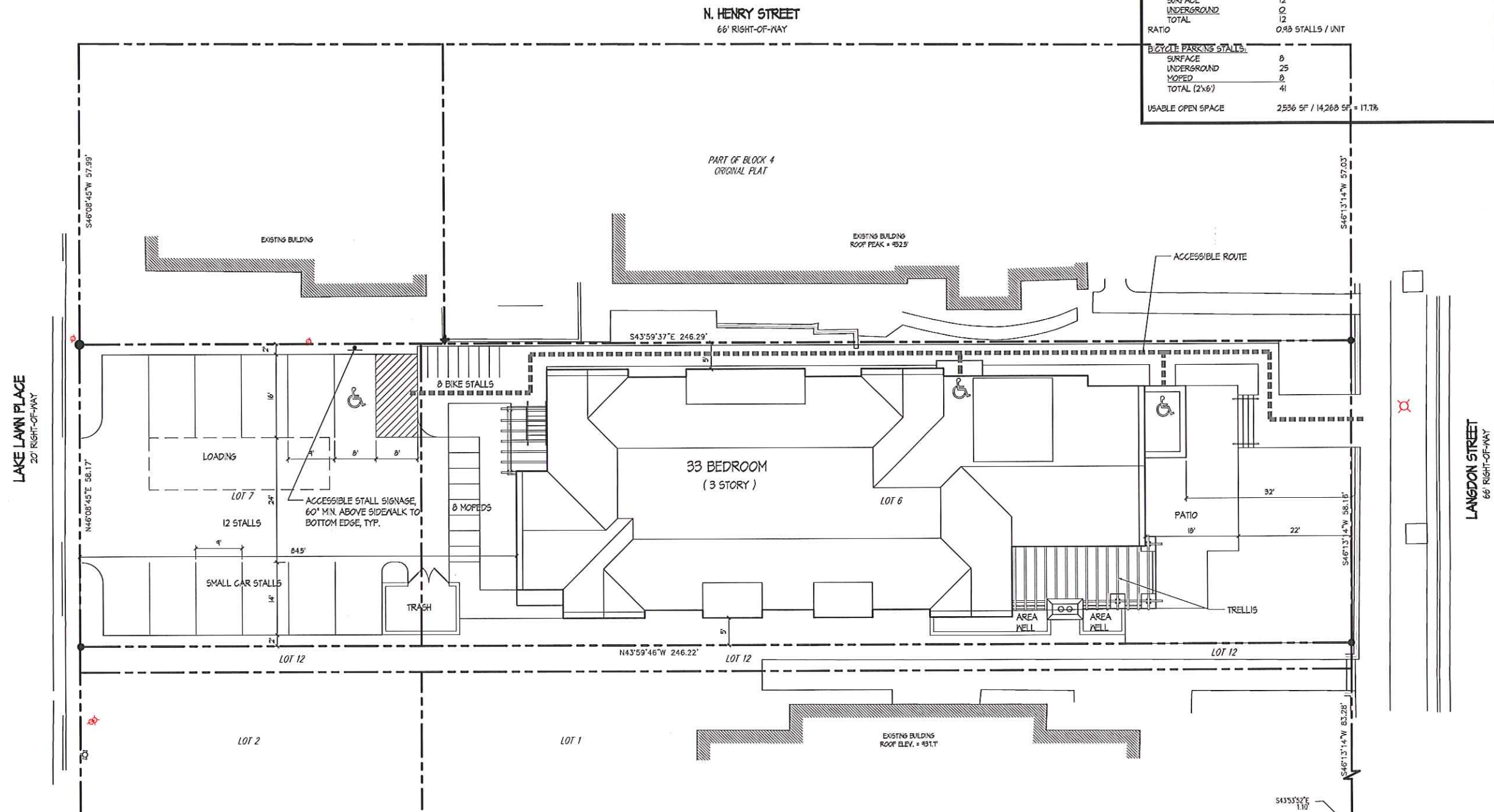


**SHEET INDEX:**

|                      |                               |
|----------------------|-------------------------------|
| <b>SITE</b>          |                               |
| C-1.1                | SITE PLAN                     |
| C-1.2                | EXISTING SITE SURVEY          |
| C-2.1                | SITE GRADING                  |
| C-3.1                | SITE UTILITY                  |
| L-1.1                | LANDSCAPE PLAN                |
| <b>ARCHITECTURAL</b> |                               |
| A-1.1                | BASEMENT AND FIRST FLOOR PLAN |
| A-1.2                | SECOND AND THIRD FLOOR PLAN   |
| A-2.1                | ELEVATIONS                    |

