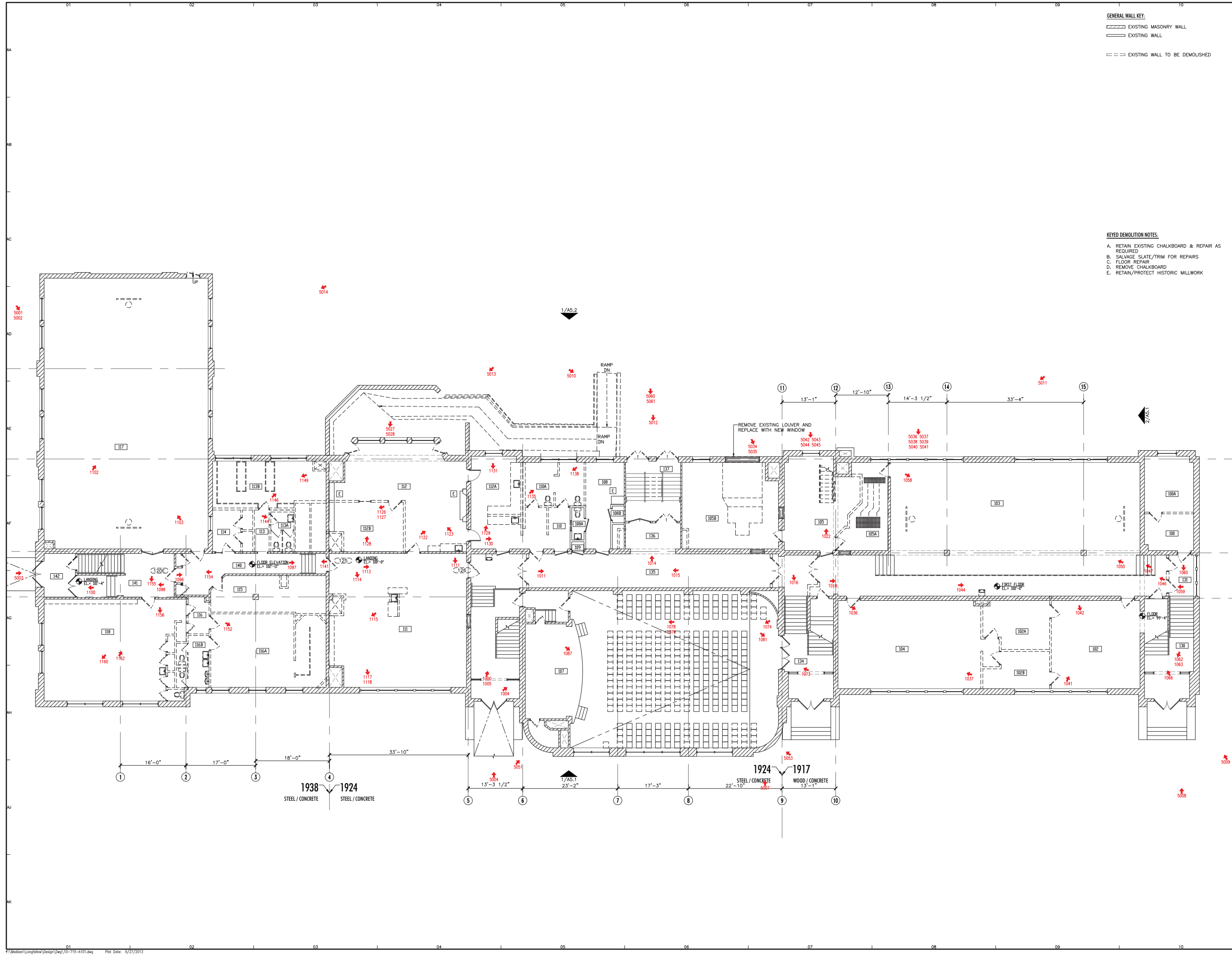




**GENERAL WALL KEY:**  
 [Hatched Box] EXISTING MASONRY WALL  
 [Solid Line] EXISTING WALL  
 [Dashed Line] EXISTING WALL TO BE DEMOLISHED

**KEYED DEMOLITION NOTES:**  
 A. RETAIN EXISTING CHALKBOARD & REPAIR AS REQUIRED  
 B. SALVAGE SLATE/TRIM FOR REPAIRS  
 C. FLOOR REPAIR  
 D. REMOVE CHALKBOARD  
 E. RETAIN/PROTECT HISTORIC MILLWORK

**PRELIMINARY**  
 FOR INFORMATIONAL PURPOSE ONLY  
 NOT FOR CONSTRUCTION



65-B PART 2 SUBMITTAL

DRAWN: ALS APPR: DNK

**LONGFELLOW  
SCHOOL**  
 MADISON, WI 53715

PROJECT # 10-715

FIRST FLOOR  
 DEMOLITION PLAN

**D1.1**

**GENERAL WALL KEY:**  
 [Hatched Box] EXISTING MASONRY WALL  
 [Solid Line] EXISTING WALL  
 [Dashed Line] EXISTING WALL TO BE DEMOLISHED

**KEYED DEMOLITION NOTES:**  
 A. RETAIN EXISTING CHALKBOARD & REPAIR AS REQUIRED  
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**PRELIMINARY**  
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65-B PART 2 SUBMITTAL

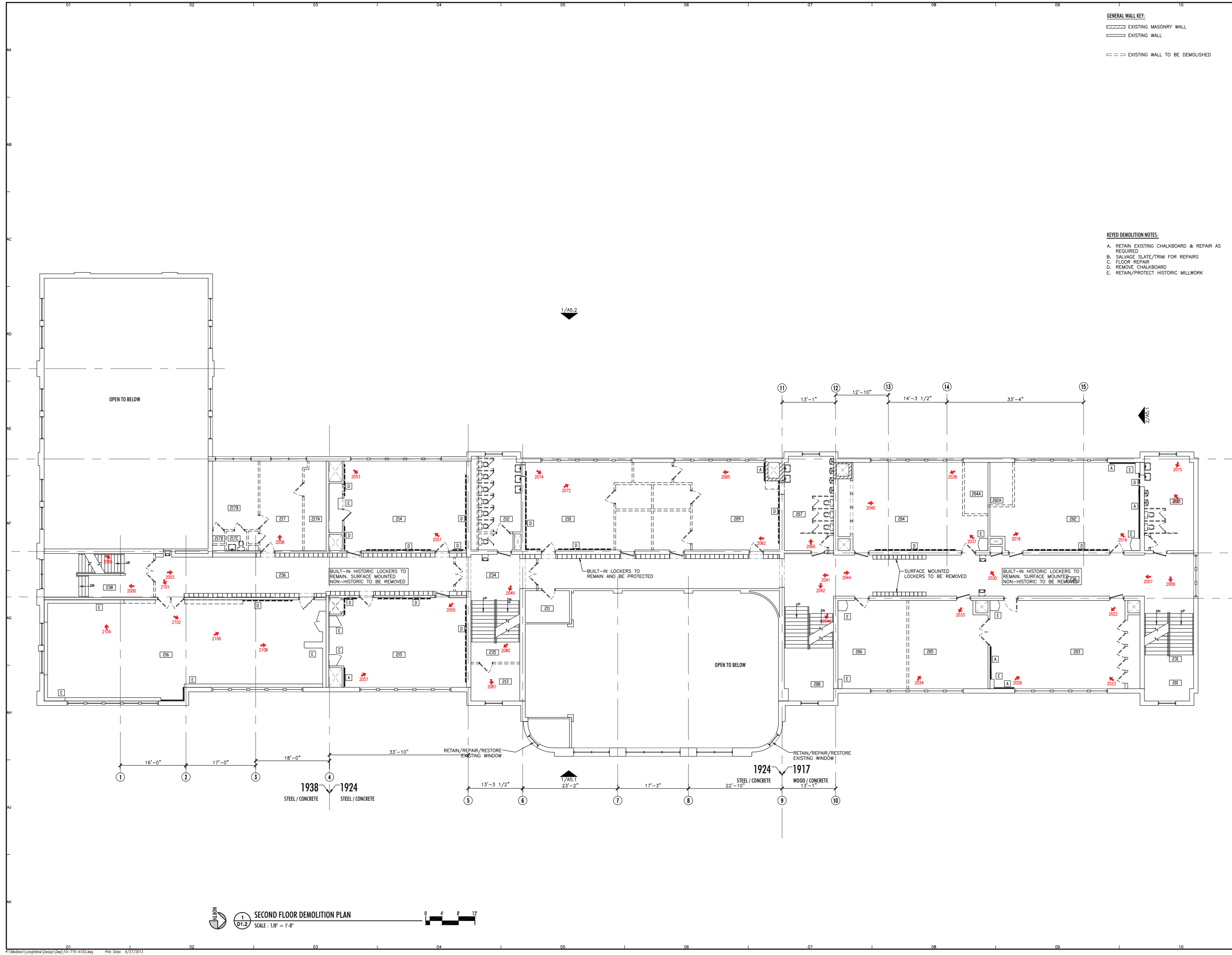
DRAWN: ALS APPR: DNK

**LONGFELLOW  
SCHOOL**  
MADISON, WI 53715

PROJECT # 10-715

**SECOND FLOOR  
DEMOLITION PLAN**

**D1.2**



**SECOND FLOOR DEMOLITION PLAN**  
 SCALE: 1/8" = 1'-0"  
 0 4 8 12

**GENERAL WALL KEY:**  
 [Hatched Box] EXISTING MASONRY WALL  
 [Solid Line] EXISTING WALL  
 [Dashed Line] EXISTING WALL TO BE DEMOLISHED

**KEYED DEMOLITION NOTES:**  
 A. RETAIN EXISTING CHALKBOARD & REPAIR AS REQUIRED  
 B. SALVAGE SLATE/TRIM FOR REPAIRS  
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 D. REMOVE CHALKBOARD  
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**PRELIMINARY**  
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65-B PART 2 SUBMITTAL

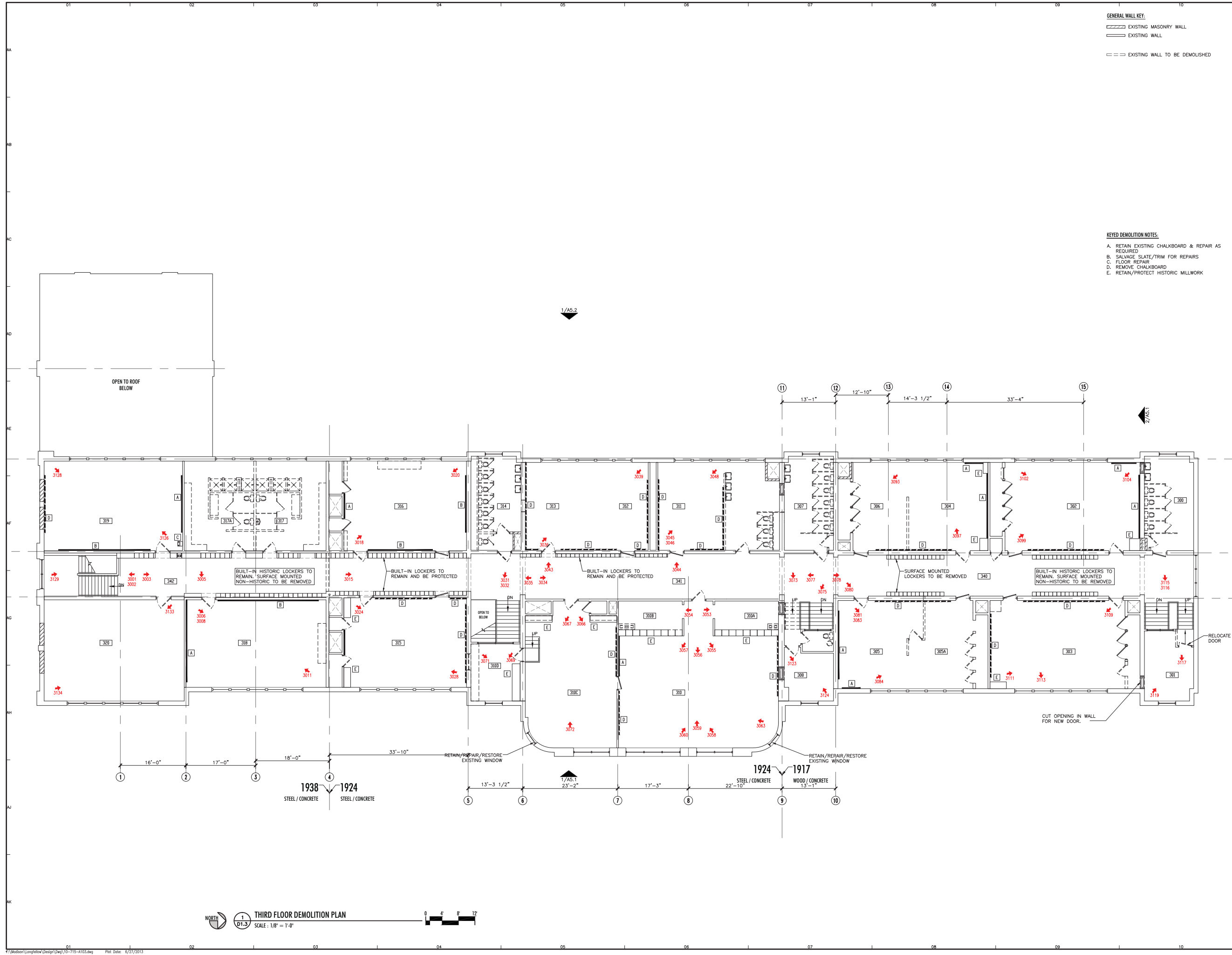
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PROJECT # 10-715

