

1 OVERALL SITE PLAN
 C-1.0 SCALE: 1"=40'-0"

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SITE DEVELOPMENT STATISTICS	
LOT AREA	73,715 S.F./1.69 ACRES
DWELLING UNITS	71 D.U.
LOT AREA/ D.U.	1,038 S.F./D.U.
DENSITY	42 UNITS/ACRE
BUILDING HEIGHT	3 STORIES
GROSS FLOOR AREA 93,265 S.F.	
(excluding underground parking)	
FLOOR AREA RATIO	1.26
UNIT MIX	
GUEST SUITE	1
ONE BEDROOM	25
TWO BEDROOM	29
THREE BEDROOM	16
TOTAL	71
VEHICLE PARKING	
SURFACE	18
UNDERGROUND	88
TOTAL	106
BIKE PARKING	
FLOOR STALL, SURFACE	14
WALL HUNG, UNDERGROUND	14
FLOOR STALL, UNDERGROUND	50
TOTAL	78
USABLE OPEN SPACE	
GROUND LEVEL	14,438 S.F.
DECKS & PATIOS	3,150 S.F.

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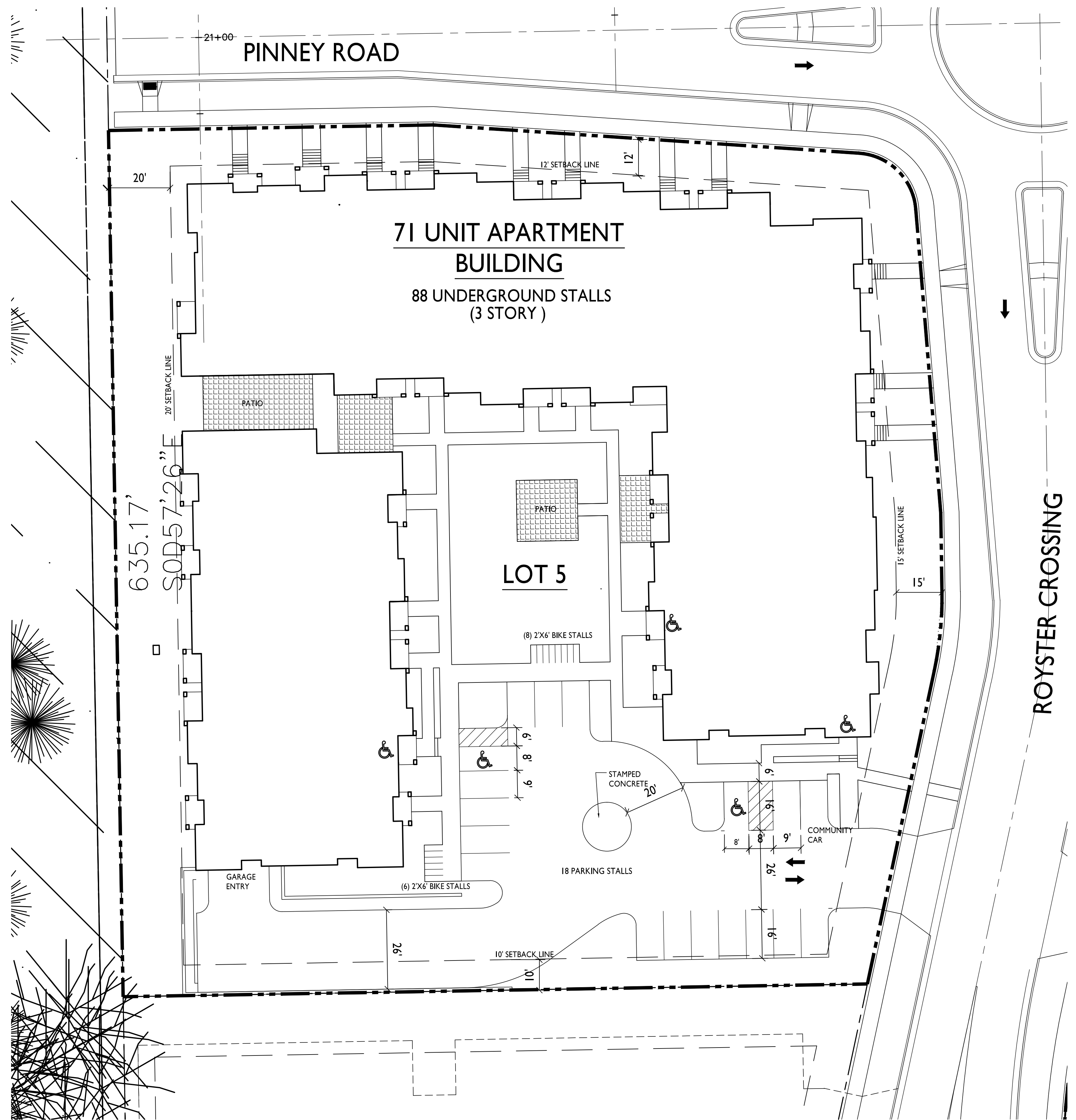
REVISIONS
 Conditional Use Submittal - November 6, 2013