**SITE DEVELOPMENT DATA:**

|                                |                              |
|--------------------------------|------------------------------|
| <b>DENSITIES:</b>              |                              |
| LOT AREA                       | 14,268 Sq.Ft. / 0.32 ACRE    |
| DWELLING UNITS                 | 33 BEDROOMS                  |
| LOT AREA / DU                  | 432 Sq.Ft. / UNIT            |
| DENSITY                        | 103 UNITS / ACRE             |
| <b>DWELLING UNIT MIX:</b>      |                              |
| SINGLE ROOMS                   | 26                           |
| DOUBLE ROOMS                   | 7                            |
| TOTAL                          | 33                           |
| <b>BUILDING HEIGHT:</b>        |                              |
|                                | 4 STORES                     |
| <b>FLOOR AREA:</b>             |                              |
| Gross Floor Area               | 15,035 S.F.                  |
| (Excludes underground parking) |                              |
| FLOOR AREA RATIO =             | 1.03                         |
| <b>VEHICLE PARKING STALLS:</b> |                              |
| SURFACE                        | 12                           |
| UNDERGROUND                    | 12                           |
| TOTAL                          | 24                           |
| RATIO                          | 0.93 STALLS / UNIT           |
| <b>BIKE PARKING STALLS:</b>    |                              |
| SURFACE                        | 8                            |
| UNDERGROUND                    | 25                           |
| MOPED                          | 8                            |
| TOTAL (2x6)                    | 41                           |
| USABLE OPEN SPACE              | 2,536 SF / 14,268 SF = 17.7% |



PROJECT NORTH  
TRE NORTH

**SITE PLAN**  
1" = 20'-0"

Revisions  
R10/SP Submittal - November 20, 2012

Project Title  
**Theta Chi Fraternity**

210 Langdon St., Madison WI  
Drawing Title  
**Site Plan**

Project No. Drawing No.  
**1231 C-1.1**

This document contains confidential or proprietary information of Knothe & Bruce Architects. Neither the document nor the information herein is to be reproduced, distributed, used or disclosed, either in whole or in part, except as specifically authorized by Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.





- 4 Revised - Month Day, Year
- 3 Revised - Month Day, Year
- 2 Revised - Month Day, Year
- 1 Revised - Month Day, Year

Project Title  
Theta Chi

210 Langdon St., Madison WI

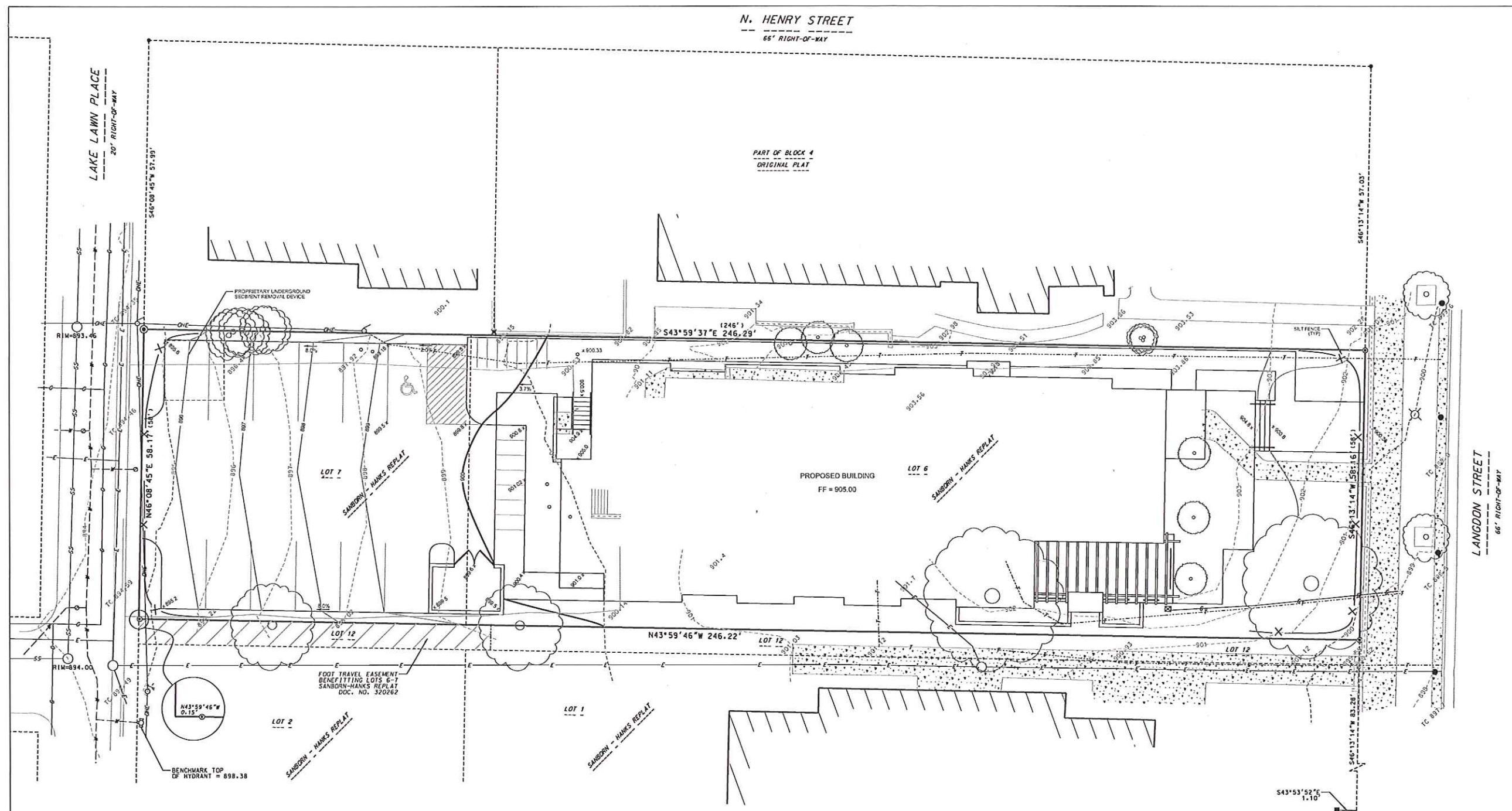
Site Grading, Utility  
and Erosion Control  
Plan

