



LONGHORN[®]
S T E A K H O U S E
MADISON, WI

418 S. Gammon Road

April 24, 2009

Madison, WI 53719

OWNER:

DARDEN RESTAURANTS
5900 LAKE ELLENOR DRIVE
ORLANDO, FL 32809
(407) 245-4000

ARCHITECT:

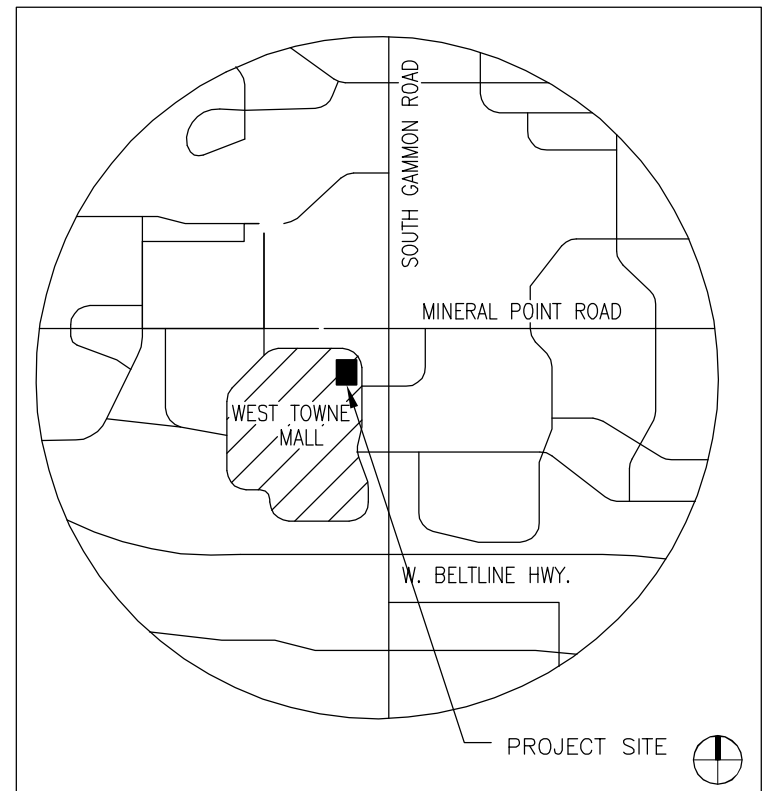
FRCH DESIGN WORLDWIDE
311 ELM STREET, SUITE 600
CINCINNATI, OHIO 45202
(513) 241-3000

MECHANICAL ENGINEER:

KLH ENGINEERS
1538 ALEXANDRIA PIKE
FT. THOMAS, KENTUCKY 41075
(859) 442-8050

CIVIL ENGINEER:

KIMLEY-HORN AND ASSOCIATES, INC.
205 WEST WACKER DRIVE, SUITE 2125
CHICAGO, IL 60606
(312) 726-9445








FRONT ELEVATION





RIGHT ELEVATION


- 


GLEN-GREY BRICK
"ADRIAN C/B"
- 


GLEN-GREY BRICK
"CHESTERFIELD"
- 


STONE VENEER
"LONGHORN SABLE"
- 

EXTERIOR STAIN
BY OLYMPIC
"708 WALNUT"
- 

PAINT
BENJAMIN MOORE
"HC-71 HASBROUK BROWN"
- 

PAINT
BENJAMIN MOORE
"2126-10 TAR"
- 

PAINT
BENJAMIN MOORE
"1155 CAPPCCINO MUFFIN"
- 

PAINT
BENJAMIN MOORE
"2166-40 SOFT PUMPKIN"
- 

PAINT
BENJAMIN MOORE
"COUNTRY REDWOOD"



REAR ELEVATION



LEFT ELEVATION

- 

GLEN-GREY BRICK
"ADRIAN C/B"
- 

GLEN-GREY BRICK
"CHESTERFIELD"
- 

STONE VENEER
"LONGHORN SABLE"
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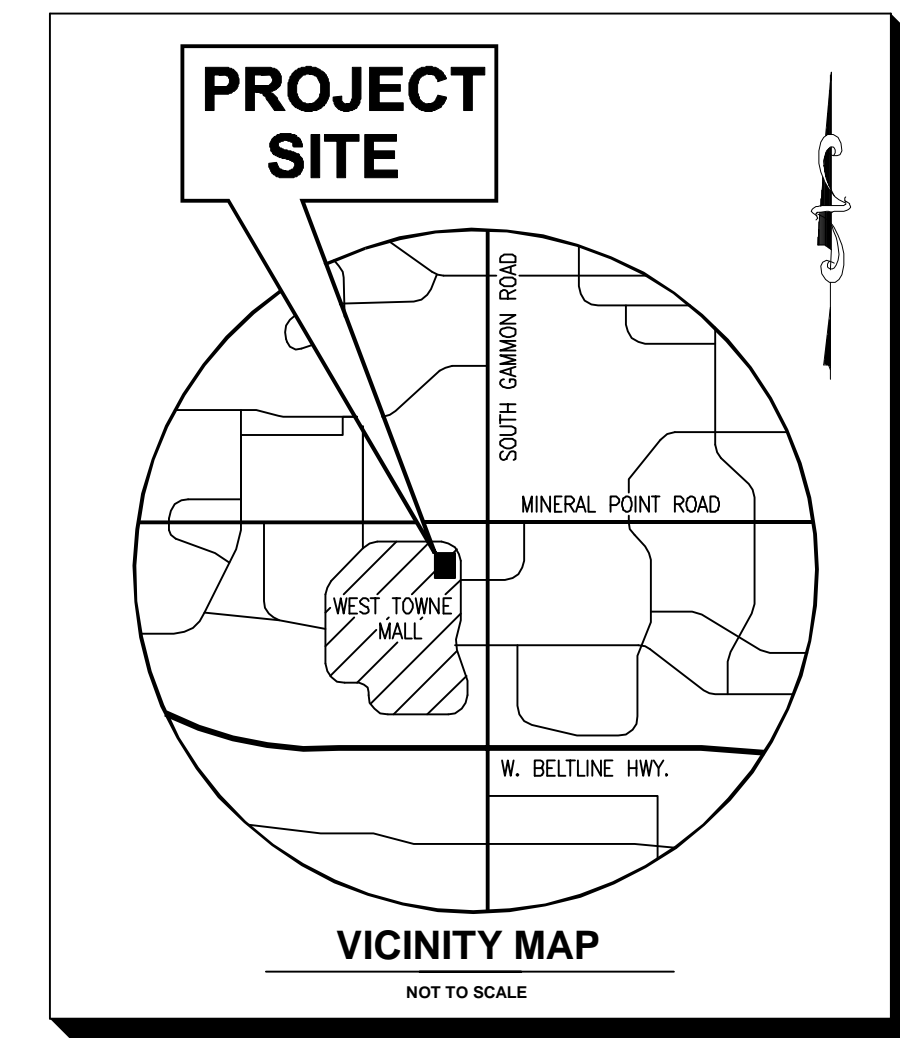
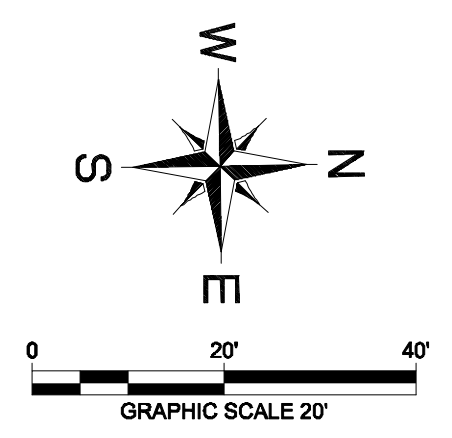
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PAINT
BENJAMIN MOORE
"COUNTRY REDWOOD"

