

ADCI



Schroeder Court Development

Madison

Wisconsin

GENERAL DRAWING SYMBOLS

	Partial Elevation		Section Mark
	Detail Marker		Expanded Plan
	Interior Elevations		North Arrow
	DOOR SYMBOL		EXIT LIGHT
	WINDOW SYMBOL		EXHAUST FAN
	WALL SYMBOL		EMERGENCY LIGHT
	ROOM NUMBER		RESCUE ASSISTANCE INTERCOM
	SMOKE DETECTOR		RESCUE ASSISTANCE DIRECTIONAL SIGN
	FIRE EXTINGUISHER - CABINET TYPE		RESCUE ASSISTANCE
	FIRE EXTINGUISHER - CYLINDER TYPE		BOULDER WALL
	FIRE EXTINGUISHER & VALVE CABINET		DRINKING FOUNTAINS
	FULL STATION		REVISION / ADDENDUM DESIGNATION
	FIRE HORN		SIGN LOCATION

FOUNDATION DRAWING SYMBOLS

	= TOP OF FOUNDATION
	= TOP OF LEDGE
	= TOP OF FOOTING
	= TOP OF PIER
	= FTG. TYPE & ELEVATION
	= STRUCTURAL SLAB TYPE
	= BASE PLATE TYPE
	= FLOOR ELEVATION
	= STEP IN FOOTING
	= STEP IN WALL

STRUCTURAL DRAWING SYMBOLS

	= WOOD BEAM
	= WOOD POST
	= STEEL BEAM
	= STEEL COLUMN
	= HEADER

PROJECT INFORMATION:	
Project:	Schroeder Court Development 26 Schroeder Court Madison, WI
Owner:	Capitol Real Estate, LLC 123 N. Blount, Suite 604 Madison, WI 53703 Phone Number: (608) 287-0267
Architect/Engineer:	Architectural Design Consultants, Inc. 161 Horizon Drive, Suite 102 Verona, Wisconsin 53593 Phone Number: (608) 848-2324 Fax Number: (608) 848-5122
Site Consultant:	Jenkins Survey & Design 161 Horizon Drive, Suite 101 Verona, WI 53593 Phone Number: (608) 848-5060 Fax Number: (608) 848-2255
Structural Consultant:	Pierce Engineers, Inc. 10 West Mifflin Street Madison, WI 53703 Phone Number: (608) 256-7304 Fax Number: (608) 256-7306
General Contractor:	Diamond Builders 161 Horizon Drive, Suite Verona, WI 53593 Phone Number: 608-848-8878 Fax Number: 608-848-8896

BUILDING INFORMATION:	
Project Number:	04-33
Occupancy:	Major Use: <input type="checkbox"/> A Assembly <input type="checkbox"/> B Business/Office <input type="checkbox"/> E Educational <input type="checkbox"/> F Factory/Industrial <input type="checkbox"/> H Hazardous <input type="checkbox"/> I Institutional/Daycare/CBRF <input type="checkbox"/> M Mercantile/Retail <input type="checkbox"/> R Residential <input type="checkbox"/> S Storage <input type="checkbox"/> U Utility/Misc.
Class of Construction:	<input type="checkbox"/> I A <input type="checkbox"/> I B <input type="checkbox"/> II A <input type="checkbox"/> II B <input type="checkbox"/> III A <input type="checkbox"/> III B <input type="checkbox"/> IV <input type="checkbox"/> V A <input type="checkbox"/> V B
Fire Protection:	Sprinkler Systems: <input type="checkbox"/> None <input type="checkbox"/> Partial per NFPA ___ <input checked="" type="checkbox"/> Full per NFPA 13
Flammable/Combustible Liquids:	<input checked="" type="checkbox"/> Not Present <input type="checkbox"/> Present
Floor Areas:	Total Building Areas: 10,080 = Basement Floor 10,080 = First Floor 10,080 = Second Floor 7,024 = Third Floor 37,264 = Total
Building Footprint:	10,080 = Square Feet
Building Occupant Load:	558 = Persons

INDEX OF DRAWINGS:	
TS	TITLE SHEET

SITE:	
S5.1	SURVEY OF EXISTING SITE CONDITIONS
C1.1	SITE PLAN (ARCH)
C1.2	GRADING PLAN (CIVIL)
C1.3	EROSION CONTROL PLAN (CIVIL)
C2.1	SITE DETAILS (ARCH)
C2.2	EROSION CONTROL DETAILS (CIVIL)
C3.1	LANDSCAPE PLANTING PLAN (L ARCH)
C4.1	UTILITY PLAN (CIVIL)
C4.2	SITE LIGHTING PLAN (ARCH)

ARCHITECTURAL:	
PL1	PERSPECTIVES (ARCH)
A1.1	BASEMENT PLAN @ 1/8" (ARCH)
A1.2	FIRST FLOOR PLAN @ 1/8" (ARCH)
A1.3	SECOND FLOOR PLAN @ 1/8" (ARCH)
A1.4	THIRD FLOOR PLAN @ 1/8" (ARCH)
A1.5	ROOF PLAN @ 1/8" (ARCH)
A2.1	EXPANDED STAIR PLANS (ARCH)
A2.2	EXPANDED STAIR/ BATHROOM PLANS (ARCH)
A3.1	ELEVATIONS @ 1/4" (ARCH)
A3.2	ELEVATIONS @ 1/4" (ARCH)
A4.1	SECTIONS (ARCH)
A4.1	SECTIONS (ARCH)
A4.1	SECTIONS (ARCH)
A5.1	ARCHITECTURAL DETAILS (ARCH)
A5.2	ARCHITECTURAL DETAILS (ARCH)
AG.1	SCHEDULES (ARCH)
BF.1	BARRIER FREE DESIGN NOTES (ARCH)
BF.2	BARRIER FREE DESIGN NOTES (ARCH)
BF.3	BARRIER FREE DESIGN DETAILS (ARCH)

STRUCTURAL:	
S1.1	FOUNDATION PLAN (STRUCT.)
S2.1	FOUNDATION DETAILS (STRUCT.)
S3.2	FIRST FLOOR FRAMING (STRUCT.)
S3.3	SECOND FLOOR FRAMING (STRUCT.)
S3.4	THIRD FLOOR FRAMING (STRUCT.)
S3.5	ROOF FRAMING (STRUCT.)
S4.1	STRUCTURAL DETAILS (STRUCT.)
S4.2	STRUCTURAL DETAILS (STRUCT.)

DESIGN INFORMATION:		
Project Number:	04-33	
Snow Loads:	Ground Snow Load:	35 PSF
	Terrain Category:	B
	Building Importance Category:	I
	Thermal Factor:	Ct = 1.0
	Snow Exposure Factor:	Ce = 0.9
Wind Loads:	Basic Wind Speed:	90 MPH
	Exposure Category:	B
	Building Importance Category:	I
Seismic Loads:	Site Class:	D
	Seismic Use Group:	I
	Seismic Design Category:	A



LOCATION MAP
NO SCALE

Preliminary Plans Not For Construction

Architectural Design Consultants Inc.
161 Horizon Drive Suite 102
Verona, WI 53593
Phone: (608) 848-2324 Fax: (608) 848-5122

Schroeder Court Development
Madison Wisconsin

Title Sheet

Drawn by: ADCI Staff
Checked by: Phil Schmat
Date: Sep 21, 2005
Scale: As Noted
Job Number: VO4-33

Sheet Number
TS

REVISION:	DATE:	BY:

Cad Reference Files:
VO4-33 Layout Book-04

ARCHITECTURAL:
I HEREBY CERTIFY THAT THE PLANS AND SPECIFICATIONS LISTED AS ARCHITECTURAL DRAWINGS WERE PREPARED BY ME UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE STATUTES OF THE STATE OF WISCONSIN.

Architectural Design Consultants, Inc.

STRUCTURAL:
I HEREBY CERTIFY THAT THE PLANS AND SPECIFICATIONS LISTED AS STRUCTURAL DRAWINGS WERE PREPARED BY ME UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ENGINEER UNDER THE STATUTES OF THE STATE OF WISCONSIN.

Pierce Engineers, Inc.

CIVIL:
I HEREBY CERTIFY THAT THE PLANS AND SPECIFICATIONS LISTED AS CIVIL DRAWINGS WERE PREPARED BY ME UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ENGINEER UNDER THE STATUTES OF THE STATE OF WISCONSIN.

General Engineering Company

MADISON REGIONAL OFFICE

161 Horizon Drive
Suite 101
Verona, Wisconsin 53593
(608) 848-5060

MILWAUKEE REGIONAL OFFICE

N22 W22931 Nancy Court
Suite 3
Waukesha, Wisconsin 53186
(262) 513-0666

PREPARED FOR:

**ARCHITECTURAL
DESIGN
CONSULTANTS INC.**

161 HORIZON DRIVE
VERONA, WI 53593

PROJECT

**SCHROEDER
COURT
DEVELOPMENT**

Although every effort has been made in preparing these plans and checking them for accuracy, the contractor and subcontractors must check all details and dimensions of their trade and be responsible for the same.

These plans and designs are copyright protected and may not be used in whole or in part without the written consent of Jenkins Survey and Design, Inc.

ITEM	DATE
Drawn: JNP	08/19/05
Checked: DOS	08/20/05
Approved: HPJ	08/20/05
City of Madison Submitted	08/21/05