Project No. Drawing No.

1231

C-2.1

This document contains confidential or proprietary information of Knothe & Bruce Architects. Any use or disclosure of this information without the express written consent of Knothe & Bruce Architects is strictly prohibited. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.

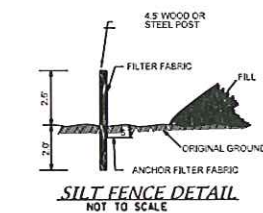


**LEGEND**

|     |                                    |        |                                |
|-----|------------------------------------|--------|--------------------------------|
| ■   | FOUND 1" SQUARE ROD                | ○      | TREE                           |
| ●   | FOUND 3/4" PIPE                    | ○      | SHRUB                          |
| ○   | FOUND 1" PIPE                      | □      | CONCRETE                       |
| ●   | FOUND 3/4" REBAR                   | ▬▬▬    | RETAINING WALL                 |
| ×   | FOUND CHISELED "X" IN CONCRETE     | ▬▬▬    | CONC. CURB                     |
| —   | UNDERGROUND ELECTRIC               | —      | DOORWAY ELEVATION              |
| SS  | SANITARY SEWER                     | DE     | EXIST. CONTOUR                 |
| W   | WATER MAIN                         | 918.32 | SPOT ELEVATION (0 DECIMAL PT.) |
| G   | GAS MAIN                           | ( )    | "RECORDED AS" INFORMATION      |
| O-E | OVERHEAD ELECTRIC                  |        |                                |
| —   | UNDERGROUND TELECOMMUNICATION LINE |        |                                |
| ○   | MANHOLE                            |        |                                |
| ○   | POWER POLE                         |        |                                |
| ○   | POWER POLE W/LIGHT                 |        |                                |
| ○   | LIGHT POLE                         |        |                                |
| ○   | PARKING METER                      |        |                                |
| ○   | GAS METER                          |        |                                |
| ○   | VALVE                              |        |                                |
| ○   | HYDRANT                            |        |                                |