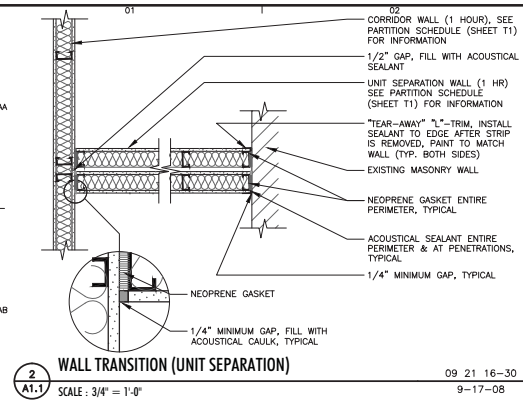
**THIRD FLOOR  
DEMOLITION PLAN**

**D1.3**

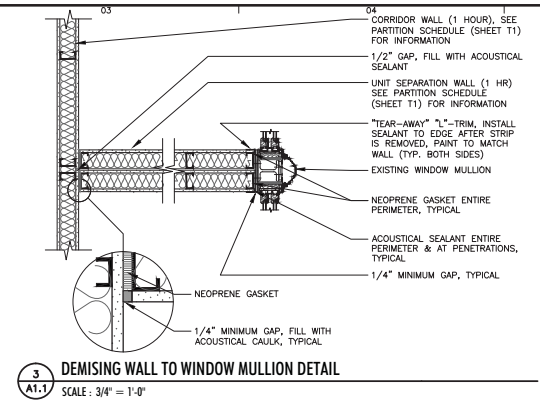


**THIRD FLOOR DEMOLITION PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH

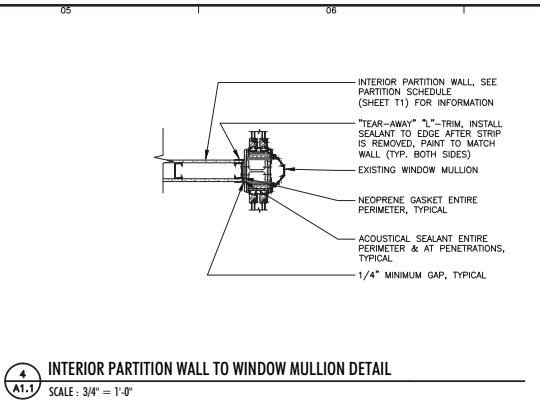
- GENERAL WALL KEY:**
- EXISTING MASONRY WALL
  - EXISTING WALL
  - NEW FIRE RATED WALL
  - NEW INTERIOR WALL
  - NEW MASONRY WALL
  - WALL TAG INDICATES WALL TYPE. REFERENCE SHEET T1 FOR WALL TYPE CONSTRUCTION. UNIT INTERIOR WALL TYPES ARE INDICATED ON 1/4" UNIT PLANS.
- CEILING NOTES:**
- SHADED AREA INDICATES GYPSUM BOARD CEILING. 5'-0" A.F.F. TYPICAL UNLESS OTHERWISE NOTED AS BELOW.
  - CEILING CONSTRUCTION
  - HEIGHT ABOVE FINISHED FLOOR 10'-0"
  - UNDERSIDE OF JOIST (WHERE INDICATED)
  - SHADED AREA INDICATES APPROXIMATE AREA WITH CEILING HEIGHT BELOW 6'-8"
- KEYED NOTES:**
- E. REPAIR/RESTORE EXISTING MILLWORK



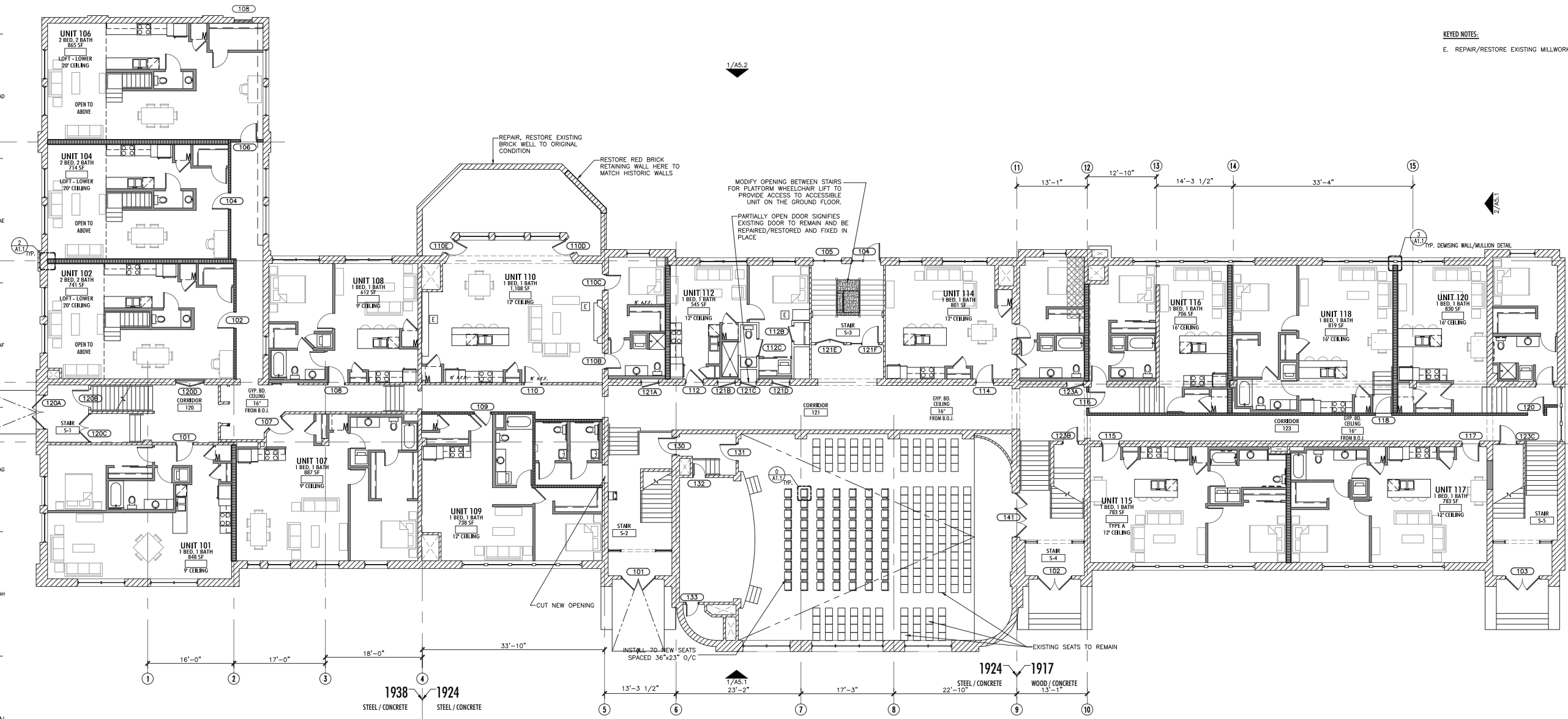
**2 WALL TRANSITION (UNIT SEPARATION)**  
SCALE: 3/4" = 1'-0"  
09-21-16-30  
9-17-08



**3 DEMISING WALL TO WINDOW MULLION DETAIL**  
SCALE: 3/4" = 1'-0"



**4 INTERIOR PARTITION WALL TO WINDOW MULLION DETAIL**  
SCALE: 3/4" = 1'-0"



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NOT FOR CONSTRUCTION

65-B PART 2 SUBMITTAL

DRAWN: ALS APPR: DNK

**LONGFELLOW SCHOOL**  
MADISON, WI 53715

PROJECT # 10-715

FIRST FLOOR PLAN

**A1.1**

- GENERAL WALL KEY:**
- EXISTING MASONRY WALL
  - EXISTING WALL
  - NEW FIRE RATED WALL
  - NEW INTERIOR WALL
  - NEW MASONRY WALL
- WALL TAG INDICATES WALL TYPE. REFERENCE SHEET T1 FOR WALL TYPE CONSTRUCTION. UNIT INTERIOR WALL TYPES ARE INDICATED ON 1/4" UNIT DIMENSIONS NOTED OTHERWISE, NEW INTERIOR WALLS SHALL BE WALL TYPE 5**
- CEILING NOTES:**
- SHADED AREA INDICATES GYPSUM BOARD CEILING, 5'-0" A.F.F. TYPICAL UNLESS OTHERWISE NOTED AS BELOW.
  - GYP. BD. CEILING
  - HEIGHT ABOVE FINISHED FLOOR 10'-0" U.O.I.
  - UNDERSIDE OF JOIST (WHERE INDICATED)
  - SHADED AREA INDICATES APPROXIMATE AREA WITH CEILING HEIGHT BELOW 6'-8"
- KEYED NOTES:**
- E. REPAIR/RESTORE EXISTING MILLWORK

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FOR INFORMATIONAL PURPOSE ONLY  
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65-B PART 2 SUBMITTAL