SEAL/SIGNATURE

SHEET TITLE

**EXISTING
SITE
CONDITIONS**

SHEET NUMBER

C-1.0

JSD PROJECT NUMBER

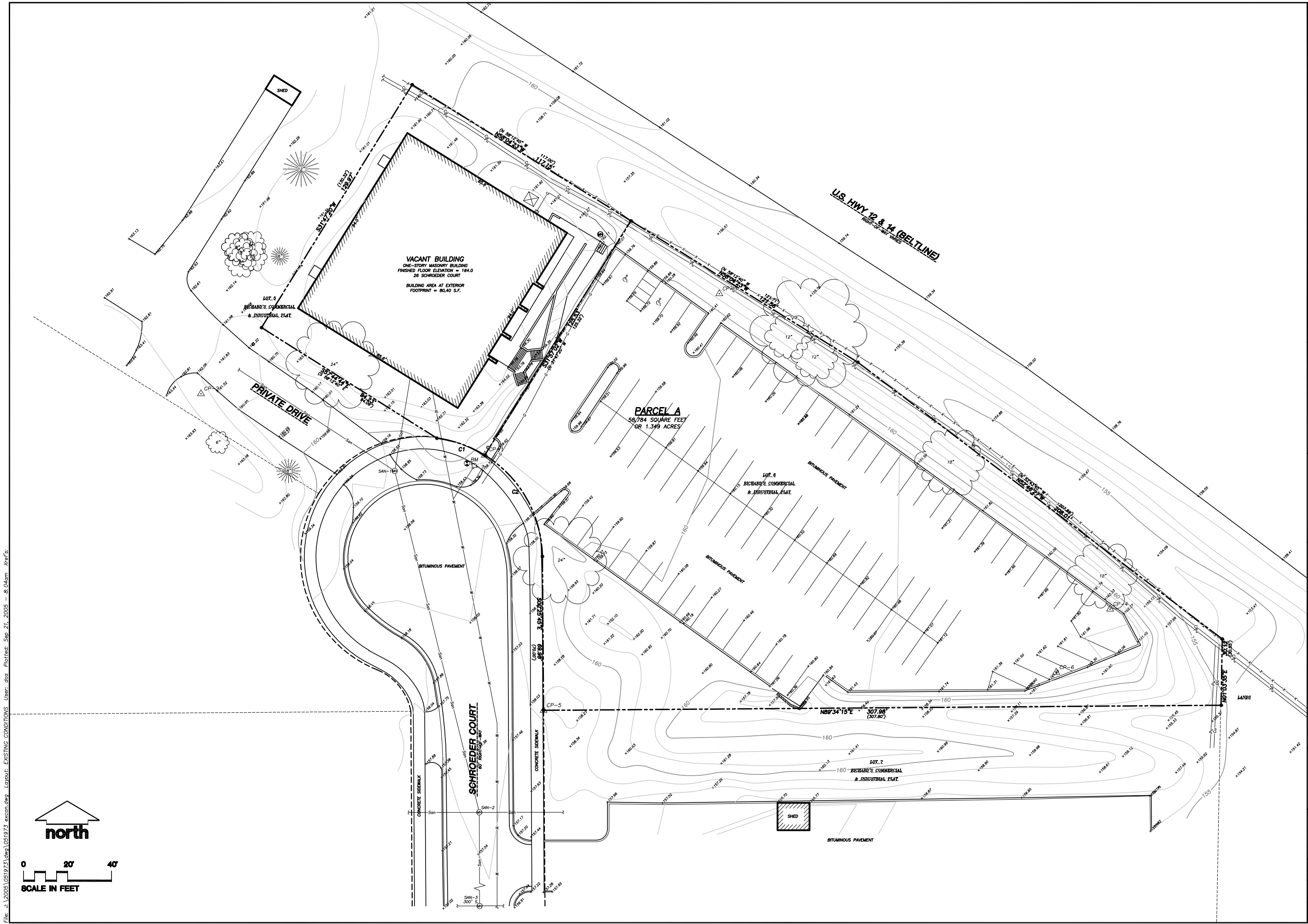
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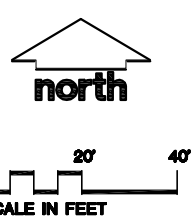
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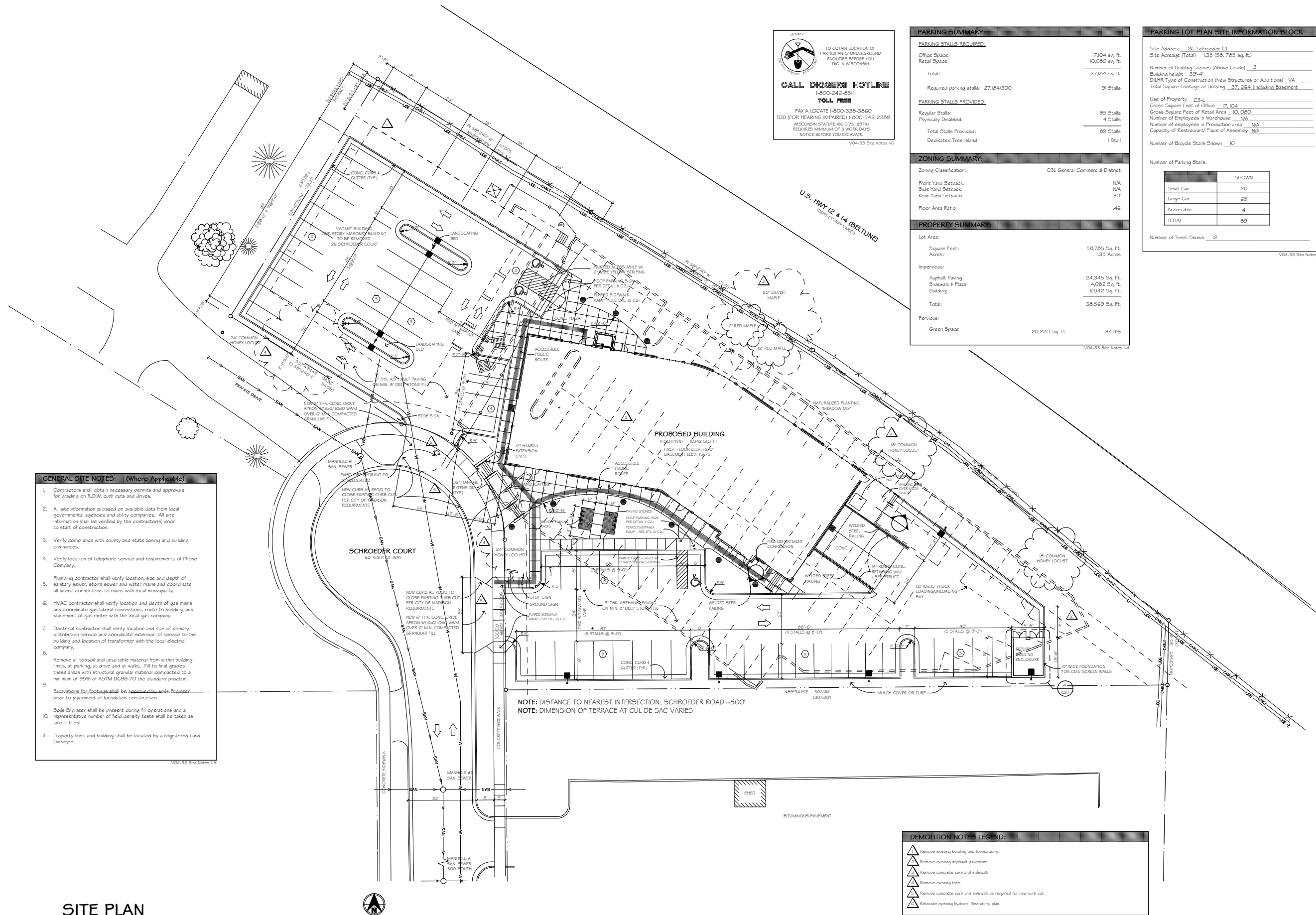
SCALE

1"=20'



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CALL DIGGERS HOTLINE
 1-800-242-6511
TOLL FREE
 FAX A LOCATE 1-800-338-3860
 TDD (FOR HEARING IMPAIRED) 1-800-542-2289
 WISCONSIN STATUTE 182.075 (8974)
 REQUIRES MINIMUM OF 3 WORK DAYS
 NOTICE BEFORE YOU DIG/AWAY.
 VO4-33 Site Notes 1-4

PARKING SUMMARY:

PARKING STALLS REQUIRED:	
Office Space:	17,104 sq. ft.
Retail Space:	10,080 sq. ft.
Total:	27,184 sq. ft.
Required parking stalls:	27,184/300
	91 Stalls
PARKING STALLS PROVIDED:	
Regular Stalls:	85 Stalls
Physically Disabled:	4 Stalls
Total Stalls Provided:	89 Stalls
Dedicated Tree Island:	1 Stall

ZONING SUMMARY:

Zoning Classification:	C3L General Commercial District
Front Yard Setback:	N/A
Side Yard Setback:	N/A
Rear Yard Setback:	30
Floor Area Ratio:	.46

PROPERTY SUMMARY:

Lot Area:	
Square Feet:	58,785 5/8 Ft.
Acres:	1.35 Acres
Impervious:	
Asphalt Paving:	24,345 5/8 Ft.
Sidewalk & Plaza:	4,082 5/8 Ft.
Building:	10,142 5/8 Ft.
Total:	38,569 5/8 Ft.
Pervious:	
Green Space:	20,220 5/8 Ft.
	34.4%

PARKING LOT PLAN SITE INFORMATION BLOCK

Site Address:	26 Schroeder Ct.
Site Acreage (Total):	1.35 (58,785 sq. ft.)
Number of Building Stories (Above Grade):	3
Building height:	39'-4"
DILHR Type of Construction (New Structures or Additions):	VA
Total Square Footage of Building:	37,264 (Including Basement)
Use of Property: C3-L	
Gross Square Feet of Office:	17,104
Gross Square Feet of Retail Area:	10,080
Number of Employees in Warehouse:	N/A
Number of employees in Production area:	N/A
Capacity of Restaurant/Place of Assembly:	N/A
Number of Bicycle Stalls Shown:	10

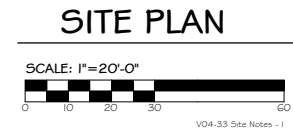
Number of Parking Stalls:

	SHOWN
Small Car	20
Large Car	65
Accessible	4
TOTAL	89

Number of Trees Shown: 12

- GENERAL SITE NOTES: (Where Applicable)**
- Contractors shall obtain necessary permits and approvals for grading on R.O.W. curb cuts and drives.
 - All site information is based on available data from local governmental agencies and utility companies. All site information shall be verified by the contractor(s) prior to start of construction.
 - Verify compliance with county and state zoning and building ordinances.
 - Verify location of telephone service and requirements of Phone Company.
 - Plumbing contractor shall verify location, size and depth of sanitary sewer, storm sewer and water mains and coordinate all lateral connections to mains with local municipality.
 - HVAC contractor shall verify location and depth of gas mains and coordinate gas lateral connections, route to building, and placement of gas meter with the local gas company.
 - Electrical contractor shall verify location and size of primary distribution service and coordinate extension of service to the building and location of transformer with the local electric company.
 - Remove all topsoil and unsuitable material from within building limits, at parking, at drive and at walks. Fill to final grades these areas with structural granular material compacted to a minimum of 95% of ASTM D698-70 the standard proctor.
 - Excavations for footings shall be approved by soils Engineer prior to placement of foundation construction.
 - Soils Engineer shall be present during fill operations and a representative number of field density tests shall be taken as site is filled.
 - Property lines and building shall be located by a registered Land Surveyor.

- DEMOLITION NOTES LEGEND:**
- ▲ Remove existing building and foundations.
 - ▲ Remove existing asphalt pavement.
 - ▲ Remove concrete curb and sidewalk.
 - ▲ Remove existing trees.
 - ▲ Remove concrete curb and sidewalk as required for new curb cut.
 - ▲ Relocate existing hydrant: See utility plan.



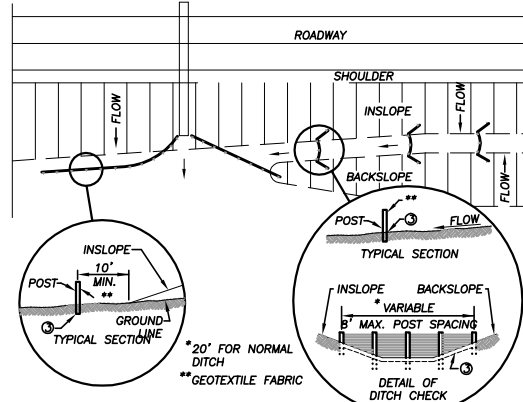
Preliminary Plans Not For Construction

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Schroeder Court Development
 Wisconsin
 Madison

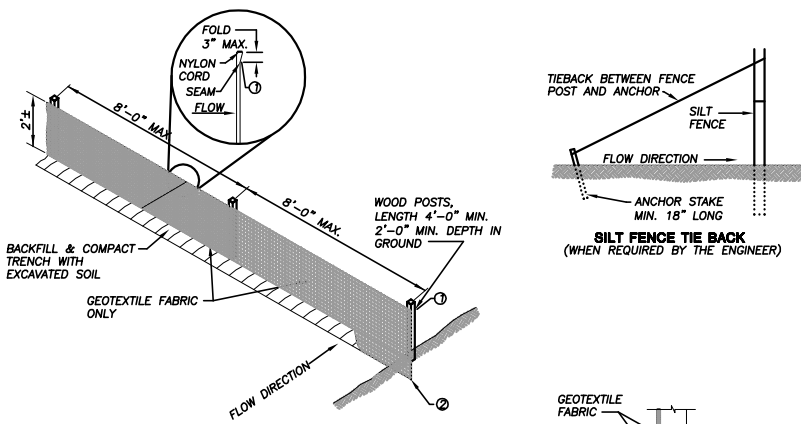
Drawn by: ADCI Staff
 Checked by: D. Kuter
 Date: Sep 20, 2005
 Scale: As Noted
 Job Number: VO4-33

Sheet Number
C1.1



TYPICAL APPLICATIONS OF SILT FENCE

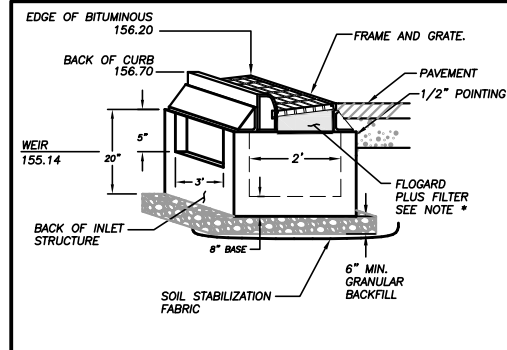
1 SILT FENCE
C-20 N.T.S.