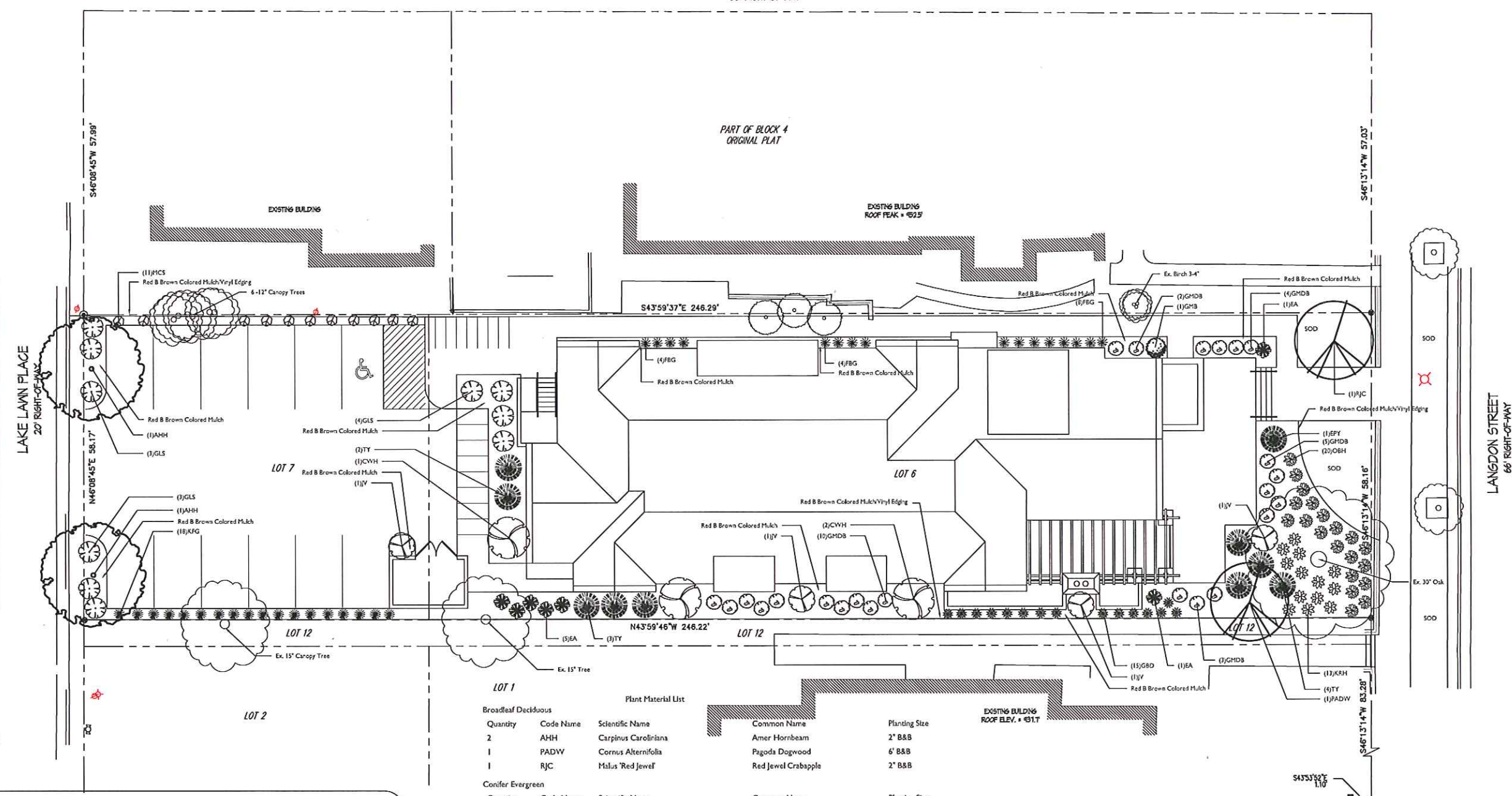
**EROSION CONTROL NOTES**

- Existing pavement will be used as a tracking pad. Enter construction site from Lake Lawn Place only. All dirt and debris tracked onto public streets shall be cleaned and swept at the end of each work day. Hydraulic flushing is prohibited.
- All disturbed areas to be restored with 1" of topsoil, seed, fertilizer and mulch. All seeded areas shall be maintained and repaired by the contractor until grasses are completely established.
- Erosion control is the responsibility of the contractor until acceptance of this project. Erosion control measures shown on the approved plan shall be the minimum precautions that will be followed. If determined during construction, the City will require additional measures to be installed to prevent sediment from leaving the site.
- The Contractor is responsible for recognizing and correcting erosion problems that are a result of construction activities. Inspections shall be carried out weekly and after every 0.5" rainfall. All necessary repairs must be completed within 24 hours of notification.
- The application rates for WOOD Mix 40 shall be 3.5 lbs per 1000 sq. ft. Scott's Starter fertilizer, approved for use in Dane County, shall be applied at the manufacturer's recommendation. Mulch shall be uniformly spread to a loose depth of 1-2". Mulch shall be pitched into the soil a minimum depth of 2" using a mulch tiller while traveling on the contour. Seed at 2x the specified rate after 9-15-09.
- Silt fence to be placed at the start of construction, including building demolition.





PART OF BLOCK 4  
ORIGINAL PLAT



CITY OF MADISON

LANDSCAPE POINTS REQUIREMENTS

|                                       |    |
|---------------------------------------|----|
| NUMBER OF PARKING STALLS              | 12 |
| NUMBER OF 2" MIN. CAL. TREES REQUIRED | 1  |
| NUMBER OF LANDSCAPE POINTS REQUIRED   | 59 |

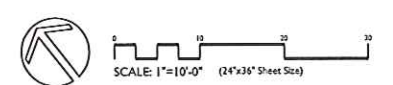
SOLUTION

|  |            |
|--|------------|
| 1 CANOPY TREES (2" - 2 1/2") @ 35 PTS.                         | 35         |
| CANOPY TREES OR SMALL ORNAMENTAL TREES (1 1/2" - 2") @ 15 PTS. | -          |
| 18 DECIDUOUS SHRUBS @ 2 PTS.                                   | 36         |
| EVERGREEN SHRUBS @ 3 PTS.                                      | -          |
| EVERGREEN TREES (3" HT.) @ 15 PTS.                             | -          |
| EX. CANOPY TREE 12" - 15" CAL. @ 35 PTS.                       | 175        |
| EARTH BERM (PER 10 L.F.)                                       | -          |
| AVERAGE HEIGHT - 30" @ 5 PTS.                                  | -          |
| AVERAGE HEIGHT - 15" @ 2 PTS.                                  | -          |
| <b>TOTAL POINTS</b>  | <b>246</b> |