Drawing name: K:_LDB\Drawings\Madison_MW3 Design\000\103_C2-0_DimC.dwg C2-0 Apr 23, 2009 4:41pm by: Justin Miller
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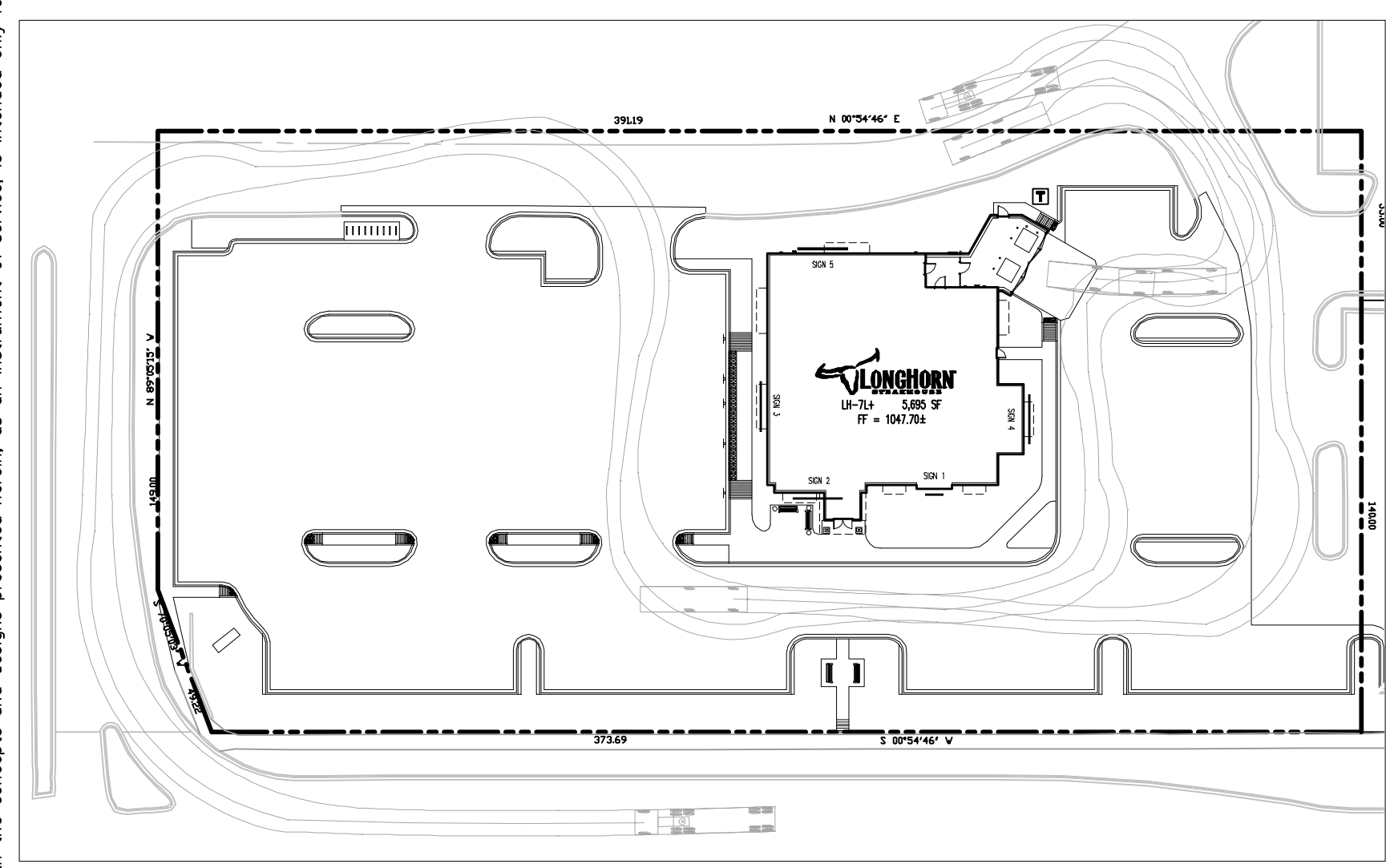
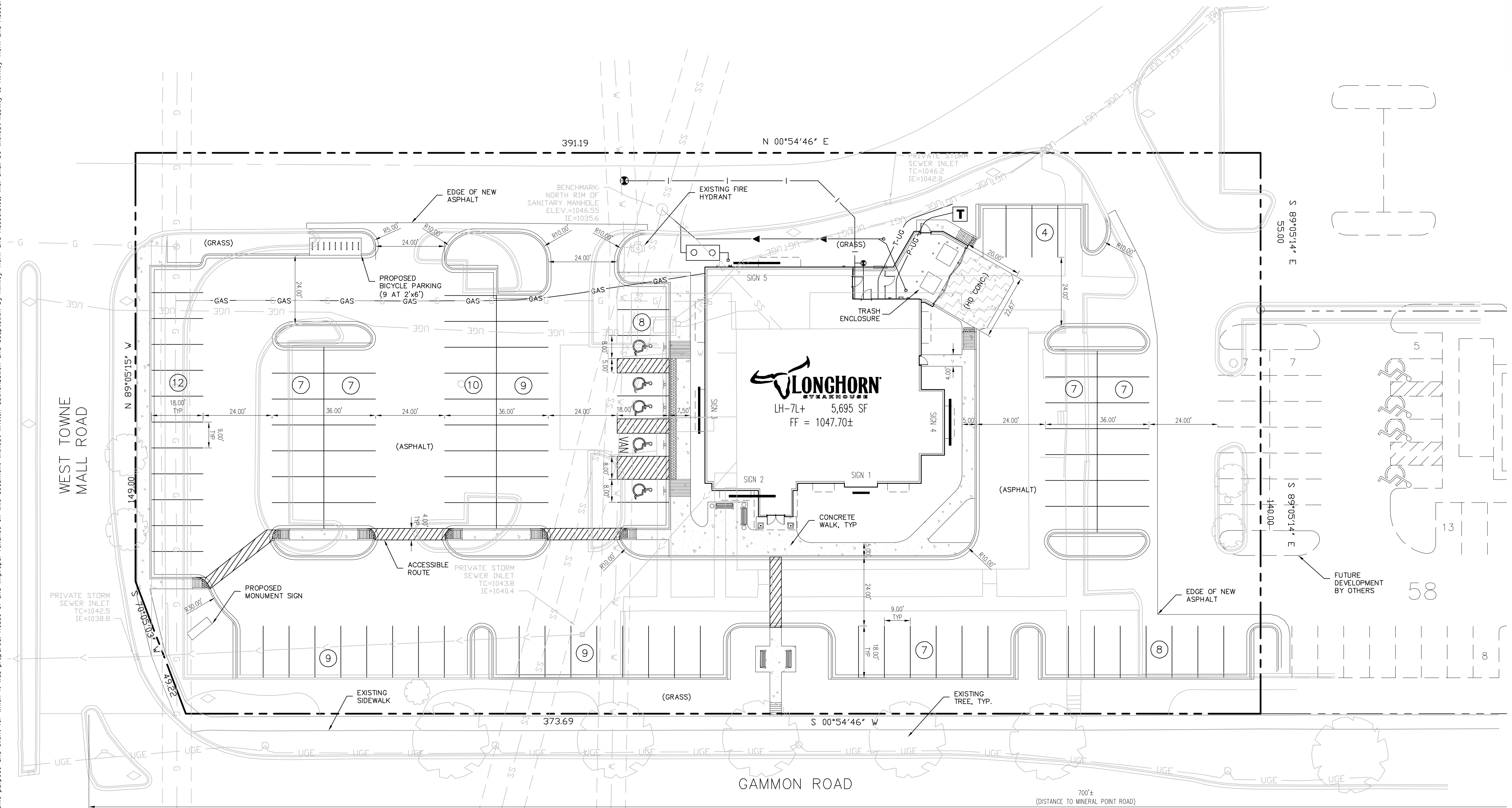
LEGEND

	EX. WATER LINE
	EX. HYDRANT
	EX. SANITARY SEWER LINE
	EX. SANITARY SEWER MANHOLE
	EXISTING STORM DRAIN LINE
	EX. STORM MANHOLE
	PROPOSED UNDERGROUND ELECTRIC LINE
	GAS LINE (BY GAS COMPANY)
	PROPOSED PHONE LINE
	PROPOSED STORM DRAIN LINE
	PROPOSED STORM MANHOLE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED WATER STRUCTURE

SITE DATA TABLE

GENERAL SITE DATA	
ZONING	C3L COMMERCIAL SERVICE DISTRIBUTION DISTRICT
LAND USE	RESTAURANT
LOT AREA RESTRICTIONS	TBD
LOT AREA	75,879 S.F. (1.74 ACRES)
IMPERVIOUS AREA	62,288 SF (82.1%)
PERVIOUS (OPEN SPACE) AREA	13,591 SF (17.9%)
BUILDING COVERAGE RESTRICTIONS (FAR)	< 3.0
BUILDING SQUARE FOOTAGE	5,695 S.F.
BUILDING HEIGHT RESTRICTIONS	3 STORIES 40 FEET
PARKING DATA	
PARKING REQUIRED	30% OF SEATING CAPACITY ±83 SPACES
SURFACE STANDARD SPACES PROVIDED	99 SPACES
SURFACE ACCESSIBLE SPACES REQUIRED	5 SPACES
SURFACE ACCESSIBLE SPACES PROVIDED	5 SPACES
TOTAL SPACES PROVIDED	104 SPACES + SHARED

- GENERAL NOTES:**
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
 - IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT-APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
 - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDING/SOODED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.



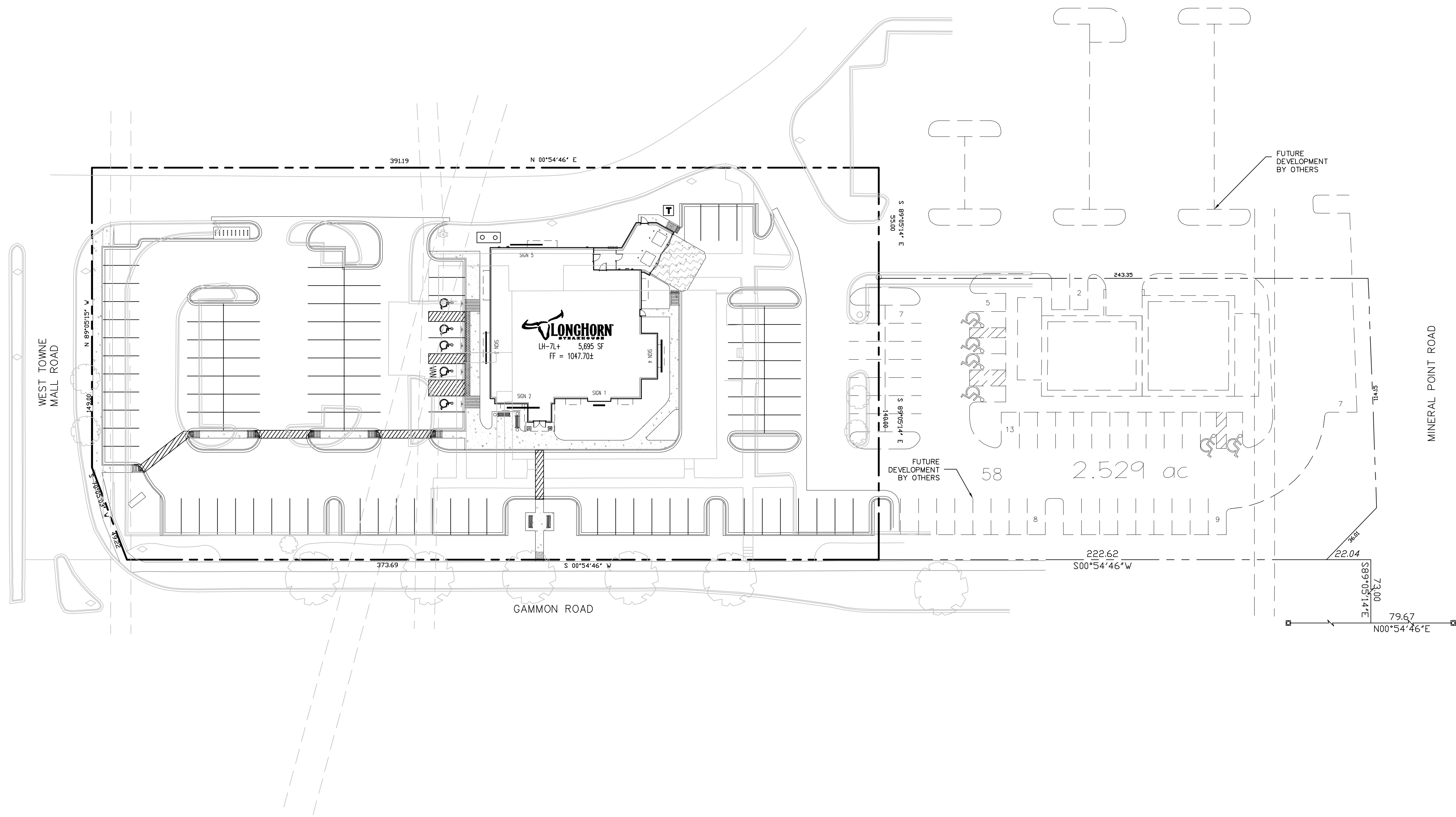
TRUCK ROUTE EXHIBIT
 SCALE: 1" = 50'

LONGHORN STEAKHOUSE MADISON, WISCONSIN WEST TOWNE MALL 418 S. GAMMON ROAD	SITE / DIMENSION CONTROL PLAN
SCALE: AS NOTED DESIGNED BY: JMM DRAWN BY: LES CHECKED BY: A/H	REVISIONS No. DATE BY

