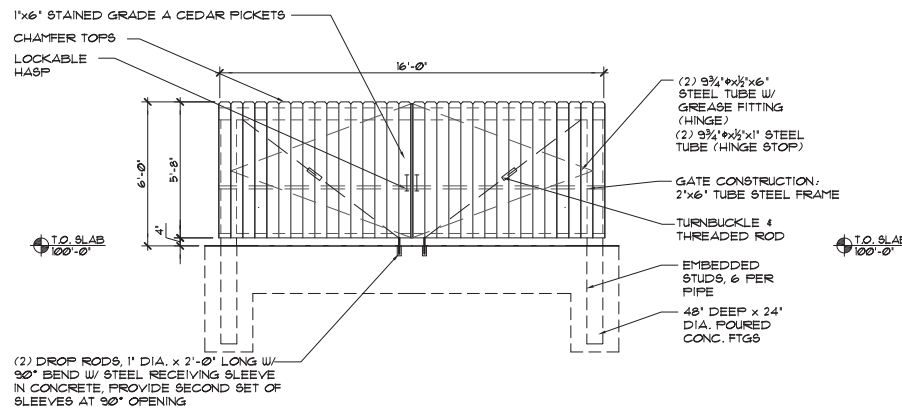
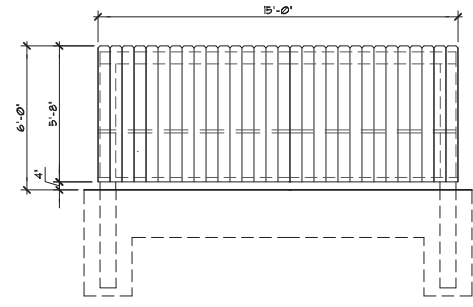




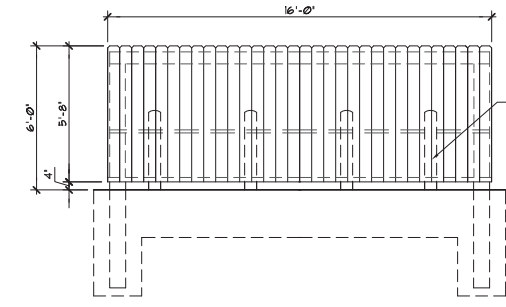
GARY BRINK & ASSOCIATES  
ARCHITECTS  
8401 EXCELSIOR DRIVE  
MADISON, WI 53717  
608-829-1750  
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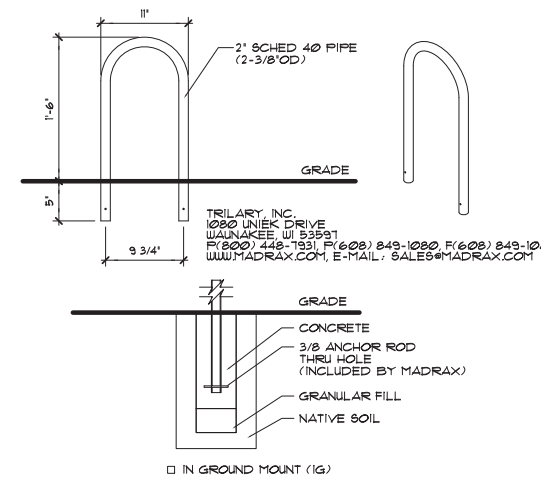
1 TRASH ENCLOSURE - FRONT ELEVATION (SOUTH)  
SCALE: 1/4"=1'-0"