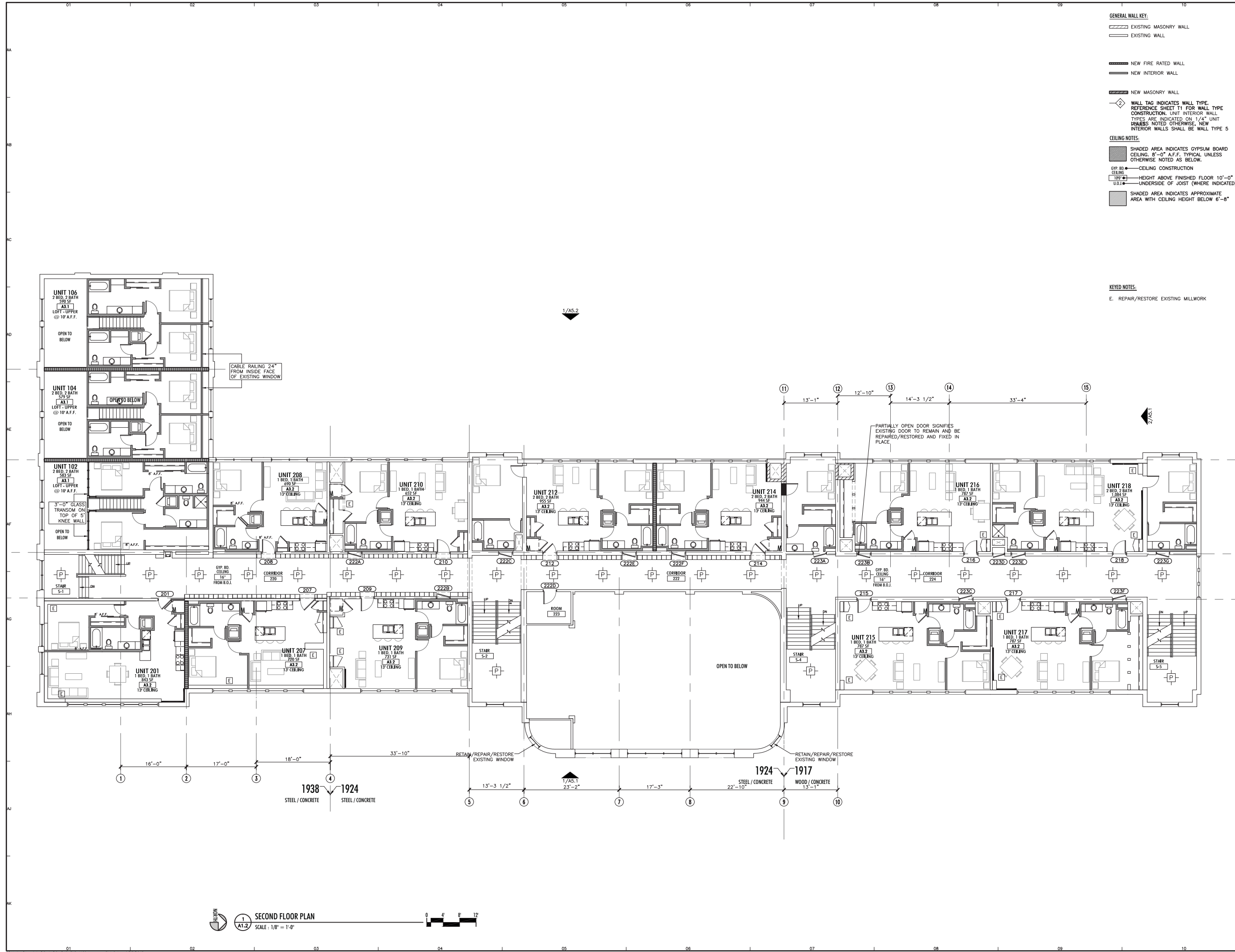
DRAWN: ALS APPR.: DNK

**LONGFELLOW  
SCHOOL**  
MADISON, WI 53715

PROJECT # 10-715

SECOND FLOOR PLAN

**A1.2**



**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

- GENERAL WALL KEY:**
- EXISTING MASONRY WALL
  - EXISTING WALL
  - NEW FIRE RATED WALL
  - NEW INTERIOR WALL
  - NEW MASONRY WALL
  - WALL TAG INDICATES WALL TYPE. REFERENCE SHEET T1 FOR WALL TYPE CONSTRUCTION. UNIT INTERIOR WALL TYPES ARE INDICATED ON 1/4" UNIT DIMENSIONS NOTED OTHERWISE. NEW INTERIOR WALLS SHALL BE WALL TYPE 5
- CEILING NOTES:**
- SHADED AREA INDICATES GYPSUM BOARD CEILING. 5'-0" A.F.F. TYPICAL UNLESS OTHERWISE NOTED AS BELOW.
  - CEILING CONSTRUCTION
  - HEIGHT ABOVE FINISHED FLOOR 10'-0"
  - UNDERSIDE OF JOIST (WHERE INDICATED)
  - SHADED AREA INDICATES APPROXIMATE AREA WITH CEILING HEIGHT BELOW 6'-8"
- KEYED NOTES:**
- E. REPAIR/RESTORE EXISTING MILLWORK

**PRELIMINARY**  
FOR INFORMATIONAL PURPOSE ONLY  
NOT FOR CONSTRUCTION

65-B PART 2 SUBMITTAL

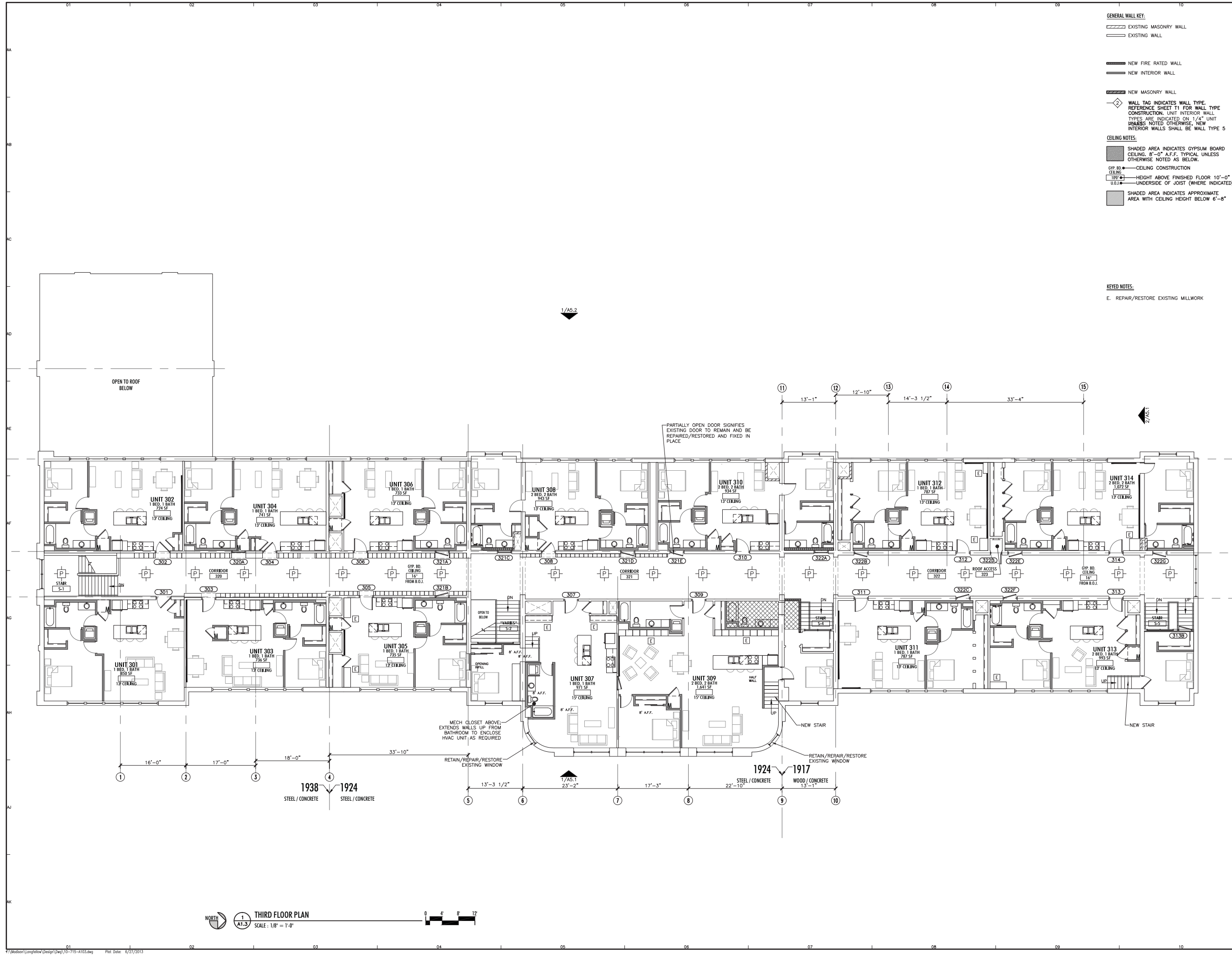
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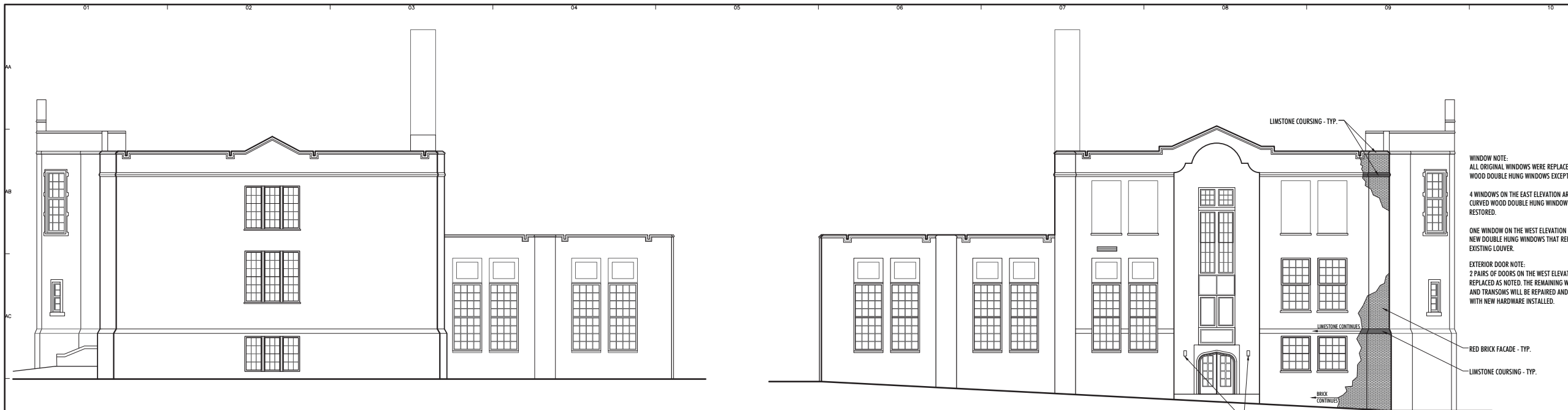
**LONGFELLOW SCHOOL**  
MADISON, WI 53715

PROJECT # 10-715

THIRD FLOOR PLAN

**A1.3**





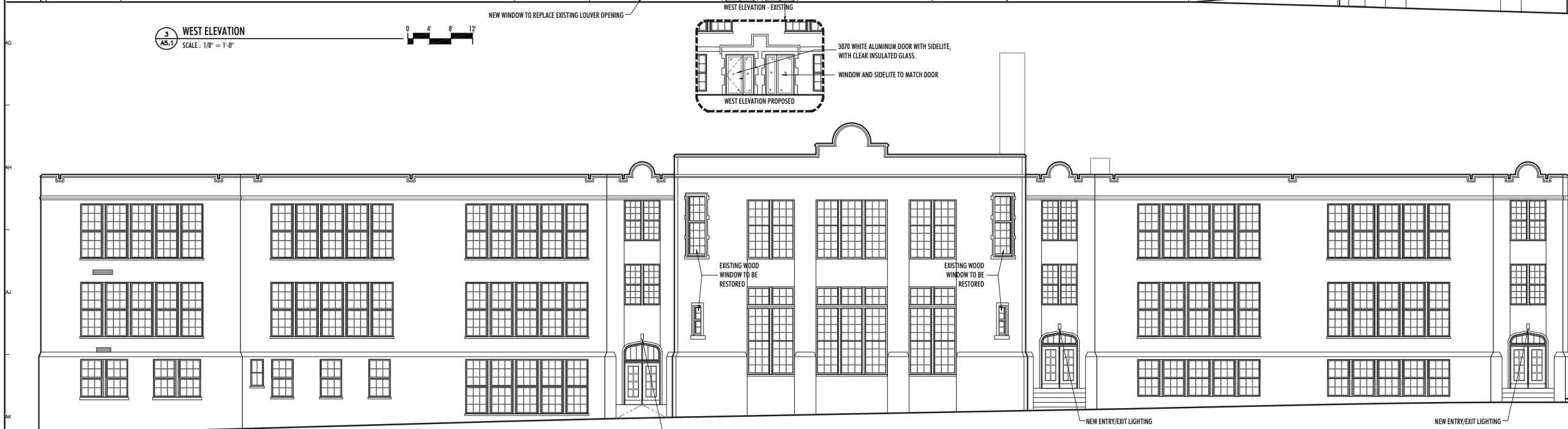
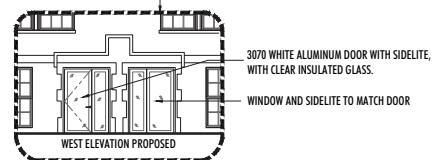
**WINDOW NOTE:**  
ALL ORIGINAL WINDOWS WERE REPLACED IN 1998 WITH WOOD DOUBLE HUNG WINDOWS EXCEPT AS NOTED:  
4 WINDOWS ON THE EAST ELEVATION ARE ORIGINAL CURVED WOOD DOUBLE HUNG WINDOWS THAT WILL BE RESTORED.  
ONE WINDOW ON THE WEST ELEVATION IS A PAIR OF NEW DOUBLE HUNG WINDOWS THAT REPLACE AN EXISTING LOUVER.  
**EXTERIOR DOOR NOTE:**  
2 PAIRS OF DOORS ON THE WEST ELEVATION ARE TO BE REPLACED AS NOTED. THE REMAINING WOOD DOORS AND TRANSOMS WILL BE REPAIRED AND REPAINTED, WITH NEW HARDWARE INSTALLED.