Plant Material List

| Quantity                   | Code Name | Scientific Name                          | Common Name                        | Planting Size |
|----------------------------|-----------|--|------------------------------------|---------------|
| <b>Broadleaf Deciduous</b> |           |  |                                    |               |
| 2                          | AHH       | Carpinus Caroliniana                     | Amer Hornbeam                      | 2" B&B        |
| 1                          | PADW      | Cornus Alternifolia                      | Pagoda Dogwood                     | 6" B&B        |
| 1                          | RJC       | Malus 'Red Jewel'                        | Red Jewel Crabapple                | 2" B&B        |
| <b>Conifer Evergreen</b>   |           |  |                                    |               |
| 7                          | EA        | Thuja Occidentalis 'Smaragd'             | Emerald Arborvitae                 | 6" B&B        |
| 1                          | EPY       | Taxus Cuspidata 'Turdy'                  | Emerald Peak Japanese Yew          | 4" B&B        |
| 9                          | TY        | Taxus X Media 'Tauntonii'                | Taunton Yew                        | 18" B&B       |
| <b>Perennial</b>           |           |  |                                    |               |
| 16                         | FBG       | Calamagrostis Brachytricha               | Fall Blooming Feather Reed Grass   | #1 CONT.      |
| 15                         | GBD       | Hemerocallis 'Going Bananas'             | Going Bananas Daylily              | #1 CONT.      |
| 18                         | KFG       | Calamagrostis Acutiflora 'Karl Foerster' | Karl Foerster's Feather Reed Grass | #1 CONT.      |
| 13                         | KRH       | Hosta 'Krossa Regal'                     | Krossa Regal Hosta                 | #1 CONT.      |
| 20                         | OBH       | Hosta X 'Olive Bailey Langdon'           | Olive Bailey Langdon Hosta         | #1 CONT.      |
| <b>Shrub</b>               |           |  |                                    |               |
| 3                          | CWH       | Hsmamelis Virginiana                     | Common Witchhazel                  | 5" B&B        |
| 24                         | GMDB      | Buxus Micro Var Koreana 'Green Mound'    | Green Mound Boxwood                | #3 CONT.      |
| 1                          | GMB       | Buxus Micro Var Koreana 'Green Mountain' | Green Mountain Boxwood             | 30" BB.       |
| 10                         | GLS       | Rhus Aromatica 'Gro-low'                 | Gro-low Fragrant Sumac             | #3 CONT.      |
| 4                          | JV        | Viburnum X Juddii                        | Judd Viburnum                      | 24" B&B       |
| 11                         | MCS       | Spiraea Japonica 'Magic Carpet'          | Magic Carpet Spiraea               | #2 CONT.      |

- GENERAL NOTES**
- A) Areas labeled "Red B Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown or red as indicated, spread to a 3" depth over pre-emergent herbicide.
  - B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown or red as indicated, spread to a minimum 3" depth (3' wide beds for shrub groupings).
  - C) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.
  - D) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.



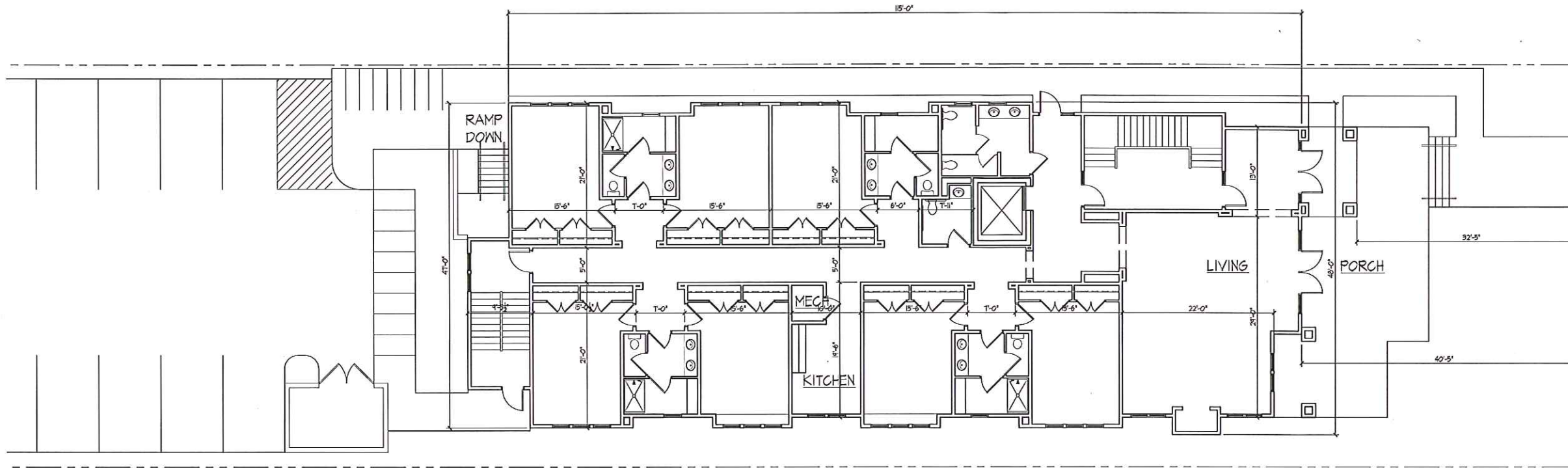
**THETA CHI**  
210 LANGDON STREET  
MADISON, WISCONSIN