PROJECT TITLE
ROYSER CROSSINGS LOT 5

SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER

C-1.0



1 SITE PLAN
 C-1.1 SCALE: 1"=20'-0"

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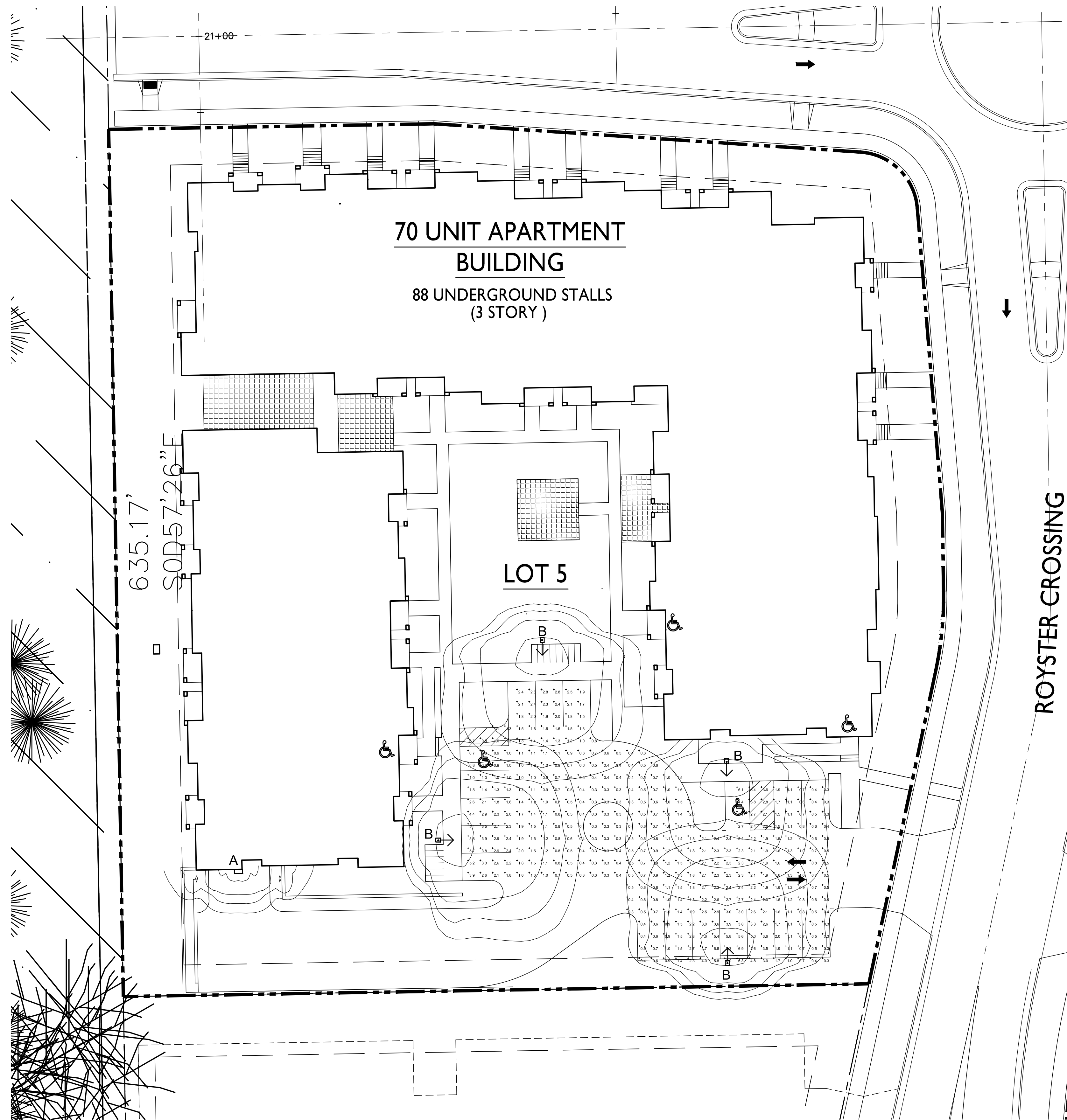
PROJECT TITLE
**ROYSTER CROSSINGS
 LOT 5**

SHEET TITLE
SITE PLAN

SHEET NUMBER

C-1.1

PROJECT NO. **1344**
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1 SITE LIGHTING PLAN
 C-1.2 SCALE: 1"=20'-0"

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PROJECT TITLE
**ROYSTER CROSSINGS
 LOT 5**

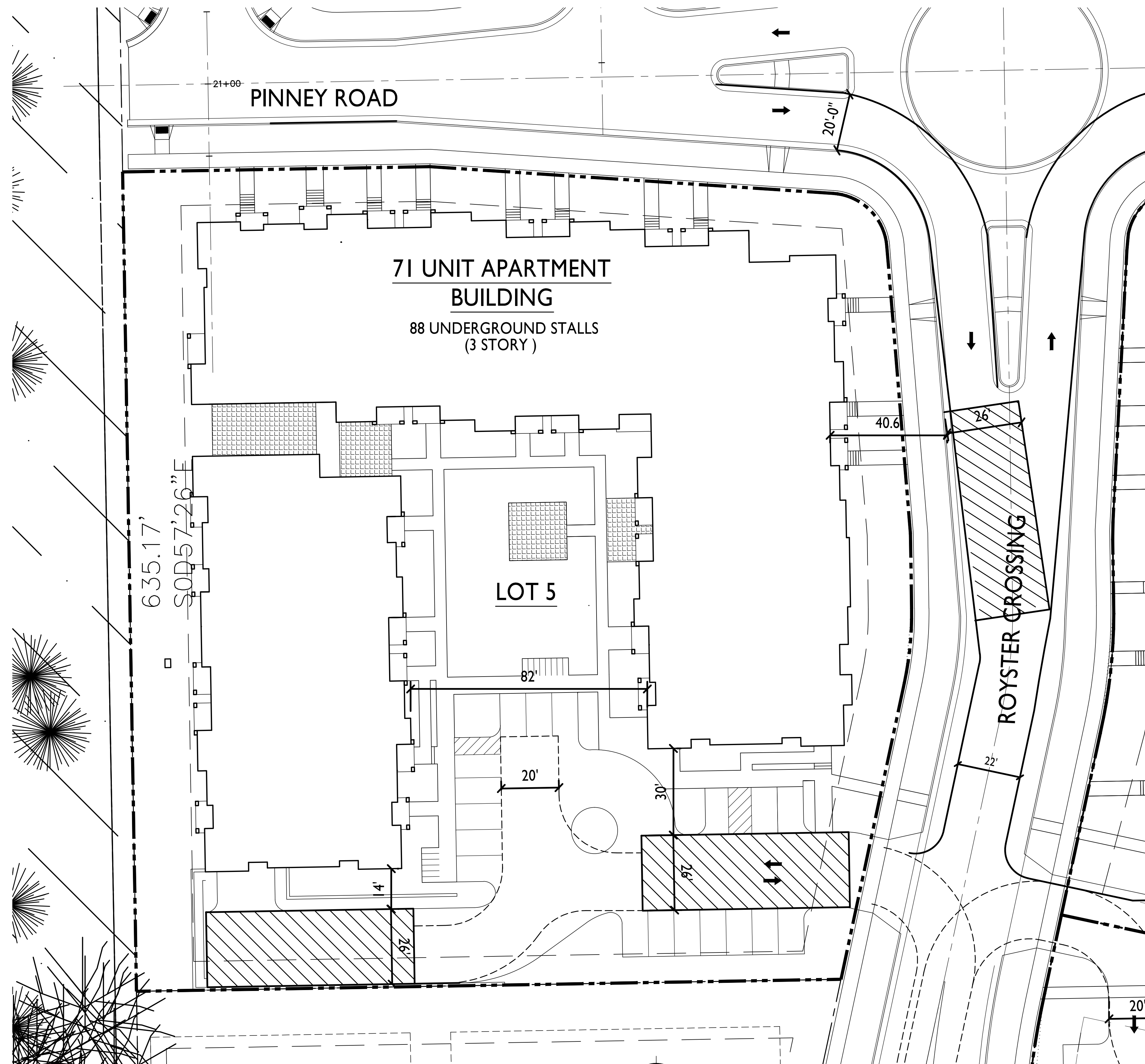
LIGHTING SCHEDULE								
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Mounting
□	A	1	RUUD LIGHTING	E8405	RECTANGULAR SECURITY / DEEP SHIELDED	50WATT MH	E8507.IES	8'-0" ABOVE GRADE ON SIDE OF BUILDING
↑	B	4	RUUD LIGHTING	MAC410SBL	12" AREA CUTOFF / W/BACK LT. SHIELD	100 WATT MH	MAC417SBL.ies	14'-0" POLE ON 2'-0" TALL CONC. BASE