1 NORTH ELEVATION  
AS.1 SCALE: 1/8" = 1'-0"

2 SOUTH ELEVATION  
AS.1 SCALE: 3/32" = 1'-0"



3 WEST ELEVATION  
AS.1 SCALE: 1/8" = 1'-0"



4 EAST ELEVATION  
AS.1 SCALE: 3/32" = 1'-0"

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65-B PART 2 SUBMITTAL

DRAWN: ALS APPR: DNK

LONGFELLOW  
SCHOOL  
MADISON, WI 53715

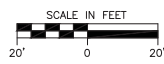
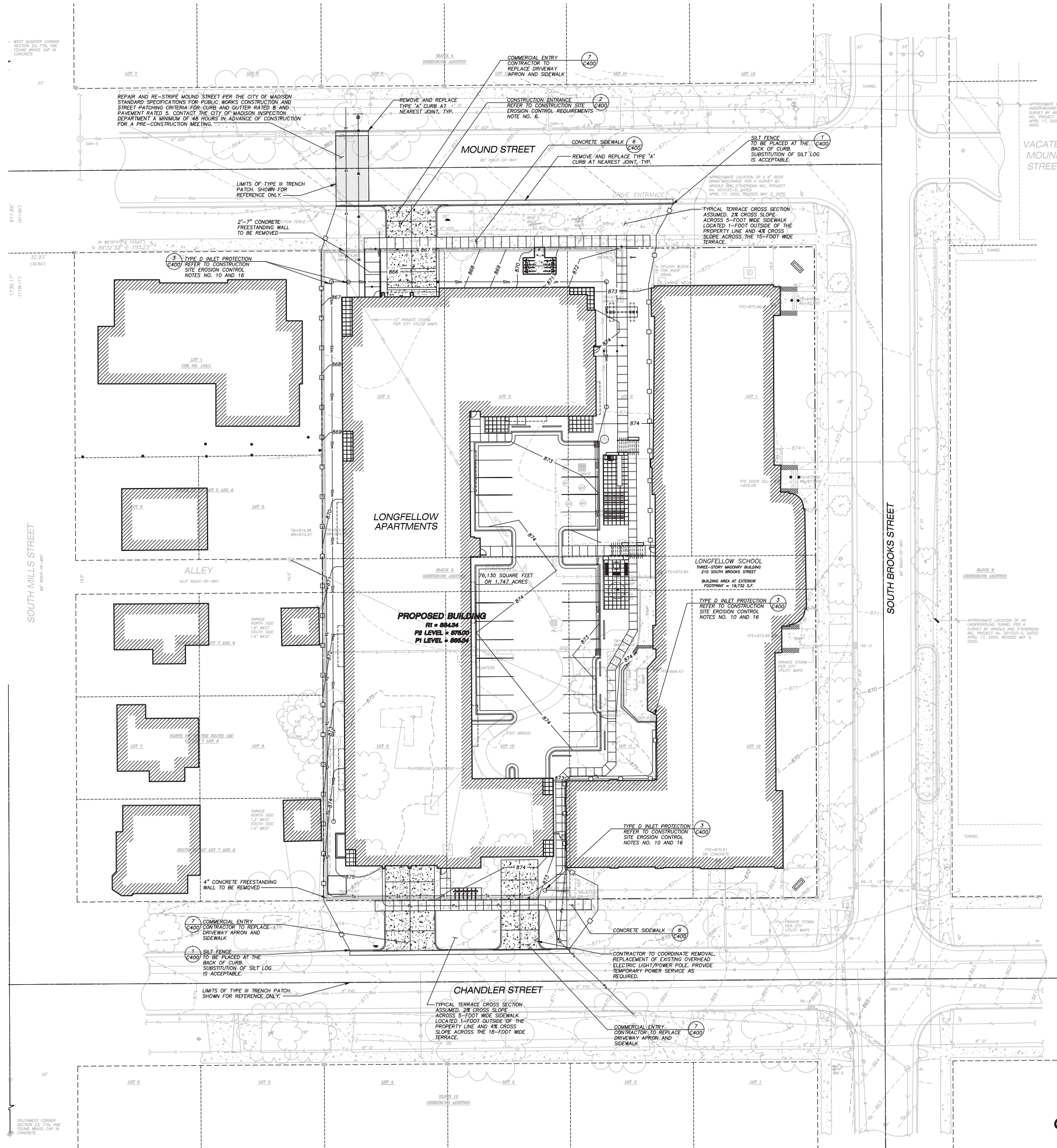
PROJECT # 10-715

EXTERIOR BUILDING  
ELEVATIONS

**A5.1**







LEGEND (PROPOSED)

- PROPERTY LINE
- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- GAS SERVICE (DESIGN BY UTILITY)
- ELECTRIC SERVICE (DESIGN BY UTILITY)
- TELEPHONE SERVICE (DESIGN BY UTILITY)
- CURB AND GUTTER
- REJECT CURB AND GUTTER
- TRENCH PATCH LIMITS
- ASPHALTIC PAVEMENT
- CONCRETE PAVEMENT
- SILT FENCE

GENERAL NOTES

- REFER TO THE TOPOGRAPHIC AND UTILITY SURVEY DATED 02-28-2013 FOR EXISTING CONDITIONS NOTES AND LEGEND.
  - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
  - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.wisconsin.gov/soilwater/technstand.htm>
  - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WNR TECHNICAL STANDARDS.
  - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. ONLINE REPORTING OF INSPECTIONS AND MAINTENANCE IS REQUIRED TO BE SUBMITTED TO THE CITY OF MADISON.
  - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
  - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
  - INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 1 1/2" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
  - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
  - INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WNR TECHNICAL STANDARDS.
  - EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):  
 A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.  
 B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.  
 C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE Dewatering Technical Standards No. 1001 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
  - INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION. REFER TO WSDOT FDM FOR RESPECTIVE DETAILS.
  - APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
  - ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEERS SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
  - ALL SLOPES EXCEEDING 5:1 (20%) SHALL BE STABILIZED WITH A CLASS II, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WOOL APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
  - CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WNR REQUIREMENTS.
  - CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WNR TECHNICAL STANDARD 1008.
  - CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.

GRADING AND SEEDING NOTES

- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- CONTRACTOR SHALL STABILIZE ANY EXPOSED SOIL SURFACES ON THE SITE WITH MULCH PRIOR TO WINTER.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
- CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SEEDING AND MULCHING. THIS MUST BE VERIFIED BY THE ENGINEER AS PART OF THE AS-BUILT CERTIFICATION.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON A MINIMUM OF TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.



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iconica.com

LONGFELLOW SCHOOL APARTMENTS

The Alexander Company  
145 E. Bager Road, Suite 200  
Madison, WI 53710

ISSUE DATES:  
LAND USE: 05-08-13

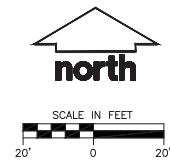
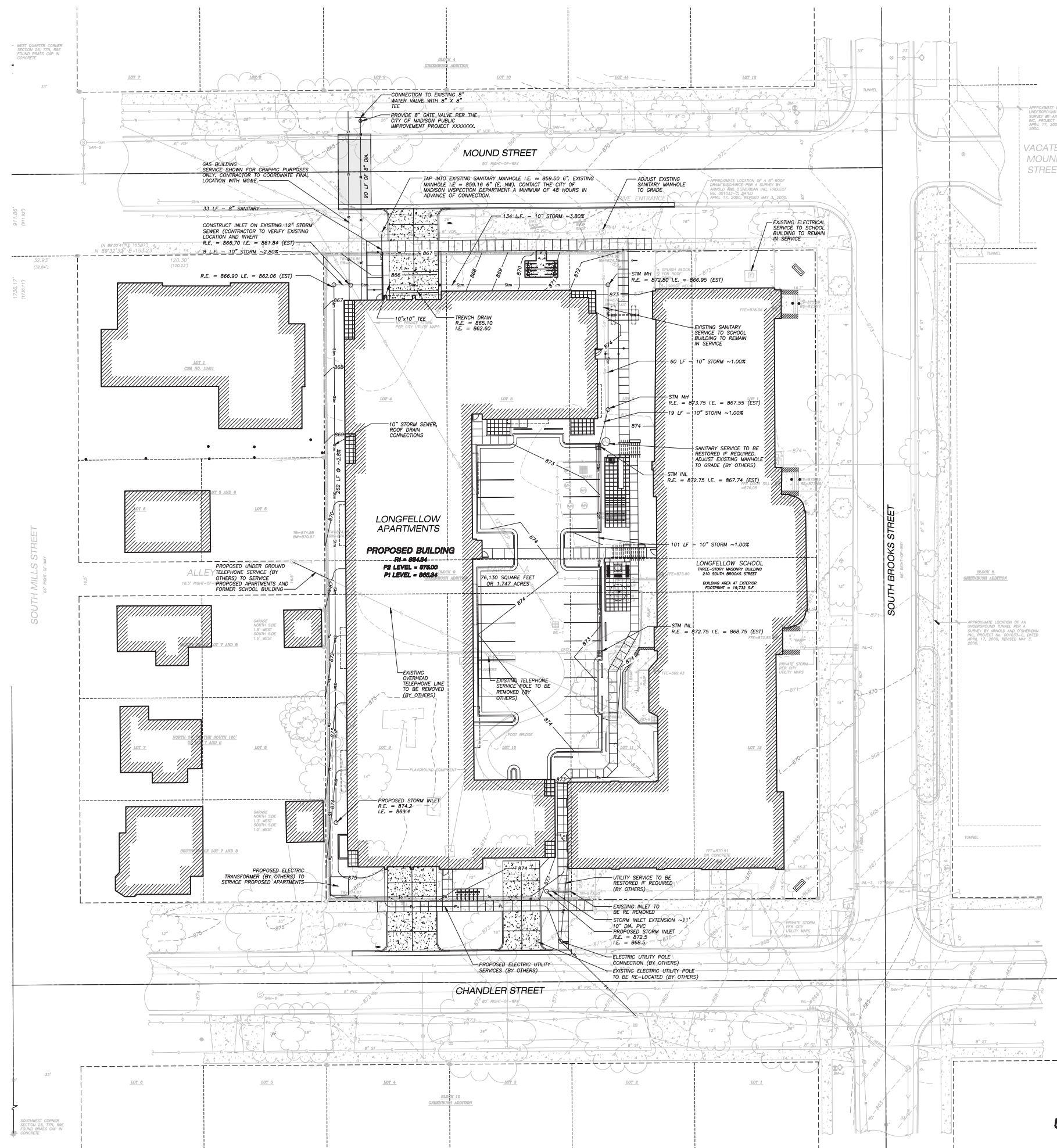
RFVIS DATE:

PROJECT #: 20130050  
SHEET NUMBER

**C200**

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**GRADING AND EROSION CONTROL PLAN**



**LEGEND (PROPOSED)**

- PROPERTY LINE
- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- GAS SERVICE (DESIGN BY UTILITY)
- ELECTRIC SERVICE (DESIGN BY UTILITY)
- TELEPHONE SERVICE (DESIGN BY UTILITY)
- LIGHT POLES (DESIGN BY THE CITY OF MADISON)
- TRENCH PATCH LIMITS
- ASPHALTIC PAVEMENT
- CONCRETE PAVEMENT

**UTILITY NOTES**

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REVISION MAY OCCUR.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
4. ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
5. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
6. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WDSPS, AND WDMR.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY IN INCLUDING BUT NOT LIMITED TO EXISTING SERVICE ABANDONMENT.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
12. ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON PROJECT NUMBER 5362326. PUBLIC IMPROVEMENTS ONLY SHOWN ON THIS PLAN FOR GRAPHIC PURPOSES. CONTRACTOR SHALL COORDINATE A PRECONSTRUCTION MEETING WITH CITY OF MADISON INSPECTION A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES OR DOING ANY OTHER WORK WITHIN THE PUBLIC RIGHT-OF-WAY. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
13. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30, TABLE 384.30-6.
14. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE. REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
15. ALL PRIVATE SANITARY SEWER BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30, TABLE 384.30-6.
16. COORDINATE AND OBTAIN ALL PERMITS FOR EXISTING PRIVATE SERVICES TO BE ABANDONED WITH THE CITY OF MADISON.
17. DOWNTERRING, IF APPLICABLE, SHALL BE CONDUCTED PER WDMR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.