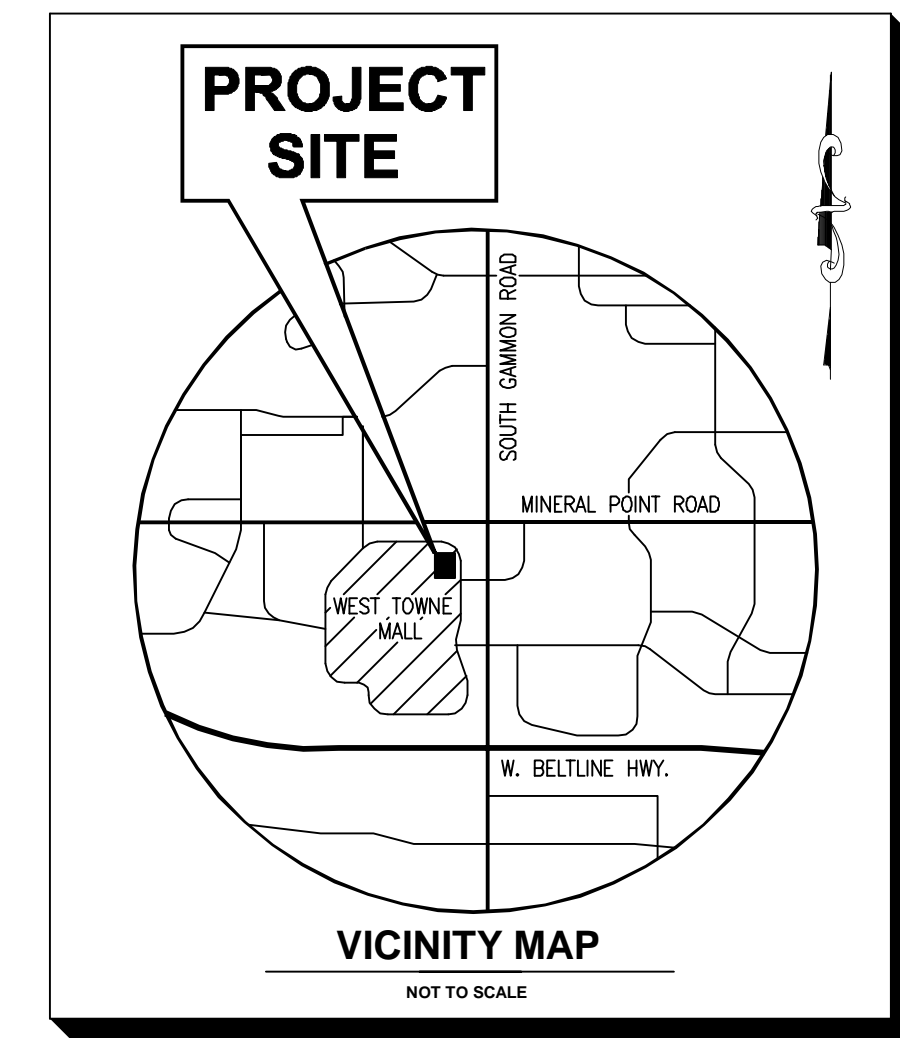
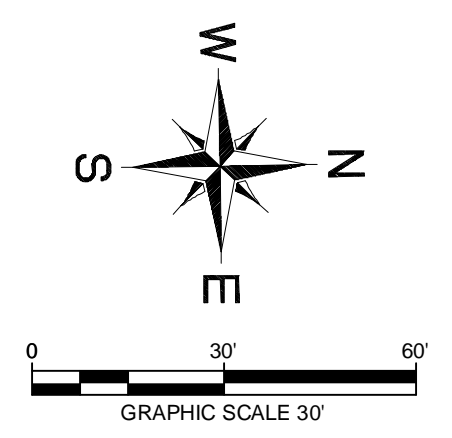
"PRELIMINARY"
NOT FOR CONSTRUCTION

DATE: 04/24/2009
 KHA PROJECT NO.: 168113000
 SHEET NUMBER: **C-2.0**

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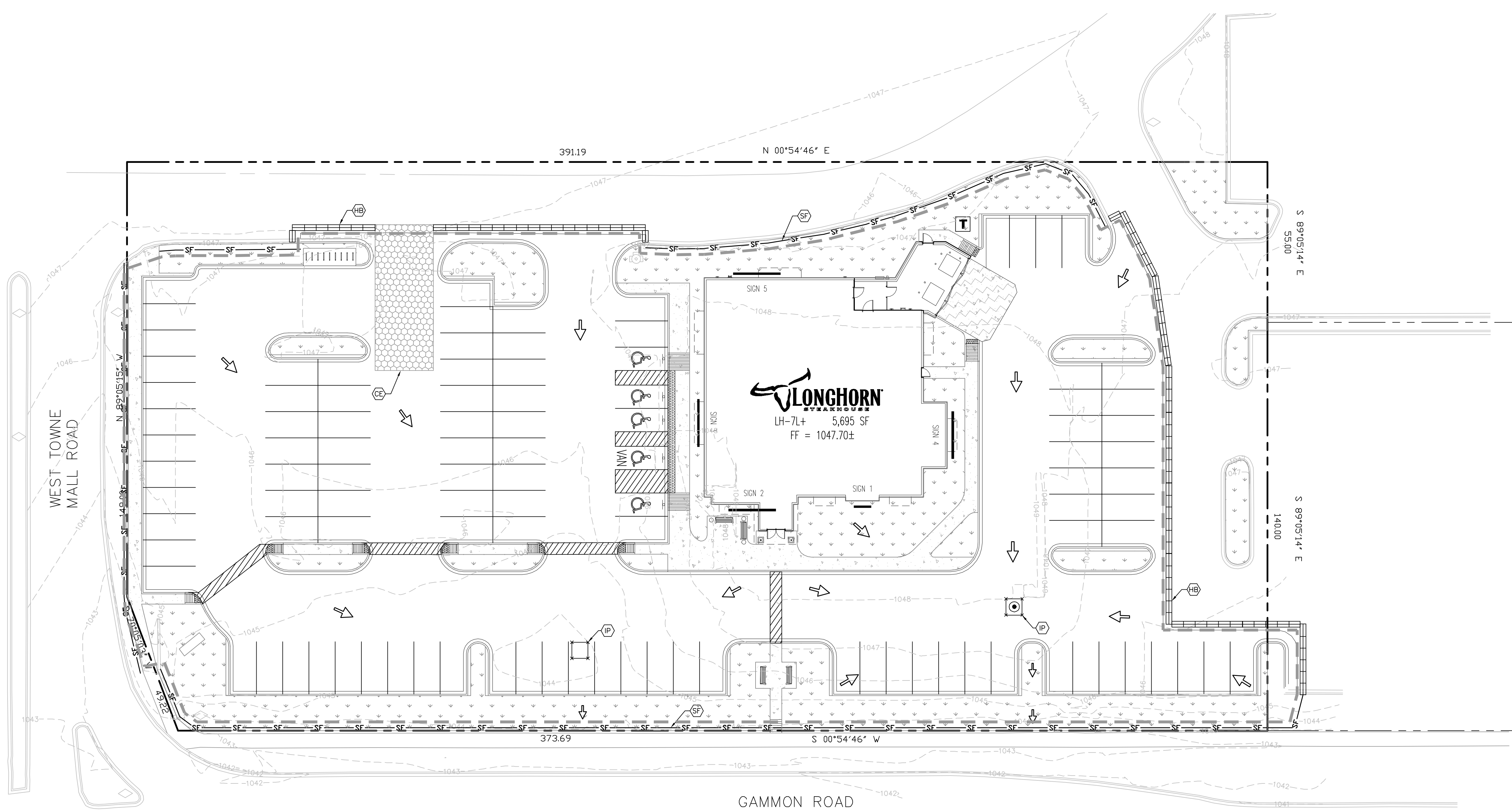


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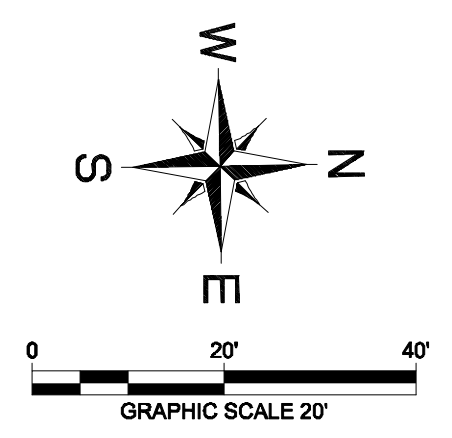


LONGHORN STEAKHOUSE MADISON, WISCONSIN WEST TOWNE MALL 418 S. GAMMON ROAD	OVERALL SITE PLAN	SCALE: AS NOTED	DESIGNED BY: JMM	DRAWN BY: LES	CHECKED BY: AMH
		DATE 04/24/2009	KHA PROJECT NO. 168113000	SHEET NUMBER C-2.1	"PRELIMINARY" NOT FOR CONSTRUCTION
Kinley-Horn and Associates, Inc. © 2009, Kinley-Horn and Associates, Inc. Engineering, Planning and Environmental Consultants 205 West Wacker Drive, Suite 2125 Chicago, IL 60606 Phone: 312-726-9445 Fax: 312-726-9449		REVISIONS	No.	DATE	BY

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LEGEND

	CE CONSTRUCTION ENTRANCE (SEE DETAIL C-2.3)
	SF SILT FENCE (SEE DETAIL C-2.3)
	HB HAY BALE (SEE DETAIL C-2.3)
	IP INLET PROTECTION (SEE DETAIL C-2.3)
	PROPOSED LANDSCAPED AREA
	EXISTING CONTOURS
	PROPOSED CONTOURS
	FLOW ARROW
	LIMITS OF DISTURBED AREA

SITE DATA TABLE

TOTAL LOT AREA	1.74 AC (75,879 SF)
TOTAL AREA DISTURBED *	1.39 AC (60,669 SF)
PAVED AREA	1.30 AC (56,593 SF)
ROOFED AREA	0.13 AC (5,695 SF)
LANDSCAPED AREA	0.31 AC (13,591 SF)

* DOES NOT INCLUDE ANY OFF-SITE DISPOSAL OR BORROW AREAS - CONTRACTOR TO UPDATE AS NECESSARY DURING CONSTRUCTION.
 ** NO SINGLE DRAINAGE AREA EXCEEDS 10 ACRES, THEREFORE SEDIMENTATION BASIN IS NOT REQUIRED.