LIGHTING STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING	+	1.2 fc	7.3 fc	0.3 fc	24.3:1	4.0:1

SHEET TITLE
SITE LIGHTING PLAN

SHEET NUMBER

C-1.2



1. [Hatched Box] = 26' WIDE AERIAL APPARATUS FIRE LANE PARALLEL TO ONE ENTIRE SIDE OF A BUILDING AND WITHIN 30'.

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Conditional Use Submittal - November 6, 2013

PROJECT TITLE
ROYSTER CROSSINGS
LOT 2, 3 AND 5

SHEET TITLE
FIRE ACCESS
PLAN
LOT 5

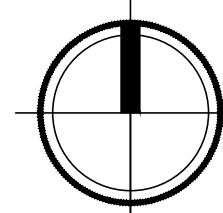
SHEET NUMBER

C-1.3

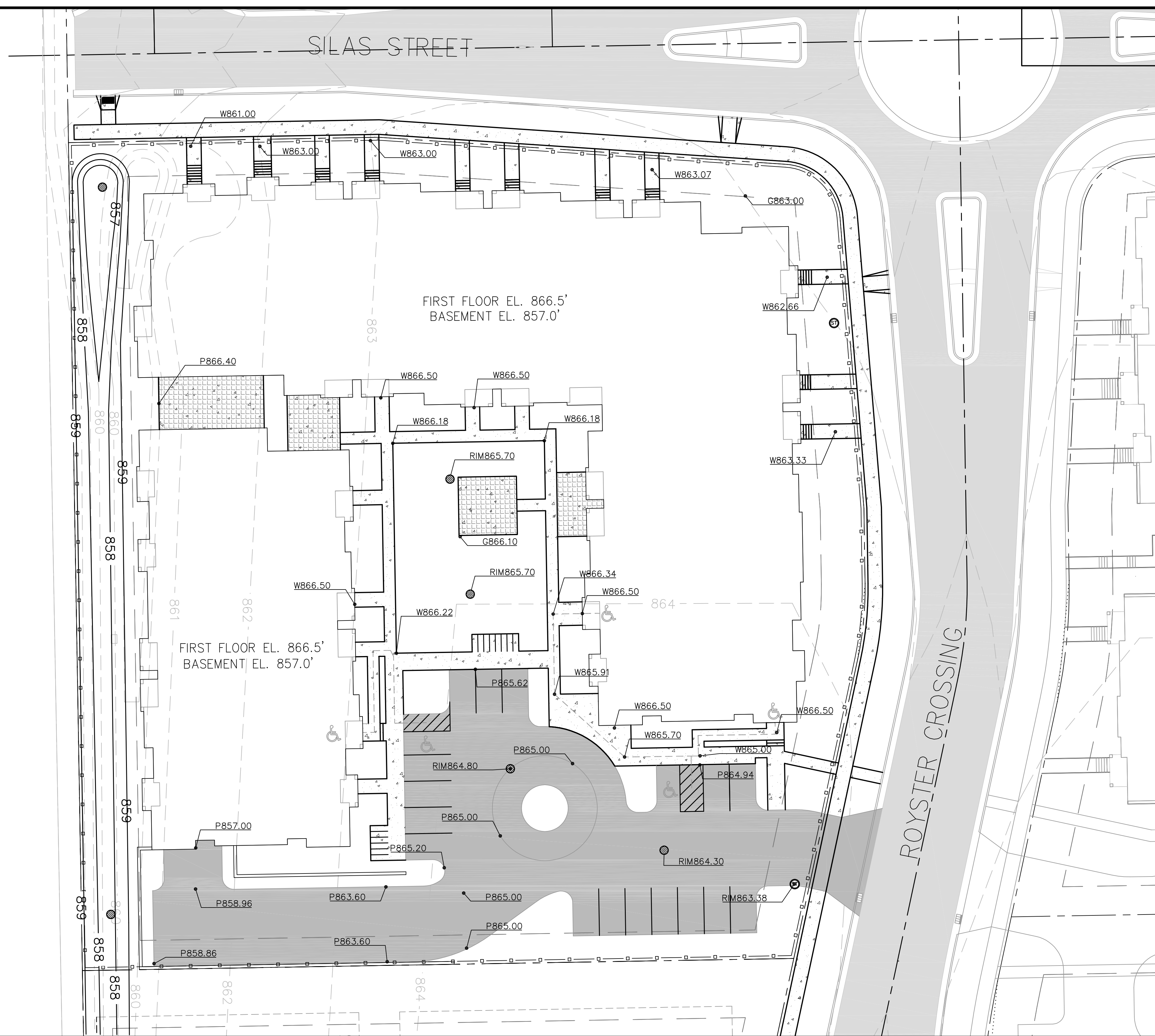
PROJECT NO. 1205

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1 FIRE DEPARTMENT ACCESS PLAN
C-1.3 SCALE: 1"=20'-0"