Checked By: SS  
Drawn By: 11/28/12  
RS

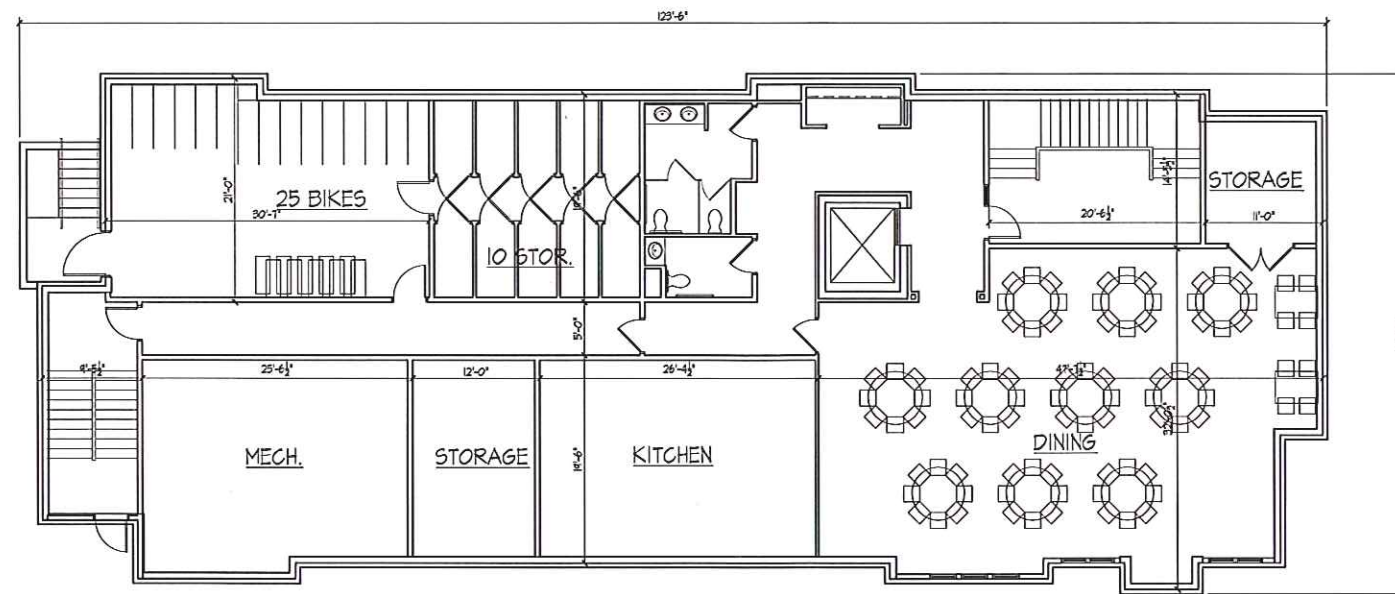
Revised:  
Revised:  
Revised:  
Revised:  
Revised:  
Revised:  
Revised:  
Revised:

**L1**

This plan was prepared for the project named on the title block. It remains the property of The Bruce Company of Wisconsin, Inc. and may not be reproduced or transmitted in whole or in part by any method without prior written consent of The Bruce Company of Wisconsin, Inc.



**FIRST FLOOR PLAN**  
 1/8" = 1'-0"



**BASEMENT PLAN**  
 1/8" = 1'-0"

Revisions  
 RUD/S/P Submittal - November 28, 2012

Project Title  
**Theta Chi Fraternity**

210 Langdon St., Madison WI  
 Drawing Title  
**Floor Plans**

Project No. Drawing No.

**1231 A-1.1**

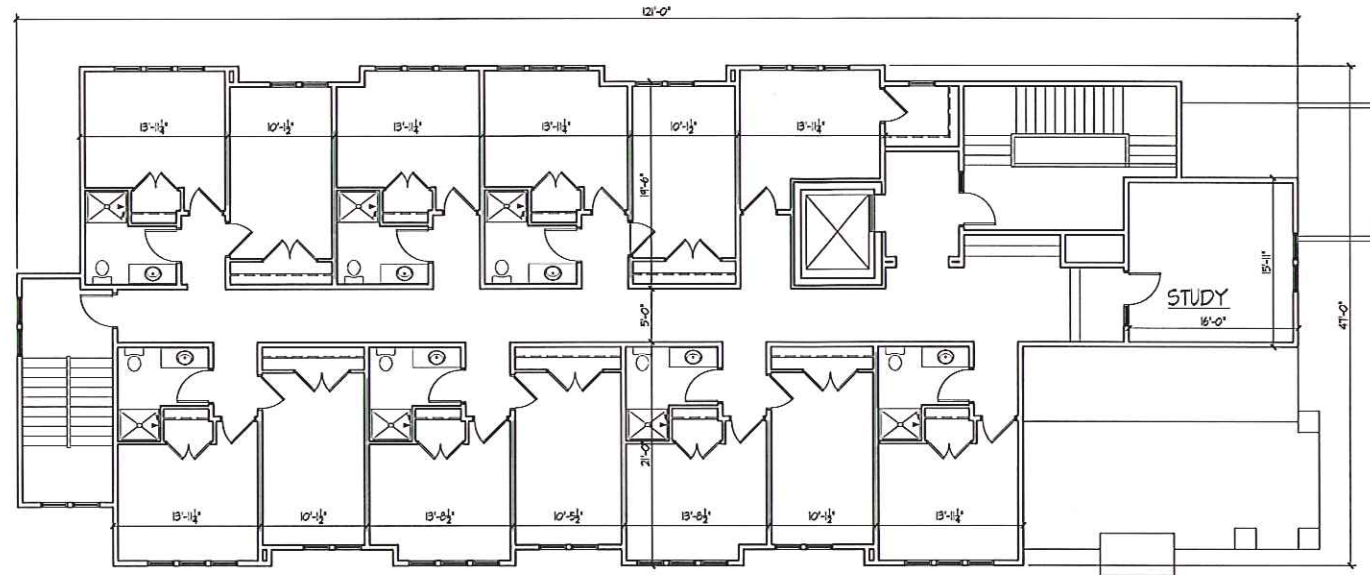
This document contains confidential or proprietary information of Knothe & Bruce Architects. Neither the document nor the information herein is to be reproduced, distributed, used, or disclosed, in whole or in part, except as specifically authorized by Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.