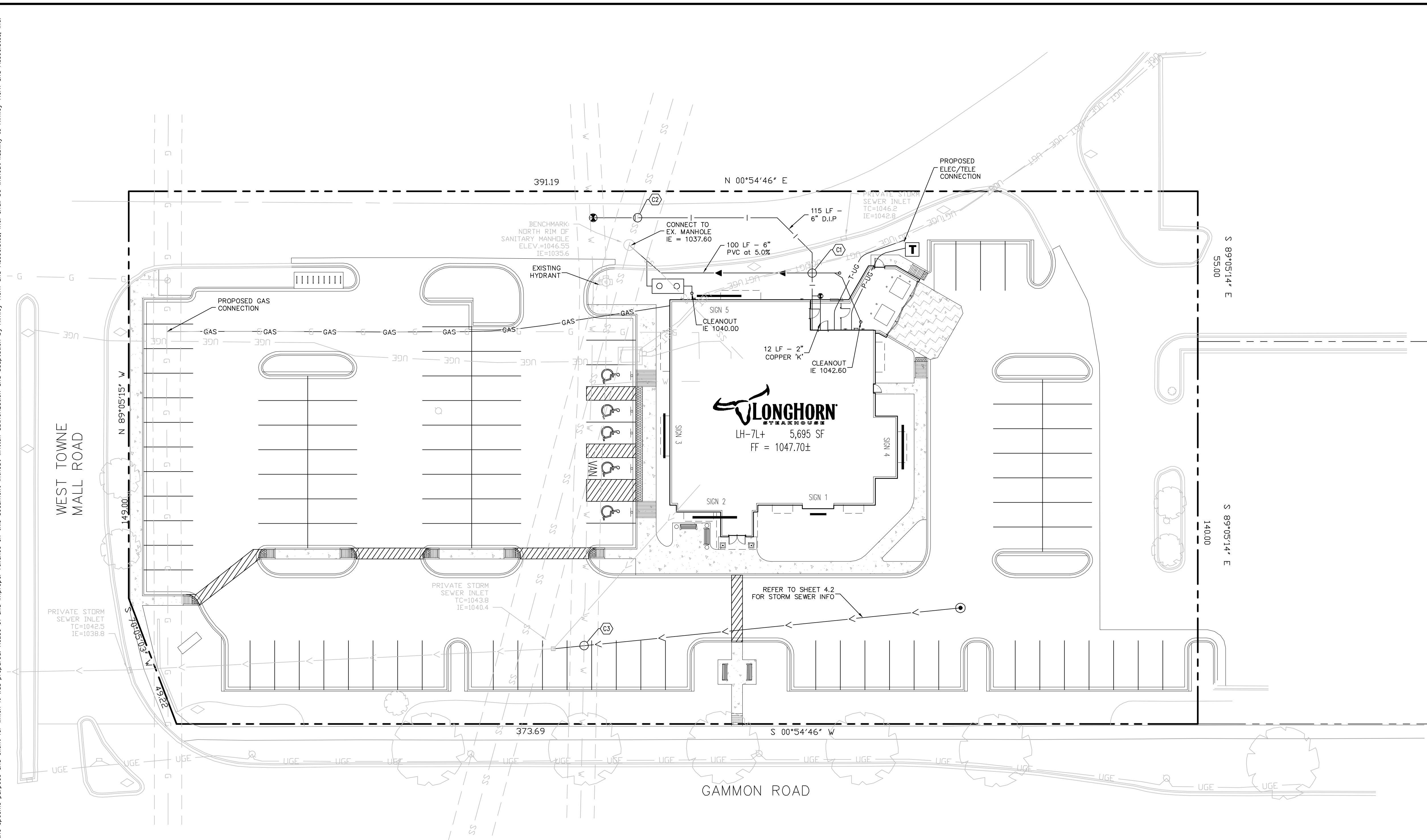
EROSION CONTROL SCHEDULE AND SEQUENCING:

I. ROUGH GRADING	CONSTRUCTION ENTRANCE/EXIT, SILT FENCE PROTECTION, AND STONE OVERFLOW STRUCTURES SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING, AS NEEDED.
II. UTILITY INSTALLATION	ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING UTILITY INSTALLATION. CURB INLET PROTECTION SHALL BE INSTALLED AS STORM DRAINAGE SYSTEM IS CONSTRUCTED.
III. PAVING	ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT.
IV. FINAL GRADING/SOIL STABILIZATION/LANDSCAPING	ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE CONCLUSION OF THE PROJECT AS DIRECTED BY THE CITY.

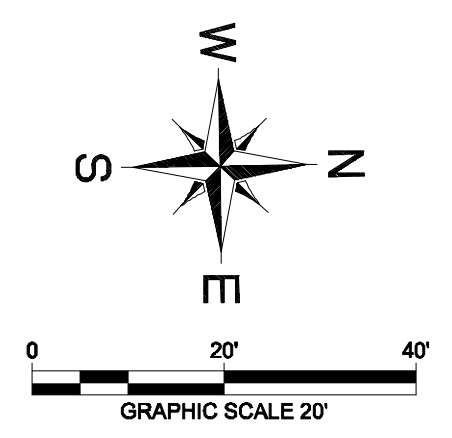
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EROSION CONTROL PLAN	SCALE: AS NOTED DESIGNED BY: JMM DRAWN BY: LES CHECKED BY: AMH
LONGHORN STEAKHOUSE MADISON, WISCONSIN WEST TOWNE MALL 418 S. GAMMON ROAD	DATE: 04/24/2009 KHA PROJECT NO. 168113000 SHEET NUMBER C-2.2

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LEGEND

W	EX. WATER LINE
SS	EX. SANITARY SEWER LINE
○	EX. SANITARY SEWER MANHOLE
—	EXISTING STORM DRAIN LINE
■	EX. STORM MANHOLE
P-UG	PROPOSED UNDERGROUND ELECTRIC LINE
GAS	GAS LINE (BY GAS COMPANY)
T-UG	PROPOSED PHONE LINE
—	PROPOSED STORM DRAIN LINE
●	PROPOSED STORM MANHOLE
—	PROPOSED SANITARY SEWER LINE
—	PROPOSED WATER LINE
⊗	PROPOSED WATER STRUCTURE

GENERAL UTILITY NOTES:

- ALL WATER LINES SHALL BE TYPE K COPPER FOR DOMESTIC OR DIP FOR FIRE UNLESS OTHERWISE LABELED, WITH 60" MINIMUM COVER.
- ALL SANITARY SEWER LINES SHALL BE PVC SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 36" MINIMUM COVER.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE VILLAGE OF MONTGOMERY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
- CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
- ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY TIE-IN AND GREASE TRAP LOCATIONS AT BUILDING.

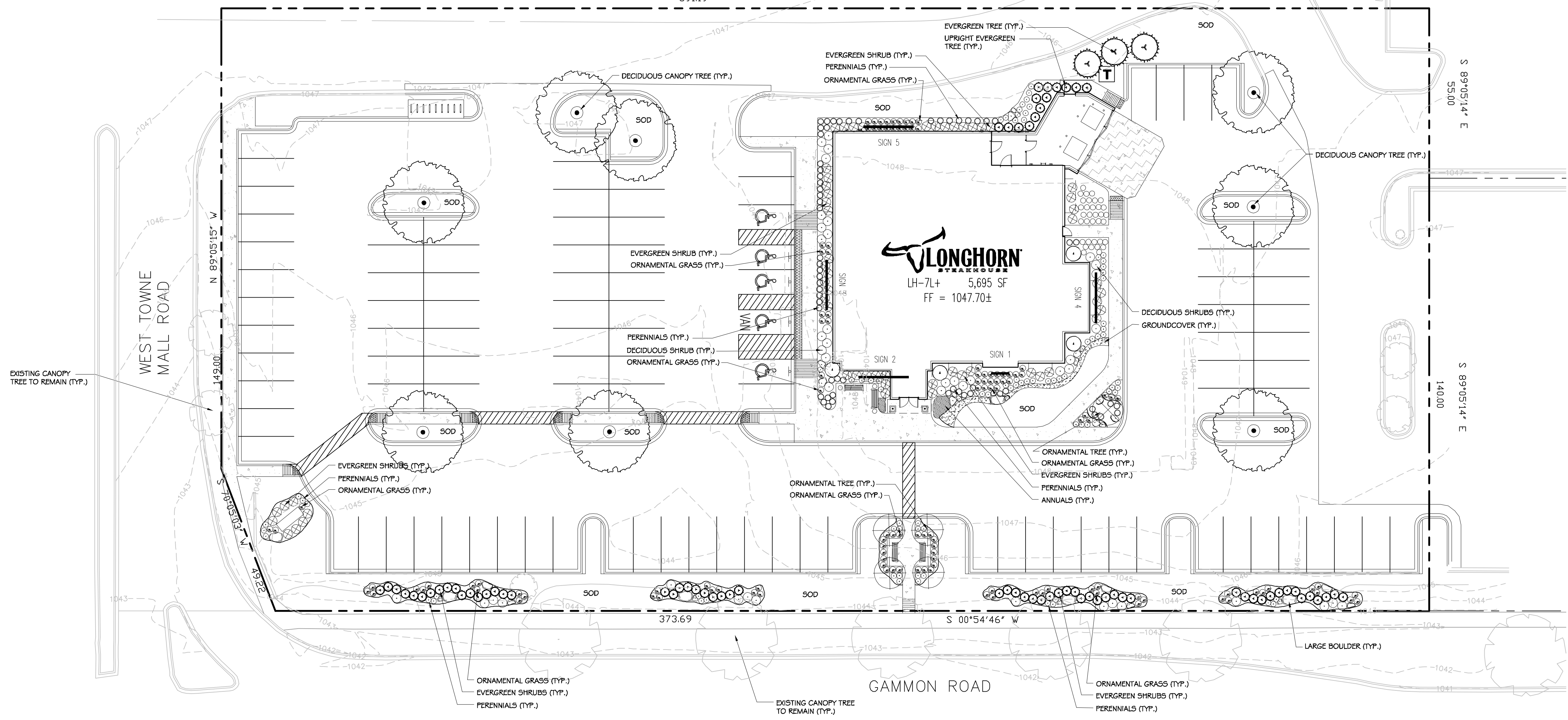
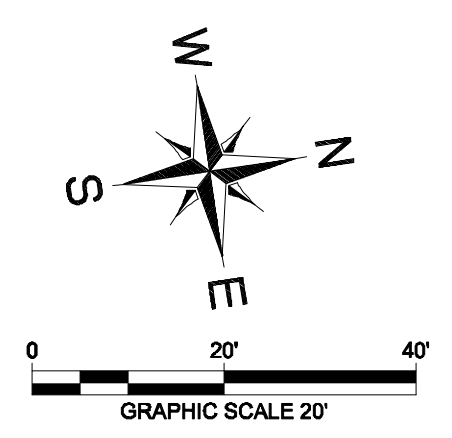
BENCHMARK:

NORTH RIM OF SANITARY MANHOLE
ELEV = 1035.6 (REFERENCE SURVEY)