SILT FENCE TIE BACK
(WHEN REQUIRED BY THE ENGINEER)

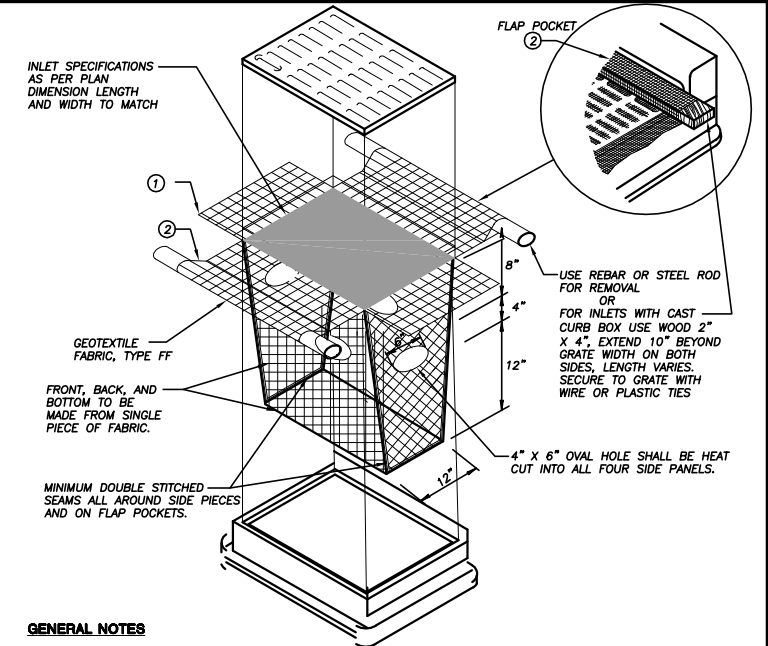
- DETAIL OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.
- HORIZONTAL BRACE WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 - TRENCH SHALL BE A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" x 1 1/8" OF OAK OR HICKORY.
 - SILT FENCE TO EXTEND ACROSS THE TOP OF PIPE.

TRENCH DETAIL



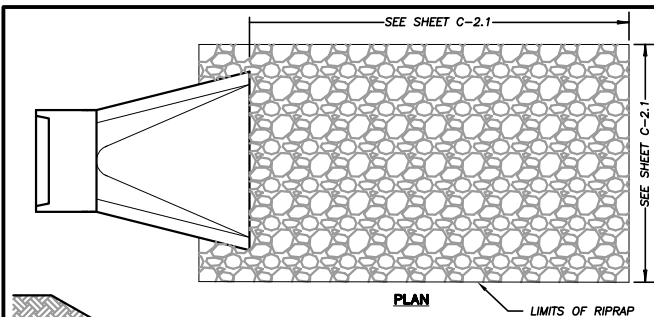
2 CURB INLET (2'X3')
C-20 N.T.S.

- INSTALL FLOGARD PLUS CATCH BASIN FILTER INSERT, MANUFACTURED BY KRISTAR ENTERPRISES, INC. OR EQUIVALENT, IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS, RECOMMENDATIONS AND SPECIFICATIONS. DETAILED INFORMATION REGARDING MAINTENANCE AND FILTER REPLACEMENT CAN BE FOUND AT WWW.KRISTAR.COM, OR BY CALLING KRISTAR INDUSTRIES AT (800) 579-8819.

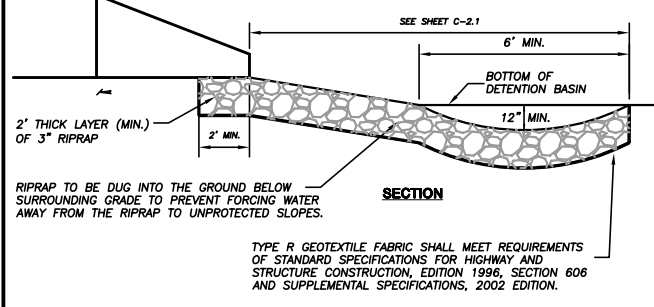


8 INLET PROTECTION, TYPE D
C-20 N.T.S.

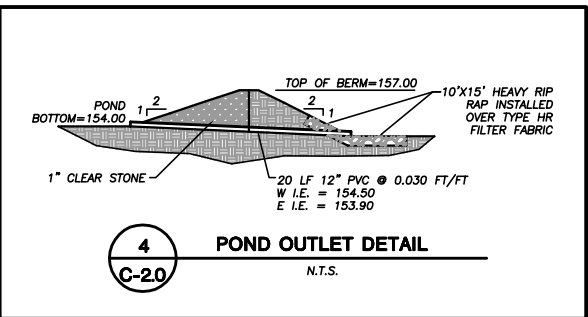
- GENERAL NOTES**
- INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
 - MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
 - WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 - FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.
- INSTALLATION NOTES**
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 - THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



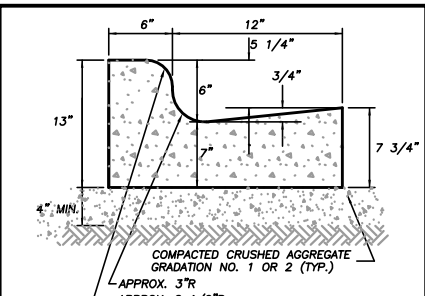
3 RIPRAP DETAIL
C-20 N.T.S.



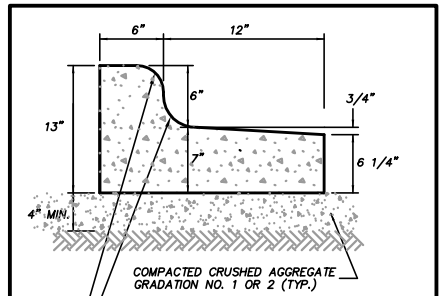
SECTION



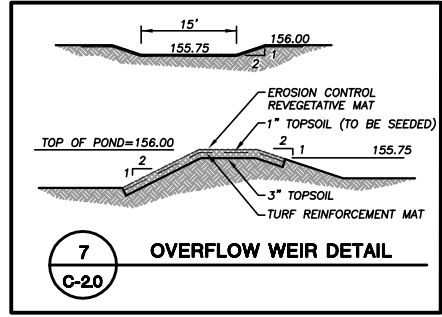
4 POND OUTLET DETAIL
C-20 N.T.S.



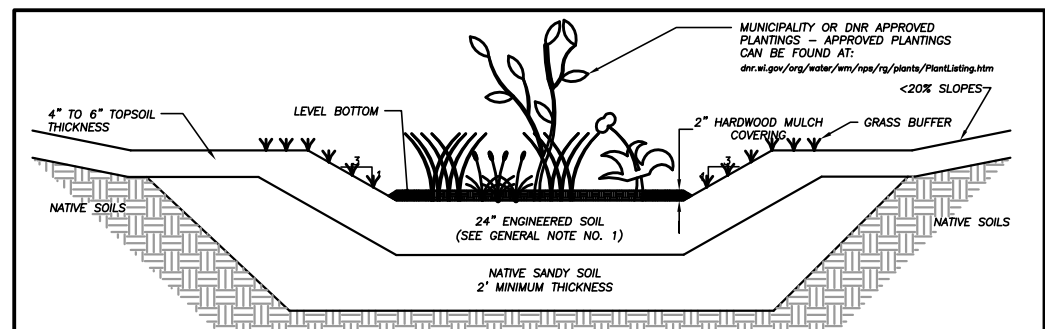
5 18' STANDARD CURB AND GUTTER
C-20 N.T.S.



7 18' REJECT CURB AND GUTTER
C-20 N.T.S.

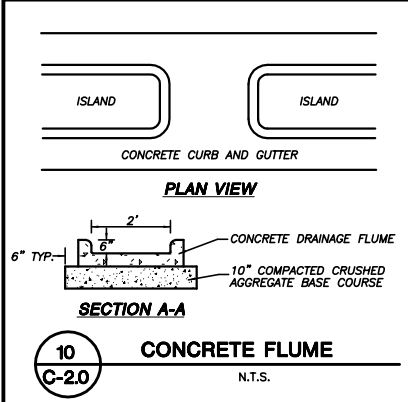


7 OVERFLOW WEIR DETAIL
C-20



9 RAIN GARDEN CROSS SECTION
C-20 N.T.S.

- CONSTRUCTION NOTES**
- CONTRACTOR SHALL OVER EXCAVATE RAIN GARDENS TO A MINIMUM DEPTH OF 2-FEET BELOW FINISH GRADE AND 4" OF COMPOST SHALL BE TILLED IN AT THAT DEPTH UNTIL WELL-MIXED.
 - IF CLAY IS ENCOUNTERED DURING RAIN GARDEN CONSTRUCTION (CLAY BEING DEFINED AS ANY SOIL THAT HAS >40% FINES PASSING A NO. 200 SIEVE ANALYSIS), THE CONTRACTOR SHALL EXCAVATE, REMOVE AND REPLACE WITH CLEAN ON-SITE SAND/TOPSOIL MIX TO A DEPTH OF 3 FEET BELOW THE LOWEST ELEVATION OF THE RAIN GARDEN, OR AS APPROVED BY THE ENGINEER SO THAT THE RAIN GARDEN IS HYDRAULICALLY CONNECTED TO ACCEPTABLE PERMEABLE LAYER.
 - RAIN GARDEN SUBBASE SHALL BE INSPECTED AND APPROVED BY THE ENGINEER PRIOR TO PLACEMENT OF SANDY AND ENGINEERED SOIL BASES.
 - CONTRACTOR SHALL USE CONSTRUCTION MEANS AS NOT TO COMPACT RAIN GARDEN AREAS.
 - RAIN GARDEN WORKING DEPTH SHALL BE DEFINED ON GRADING DETAIL PLAN SHEET AS ESTABLISHED BY ENGINEER.
- GENERAL NOTES**
- OWNER MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONSIDERATIONS.
 - CONTRACTOR SHALL INSTALL 24" OF ENGINEERED SOIL CONSISTING OF: 50% CLEAN SAND, 30% CERTIFIED COMPOST (SEE GENERAL NOTE 3), AND 20% REGIONAL NATIVE SOIL (SANDY LOAM, LOAMY SAND, OR SAND).
 - CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
 - RAIN GARDEN WATER MUST INFILTRATE WITHIN 48-HOURS*. RAIN GARDENS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND REPLANTED BY OWNER TO RESTORE ORIGINAL INFILTRATION RATES.
 - ANNUAL RYE/GRASS SHALL BE SEED AT 5 LB./ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING RAIN GARDEN, ON SIDE SLOPES OF RAIN GARDEN, AND OVER ANY LAND THAT DISCHARGES INTO THE RAIN GARDEN FOR EROSION CONTROL.
 - STRAW MULCH SHALL BE PLACED IN THE RAIN GARDEN AREAS THAT HAVE BEEN NEWLY SEEDD USING WISCONSIN DOT SPECIFICATION 607.3.2.1 (METHOD A) LOCATED IN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
 - ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE CITY ENGINEER. *CITY OF MADISON REQUIRES INFILTRATION WITHIN 24-HOURS



10 CONCRETE FLUME
C-20 N.T.S.

JSD - Engineers - Surveyors
Jenkins Survey & Design, Inc.
• SURVEYING AND MAPPING
• CIVIL ENGINEERING
• TRANSPORTATION ENGINEERING
• PLANNING & DEVELOPMENT
• CONSTRUCTION MANAGEMENT

MADISON REGIONAL OFFICE
161 Horizon Drive
Suite 101
Verona, Wisconsin 53593
(608) 848-5060

MILWAUKEE REGIONAL OFFICE
N22 W22931 Nancy Court
Suite 3
Waukesha, Wisconsin 53186
(262) 513-0666

PREPARED FOR:
ARCHITECTURAL DESIGN CONSULTANTS, INC
161 HORIZON DRIVE
VERONA, WI 53593

PROJECT
SCHROEDER COURT DEVELOPMENT

Although every effort has been made in preparing these plans and checking them for accuracy, the contractor and subcontractors must check all details and dimensions of their trade and be responsible for the same.