05 Nov 2013 - 3:28p M:\Stone House Development\130281_Royster Clark Site Engineering\Civil3D\130281-8cse.dwg by: jdy



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REQUIRES MINIMUM OF 3 WORKING DAYS
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GRAPHIC SCALE FEET
0 10 20 40

GRADING & EROSION CONTROL LEGEND

	ASSUMED EXISTING MAJOR CONTOURS (PLAT DESIGN CONTOURS)
	ASSUMED EXISTING MINOR CONTOURS (PLAT DESIGN CONTOURS)
	PROPOSED CONTOURS
	SILT FENCE
	PROPOSED SPOT ELEVATIONS
	PROPOSED BUILDING OUTLINE
	PROPERTY BOUNDARY
	CURB AND GUTTER
	PROPOSED STORM MANHOLE
	PROPOSED STORM CATCH BASIN/FIELD INLET
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT
	EXISTING ASPHALT PAVEMENT
	PROPOSED ACCESSIBLE ROUTE

ABBREVIATIONS

C	=	BACK OF CURB
P	=	EDGE OF PAVEMENT
W	=	EDGE OF SIDEWALK
FF	=	FINISHED FLOOR
G	=	GRADE

EROSION CONTROL MEASURE NOTES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISCONSIN TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
8. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
9. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
11. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
12. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
20. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
21. THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

SITE CONSTRUCTION NOTES

1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE. SEE SHEET C-2.3 FOR DETAILS.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, OR RIGHT-OF-WAY PERMITS.
4. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
5. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
6. CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
7. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
8. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT 53B2303).

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD.
2. INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
3. PERFORM SITE DEMOLITION AND REMOVE PAVEMENT.
4. STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS.
5. ROUGH GRADE FOR FOR BUILDING PADS AND WALKS.
6. CONSTRUCT UNDERGROUND UTILITIES.
7. INSTALL INLET PROTECTION ON NEW INLETS.
8. CONSTRUCT WALKS, DRIVE, CURB AND GUTTER AND LOADING AREA.
9. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH.
10. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED.

SEEDING RATES:

- TEMPORARY:**
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.
- PERMANENT:**
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.
- FERTILIZING RATES:**
TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.
- MULCHING RATES:**
TEMPORARY AND PERMANENT:
USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

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GRADING AND EROSION CONTROL PLAN

ROYSTER CROSSING
CITY OF MADISON
DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS
1	11/06/13	CITY SUBMITTAL	

SCALE: AS SHOWN

DATE: 10-31-13

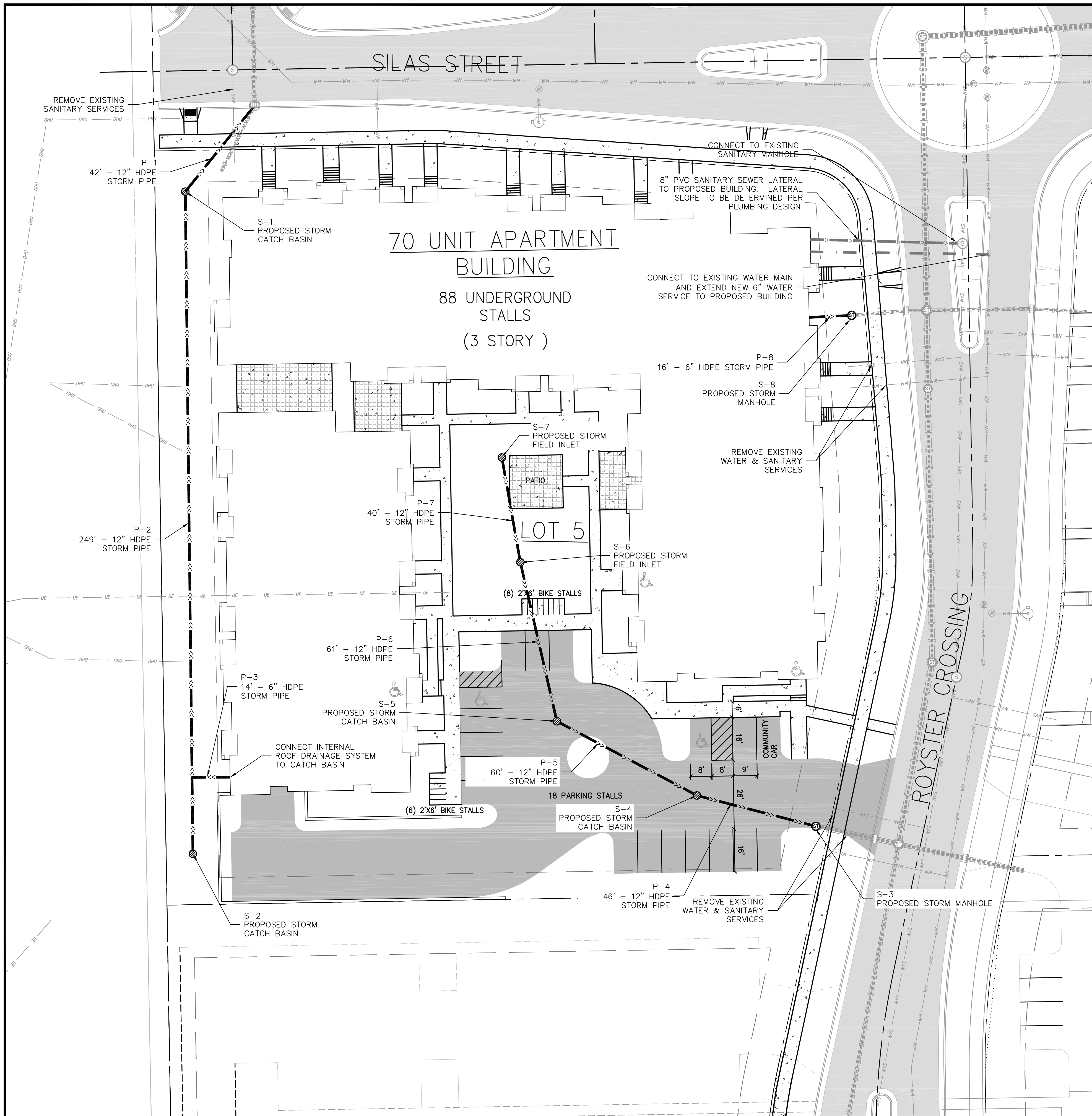
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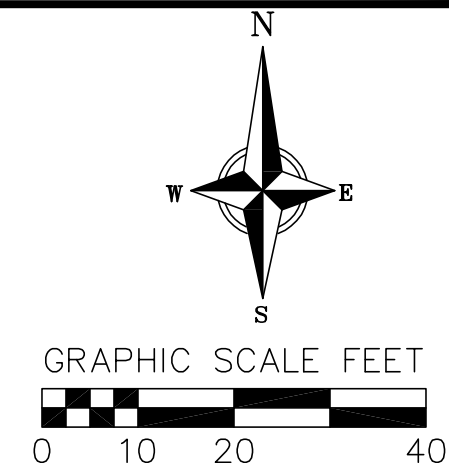
PROJECT NO.: 130281