<p>UTILITY PLAN</p>	<p>LONGHORN STEAKHOUSE MADISON, WISCONSIN WEST TOWNE MALL 418 S. GAMMON ROAD</p>						
<p>SCALE: AS NOTED</p> <p>DESIGNED BY: JMM</p> <p>DRAWN BY: LES</p> <p>CHECKED BY: A/H</p>	<p>DATE: 04/24/2009</p> <p>KHA PROJECT NO. 168113000</p> <p>SHEET NUMBER C-5.1</p>						
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<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	DATE	BY				
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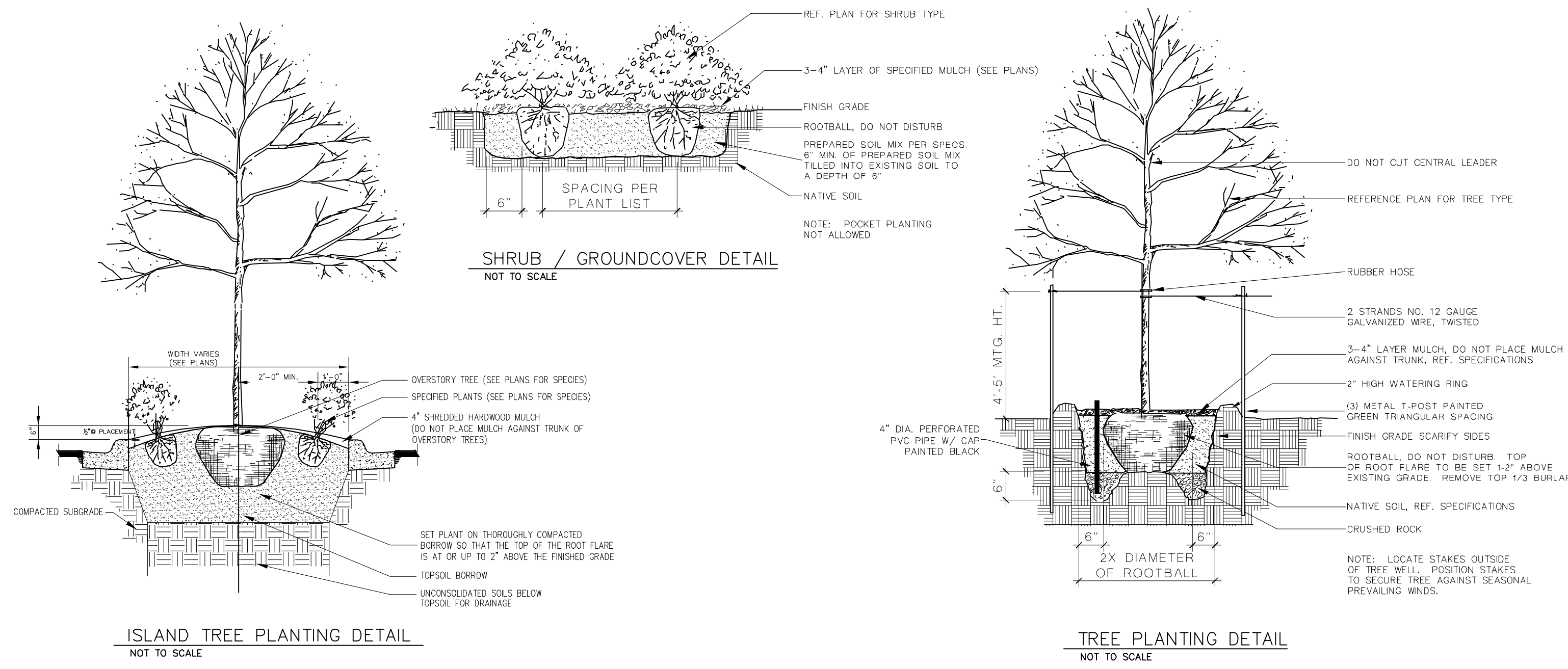
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- GENERAL LANDSCAPE NOTES:**
- CONTRACTOR SHALL CONTACT UTILITY LOCATE TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF AN PLANT OR LANDSCAPE MATERIAL.
 - FINAL LOCATION OF ALL PLANTING SHALL BE DETERMINED IN THE FIELD BY THE OWNER'S REPRESENTATIVE.
 - NO PLANT MATERIAL WILL BE INSTALLED UNTIL ALL GRADING A CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
 - ANY MODIFICATIONS TO PLANTING LAYOUT, PLANT MATERIALS, ETC. SHALL BE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER PRIOR TO EXECUTION.
 - SIZE AND GRADING STANDARDS OF PLANT MATERIAL SHALL CONFORM TO THE LATEST ADDITION OF ANSI Z60.1, AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
 - ALL PLANT MATERIALS SHALL BE WISCONSIN NURSERY GROWN STOCK AND SHALL BE FREE OF ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR DISFIGURED/CROOKED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED.
 - TREES NOT EXHIBITING A CENTRAL LEADER WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT LIST AS MULTI-STEM.
 - CONTRACTOR SHALL PROVIDE ONE YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS UPON WRITTEN ACCEPTANCE OF THE INITIAL PLANTING BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. REPLACEMENT PLANT MATERIALS SHALL ALSO HAVE A ONE YEAR GUARANTEE WHICH COMMENCES UPON INSTALLATION.
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL.
 - A MINIMUM OF 18" OF LOAM PLANTING SOIL SHALL BE USED WHEN PLANTING ALL TREES (SIDES OF HOLE).
 - WRAP ALL SMOOTH BARKED TREES AND FASTEN THE TOP AND BOTTOM OF THE WRAP (REMOVE BY APRIL 1).
 - PLANTS SHALL BE INSTALLED IMMEDIATELY UPON ARRIVAL TO SITE.
 - ALL TREES AND SHRUB BEDS SHALL BE MULCHED USING 3-4" OF PREMIUM SHREDDED HARDWOOD BARK MULCH (MULCH SHALL BE PLACED SO THAT IT DOES NOT TOUCH THE TRUNK OF THE PLANT).
 - ALL PERENNIAL AND GROUND COVER BEDS SHALL BE MULCHED USING 2" OF SHREDDED HARDWOOD BARK MULCH.
 - TREES SHALL BE PLANTED SO THAT THE ROOT CROWN/FLARE IS SET 2" ABOVE FINISHED GRADE. DO NOT USE THE EXISTING TOP OF THE ROOT BALL AS AN INDICATION OF THE LOCATION OF THE ROOT BALL.
 - CONTRACTOR SHALL REPAIR ALL DAMAGE TO PROPERTY WHICH RESULTS FROM THE PLANTING AND LANDSCAPE INSTALLATION AT NO COST TO THE OWNER.
 - APPLY A PRE-EMERGENT HERBICIDE TO ALL PLANTING AREAS, THAT WILL EFFECTIVELY CONTROL BROADLEAF AND GRASSY WEEDS, IMMEDIATELY AFTER PLANTING AND PRIOR TO INSTALLATION OF MULCH.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
 - CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
 - ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
 - ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
 - ALL LAWN AREAS TO BE SODDED WITH SOLID KENTUCKY BLUEGRASS BLEND, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

PLANT LIST:

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION	REMARKS
Tree: Deciduous Canopy					
8	Autumn Blaze Maple	Acer x freemanii 'Jeffersred'	3" cal.	B&B	Specimen
	Sugar Maple	Acer Saccharum 'Green Mountain'	3" cal.	B&B	Specimen
	Hackberry	Celtis occidentalis	3" cal.	B&B	Specimen
	Red Sunset Maple	Acer rubrum 'Franksred'	3" cal.	B&B	Specimen
	Littleleaf Linden	Tilia cordata 'Glenleven'	3" cal.	B&B	Specimen
	Swamp White Oak	Quercus bicolor	3" cal.	B&B	Specimen
Tree: Deciduous Ornamental					
5	Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	6' ht.	B&B	Clump, Specimen
	Redbud	Cercis canadensis	2" cal.	B&B	Standard, Specimen
	Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	2" cal.	B&B	Standard, Specimen
	Thomless Cockspur Hawthorn	Crataegus crus-galli inermis	2" cal.	B&B	Standard, Specimen
	River Birch	Betula nigra	6' ht.	B&B	Clump, Specimen
	Amur Maple	Acer ginnala	6' ht.	B&B	Clump, Specimen
Tree: Evergreen/Upright Evergreen					
17	Black Hills Spruce	Picea glauca 'Densata'	6' ht.	B&B	Full, Straight
	Techny Arborvitae	Thuja occidentalis 'Techny'	4' ht.	B&B	Full, Even
Shrubs: Deciduous					
47	Anthony Waterer Spirea	Spiraea x bumalda 'Anthony Waterer'	5 gal.	Cont.	Full, Even
	Compact American Cranberrybush Viburnum	Viburnum trilobum 'Compacta'	5 gal.	Cont.	Full, Even
	Annabelle Hydrangea	Hydrangea arborescens 'Annabelle'	5 gal.	Cont.	Full, Even
	Dwarf Korean Lilac	Syringa meyeri 'Palibini'	5 gal.	Cont.	Full, Even
	Dwarf Burning Bush	Euonymus alatus 'Compactus'	5 gal.	Cont.	Full, Even
	Isanti Dogwood	Cornus sericea 'Isanti'	5 gal.	Cont.	Full, Even
Shrubs: Evergreen					
117	Chicagoland Green Boxwood	Buxus x 'Glenco'	5 gal.	Cont.	Full, Even
	Taunton Yew	Taxus x media 'Tauntonii'	5 gal.	Cont.	Full, Even
Groundcovers: Perennials/Grasses/Groundcovers					
279	Feather Reed Grass	Calamagrostis 'Karl Foerster'	1 gal.	Cont.	Specimen
	Daylily	Hemerocallis spp.	1 gal.	Cont.	Specimen
	Liatris	Liatris spicata 'Kotbold'	1 gal.	Cont.	Specimen
	Nepeta	Nepeta x fissaneni 'Walker's Low'	1 gal.	Cont.	Specimen
	Hamelin Fountain Grass	Pennisetum alopecuroides 'Hamelin'	1 gal.	Cont.	Specimen
	Salvia	Salvia x superba 'Mainacht'	1 gal.	Cont.	Specimen
	Sedum	Sedum x 'Autumn Joy'	1 gal.	Cont.	Specimen
	Vinca	Vinca minor 'Dart's Blue'	Tray	Cont.	Specimen



LANDSCAPE LEGEND:

- SOD
- SEEDED/SODDED GREEN AREA
- KENTUCKY BLUEGRASS SOD
- STEEL EDGING

LANDSCAPE REQUIREMENTS:

- PARKING LOTS (NUMBER OF TREES REQUIRED)**
- PARKING SPACES: 104
- TREES REQUIRED: 8 CANOPY TREES
- PROVIDED: 8 CANOPY TREES
- (NUMBER OF LANDSCAPE POINTS REQUIRED)**
- REQUIRED: 470.0
- PROVIDED: 580.0 (SEE WORKSHEET)

PLANT LEGEND

- GROUND COVER (TYP.)
- SOD (TYP.)
- ANNUALS (TYP.)
- PERENNIALS (TYP.)
- DECIDUOUS SHRUBS (TYP.)
- EVERGREEN SHRUBS (TYP.)
- ORNAMENTAL GRASS (TYP.)
- DECIDUOUS CANOPY TREE (TYP.)
- ORNAMENTAL TREE (TYP.)
- EVERGREEN TREE (TYP.)