**UTILITY PLAN**

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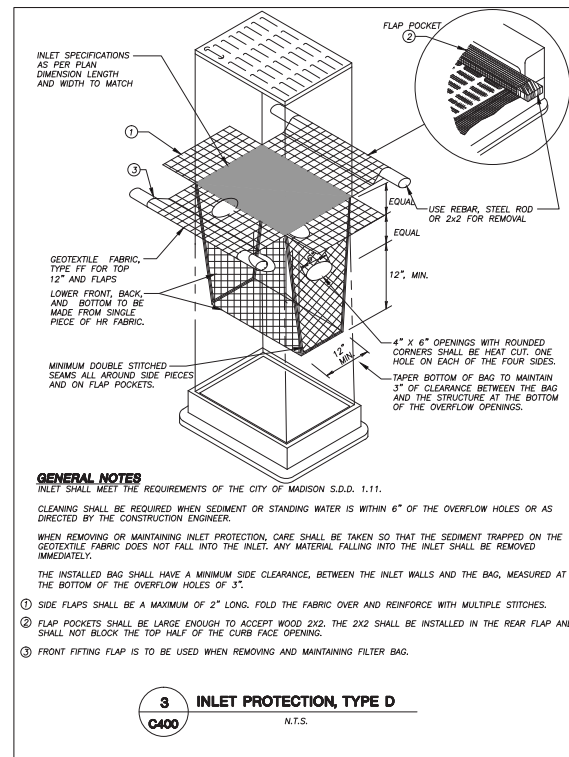
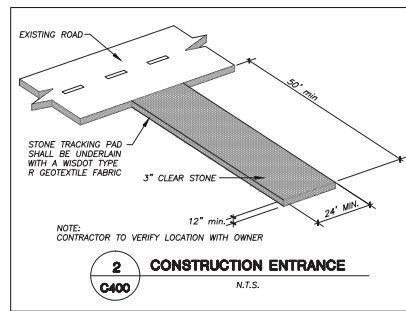
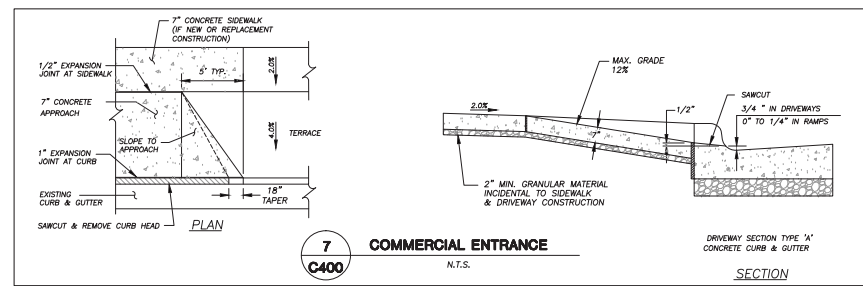
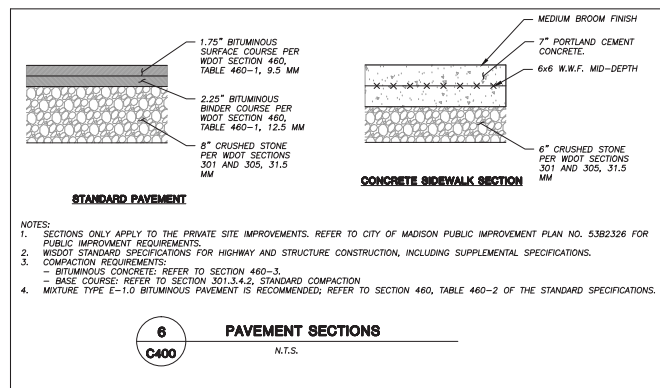
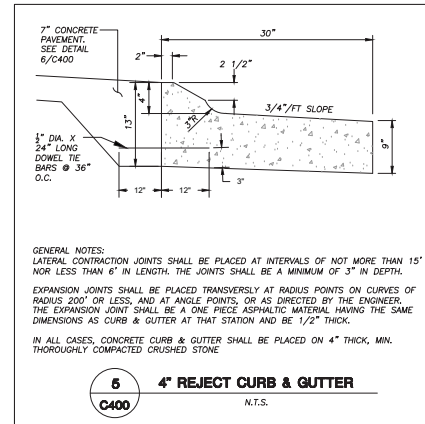
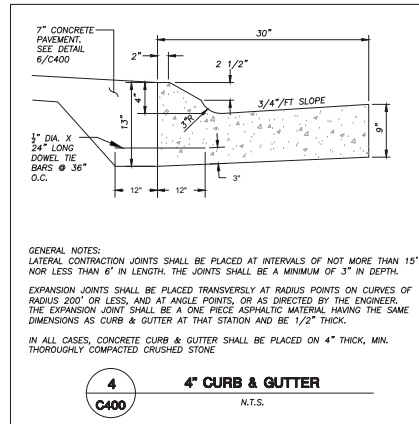
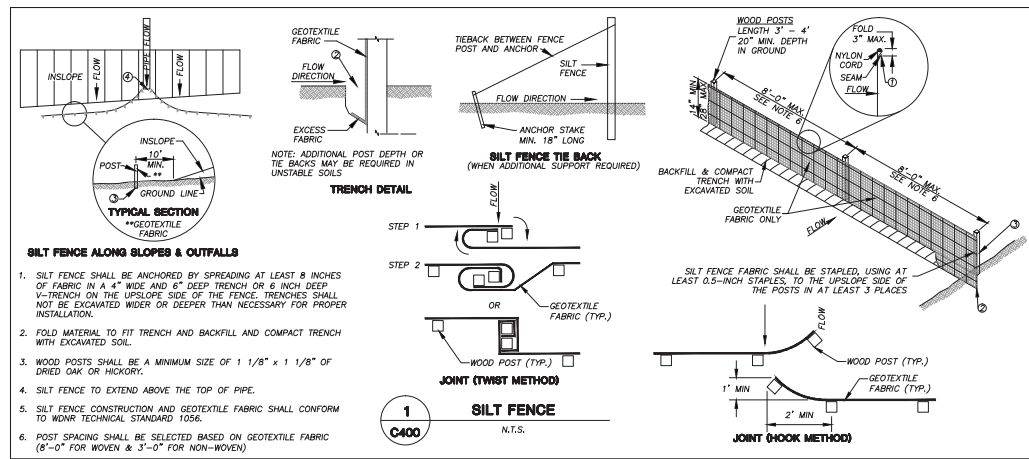
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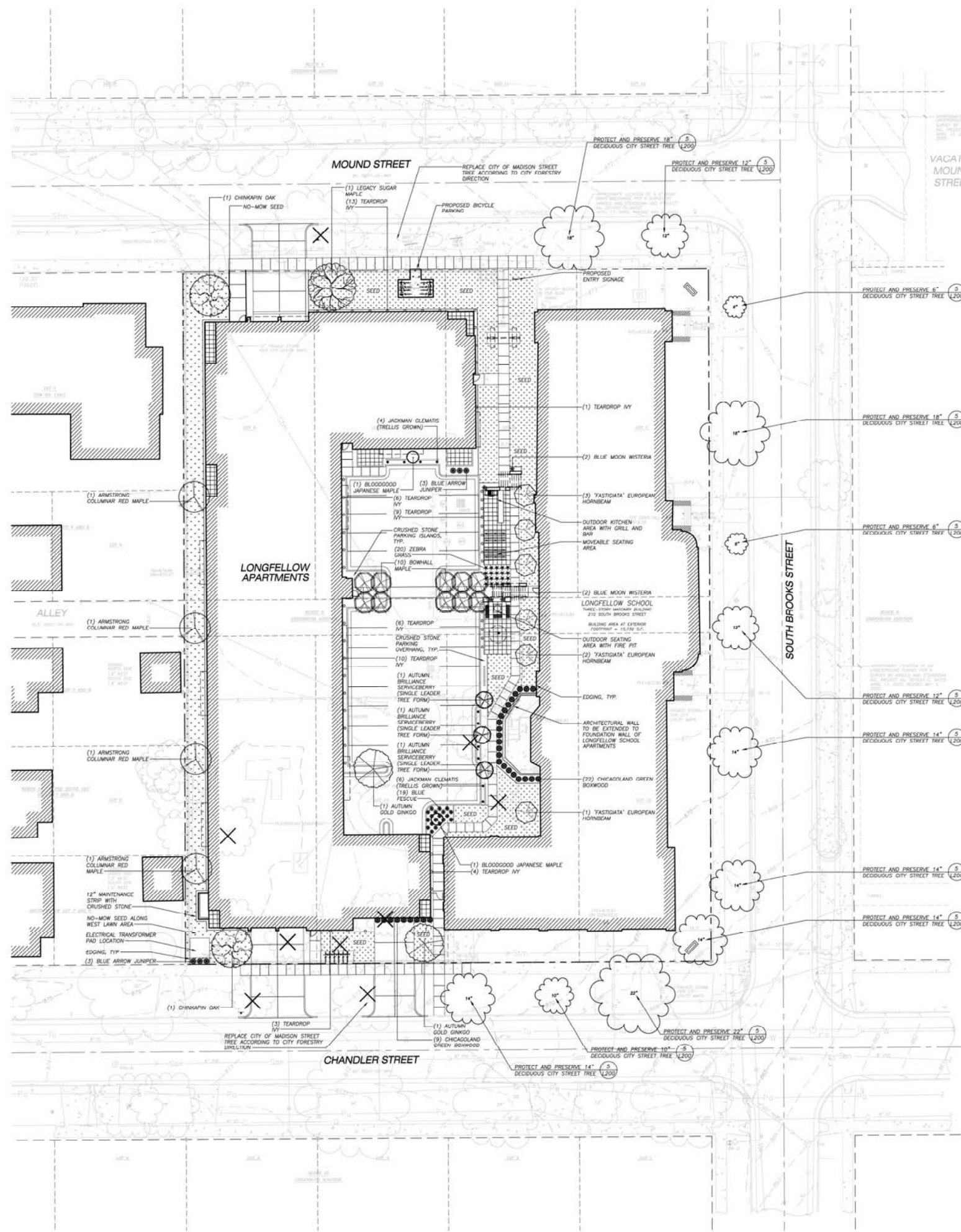
**LONGFELLOW SCHOOL APARTMENTS**  
 MOUND STREET  
 MADISON, WI  
 The Alexander Company  
 145 E. Barger Road, Suite 200  
 MADISON, WI 53710

ISSUE DATES:	
LAND USE:	05-08-13
RFV/SI DATE:	

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**JSD Professional Services, Inc.**  
 Engineers • Surveyors • Planners  
 "BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"  
 MADISON REGIONAL OFFICE  
 181 HEDGON DRIVE, SUITE 101  
 VERONA, WISCONSIN 53593  
 608.848.5000 PHONE | 608.848.2255 FAX

**LEGEND (PROPOSED)**

- PROPERTY LINE
- CONCRETE SURFACE
- SEED (TURF AREAS)
- NO-MOW SEED (TURF AREAS)
- PERENNIAL/GROUNDCOVER
- ALUMINUM EDGING

**EXISTING TREE TO BE PRESERVED AND PROTECTED**

**EXISTING TREE TO BE REMOVED**

**CANOPY TREES**

**MEDIUM DECIDUOUS TREES**

**LARGE DECIDUOUS SHRUBS**

**LOW EVERGREEN TREES**

**PERENNIALS AND VINES**

**ORNAMENTAL GRASSES**

- LANDSCAPE NOTES AND SPECIFICATIONS**
- GENERAL:** ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY OBTAINMENTS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. CONTRACTOR PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
  - DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADY AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
  - GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEING, EDGING, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
  - MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK AND 260.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECT (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF HOLLOW, RABBIT-HOLE, AND BRANCHING (TWO TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE).
  - MATERIALS - SOIL:** PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:  
 1. PLANTING AREAS = 24"  
 2. TREE PITS = SEE DETAILS  
 PLANTING SOIL TO BE A MINIMUM 30" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRAGILE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE REQUIREMENTS. SOIL AMENDMENTS SHALL BE APPLIED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
  - MATERIALS - FOUNDATION MAINTENANCE:** STRIPS, LANDSCAPE AREAS SHALL RECEIVE CRUSHED STONE, MULCH SPREAD TO A CONSISTENT DEPTH OF THREE INCHES. OWNER SHALL APPROVE COLOR, TEXTURE AND SIZE EXAMPLE PRIOR TO INSTALLATION. AN APPROVED PROFESSIONAL FERTILIZER NEED BARRIER SHALL BE INSTALLED PRIOR TO MULCH INSTALLATION. PLANT FERTILIZER SHALL BE IN ACCORDANCE WITH DANE COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
  - MATERIALS - TREE RINGS:** ALL TREES PLANTED IN SEEDING LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5" DIAMETER SHREDED HARDWOOD MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 4 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 2" DIAMETER AROUND THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULATE NEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
  - MATERIALS - WEED BARRIER FABRIC:** ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
  - MATERIALS - EDGING:** EDGING SHALL BE 6" DEEP, ALUMINUM EDGING. OWNER SHALL APPROVE SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
  - PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN NATIONAL STANDARD CARE OPERATIONS, AND ALSO PRUNE TREES IN ACCORDANCE WITH NMA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUSHES FOR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDINGS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
  - GLASSING:** REPOSESS OF EXCESS SOIL. REMOVE ALL CUTTINGS AND INACTIVE MATERIALS. SOIL, GRANULOS, BRUSHES AND BRITANNIA MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, GRANULOS, BRUSHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. (LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY).
  - MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SOODED LAWN AREAS. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADJUTELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
  - MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