SHEET: 1 OF 2

DWG. NO.: C-2.0



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ASSUMED EXISTING CONDITIONS LEGEND

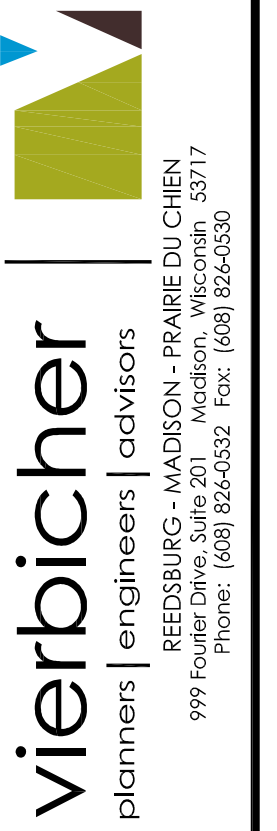
- ASSUMED EXISTING SANITARY MANHOLE
- ASSUMED EXISTING FIRE HYDRANT
- ASSUMED EXISTING WATER MAIN VALVE
- ASSUMED EXISTING CURB INLET
- ASSUMED EXISTING STORM MANHOLE
- ASSUMED EXISTING UNDERGROUND ELECTRIC LINE
- ASSUMED EXISTING OVERHEAD GENERAL UTILITIES
- ASSUMED EXISTING SANITARY SEWER LINE
- ASSUMED EXISTING STORM SEWER LINE
- ASSUMED EXISTING WATER MAIN
- ASSUMED EXISTING ASPHALT PAVEMENT
- PROPERTY BOUNDARY

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
- SANITARY SEWER PIPE (GRAVITY)
- WATER MAIN
- STORM MANHOLE
- STORM CATCH BASIN/FIELD INLET
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- BUILDING OUTLINE

UTILITY NOTES:

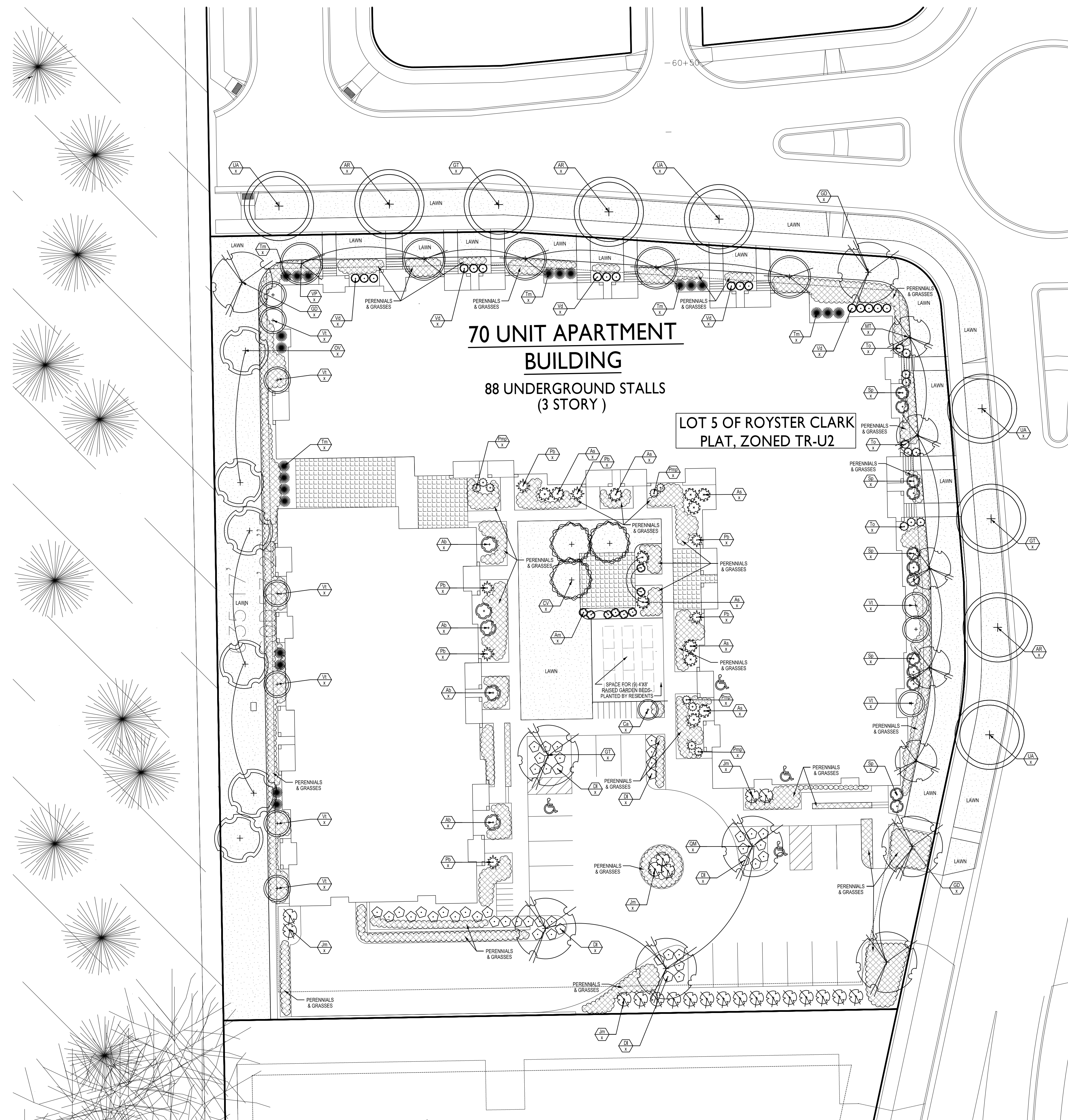
1. PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(g).
2. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
3. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(11)(h) AND COMM 82.40(8)(k).
4. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b.).
5. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
6. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
7. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITH THESE PLANS.
8. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
10. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
11. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
12. EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED PER CITY REQUIREMENTS.
13. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
14. THE DEVELOPER SHALL INSTALL THE 3M™ ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5' BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
15. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
16. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT 53B2364).
17. ALL DAMAGE TO THE PAVEMENT ON COTTAGE GROVE ROAD ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
18. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ADJUTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.