2 TRASH ENCLOSURE EAST & WEST ELEVATIONS  
SCALE: 1/4"=1'-0"

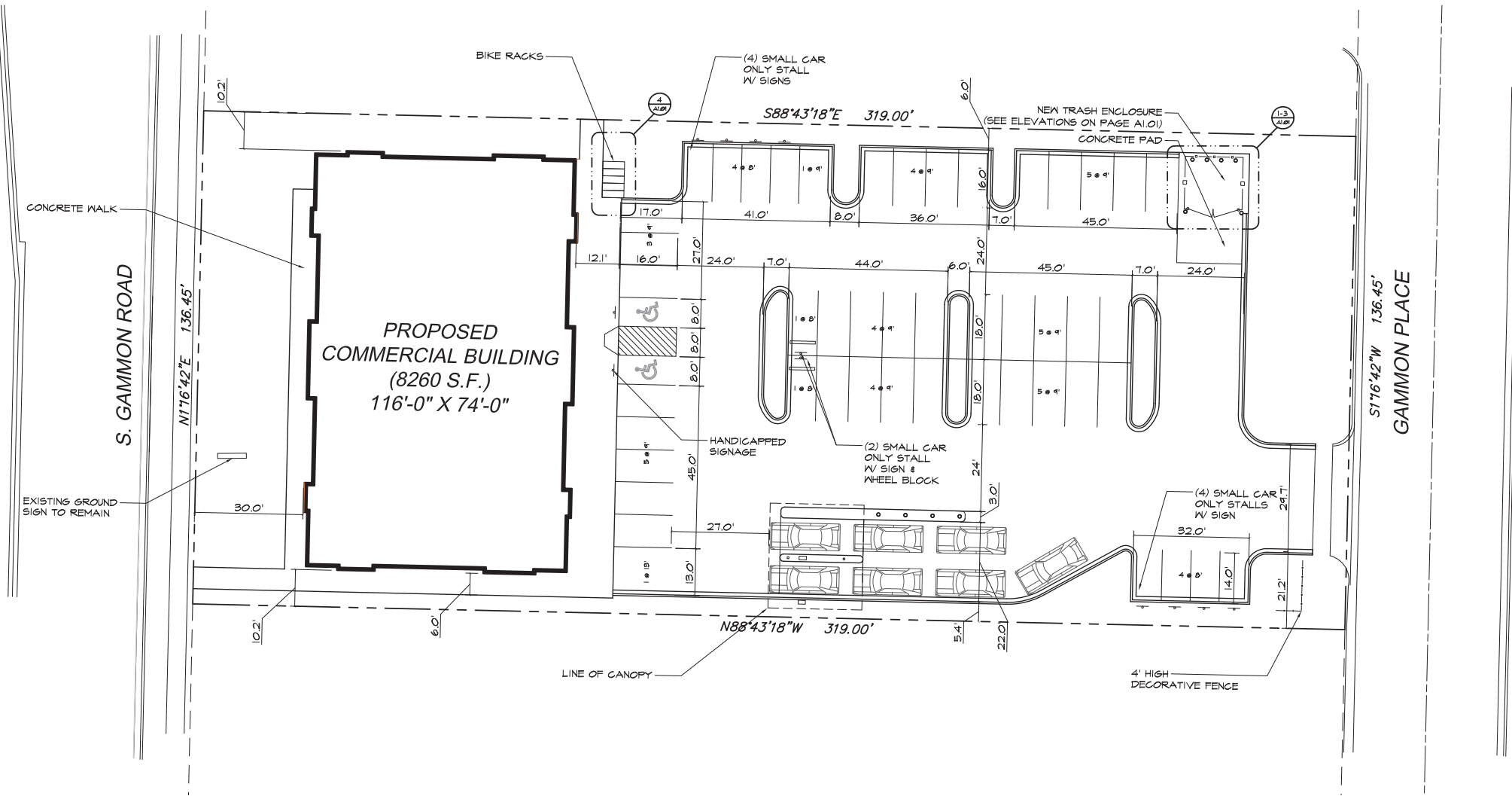


3 TRASH ENCLOSURE - BACK ELEVATION (NORTH)  
SCALE: 1/4"=1'-0"



4 DETAIL - TYPICAL BIKE RACK  
SCALE: NONE  
PRODUCT: CHP-3-1G(8F&G)  
DESCRIPTION: CHALLENGER PLUS BIKE RACK  
3 BIKE, IN-GROUND MOUNT

SITE INFORMATION BLOCK	
Site Address	420 GAMMON PLACE
Site coverage (total)	59 ACRES (41,528 SF)
Number of building stories (above grade)	1
Building height	
DLR type of construction (new structures or additions)	SA
Total square footage of building	8,268 SF
Lot coverage	36.3
Useable open space	24.5
Use of property	MULTI-TENANT RETAIL
Gross square feet of office	
Gross square feet of retail area	
Number of employees in workspace	
Number of employees in production	
Capacity of restaurant/office of assembly	
Number of bicycle stalls shown	5
Number of Parking stalls:	SHOWN
Small Car	19
Large Car	37
Accessible	2
Total	49
Number of trees shown	(See Landscape Plan)



SITE PLAN  
SCALE: 1" = 20'