**LANDSCAPE PLANT LIST**

SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
<b>CANOPY TREES</b>					
LS	1	Legacy Sugar Maple	<i>Acer saccharum 'Legacy'</i>	2 1/2" Cal	668
BR	10	Bonhall Columnar Maple	<i>Acer rubrum 'Bonhall'</i>	2 1/2" Cal	668
GM	2	Chicago Oak	<i>QUERCUS muehlenbergii</i>	2 1/2" Cal	668
<b>MEDIUM DECIDUOUS TREES</b>					
CB	6	Fastigiate Hornbeam	<i>CARPINUS betulus 'Fastigiate'</i>	1 1/2" Cal	668
PT	4	Armstrong Columnar Red Maple	<i>ACER x freemanii 'Armstrong'</i>	1 1/2" Cal	668
MBP	3	Autumn Brilliance Serviceberry	<i>AMELANCHIER x grandiflora 'Autumn Brilliance'</i>	1 1/2" Cal	668
<b>LARGE DECIDUOUS SHRUBS</b>					
BP	1	Blue Arrow Juniper	<i>JUNIPERUS sibirica 'Blue Arrow'</i>	36" Hx. 18"	65 Cost
BG	31	Chicago Green Boxwood	<i>BUXUS x glabra</i>	36" Hx. 18"	65 Cost
<b>LOW EVERGREEN TREES</b>					
JV	6	Blue Arrow Juniper	<i>JUNIPERUS sibirica 'Blue Arrow'</i>	36" Hx. 18"	668
<b>PERENNIALS AND VINES</b>					
CJ	10	Jackman Clematis	<i>CLEMATIS x 'Jackman'</i>	10-12" Hx.	63 Cost
MB	4	Blue Moon Wisteria	<i>WISTERIA macrocarpa 'Blue Moon'</i>	10-12" Hx.	63 Cost
RS	32	Teardrop Ivy	<i>HEDERA helix 'Teardrop'</i>	10-12" Hx.	63 Cost
<b>ORNAMENTAL GRASSES</b>					
FG	18	Elgin Blue Fescue	<i>FESTUCA glauca 'Elgin Blue'</i>	4-6" Hx.	63 Cost
MS	20	Zebra Grass	<i>BRISTANTHUS asotensis 'Zebra'</i>	12" Hx.	63 Cost

**LANDSCAPE PLAN**

**ICONICA**  
 True Design-Build

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**LONGFELLOW SCHOOL APARTMENTS**  
 MOUND STREET  
 MADISON, WI

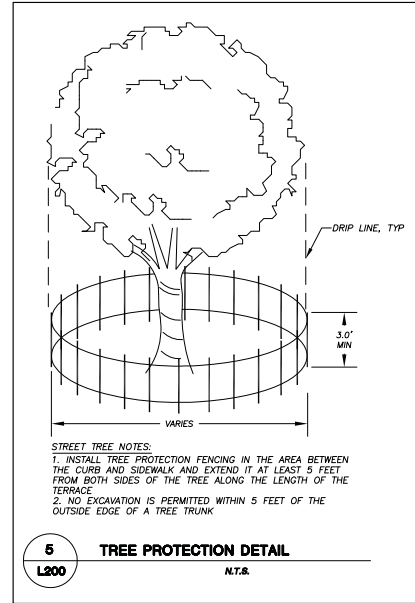
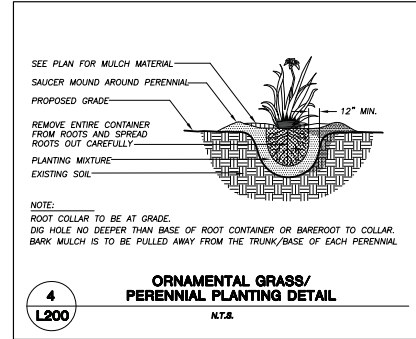
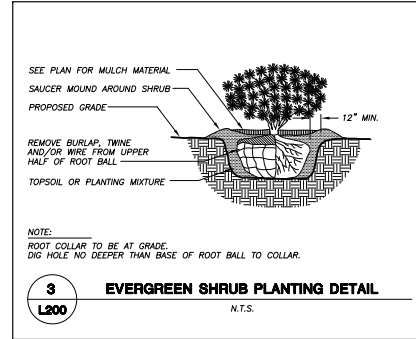
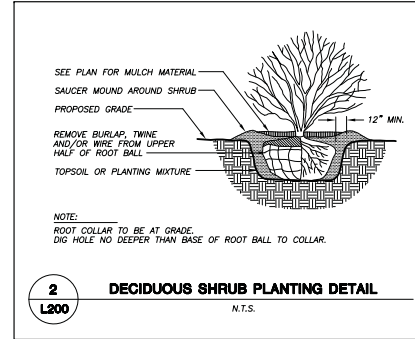
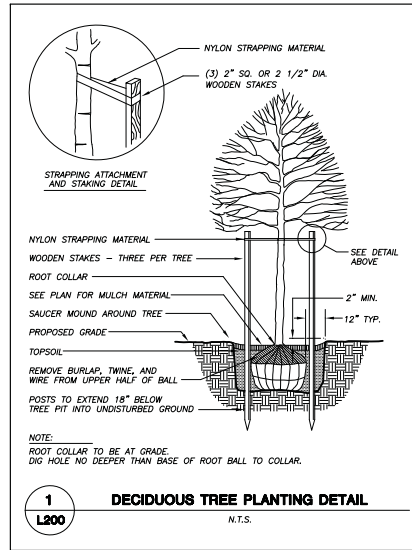
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 MADISON, WI 53710

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**LONGFELLOW SCHOOL APARTMENTS**  
MOUND STREET  
MADISON, WI

The Alexander Company  
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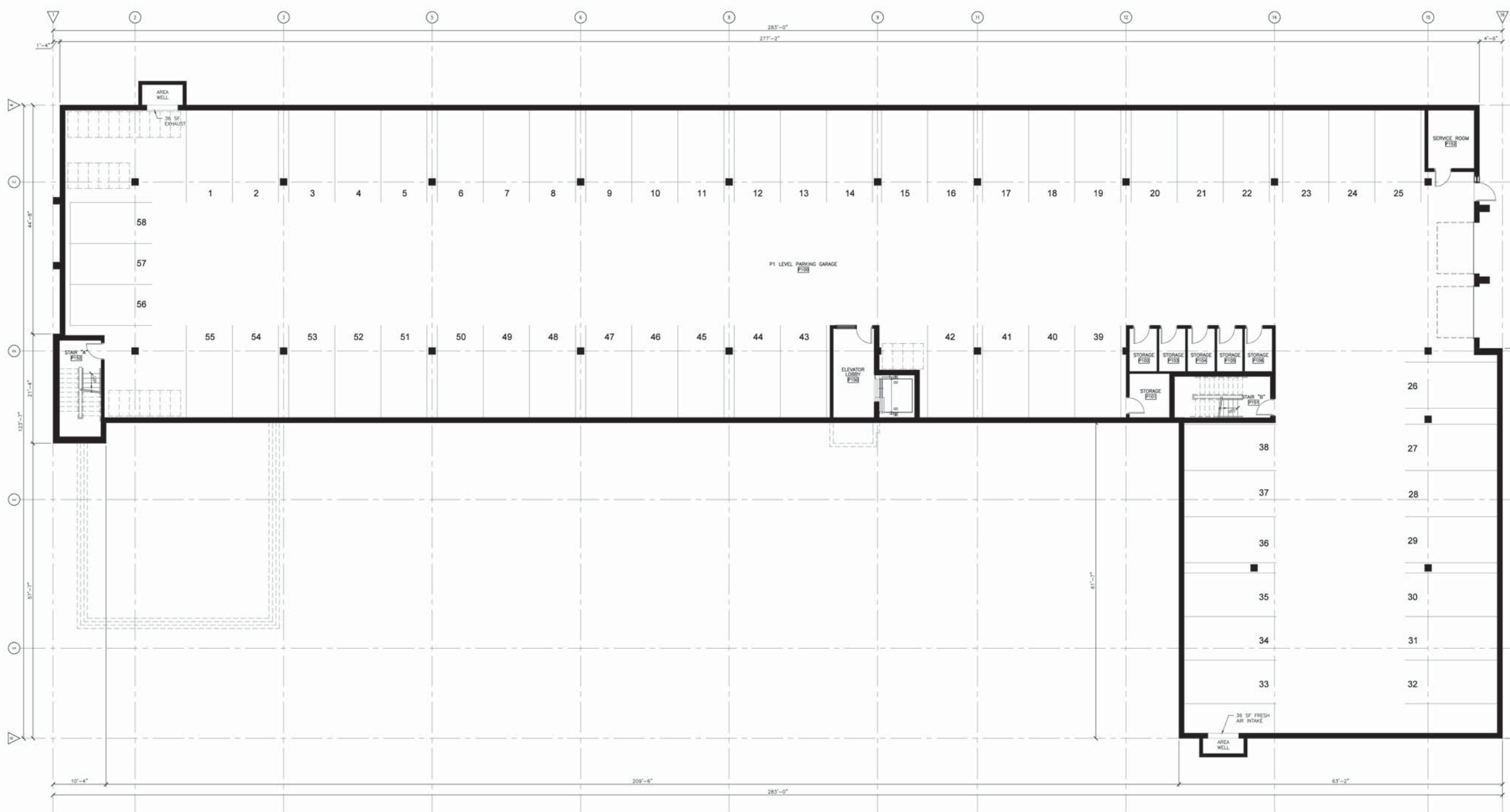
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**A2P1**



**1** P1 LEVEL FLOOR PLAN  
A2P1 SCALE: 1/8" = 1'-0"



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LONGFELLOW SCHOOL APARTMENTS

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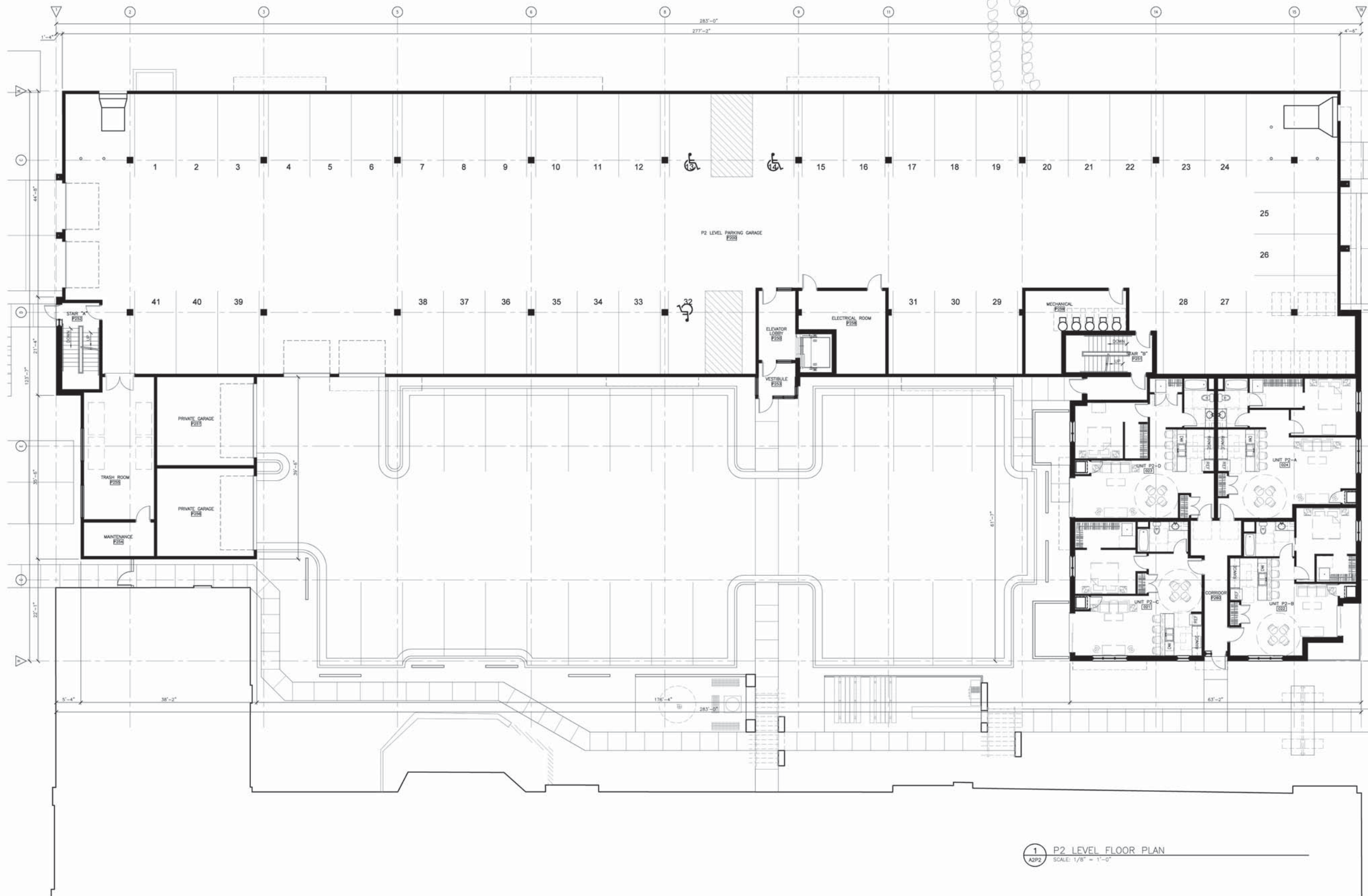
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A2P2