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ITEM	DATE
Drawn: JNP	08/19/05
Checked: DOS	08/20/05
Approved: HPJ	08/20/05
City of Madison Submitted	08/21/05

SEAL/SIGNATURE

SHEET TITLE
DETAILS

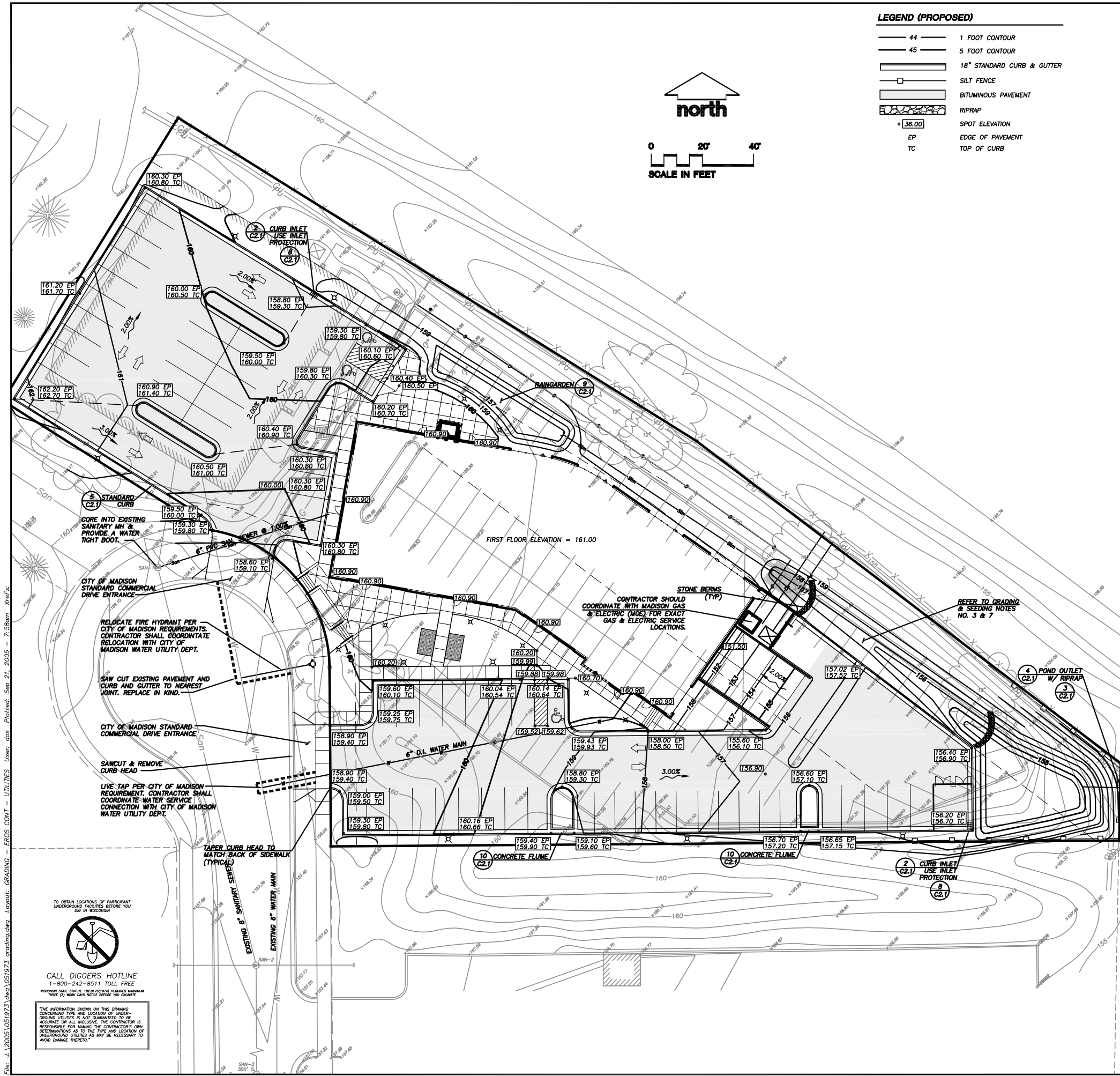
SHEET NUMBER
C-2.1

JSD PROJECT NUMBER
05-1973

JSD PROJECT FILE
2

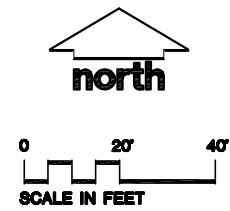
SCALE
NOT TO SCALE

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LEGEND (PROPOSED)

— 44 —	1 FOOT CONTOUR
— 45 —	5 FOOT CONTOUR
▭	18" STANDARD CURB & GUTTER
▭	SILT FENCE
▭	BITUMINOUS PAVEMENT
▭	RIPRAP
• [36.00]	SPOT ELEVATION
EP	EDGE OF PAVEMENT
TC	TOP OF CURB



- GENERAL NOTES**
- REFER TO SHEET C-1.0 FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION.
 - ALL WORK IN THE ROW AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE STORM WATER MANAGEMENT TECHNICAL STANDARDS (REFERRED TO AS BMP'S). IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
 - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO BMP'S.
 - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
 - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
 - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
 - INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
 - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
 - INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES IN ACCORDANCE WITH BMP'S.
 - EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
 - STONE CHECK DAMS SHALL BE PLACED IN FRONT OF SILT FENCING IN ANY LOW AREA.
 - APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
 - ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS.

- UTILITY NOTES**
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
 - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 - ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
 - ALL SANITARY SEWER PIPES WITHIN THE R.O.W. SHALL BE PVC PIPE CONFORMING TO ASTM SDR 26 SPECIFICATIONS.
 - MAINTAIN A 10-FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN THE SANITARY SEWER AND WATERMAINS. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER.
 - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
 - GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
 - RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS AND SHOULD INCLUDE CURB & GUTTER, SIDEWALK, TOPSOIL, FERTILIZER, SEEDING AND MULCHING.
 - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISCONSIN DOT, DCOMM, AND WISCONSIN DNR.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
 - THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
 - ANY SANITARY SEWER, SANITARY SEWER LATERALS, WATERMAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
 - CONTRACTOR SHALL NOTIFY CITY OF MADISON PUBLIC WORKS A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
 - HYDRANTS AND HYDRANT VALVES SHALL BE LOCATED WITHIN THE TERRACE.
 - ALL PRIVATE SANITARY BUILDING SEWER PIPE AND TUBING SHALL CONFORM TO COMM 84.30-3.
 - ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO COMM 84.30-6.
 - ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO COMM 84.30-7.

- PAVING NOTES**
- ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION," APPLICABLE TO THE CITY OF MADISON ORDINANCES.
 - MINIMUM PAVEMENT DESIGN TO BE DETERMINED BY GEOTECHNICAL ENGINEER BASED UPON GEOTECHNICAL REPORT.
- GRADING AND SEEDING NOTES**
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH CITY OF MADISON REQUIREMENTS.
 - CONTRACTOR TO USE A SEEDING RATE OF 2 LBS. PER 1000 S.F. FOR TURF AREAS.
 - ALL SLOPES EXCEEDING 5:1, CONVEYING STORMWATER RUNOFF SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING OR APPLICATION OF A WDOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
 - ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED.
 - CONTRACTOR SHALL SCARIFY ALL COMPACTED PERVIOUS AREAS PRIOR TO SEEDING AND MULCHING.
 - CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES THE SWALES AND DETENTION AREAS JUST PRIOR TO SEEDING TO PROMOTE INFILTRATION.
 - CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
 - DETENTION POND SHALL BE SEEDED USING "DETENTION BASIN WET PRAIRIE MIX" AS DISTRIBUTED BY PRAIRIE NURSERY (OR APPROVED EQUAL). CONTRACTOR SHALL USE A SEEDING RATE OF 10 lbs. PER ACRE.
 - CONTRACTOR TO LINE DRAINAGE SWALES WITH CLASS II, TYPE B EROSION MAT.

JSD • Engineers • Surveyors
Jenkins Survey & Design, Inc.

• SURVEYING AND MAPPING
• CIVIL ENGINEERING
• TRANSPORTATION ENGINEERING
• PLANNING & DEVELOPMENT
• CONSTRUCTION MANAGEMENT

MADISON REGIONAL OFFICE
161 Horizon Drive
Suite 101
Verona, Wisconsin 53593
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Suite 3
Waukesha, Wisconsin 53186
(262) 513-0666

PREPARED FOR:
ARCHITECTURAL DESIGN CONSULTANTS INC.
161 HORIZON DRIVE
VERONA, WI 53593

PROJECT
SCHROEDER COURT DEVELOPMENT

Although every effort has been made in preparing these plans and checking them for accuracy, the contractor and subcontractors must check all details and dimensions of their trade and be responsible for the same.

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ITEM	DATE
Drawn: JNP	08/19/05
Checked: DOS	08/20/05
Approved: HPJ	08/20/05
City of Madison Submittd	08/21/05

SEAL/SIGNATURE

SHEET TITLE
EROSION CONTROL GRADING & UTILITY PLAN

SHEET NUMBER
C-2.0

JSD PROJECT NUMBER
05-1973

JSD PROJECT FILE
2

SCALE
1"=20'

File: J:\2005\051973\051973_051973_grad.dwg Layout: GRADING User: dos Plotdate: Sep 21, 2005 - 7:58am Xref:s:
 EROSION CONTROL - GRADING - UTILITY PLAN - C-2.0

CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE

WISCONSIN STATE STATUTE (S.C. 19.01) REQUIRES MINIMUM THREE (3) HOUR NOTICE BEFORE YOU DIG

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING THE LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUDING THE CONTRACTOR IS RESPONSIBLE FOR MAKING THE CONTRACTOR'S OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF.