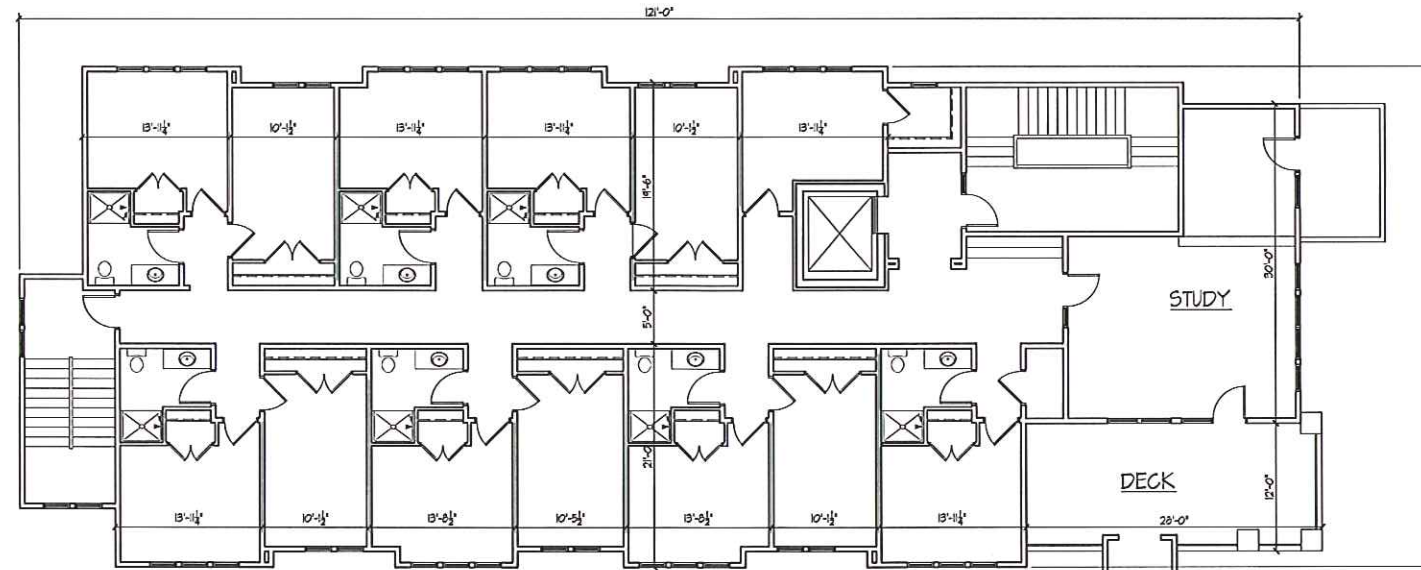


Consultant

Notes



○ THIRD FLOOR PLAN  
 1/8" = 1'-0"



○ SECOND FLOOR PLAN  
 1/8" = 1'-0"