"PRELIMINARY"
 NOT FOR CONSTRUCTION

LONGHORN STEAKHOUSE
 MADISON, WISCONSIN
 WEST TOWNE MALL
 418 S. GAMMON ROAD

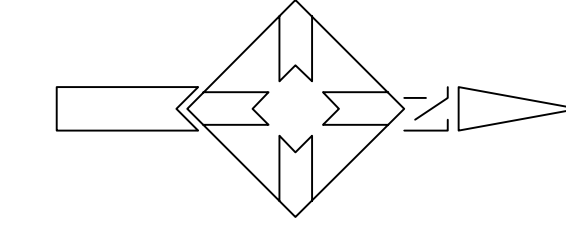
LANDSCAPING PLAN

DATE: 04/24/2009
 KHA PROJECT NO. 168113000
 SHEET NUMBER L-1.1

Kinley-Horn and Associates, Inc.
 205 West Wacker Drive, Suite 2125
 Chicago, IL 60606
 Phone: 312-726-9445
 Fax: 312-726-9449

REVISIONS: [Table with columns for No., Description, Date, By]

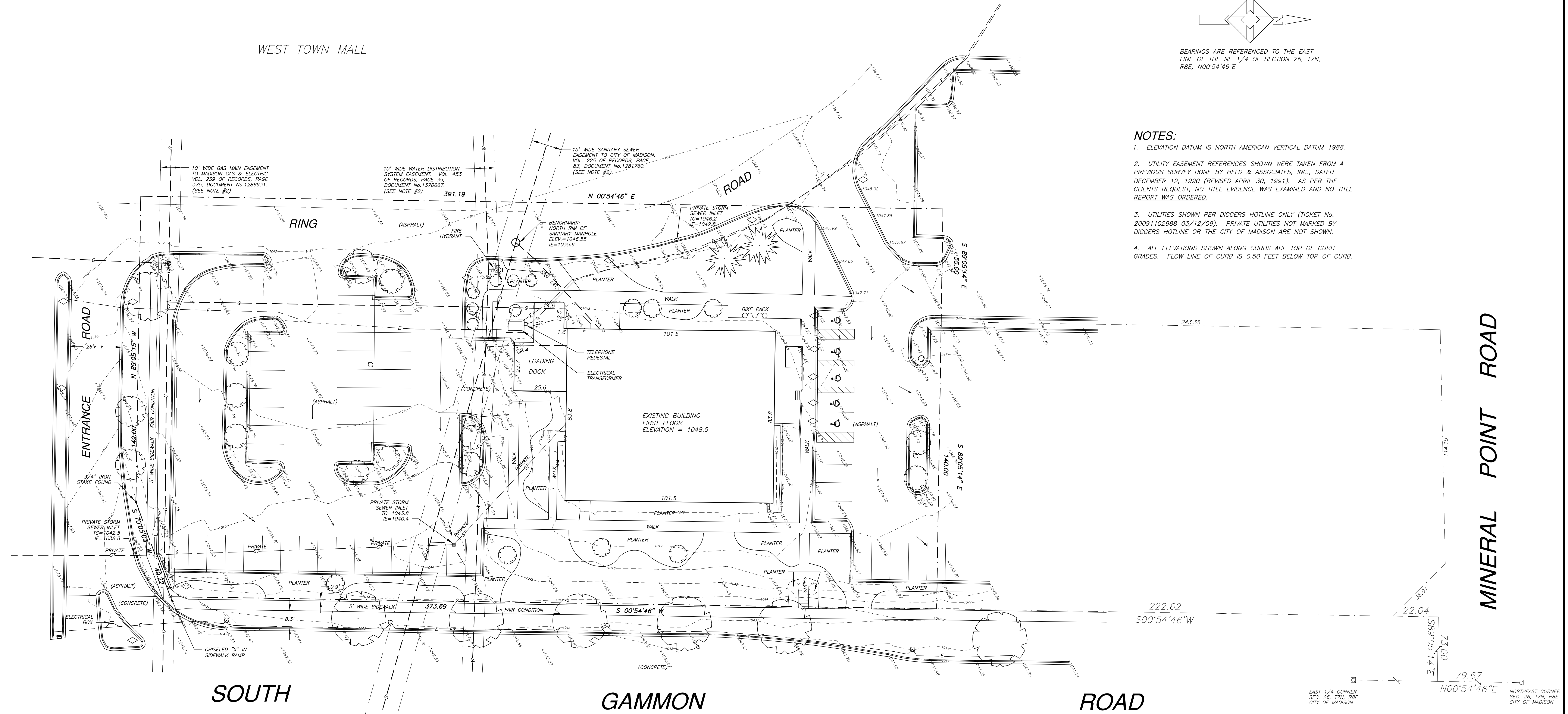
WEST TOWN MALL



BEARINGS ARE REFERENCED TO THE EAST LINE OF THE NE 1/4 OF SECTION 26, 17N, R8E, N00°54'46"E

NOTES:

- ELEVATION DATUM IS NORTH AMERICAN VERTICAL DATUM 1988.
- UTILITY EASEMENT REFERENCES SHOWN WERE TAKEN FROM A PREVIOUS SURVEY DONE BY HELD & ASSOCIATES, INC., DATED DECEMBER 12, 1990 (REVISED APRIL 30, 1991). AS PER THE CLIENTS REQUEST, NO TITLE EVIDENCE WAS EXAMINED AND NO TITLE REPORT WAS ORDERED.
- UTILITIES SHOWN PER DIGGERS HOTLINE ONLY (TICKET No. 20091102988 03/12/09). PRIVATE UTILITIES NOT MARKED BY DIGGERS HOTLINE OR THE CITY OF MADISON ARE NOT SHOWN.
- ALL ELEVATIONS SHOWN ALONG CURBS ARE TOP OF CURB GRADES. FLOW LINE OF CURB IS 0.50 FEET BELOW TOP OF CURB.



LEGEND:

- - LIGHT POLE
- ◇ - SIGN
- - CATCH BASIN
- × - WATER MAIN VALVE
- - GAS MAIN VALVE
- - GENERAL DIRECTION OF SURFACE DRAINAGE
- S— - SANITARY SEWER
- ST— - STORM SEWER
- W— - WATER MAIN
- E— - ELECTRICAL
- T— - TELEPHONE
- G— - GAS MAIN
- - -1045- - EXISTING CONTOUR (CONTOUR INTERVAL = 1')
- - SPOT ELEVATION
- - DECIDUOUS TREE (SYMBOL SIZE RELATIVE TO TREE SIZE)
- ☼ - CONIFEROUS TREE (SYMBOL SIZE RELATIVE TO TREE SIZE)
- - - - - PROPERTY LINE

PARCEL ADDRESS:

7017 MINERAL POINT ROAD
MADISON, WI 53719

PARCEL NUMBER:

0708-261-0086-3

PARCEL ZONING:

C3-L

PARCEL OWNER:

MADISON JOINT VENTURE
c/o JAMES J. CUDIN
3418 PELHAM PL.
AVON, OH 44011

LONGHORN STEAKHOUSE SITE			
SCALE: 1" = 20'	FOR: DARDEN RESTAURANTS, INC. 7400 BRICKERDALE ROW ORLANDO, FL 32809	DESIGN BY: TMH	REVISED:
DATE: 03/24/09			
SITE MAP TOPOGRAPHIC MAP			
HELD ENGINEERING ASSOCIATES, INC. 8601 GRAND TETON PLAZA MADISON, WI 53719	PHONE: (608) 833-7373 FAX: (608) 833-3527	DRAWING NUMBER:	10-163

BUILDING DESCRIPTION
 OCCUPANCY: A-2 RESTAURANT
 OCCUPANTY LOAD: 292
 CONSTRUCTION TYPE: VB - UNPROTECTED
 BASIC ALLOWABLE HEIGHT: ONE STORY, 40' MAX. HEIGHT
 ACTUAL HEIGHT: 23'-1" TOP OF PARAPET
 BASIC ALLOWABLE AREA: 6,000 S.F. (PER TABLE 503)
 AREA INCREASE W/AUTO SPRINKLER: 300% (PER SECTION 506.3) = 18,000 S.F.
 ACTUAL FLOOR AREA: 5,530 S.F.

OCCUPANT LOAD AND BUILDING AREA TABULATION

OCCUPANCY	SQUARE FEET	LOAD FACTOR	OCCUPANT LOAD
HOSTESS/WAITING	245 SF	5 (NET)	49
HOSTESS/WAITING - FIXED	--	--	15
DINING	1,479 SF	15 (NET)	99
DINING - FIXED	--	--	118
KITCHEN	1,717 SF	200	9
OFFICE	64 SF	100	1
MECHANICAL/ELECTRICAL	82 SF	300	1
TOTAL	3,587 SF		292 TOTAL