UTILITY PLAN
ROYSTER CROSSING
CITY OF MADISON
DANE COUNTY, WISCONSIN

REVISIONS		NO.	DATE	REMARKS

SCALE: AS SHOWN
DATE: 10-30-13
DRAFTER: JFEL
CHECKED: JDOY
PROJECT NO.: 130281
SHEET: 2 OF 2
DWG. NO.: C-3.0



70 UNIT APARTMENT BUILDING

88 UNDERGROUND STALLS (3 STORY)

LOT 5 OF ROYSTER CLARK PLAT, ZONED TR-U2

Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments
Deciduous Trees						
AR	<i>Acer freemanii</i> 'Armstrong'	Armstrong Freeman Maple		2.5" cal.	B&B	
GD	<i>Gymnocladus dioica</i> 'Espresso'	Espresso Kentucky Coffee Tree		1 1/2" cal.	B&B	
GT	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Skycole'	Skyline Honeylocust		1 1/4" cal.	B&B	
OV	<i>Ostrya virginiana</i>	Hophornbeam		1 1/4" cal.	B&B	
QM	<i>Quercus muhlenbergii</i>	Chinkapin Oak		2.5" cal.	B&B	
UA	<i>Ulmus americana</i> 'Princeton'	Princeton Elm		2" cal.	B&B	
Ornamental Trees						
AG	<i>Amelanchier x grandiflora</i> 'Robin Hill'	Robin Hill Apple Serviceberry		8' ht.	B&B	Multi-stem
CV	<i>Crataegus viridis</i> 'Winter King'	Winter King Hawthorn		6' ht.	B&B	
MT	<i>Malus transitionalis</i> 'Schmidtcutleaf'	Golden Raindrops Crabapple		1 1/4" cal.	B&B	
Deciduous Shrubs						
Ab	<i>Aronia arbutifolia</i> 'Brilliantissima'	Brilliant Aronia		18-24" ht.	cont.	
Am	<i>Aronia melanocarpa</i> 'Troquois Beauty'	Troquois Beauty Aronia		18" ht.	cont.	space 3' on center
As	<i>Amelanchier stolonifera</i>	Running Serviceberry		12" ht.	cont.	
Ca	<i>Corylus americana</i>	American Filbert		24" ht.	cont.	
Di	<i>Diervilla lonicera</i> 'Jewef'	Dwarf Bush Honeysuckle		2 Gal.	cont.	
Sd	<i>Salix purpurea</i> 'Nana'	Arctic Blue Leaf Willow		18" ht.	cont.	Space per plan; match specimens
Vp	<i>Viburnum dentatum</i> 'Synnesteved'	Chicago Luster Arrowwood Vib.		2-3' ht.	cont.	
Vt	<i>Viburnum trilobum</i> 'JN Select'	Redwing Viburnum		5 Gal.	cont.	
Evergreen Shrubs						
Pb	<i>Pinus strobus</i> 'Blue Shag'	Blue Shag Dwarf White Pine		24" Ht. #5	cont.	space per plan
Pmp	<i>Pinus mugo</i> 'Pumilo'	Dwarf Mugo Pine		12-15"	cont.	
Tm	<i>Taxus x media</i> 'Tauntoni'	Taunton Yew		24" Spd.	cont.	space 4' on center
To	<i>Thuja occidentalis</i> 'Little Gem'	Little Gem Arborvitae		2' ht.	cont.	Space per plan; match specimens
Perennials/Grasses/Groundcovers						
	<i>Andropogon gerardii</i>	Big Bluestem		#1	Cont.	
	<i>Bouteloua curtipendula</i>	Sideoats Gramma		#1	Cont.	
	<i>Elymus canadensis</i>	Canada Wild Rye		#1	Cont.	
	<i>Panicum virgatum</i> 'Shenandoah'	Switch Grass		4.5"	Cont.	
	<i>Panicum virgatum</i> 'Cloud Nine'	Switch Grass		4.5"	Cont.	
	<i>Schizachyrium scoparium</i>	Little Bluestem		1 gal.	Cont.	
	<i>Sorghastrum nutans</i> 'Sioux Blue'	Blue Indiangrass		4.5"	Cont.	
	<i>Sporobolus heterolepis</i>	Prairie Dropseed		1 gal.	Cont.	
	<i>Aruncus aethusifolius</i>	Dwarf Goatsbeard		#1	Cont.	
	<i>Baptisia australis</i> var. <i>minor</i>	Dwarf Blue Indigo		#1	Cont.	
	<i>Geum triflorum</i>	Prairie Smoke		4.5"	Cont.	
	<i>Elymus canadensis</i>	Canada Wild Rye		#1	Cont.	
	<i>Eryngium yuccifolium</i>	Rattlesnake Master		#1	Cont.	
	<i>Geranium maculatum</i>	Wild geranium		#1	Cont.	
	<i>Iris versicolor</i>	Blue Flag		#1	Cont.	
	<i>Solidago</i> 'Fireworks'	Goldenrod		#1	Cont.	
	<i>Liatris aspera</i>	Button blazing Star		#1	Cont.	
	<i>Tiarella cordifolia</i>	Heartleaved Foamflower		#1	Cont.	
	<i>Osmunda cinnamomea</i>	Cinnamon Fern		4.5" gal.	Cont.	
	<i>Penstemon digitalis</i> 'Husker Red'	Husker Red Beardtongue		1 qt.	Cont.	