Revisions  
 PLO/SP 5, initial - November 28, 2012

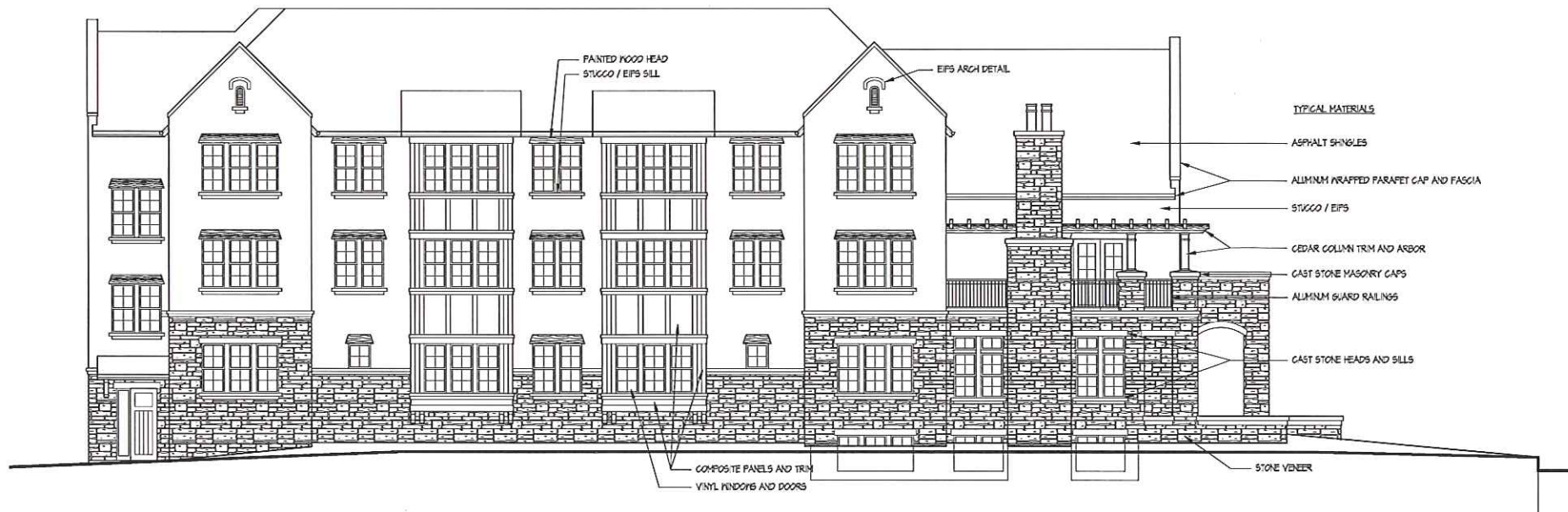
Project Title  
 Theta Chi Fraternity

210 Langdon St., Madison WI  
 Drawing Title  
 Floor Plans

Project No. 1231 Drawing No. A-1.2



This document contains confidential or proprietary information of Knothe & Bruce Architects. Neither the document nor the information herein is to be reproduced, distributed, copied, or disclosed, either in whole or in part, except as specifically authorized by Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.



**SOUTH ELEVATION**  
 1/8" = 1'-0"



**EAST (LANGDON ST.) ELEVATION**  
 1/8" = 1'-0"



**NORTH PLAN**  
 1/8" = 1'-0"



**WEST (LAKE LAWN PLACE) ELEVATION**  
 1/8" = 1'-0"

Revisions  
 RUD/SP Submittal - November 28, 2012

Project Title  
**Theta Chi Fraternity**

210 Langdon St., Madison WI  
 Drawing Title  
**Floor Plans**

Project No.  
**1231**

Drawing No.  
**A-2.1**

This document contains confidential or proprietary information of Knothe & Bruce Architects. Neither the document nor the information herein is to be reproduced, distributed, used, or disclosed, either in whole or in part, except as specifically authorized by Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.





South Elevation



East Elevation



North Elevation



West Elevation

Theta Chi Fraternity  
**Elevations**

November 26, 2012

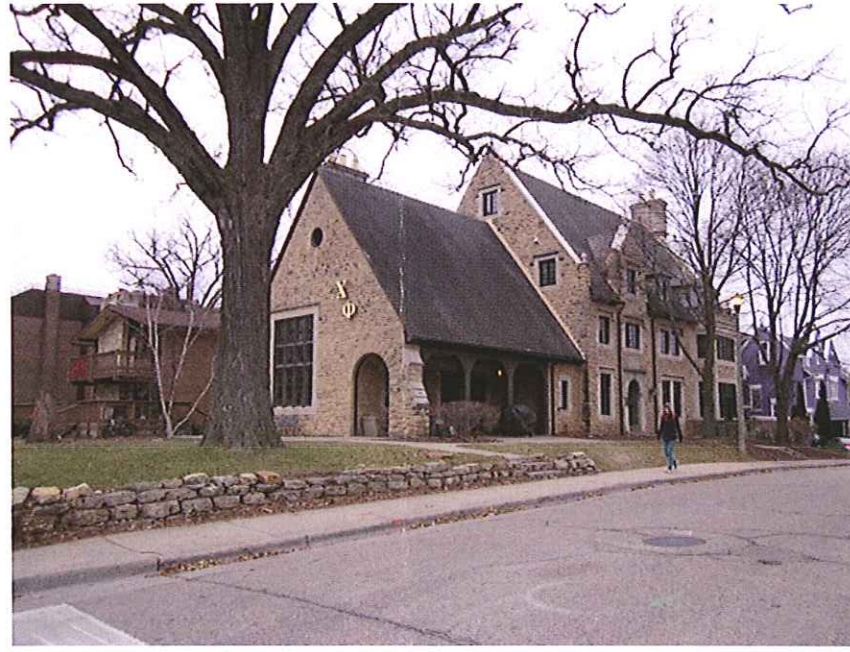








229 Lake Lawn



610 N. Henry Street



610 N. Henry Street



Langdon Street & Lakelawn Place



216 Langdon Street



216 Langdon Street





210 Langdon Street - Side Elevation



210 Langdon Street - Rear Elevation



210 Langdon Street-Langdon Elevation



210 Langdon Street - Side Elevation