*** PLANTING SCHEDULE**

SYMBOL	PLANT NAME	QUANTITY	SIZE
CA	SHADE & ORNAMENTAL TREES	3	2" BB
ER	GIMMARRON ASH	2	6" BB
GSL	EASTERN REDBUD	8	2" BB
ISTL	GREENSPIRE LINDEN	11	2" BB
PD	'IVORY SILK' TREE LILAC	2	6" BB
RBFC	PASODA DOGWOOD	10	2" BB
	RED BARON' FL. CRABAPPLE		2" BB
AJV	DECIDUOUS SHRUBS	12	3" BB
HC	AUTUMN JAZZ VIBURNUM	40	24" C6
LPS	HEDGE COTONEASTER	34	18" C6
RMSR	LITTLE PRINCESS SPIREA	5	18" C6
WRM	RED MEIDLAND SHRUB ROSE	10	18" C6
	WINE & ROSES WEIGELA		18" C6
BMJ	EVERGREEN TREES & SHRUBS	32	18" BB
BNS	BROADMOOR JUNIPER	2	18" BB
BRJ	BIRD'S NEST SPRUCE	2	18" BB
HJ	BLUE RUG JUNIPER	8	18" BB
TAV	HUGHES JUNIPER	8	4" BB
WJ	TECHNEY ARBOR VITAE	8	18" BB
	WISCONSIN JUNIPER		18" BB
BLDL	PERENNIALS	10	1 GAL
LXGDL	BELA LUSOSI DAYLILY	10	1 GAL
SDOD	LITTLE WINE CUP DAYLILY	26	1 GAL
	STELLA D'ORO DAYLILY		1 GAL

- * PLAN NOTES**
- A) FOUNDATION AND PARKING LOT ISLAND PLANTINGS TO RECEIVE #2 'BARABOO' WASHED GRAVEL SPREAD TO A 2-3" DEPTH OVER FABRIC WEED BARRIER AND EDGED WITH VALLEY VIEW BLACK DIAMOND' BED EDGING.
 - B) SPECIMEN PLANTINGS AND PERIMETER SHRUB GROUPINGS TO RECEIVE MULCH RINGS AND MULCH BEDS OF HARDWOOD SHREDDED BARK MULCH SPREAD TO A 3-4" DEPTH OVER FABRIC WEED BARRIER. MULCH RINGS TO BE 4' DIAMETER AND MULCH BEDS TO BE 4' WIDE. ALL EDGES WILL BE SPADED TO A 4" DEPTH.
 - C) ALL LAWN AREAS NOTED AS 'SOD' TO BE FINE GRADED SODDED W/ PREMIUM BLUEGRASS SOD AND FERTILIZED W/ 10-10-10 FERTILIZER AT A RATE OF 1# N / 1,000 SF.
 - D) DISTURBED AREAS BETWEEN PARKING / BUILDING FOUNDATION & BELTLINE HWY RIGHT-OF-WAY TO BE FINE GRADED AND SEEDED W/ REINDERS 'WILDFLOWER AND GRASS SEED MIX' AT A RATE OF 1# / 1,000 SF, FERTILIZED W/ 10-10-10 FERTILIZER AT A RATE OF 1# N / 1,000 SF AND COVERED W/ CHOPPED WHEAT STRAW MULCH AT A 1/2" DEPTH.
 - E) REMAINING LAWN AREAS TO BE FINE GRADED, SEEDED W/ REINDERS 'DELUXE 50' SEED BLEND AT A RATE OF 5# / 1,000 SF, FERTILIZED W/ 10-10-10 FERTILIZER AT A RATE OF 1# N / 1,000 SF AND COVERED W/ CHOPPED WHEAT STRAW MULCH AT A 1/2" DEPTH.
 - F) RETENTION PONDS TO BE FINE GRADED, SEEDED W/ REINDERS 'WISCONSIN NATIVE WETLAND' SEED MIX AT A RATE OF 1/4# / 1,000 SF, FERTILIZED W/ 10-10-10 FERTILIZER AT A RATE OF 1# N / 1,000 SF AND COVERED W/ 'GURLEX' EROSION CONTROL MATTING.
 - G) BRICK PAVERS TO BE 'DESERT SAND' TUMBLED HOLLAND PAVERS, MANUFACTURED BY COUNTY MATERIALS CORP., INSTALLED OVER A 6" COMPACTED GRAVEL BASE. 'ENVIROBOND' JOINT STABILIZING SAND TO BE SWEPT BETWEEN PAVER JOINTS UPON INSTALLATION. PAVERS TO BE EDGED W/ 'DIAMOND LOK' PAVER EDGING.

CITY of MADISON LANDSCAPING REQUIREMENTS

REQUIREMENT	QUANTITY	
REGULAR PARKING STALLS	58	
PHYSICALLY HANDICAPPED STALLS	2	
TOTAL PARKING STALLS	60	
CRITERIA		
5 TREES REQUIRED		
283 LANDSCAPE POINTS REQUIRED		
SOLUTION:		
5 CANOPY TREE	REQUIRED	
13 CANOPY TREE	● 35 PTS	455
32 EVERGREEN SHRUB	● 3 PTS	96
116 DECIDUOUS SHRUB	● 2 PTS	236
TOTAL POINTS		787

STATE LAW REQUIRES YOU TO NOTIFY OWNERS AND OPERATORS OF TRANSMISSION FACILITIES AT LEAST THREE WORKING DAYS BEFORE YOU DIG.

DIGGERS HOTLINE

TOLL-FREE 1-800-242-8511

REVISIONS

BADGER LANDSCAPE, LLC
 LANDSCAPE ARCHITECT
 SUN PRAIRIE, WI 53190
 JGHEHLER@AOL.COM

JAY GEHLER, ASLA
 PO BOX 107,
 608-825-6122

PRELIMINARY LANDSCAPE PLAN
 SCHROEDER COURT DEVELOPMENT
 SCHROEDER COURT, MADISON, WISCONSIN

CLIENT
 ARCHITECTURAL DESIGN CONSULTANTS, INC.
 161 HORIZON DRIVE, SUITE 102, VERONA, WI

DRAWN BY
 JAY GEHLER, ASLA

SHEET
 L1

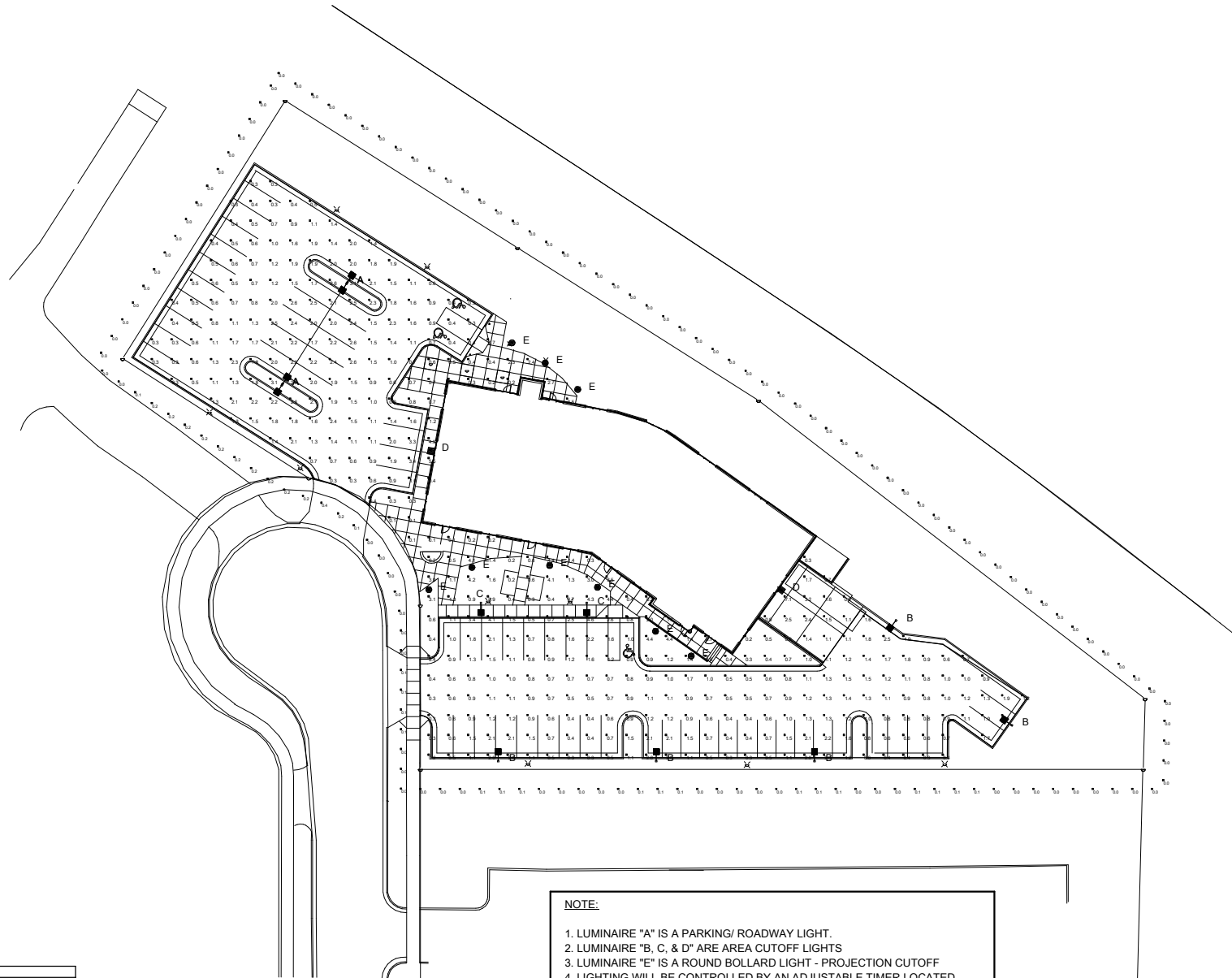
DATE
 20 SEPTEMBER 2005

SCALE
 1" = 20'

FILE
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NORTH

RUUD LIGHTING



NOTE:

- LUMINAIRE "A" IS A PARKING/ ROADWAY LIGHT.
- LUMINAIRE "B, C, & D" ARE AREA CUTOFF LIGHTS
- LUMINAIRE "E" IS A ROUND BOLLARD LIGHT - PROJECTION CUTOFF
- LIGHTING WILL BE CONTROLLED BY AN ADJUSTABLE TIMER LOCATED IN THE BUILDING ELECTRICAL ROOM

Luminaire Schedule						
Project: All Projects						
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
⊙	4	A	SINGLE	12600	0.650	PR2417-M, 175W MH
⊙	5	B	SINGLE	12600	0.650	AC2417-M, 175W MH, SBL-16
⊙	2	C	SINGLE	8100	0.650	AC2410-M, 100W MH, SBL-16
⊙	2	D	SINGLE	8100	0.650	MAC2410-M, 100W MH, SBL-12
⊙	9	E	SINGLE	5000	0.650	HC405-D, 50W MH

ADDITIONAL EQUIPMENT:
 (S) PS4S22C18Z - 4" x 22" SQ. STEEL POLE
 (Q) PS4S22C28Z - 4" x 22" SQ. STEEL POLE

MOUNTING HEIGHTS:
 A and B = 24.5' AFG
 C = 14.5' AFG
 D = 12' AFG

PROPOSED POLES MEET 120 MPH WINDS

LOWER LOT	UPPER LOT
Illuminance Values(Fc)	Illuminance Values(Fc)
Average =1.04	Average =1.35
Maximum =2.5	Maximum =3.4
Minimum =0.3	Minimum =0.3
Avg/Min Ratio=3.47	Avg/Min Ratio=4.50
Max/Min Ratio=8.33	Max/Min Ratio=11.33