City of Madison, WI Landscape Worksheet
6-Nov-13

Developed Lot	SF	Landscape Units Req.	Landscape Points Req.
Total Developed Area	18,630	62	311

Element	Point Value	Quantity	Total Points
Overstory Deciduous Tree	35	6	210
Ornamental Tree	15	0	0
Evergreen Tree	15	0	0
Shrub, deciduous	2	59	118
Shrub, evergreen	3	38	114
Ornamental Grass	2	0	0
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	0	0
			442

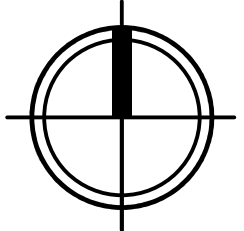
Development Frontage	LF	Overstory Tree Req (or x2 for Orn./Evergreen Tree Sub.)		Shrubs Req.
		Quantity	Points	
Total LF of Street Frontage Between Bldg./Parking & street	532	18		89

Element	Point Value	Quantity	Total Points
Overstory Deciduous Tree	35	13	455
Ornamental Tree	15	10	150
Evergreen Tree	15	0	0
Shrub, deciduous	2	32	64
Shrub, evergreen	3	22	66

Interior Parking Lots	SF	Overstory Tree Req (or x2 for Orn. Tree Sub.)	
		Quantity	Points
Total Parking Lot Area	8,026		
Req. Parking Lot Islands (5%)	401	3	

Element	Point Value	Quantity	Total Points
Overstory Deciduous Tree	35	5	175
Ornamental Tree	15	0	0

1 PLANTING PLAN
L-1.0 SCALE: 1"=20'-0"



REVISIONS

PROJECT TITLE
ROYSTER CROSSINGS LOT 2, 3 AND 5

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER

L-1.0

PROJECT NO. 1205
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ARCHITECTS

Phone: 608.836.3690 7601 University Ave., Suite 201
Middleton, WI 53562

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PROJECT TITLE
ROYSTER
CROSSINGS
LOT 5

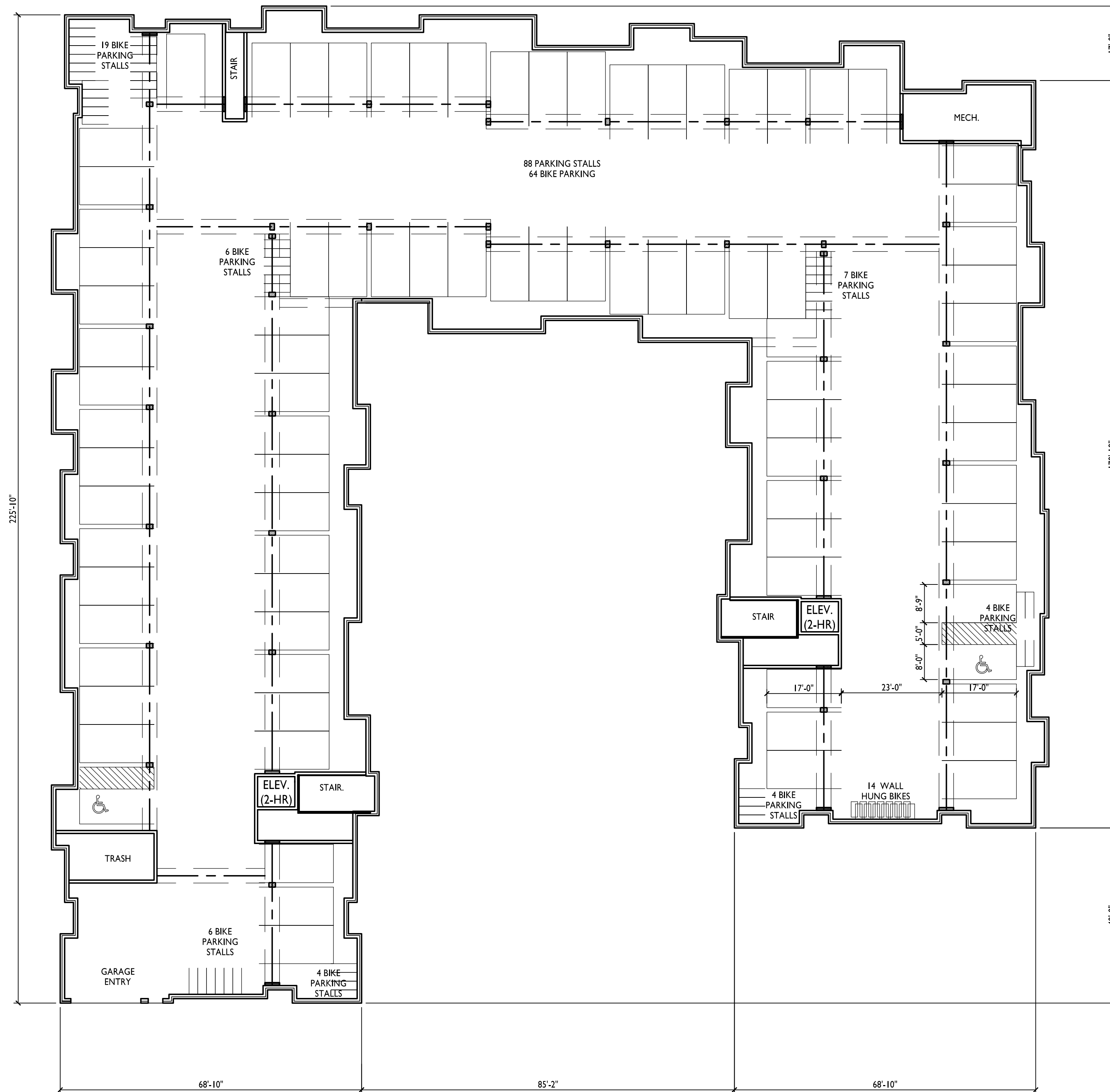
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BASEMENT
PLAN

SHEET NUMBER

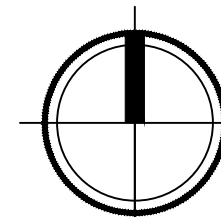
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PROJECT NO. 1344