VESTIBULE	101 SF
DRY GOODS/CLOSET	59 SF
FREEZER/COOLER	226 SF
TRASH ENCLOSURE	574 SF
HALLWAY	111 SF
RESTROOMS	329 SF

GROSS TOTAL AREA 5,530 SF

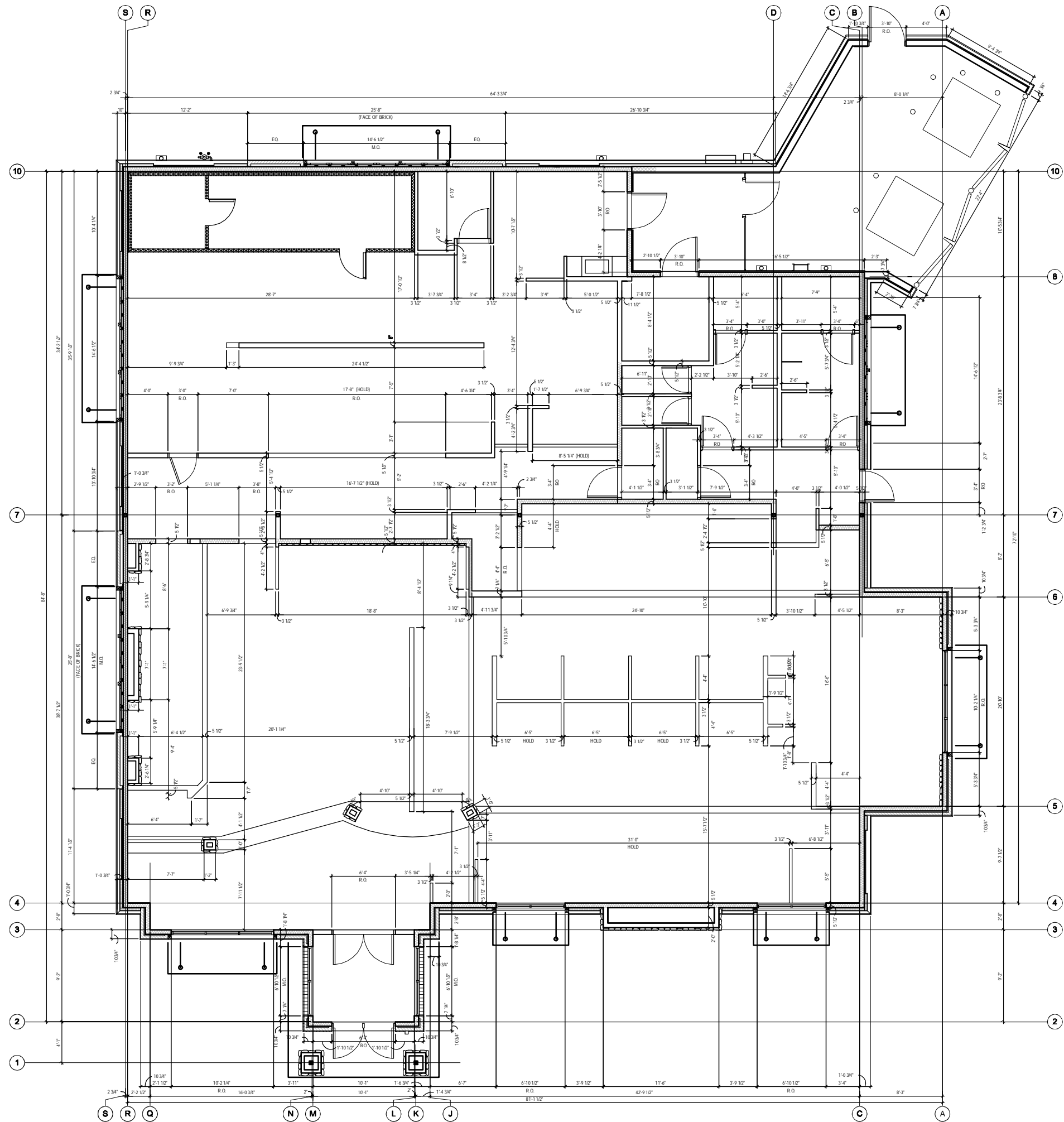
PLUMBING FIXTURES

REQUIRED	WC	UR	LAV	D.F.	SERVICE SINK
MEN	2	0	1		
WOMEN	2	-	1		
GENERAL				0	1
PROVIDED	WC	UR	LAV	D.F.	SERVICE SINK
MEN	1	2	2		
WOMEN	3	-	2		
GENERAL				0	1

TABLE TOP AND SEATING COUNTS

TYPE	PARTIES	SEATS	%
BAR			
BARSTOOLS	-	14	
4 TOPS	5	20	
6 TOPS	3	18	
BAR TOTAL	8	52	26%
DINING			
4 TOPS	35	140	
6 TOPS	2	12	
DINING TOTAL	37	152	74%
BUILDING TOTAL	45	204	

ACCESSIBILITY REQUIREMENTS
 204 TOTAL SEATING
 REQUIRED: 5% TOTAL SEATING (11 SEATS)
 PROVIDED: 12 ACCESSIBLE TABLES



USER: SWETHINGTON PLOTTED: 4/23/2009 - 6:20 PM S:\21661.000\05Arch-Int\Docs\X01base_21661.dwg LAYOUT: floor plan



311 Elm Street Suite 600
 Cincinnati, OH 45202
 513 241 3000
 www.frch.com



ISSUE INFORMATION

4.24.09

REVISIONS

PROJECT INFORMATION

LONGHORN
 MADISON, WI
 418 S. Gammon Road
 Madison, WI 53719

PROJECT #:
 21661.000

SHEET INFORMATION

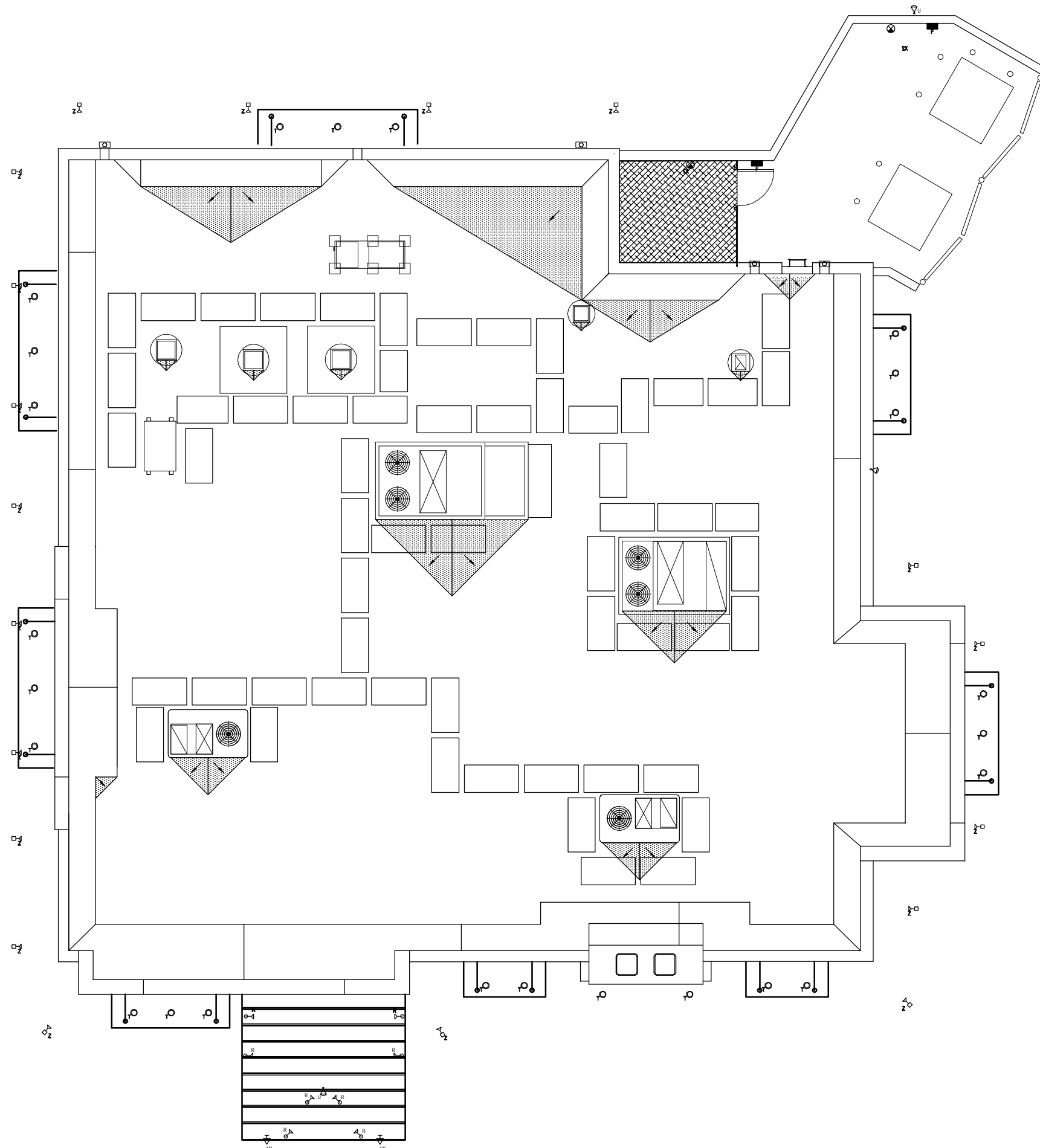
Dimensioned Floor Plan
 and Building Data

DRAWN BY:
 S. Welington
 REVIEWED BY:

SCALE:
 3/32" = 1'-0"
 AUTHORIZED FOR:
 Owner Use

A1.1

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NOTE
EACH AWNING WILL HAVE THE SAME QUANTITY OF "T" UPLIGHT FIXTURE AS "V" DOWNLIGHT FIXTURES AS SHOWN IN PLAN

LIGHTING LEGEND		
SYMBOL	MARK	DESCRIPTION
	F	EXTERIOR WALL MOUNTED LIGHT
	M1	DECORATIVE LIGHT FIXTURE
	R	EXTERIOR SPOT LIGHT
	T	EXTERIOR UP LIGHT
	U	EMERGENCY LIGHTING REMOTE HEAD
	V	EXTERIOR DOWNLIGHT
	X2	EXTERIOR EXIT LIGHT
	Z	EXTERIOR SPOT - VERIFY LOCATION WITH LANDSCAPE PLAN

FRCH
Design Worldwide
311 Elm Street Suite 600
Cincinnati, OH 45202
513 241 3000
www.frch.com



ISSUE INFORMATION
4.24.09

REVISIONS

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PROJECT INFORMATION
LONGHORN
MADISON, WI
418 S. Gammon Road
Madison, WI 53719
PROJECT #:
21661.000

SHEET INFORMATION
Roof Plan & Exterior Lighting Plan
DRAWN BY:
S. Wehington
REVIEWED BY:
SCALE:
3/32" = 1'-0"
AUTHORIZED FOR:
Owner Use

A3.1



ISSUE INFORMATION

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT INFORMATION

LONGHORN
MADISON, WI
418 S. Gammon Road
Madison, WI 53719

PROJECT #:
21661.000

SHEET INFORMATION

EXTERIOR ELEVATIONS

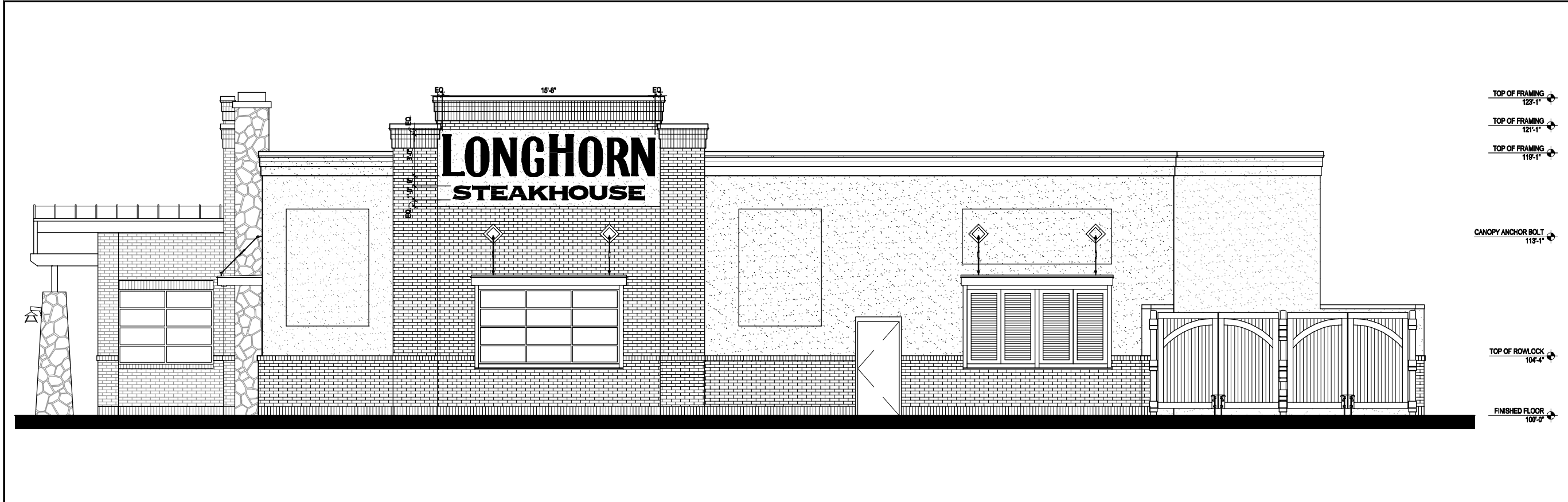
DRAWN BY:
S. Weithington
REVIEWED BY:

SCALE:
1/8" = 1'-0"
AUTHORIZED FOR:
Owner Use

A5.1



H1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



A1 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



ISSUE INFORMATION

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT INFORMATION

LONGHORN
MADISON, WI
418 S. Gammon Road
Madison, WI 53719

PROJECT #:
21661.000

SHEET INFORMATION

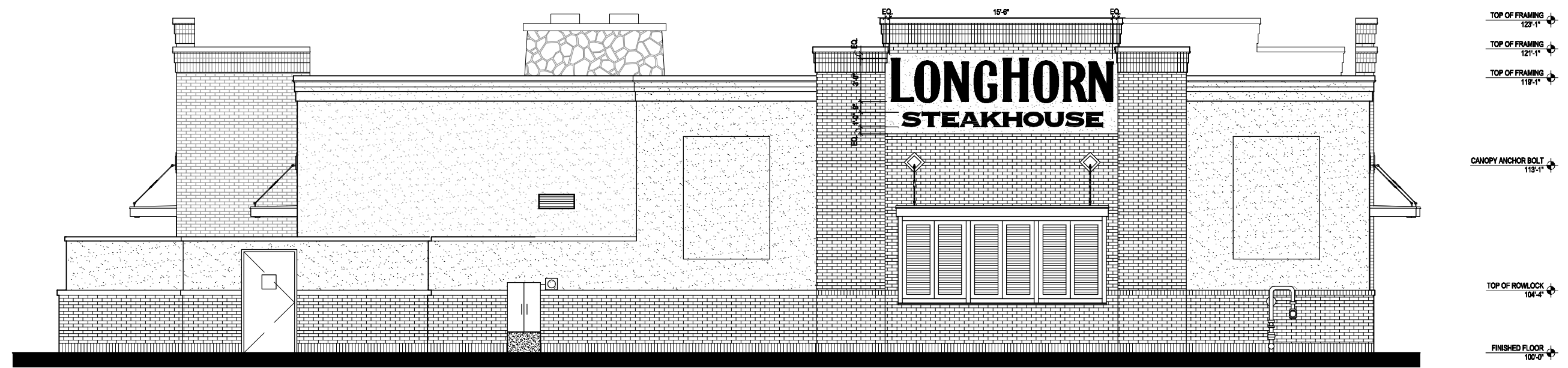
EXTERIOR ELEVATIONS

DRAWN BY:
S. Welthington
REVIEWED BY:

SCALE:
1/8" = 1'-0"
AUTHORIZED FOR:
Owner Use

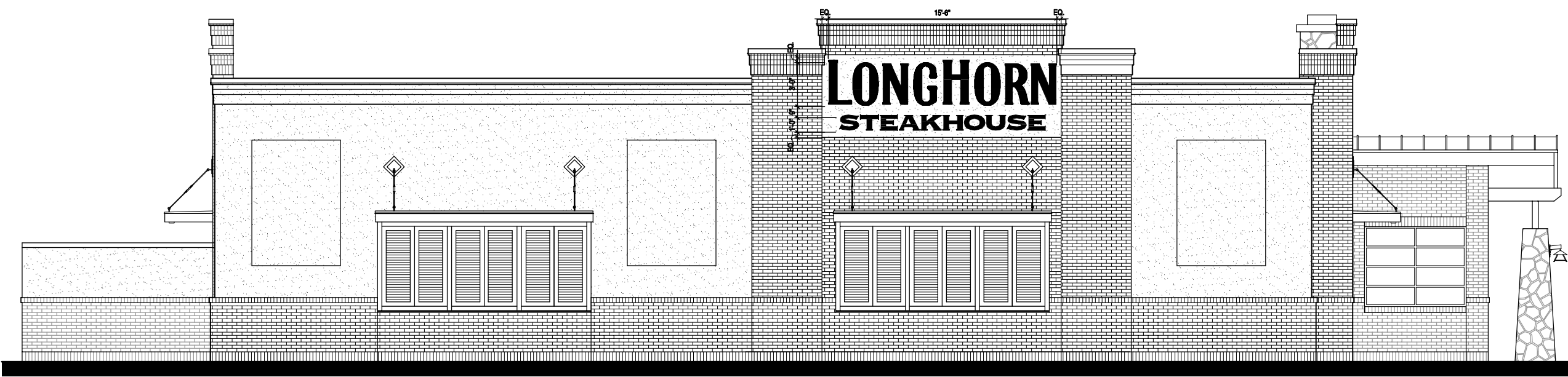
A5.2

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H1 REAR ELEVATION

SCALE:
1/8" = 1'-0"



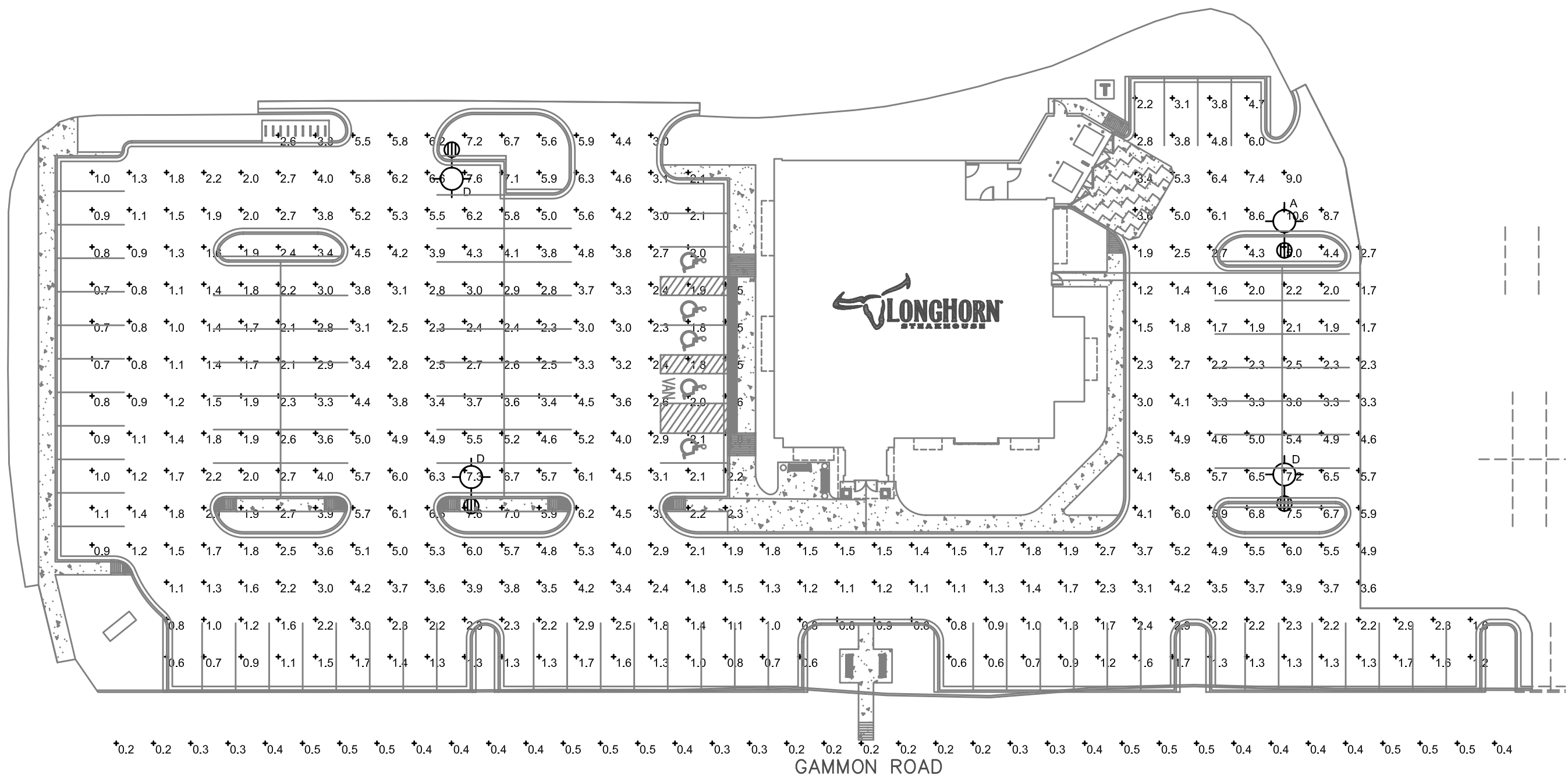
A1 LEFT ELEVATION

SCALE:
1/8" = 1'-0"

USER: SWETHINGTON PLOTTED: 4/23/2009 - 7:39 PM S:\21661.000\05Arch-IntDocs\A5.1_21661.dwg LAYOUT: A5.2 11X17



WEST TOWNE WALL ROAD



STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Gammon Rd.	+	0.4 fc	0.5 fc	0.2 fc	2.5:1	2.0:1
Parking Lot	+	3.1 fc	10.6 fc	0.6 fc	17.7:1	5.2:1

LUMINAIRE SCHEDULE										
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts	Pole Ht.
	D	3	H26-1-1000MH	CLEAR FLAT GLASS LENS	CLEAR 1000MH	GS110M.IES	107800	0.72	1080	35'-0"
	A	1	H26-FM-1000MH	CLEAR FLAT GLASS LENS	CLEAR 1000MH	GSFM10M.IES	107800	0.72	1080	35'-0"

ISSUE INFORMATION	
April 23, 2009	
REVISIONS	
△	

PROJECT INFORMATION	
LONGHORN	
MADISON, WI	
418 S. Gammon Road Madison, WI 53719	
PROJECT #:	9173.00

SHEET INFORMATION	
DRAWN BY:	L. Felhauer
REVIEWED BY:	R. Hill
SCALE:	1" = 30'-0"
AUTHORIZED FOR:	Owner Use