**10' FROM PROPERTY LINE ARE TAKEN AT 4' AFG

RUUD LIGHTING 800.236.7000 USA <www.ruudlighting.com> 905.671.1991 CAN				Date: 9/6/2005	Scale: 1"=30'	Layout by: Chris Strom
				Project Name: 11996 - 26 SCHROEDER CT		
Footcandle Summary						
Project: All Projects						
Label	Avg	Max	Min	Avg/Min	Max/Min	
GRADE	1.29	7.1	0.1	12.60	71.00	
10' FROM P.L.	0.03	0.4	0.0	0.00	0.00	

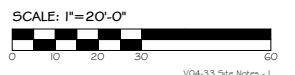
TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
TOLL FREE
 FAX A LOCATE 1-800-338-3860
 TDD (FOR HEARING IMPAIRED) 1-800-542-2289
 WISCONSIN STATUTE 182.075 (1974)
 REQUIRES MINIMUM OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE.
 V04-33 Site Notes 1-4

PARKING SUMMARY:	
PARKING STALLS REQUIRED:	
Office Space:	17,104 sq. ft.
Retail Space:	10,080 sq. ft.
Total:	27,184 sq. ft.
Required parking stalls:	27,184/300
PARKING STALLS PROVIDED:	
Regular Stalls:	85 Stalls
Physically Disabled:	4 Stalls
Total Stalls Provided:	89 Stalls
Dedicated Tree Island:	1 Stall
ZONING SUMMARY:	
Zoning Classification:	C3L General Commercial District
Front Yard Setback:	N/A
Side Yard Setback:	N/A
Rear Yard Setback:	30
Floor Area Ratio:	.46
PROPERTY SUMMARY:	
Lot Area:	
Square Feet:	58,785 5/8 Ft.
Acres:	1.35 Acres
Impervious:	
Asphalt Paving:	24,345 5/8 Ft.
Sidewalk & Plaza:	4,082 5/8 Ft.
Building:	10,142 5/8 Ft.
Total:	38,569 5/8 Ft.
Pervious:	
Green Space:	20,220 5/8 Ft. 34.4%

PARKING LOT PLAN SITE INFORMATION BLOCK	
Site Address	26 Schroeder Ct.
Site Acreage (Total)	1.35 (58,785 sq. ft.)
Number of Building Stories (Above Grade)	3
Building height	39'-4"
DILHR Type of Construction (New Structures or Additions)	VA
Total Square Footage of Building	37,264 (Including Basement)
Use of Property	C3L
Gross Square Feet of Office	17,104
Gross Square Feet of Retail Area	10,080
Number of Employees in Warehouse	N/A
Number of employees in Production area	N/A
Capacity of Restaurant/ Place of Assembly	N/A
Number of Bicycle Stalls Shown	10
Number of Parking Stalls:	
	SHOWN
Small Car	20
Large Car	65
Accessible	4
TOTAL	89
Number of Trees Shown	12

- GENERAL SITE NOTES: (Where Applicable)**
- Contractors shall obtain necessary permits and approvals for grading on R.O.W. curb cuts and drives.
 - All site information is based on available data from local governmental agencies and utility companies. All site information shall be verified by the contractor(s) prior to start of construction.
 - Verify compliance with county and state zoning and building ordinances.
 - Verify location of telephone service and requirements of Phone Company.
 - Plumbing contractor shall verify location, size and depth of sanitary sewer, storm sewer and water mains and coordinate all lateral connections to mains with local municipality.
 - HVAC contractor shall verify location and depth of gas mains and coordinate gas lateral connections, route to building, and placement of gas meter with the local gas company.
 - Electrical contractor shall verify location and size of primary distribution service and coordinate extension of service to the building and location of transformer with the local electric company.
 - Remove all topsoil and unsuitable material from within building limits, at parking, at drive and at walks. Fill to final grades these areas with structural granular material compacted to a minimum of 95% of ASTM D698-70 the standard proctor.
 - Excavations for footings shall be approved by soils Engineer prior to placement of foundation construction.
 - Soils Engineer shall be present during fill operations and a representative number of field density tests shall be taken as site is filled.
 - Property lines and building shall be located by a registered Land Surveyor.

PARKING PLAN



- DEMOLITION NOTES LEGEND:**
- △ Remove existing building and foundations.
 - △ Remove existing asphalt pavement.
 - △ Remove concrete curb and sidewalk.
 - △ Remove existing trees.
 - △ Remove concrete curb and sidewalk as required for new curb cut.
 - △ Relocate existing hydrant. See utility plan.

Preliminary Plans Not For Construction

ADCI
Architectural Design Consultants Inc.
 1611 Horizon Drive | Suite 102
 Verona, WI 53593
 Phone: (608) 848-2324 Fax: (608) 848-5122

Wisconsin
Schroeder Court Development
 Madison
Parking Layout

Drawn by: ADCI Staff
 Checked by: D. Kiefer
 Date: Sep 20, 2005
 Scale: As Noted
 Job Number: V04-33

Sheet Number
C1.3



Preliminary Plans Not For Construction

Schroeder Court Development
 Madison Wisconsin
 Axons

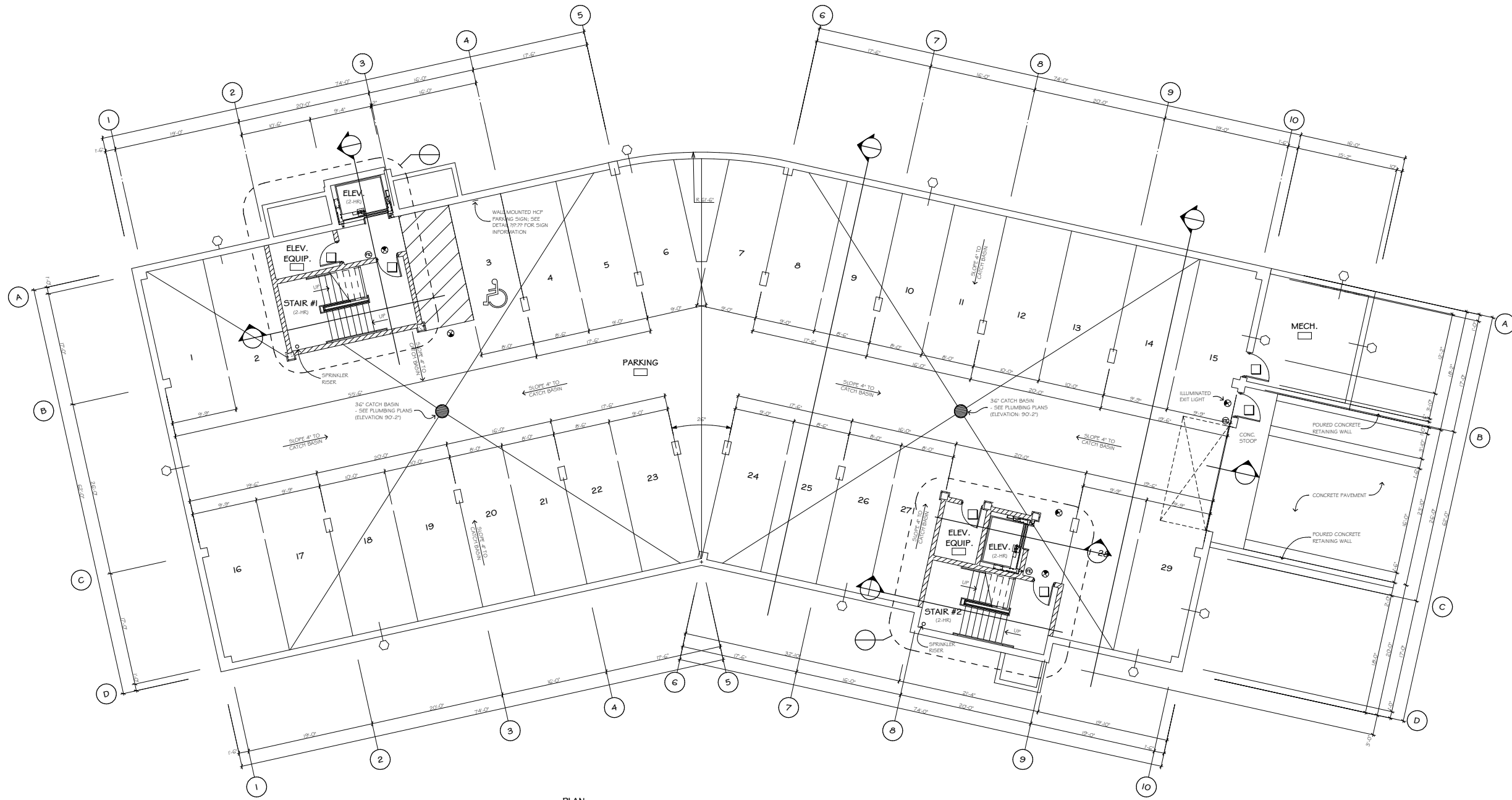
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 161 Horizon Drive Suite 102
 Verona, WI 53593
 Phone: (608) 848-2324 Fax: (608) 848-5122
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REVISION	BY

Cad Reference Files:
 V04-33 Layout Book.rvt

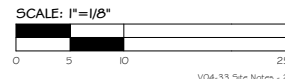
Drawn By: ADCI Staff
 Checked By: F. Schmitt
 Date: Sep 19, 2005
 Scale: As Noted
 Job Number: V04-33

Sheet Number
P1.1



BASEMENT PLAN

SCALE: 1/8" = 1'-0"



Preliminary Plans Not For Construction

BY	DATE	REVISION

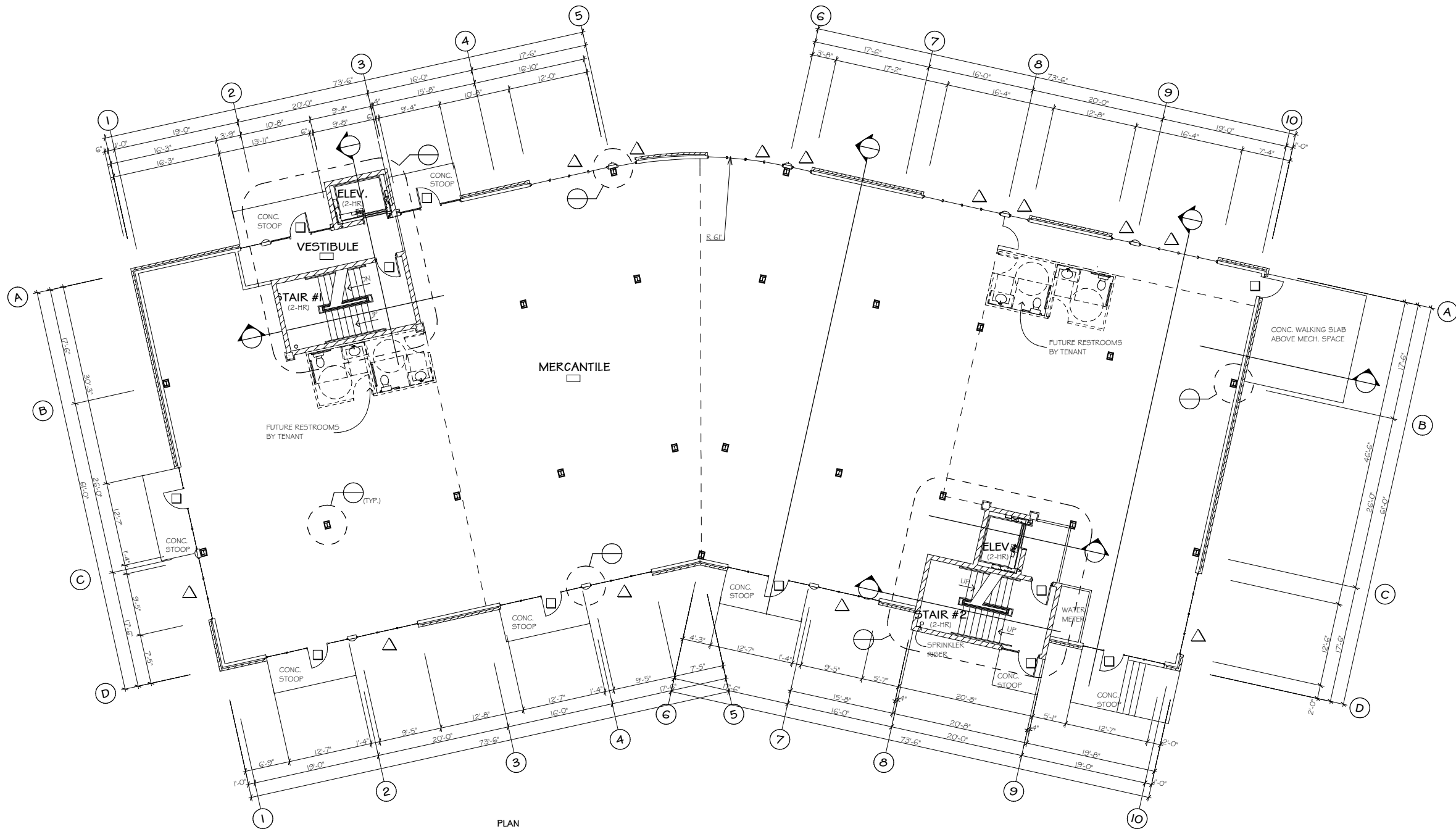
Cad Reference Files:
 VO4-33 Layout Book-04
 VO4-33 Floor Plan.pln
 Basement Plan.lay
 VO4-33 Basement @ 1-8.pnk