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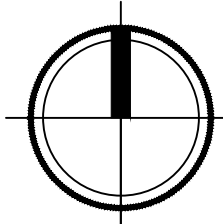


1 BASEMENT PLAN
A-1.0 SCALE: 1/16"=1'-0"





1 FIRST FLOOR PLAN
 A-1.1 SCALE: 1/16"=1'-0"



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Phone: 608.836.3690 7601 University Ave., Suite 201
 Middleton, WI 53562

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PROJECT TITLE
**ROYSTER
 CROSSINGS
 LOT 5**

SHEET TITLE
**FIRST FLOOR
 PLAN**

SHEET NUMBER

A-1.1

PROJECT NO. **1344**

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PROJECT TITLE
ROYSER
CROSSINGS
LOT 5

SHEET TITLE
SECOND FLOOR
PLAN

SHEET NUMBER

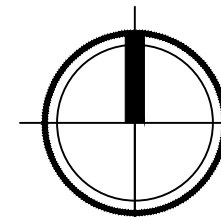
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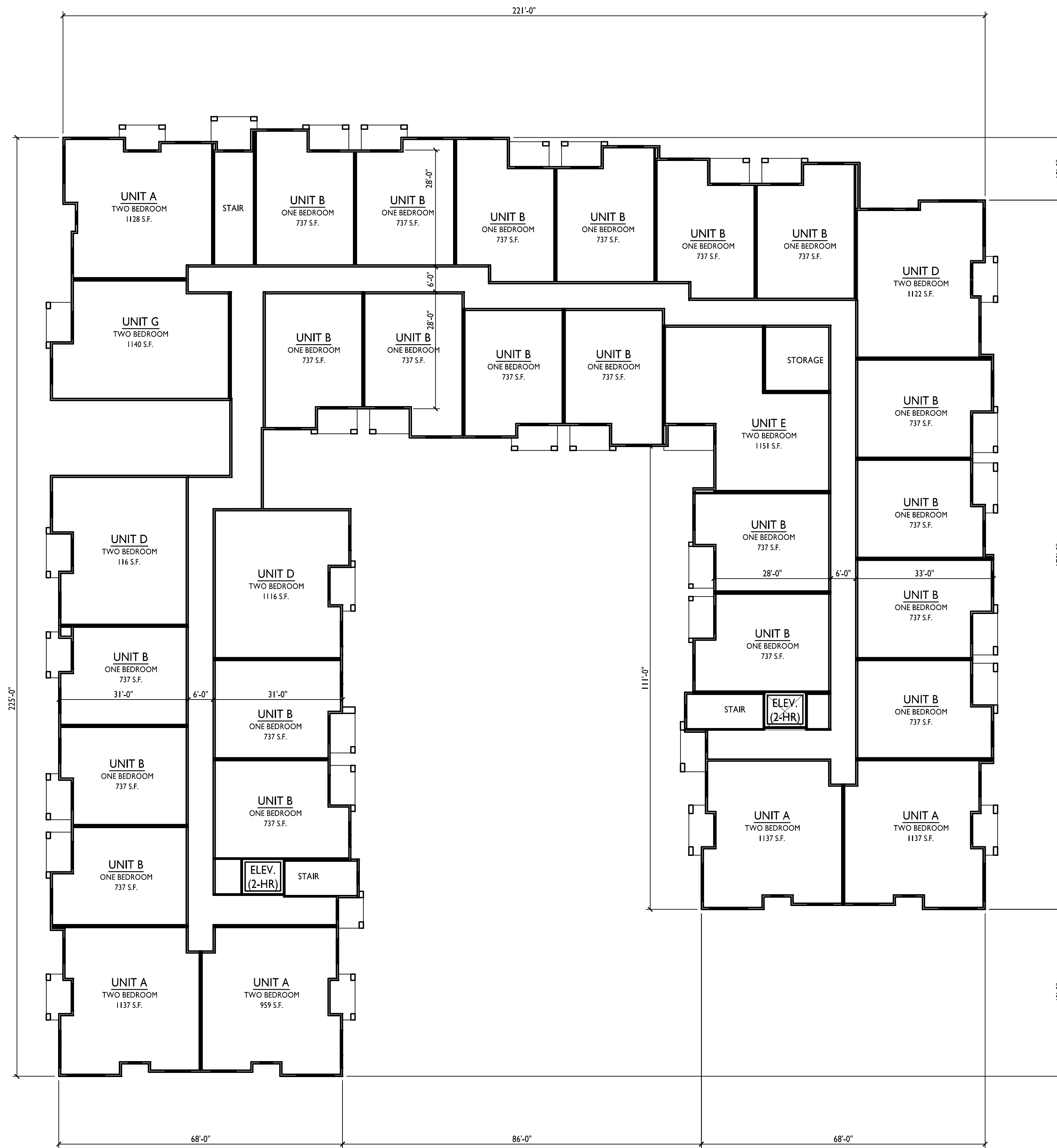
PROJECT NO. 1344

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1 SECOND FLOOR PLAN
A-1.2 SCALE: 1/16"=1'-0"





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PROJECT TITLE
**ROYSTER
 CROSSINGS
 LOT 5**

SHEET TITLE
**THIRD FLOOR
 PLAN**

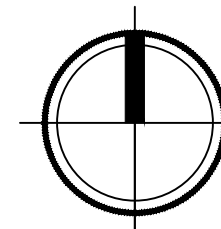
SHEET NUMBER

A-1.3

PROJECT NO. **1344**

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1 THIRD FLOOR PLAN
 A-1.3 SCALE: 1/16"=1'-0"





1 SOUTH ELEVATION
A-2.1 SCALE: 1/8"=1'-0"



2 EAST ELEVATION
A-2.1 SCALE: 1/8"=1'-0"

PROJECT TITLE
**ROYSTER
CROSSINGS
LOT 5**

SHEET TITLE
ELEVATIONS

SHEET NUMBER

A-2.1

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1 NORTH ELEVATION
A-2.2 SCALE: 1/8"=1'-0"



2 WEST ELEVATION
A-2.2 SCALE: 1/8"=1'-0"

PROJECT TITLE
**ROYSTER
CROSSINGS
LOT 5**

SHEET TITLE
ELEVATIONS

SHEET NUMBER

A-2.2

PROJECT NO. **1344**

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