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1 P2 LEVEL FLOOR PLAN  
A2P2 SCALE: 1/8" = 1'-0"





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# LONGFELLOW SCHOOL APARTMENTS

MOUND STREET  
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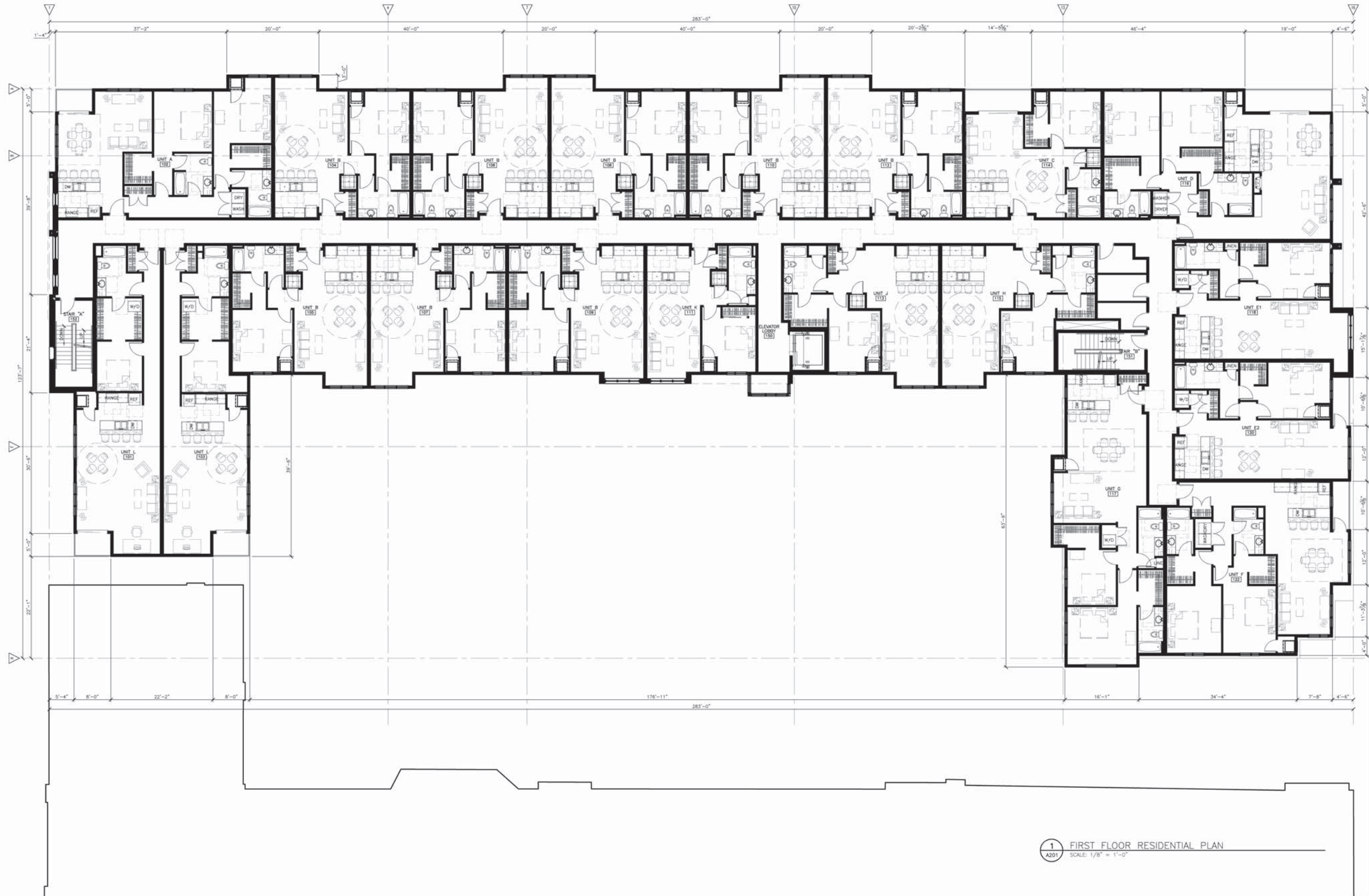
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## A201

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1 FIRST FLOOR RESIDENTIAL PLAN  
SCALE: 1/8" = 1'-0"



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**LONGFELLOW SCHOOL APARTMENTS**  
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**1 SECOND FLOOR RESIDENTIAL PLAN**  
SCALE: 1/8" = 1'-0"



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**LONGFELLOW SCHOOL APARTMENTS**

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**1** THIRD FLOOR RESIDENTIAL PLAN  
SCALE: 1/8" = 1'-0"

**LONGFELLOW SCHOOL APARTMENTS**

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**1 SOUTH EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"  
000000.000



**2 WEST EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"  
000000.000

**LONGFELLOW SCHOOL APARTMENTS**  
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MADISON, WI

The Alexander Company  
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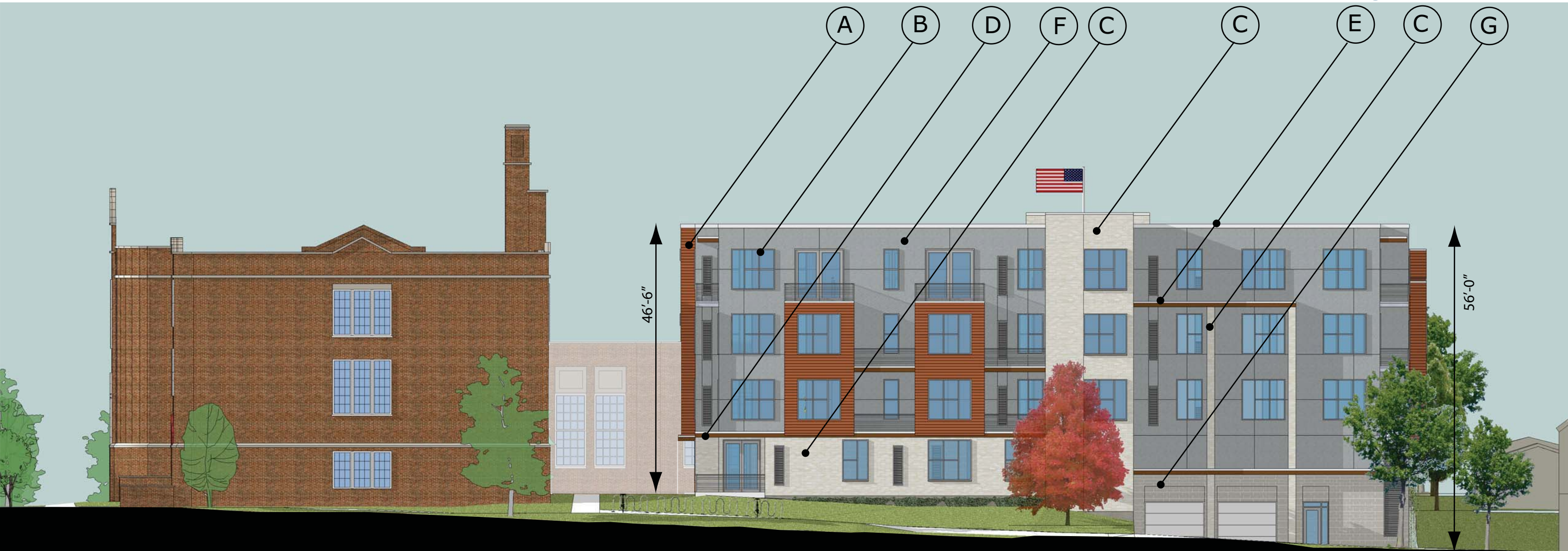


**1 NORTH EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"  
000000.000



**2 EAST EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"  
000000.000

the Longfellow



NORTH ELEVATION

- A = Horizontal architectural metal panel - Terra Cota
- B = Anodized aluminum window and door frames
- C = Brick - White
- D = Cedar fascia and soffit - Honey Oak stain
- E = White coping drip edge
- F = EIFS - French grey
- G = Masonry Block - Grey

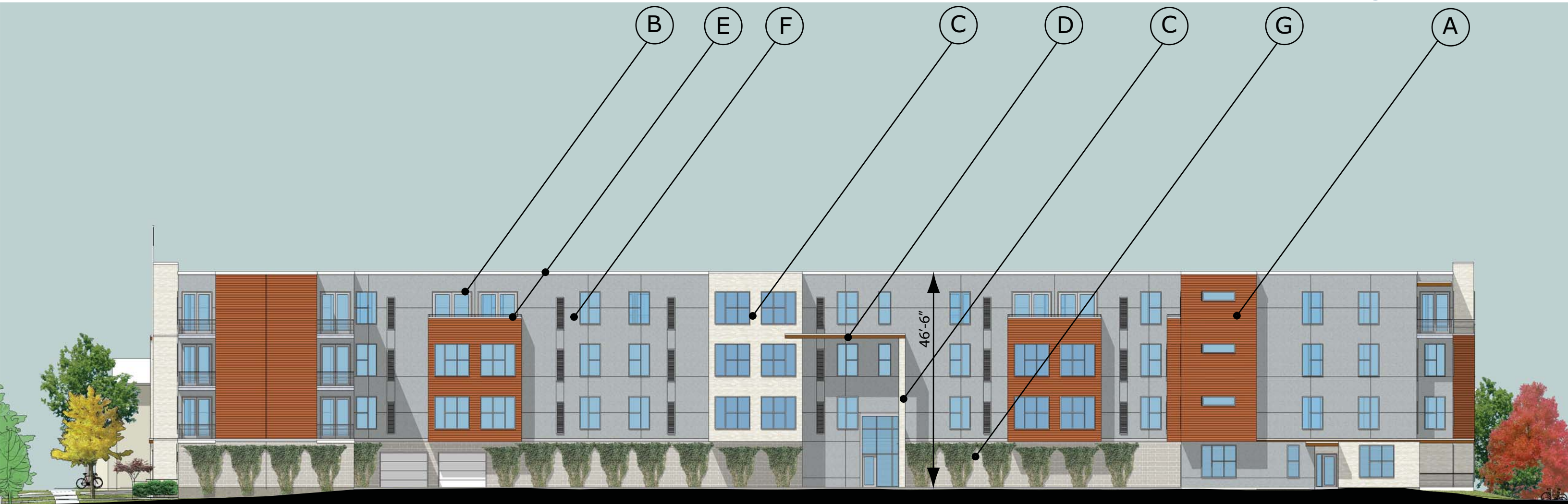
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SOUTH ELEVATION

- A = Horizontal architectural metal panel - Terra Cota
- B = Anodized aluminum window and door frames
- C = Brick - White
- D = Cedar fascia and soffit - Honey Oak stain
- E = White coping drip edge
- F = EIFS - French grey
- G = Masonry Block - Grey