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Schroeder Court Development
 Madison Wisconsin
Basement Plan @ 1/8"

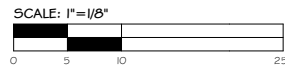
Drawn By: ADCI Staff
 Checked By: F. Schmitt
 Date: Sep 20, 2005
 Scale: As Noted
 Job Number: VO4-33

Sheet Number
A1.1



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

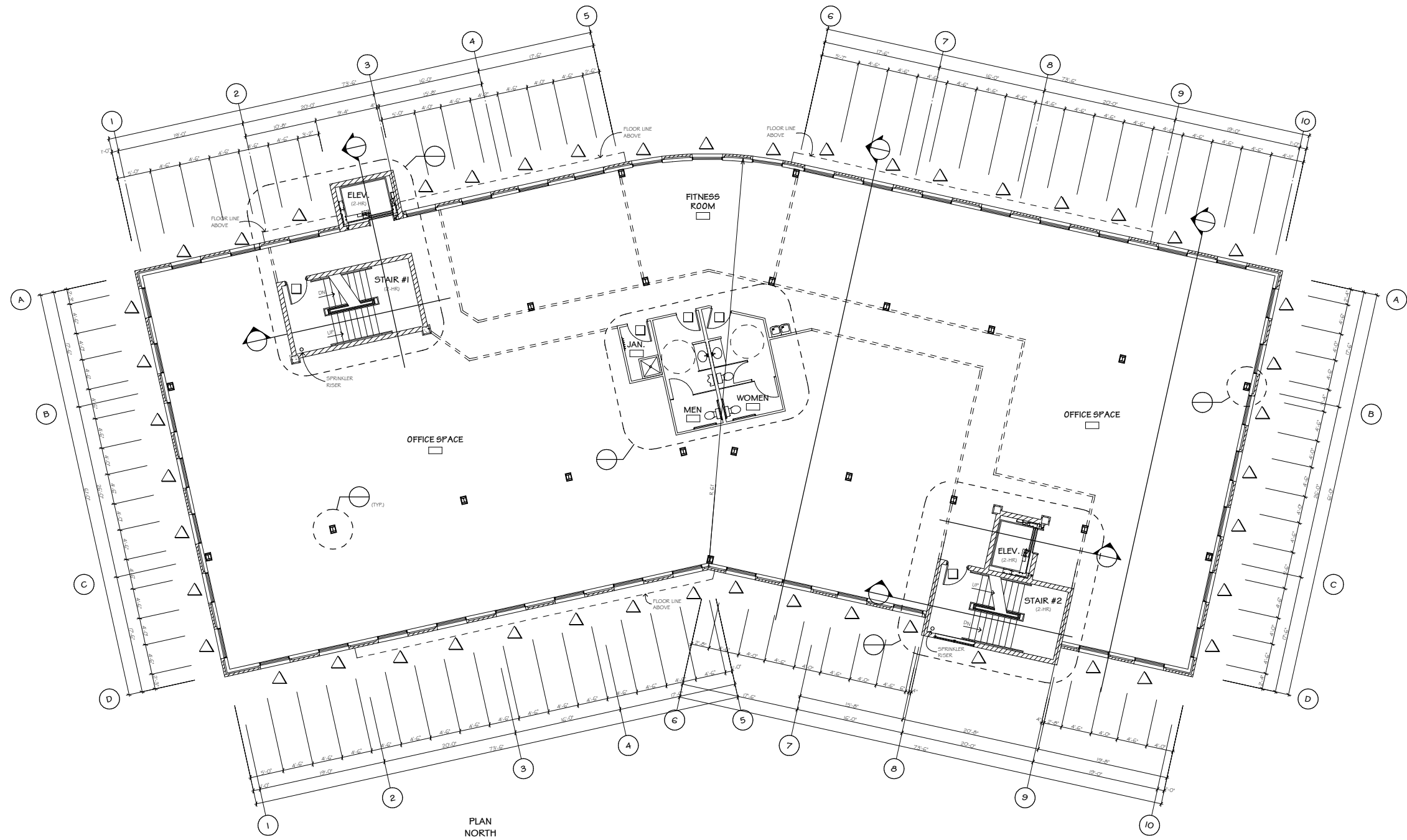


VO4-33 Site Notes - 2



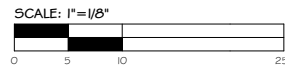
Preliminary Plans Not For Construction

REVISION: 	
Cad Reference Files: VO4-33 Layout Book-BA VO4-33 Floor Plan pin First Floor Plan lay VO4-33 First Floor @ 1/8" gm	
Architectural Design Consultants Inc. 161 Horizon Drive Suite 102 Verona, WI 53593 Phone: (608) 848-2324 Fax: (608) 848-5122 <small>This document contains confidential or proprietary information of Architectural Design Consultants, Inc. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by Architectural Design Consultants, Inc.</small>	
Schroeder Court Development Madison, Wisconsin	First Floor Plan @ 1/8"
Drawn By: ADCl Staff Checked By: D. Kietler Date: Sep 1, 2005 Scale: As Noted Job Number: VO4-33	Sheet Number <b style="font-size: large;">A1.2



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



VO4-33 Site Notes - 2



Preliminary Plans Not For Construction

Schroeder Court Development
 Madison, Wisconsin
 Second Floor Plan @ 1/8"

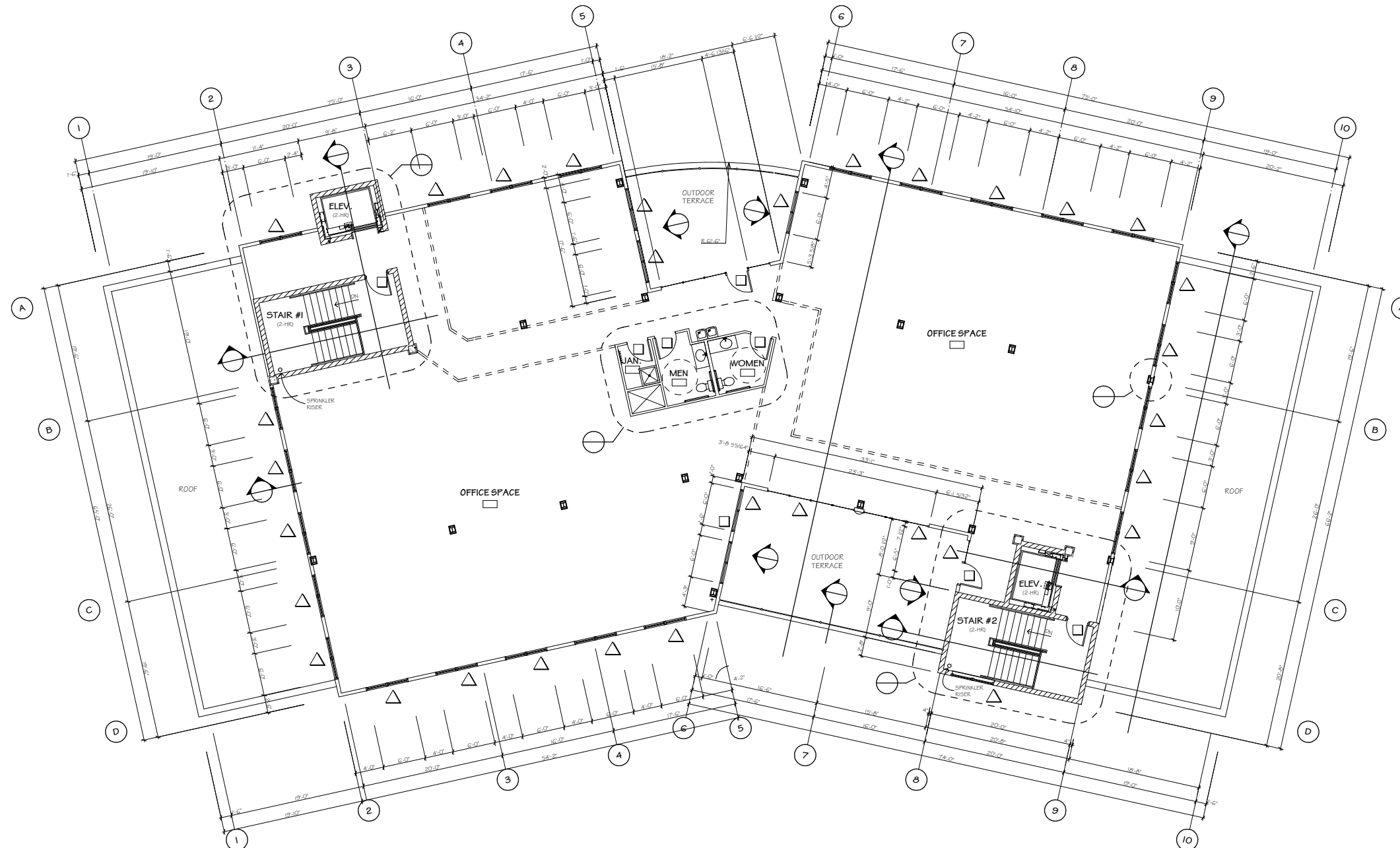
ADCI
 Architectural Design Consultants Inc.
 161 Horizon Drive | Suite 102
 Verona, WI 53593
 Phone: (608) 848-2324 Fax: (608) 848-5122
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REVISION	BY

Cad Reference Files:
 VO4-33 Layout Book-04
 VO4-33 Floor Plan.pln
 Second Floor Plan.lay
 VO4-33 Second Floor @ 1-8.pnk

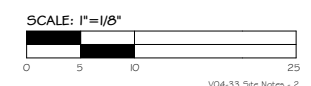
Drawn By:	ADCI Staff
Checked By:	D. Kietler
Date:	Sep 6, 2005
Scale:	As Noted
Job Number:	VO4-33

Sheet Number
A1.3



THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



VO4-33 Site Notes - 2



Preliminary Plans Not For Construction

REVISION	DATE	BY

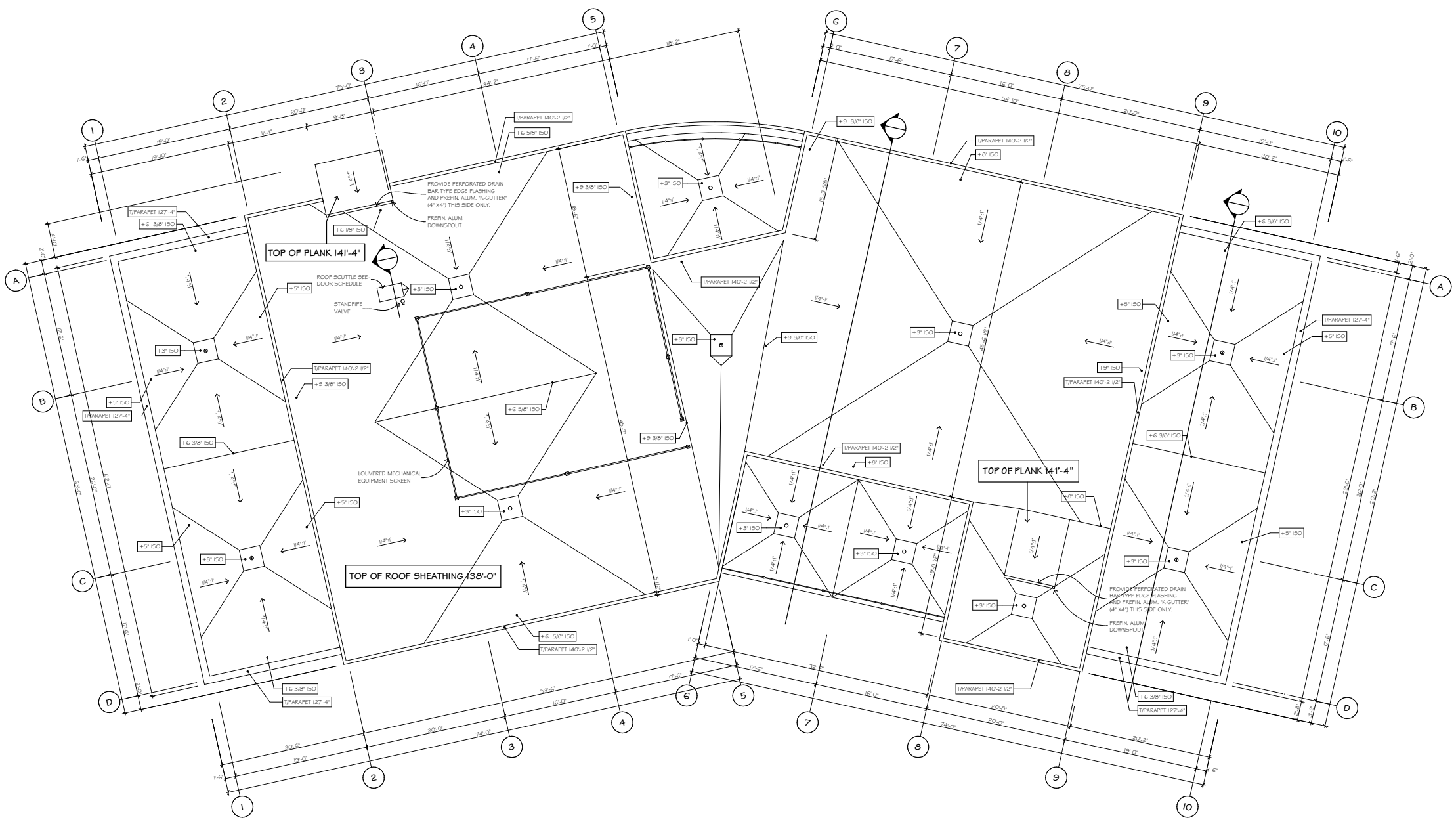
Cad Reference Files:
 VO4-33 Layout Book.rvt
 VO4-33 Floor Plan.plt
 Third Floor Plan.lay
 VO4-33 Third Floor @ 1/8.pnk

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Madison Wisconsin
 Schroeder Court Development
 Third Floor Plan @ 1/8"

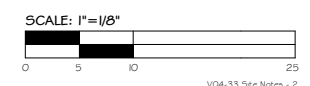
Drawn By: ADCI Staff
 Checked By: D. Kieler
 Date: Sep 1, 2005
 Scale: As Noted
 Job Number: VO4-33

Sheet Number
A1.4



ROOF PLAN

SCALE: 1/8" = 1'-0"



VO4-33 Site Notes - 2



Preliminary Plans Not For Construction

Schroeder Court Development
 Madison
 Wisconsin

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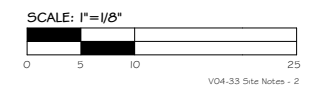
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REVISION	BY

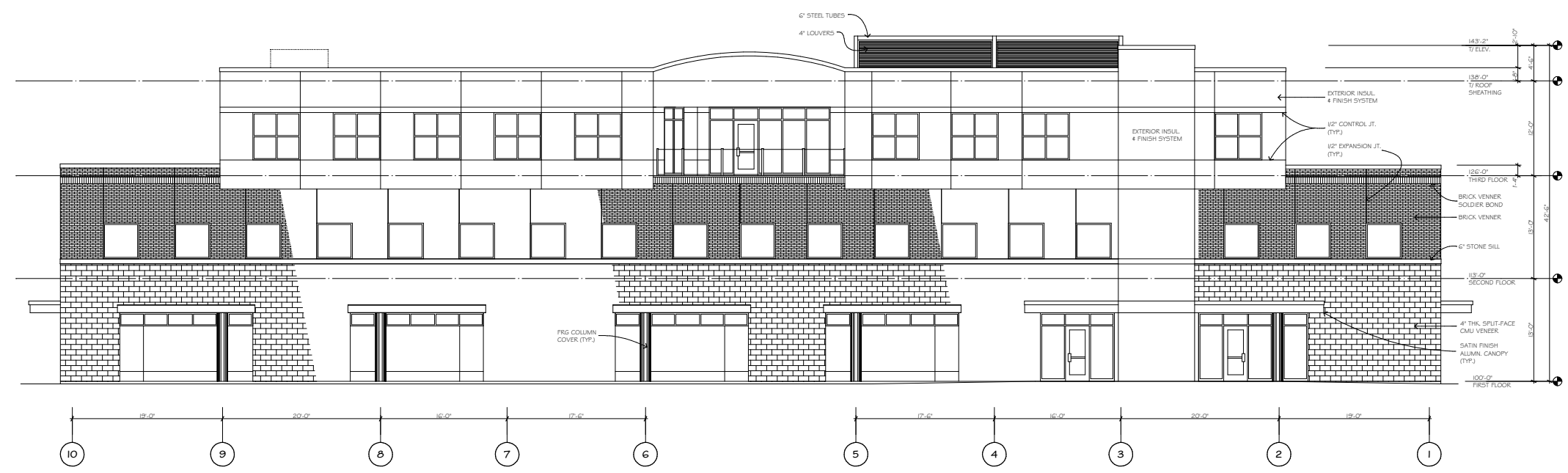
Card Reference Files:
 VO4-33 Layout Book-04

Drawn By: ADCI Staff
 Checked By: D. Kieler
 Date: Sep 1, 2005
 Scale: As Noted
 Job Number: VO4-33

Sheet Number
A1.5



VO4-33 Site Notes - 2



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

Preliminary Plans Not For Construction

NO.	DATE	BY	REVISION

Cad Reference Files:
 VO4-33 Layout Book-04
 VO4-33 Floor Plan pin
 Elevations lay
 VO4-33 Elevations @ 1-8.pnk

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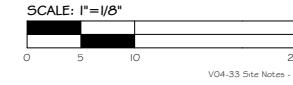
Wisconsin
 Schroeder Court Development

Elevations

Madison

Drawn By: ADCI Staff
 Checked By: D. Kietler
 Date: Sep 19, 2005
 Scale: As Noted
 Job Number: VO4-33

Sheet Number
A3.1



VO4-33 Site Notes - 2



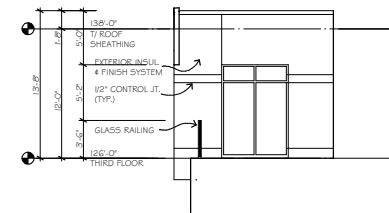
WEST ELEVATION

SCALE: 1/8" = 1'-0"

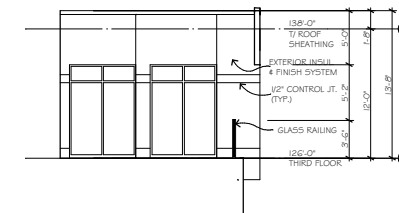


EAST ELEVATION

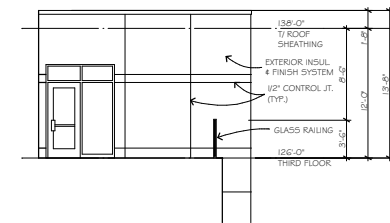
SCALE: 1/8" = 1'-0"



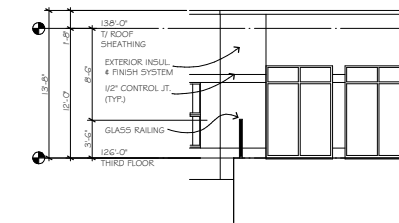
1 PARTIAL ELEVATION
SCALE: 1/8" = 1'-0"



2 PARTIAL ELEVATION
SCALE: 1/8" = 1'-0"




3 PARTIAL ELEVATION
SCALE: 1/8" = 1'-0"



4 PARTIAL ELEVATION
SCALE: 1/8" = 1'-0"

Preliminary Plans Not For Construction

BY	
CHECKED	
DATE	
SCALE	
JOB NO.	
SHEET NO.	
Cad Reference Files:	
VO4-33 Layout Book-BA	
VO4-33 Floor Plan pin	
Elevations lay	
VO4-33 Elevations @ 1-8.pnk	
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Wisconsin	
Schroeder Court Development	
Elevations	
Madison	
Drawn By:	ADCI Staff
Checked By:	D. Kiefer
Date:	Sep 19, 2005
Scale:	As Noted
Job Number:	VO4-33
Sheet Number	
A3.2	



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

NOTE:
TENANTS FOR THIS BUILDING HAVE NOT YET BEEN IDENTIFIED. HENCE, THE SIGNAGE PLAN IS SCHEMATIC. POTENTIAL SIGNABLE AREAS HAVE BEEN IDENTIFIED PER MADISON ORDINANCE 31.07. NOT ALL SIGNABLE AREAS IDENTIFIED WOULD BE UTILIZED. THE INTENT OF THIS DRAWING IS TO IDENTIFY STRATEGIES THE UDC WOULD SUPPORT, WHILE PROVIDING POTENTIAL TENANTS A FRAMEWORK FOR ADEQUATE IDENTIFICATION AND DIRECTIONAL SIGNAGE.



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

Preliminary Plans Not For Construction

NO.	DATE	BY	REVISION

Cad Reference Files:
V04-33 Layout Book-04
V04-33 Floor Plan.pln
Elevations.lay
V04-33 Signage @ 1:8.pnk

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Wisconsin

Schroeder Court Development

Madison

Schematic Wall Signage

Drawn By: ADCI Staff
Checked By: F. Schmitt
Date: Sep 20, 2005
Scale: As Noted
Job Number: V04-33

Sheet Number
A3.3