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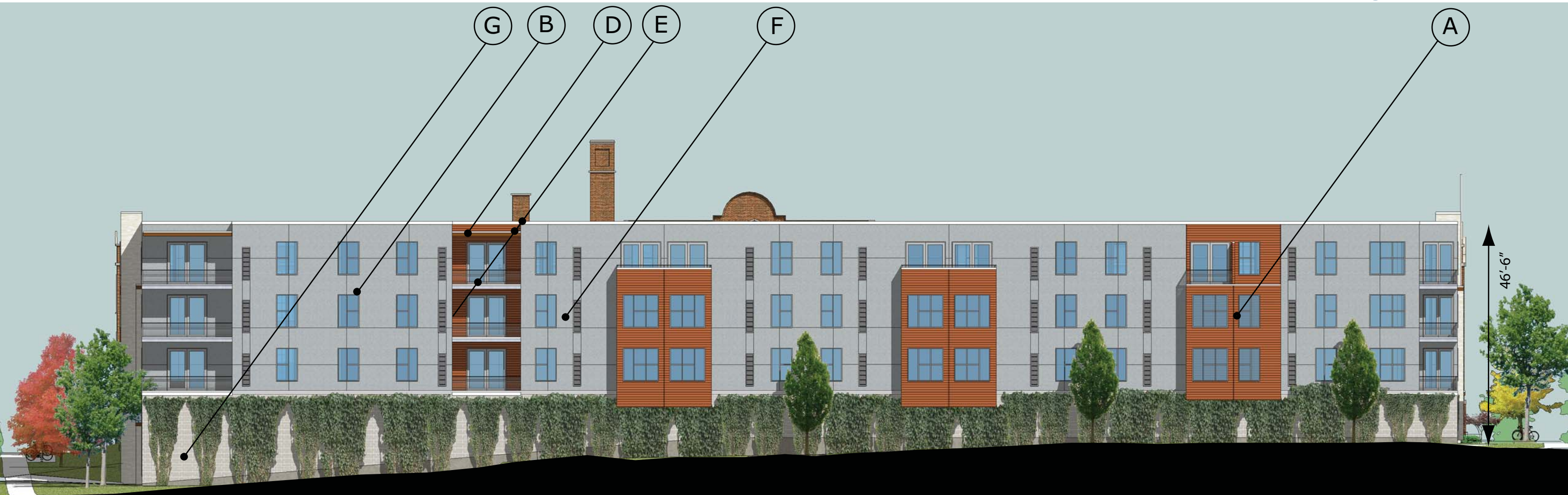


EAST ELEVATION

- A = Horizontal architectural metal panel - Terra Cota
- B = Anodized aluminum window and door frames
- C = Brick - White
- D = Cedar fascia and soffit - Honey Oak stain
- E = White coping drip edge
- F = EIFS - French grey
- G = Masonry Block - Grey



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WEST ELEVATION

- A = Horizontal architectural metal panel - Terra Cota
- B = Anodized aluminum window and door frames
- C = Brick - White
- D = Cedar fascia and soffit - Honey Oak stain
- E = White coping drip edge
- F = EIFS - French grey
- G = Masonry Block - Grey

*the Longfellow*



SOUTH WEST PEDESTRIAN VIEW

*the Longfellow*

**Alexander**  
*Company*



SOUTH EAST CORNER FROM  
ACROSS THE STREET -  
PEDESTRIAN VIEW

*the Longfellow*



SOUTH EAST CORNER - PEDESTRIAN VIEW

*the Longfellow*



FRONT VIEW OF LONGFELLOW  
FROM ACROSS BROOKS STREET  
- PEDESTRIAN VIEW

*the Longfellow*



NORTH EAST CORNER  
FROM ACROSS STREET  
- PEDESTRIAN VIEW

*the Longfellow*

**Alexander**  
*Company*

 **ICONICA**



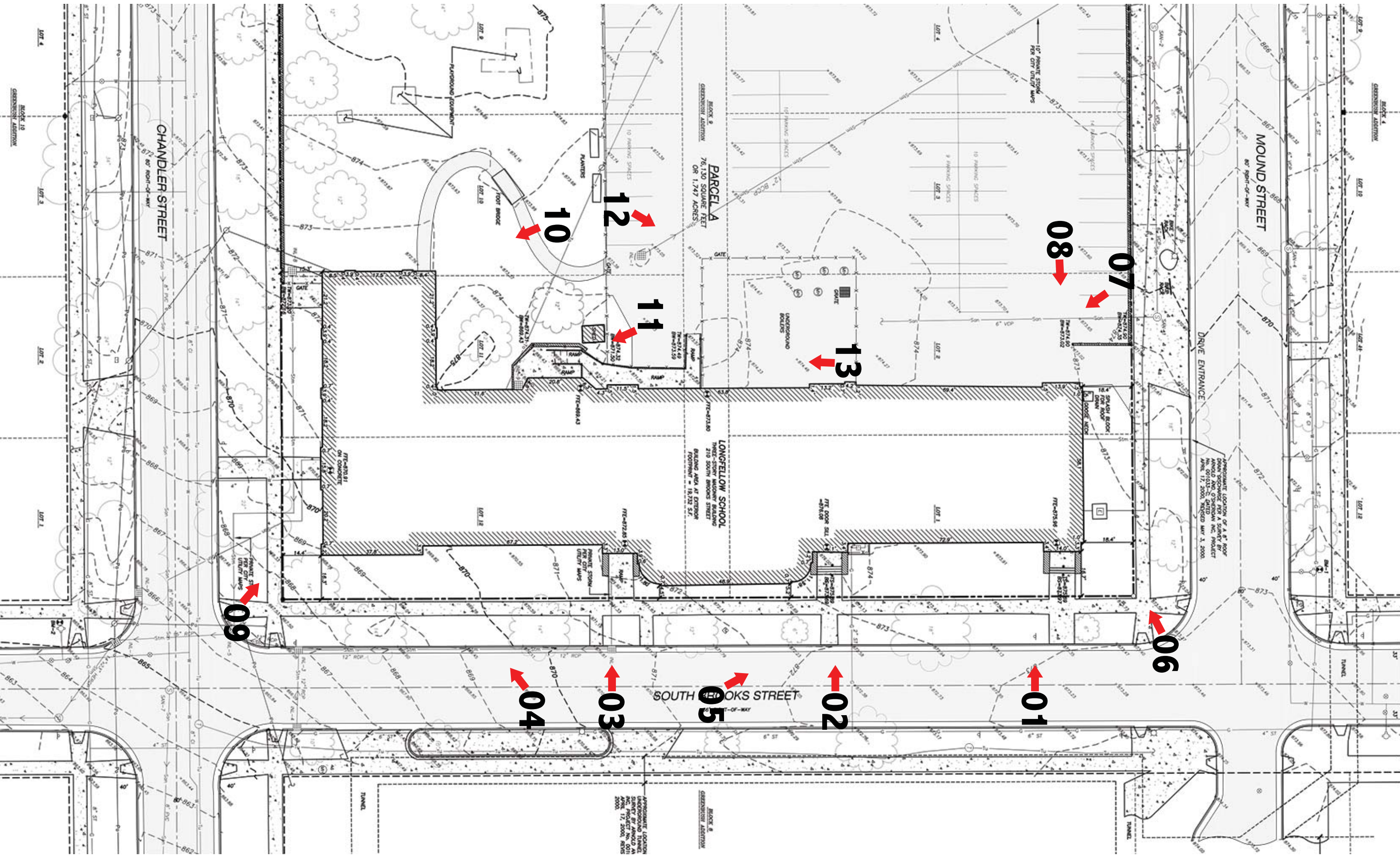
**NORTH EAST CORNER  
- PEDESTRIAN VIEW**

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NORTH WEST PEDESTRIAN VIEW





APPROXIMATE LOCATION OF A 6" R/W FOR THE PROPOSED 12' R/W ROAD AT THE INTERSECTION OF CHANDLER STREET AND MOUND STREET. DATE: APRIL 17, 2000. REVISION: MAY 1, 2000.

PARCEL A  
76,130 SQUARE FEET  
OR 1,747 ACRES

LONGFELLOW SCHOOL  
BUILDING AREA AT EXISTING  
FOOTPRINT = 18,732 S.F.

SOUTH BROOKS STREET  
TWO-OF-WAY

CHANDLER STREET  
80' RIGHT-OF-WAY

MOUND STREET  
80' RIGHT-OF-WAY

APPROXIMATE LOCATION  
OF A 6" R/W FOR THE  
PROPOSED 12' R/W ROAD  
AT THE INTERSECTION OF  
CHANDLER STREET AND  
MOUND STREET. DATE:  
APRIL 17, 2000. REVISION:  
MAY 1, 2000.

BLOCK 9  
GREENWICH ADDITION



Photo 1



Photo 2



Photo 3



Photo 4



Photo 6



Photo 5



Photo 3

Photo 7



Photo 8



Photo 9



Photo 10

Photo 5

Photo 3



Photo 11

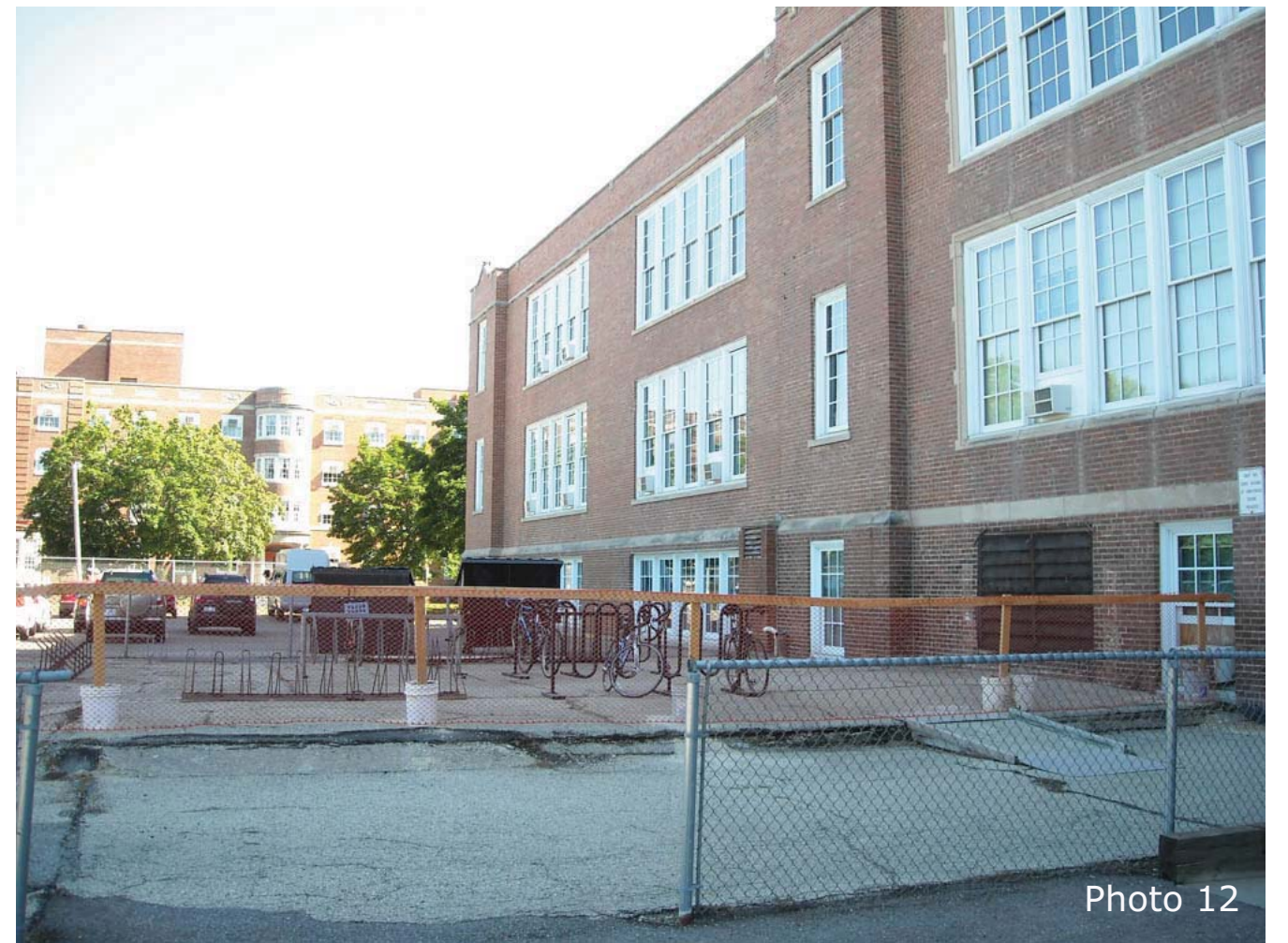


Photo 12



Photo 13



Photo 7

Photo 3