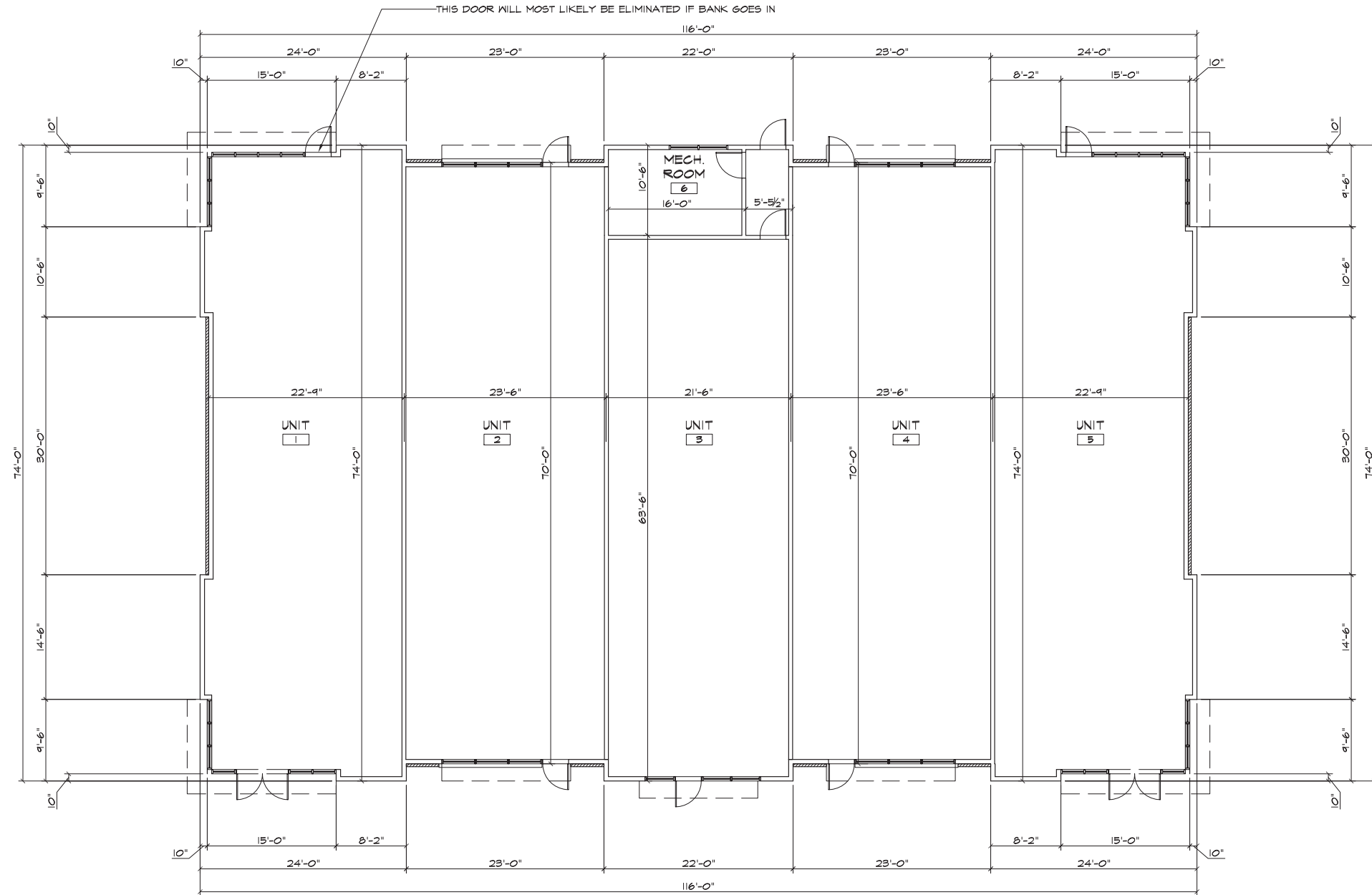


PROJECT: 420 GAMMON PLACE  
420 GAMMON PLACE  
MADISON, WI 53719  
CLIENT: PARK TOWNE DEVELOPMENT  
402 GAMMON PLACE, SUITE 300  
MADISON, WI 53719

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PROJECT: 201211  
DRAWN BY: KD  
DATE:  
SCALE: AS NOTED  
PRELIMINARY 05.23.2013  
SUBMITTAL 06.05.2013



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FLOOR PLAN  
1/8" = 1'-0"



PROJECT: 420 GAMMON PLACE  
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MADISON, WI 53719  
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MADISON, WI 53719

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DRAWN BY: KD

DATE:

SCALE: AS NOTED

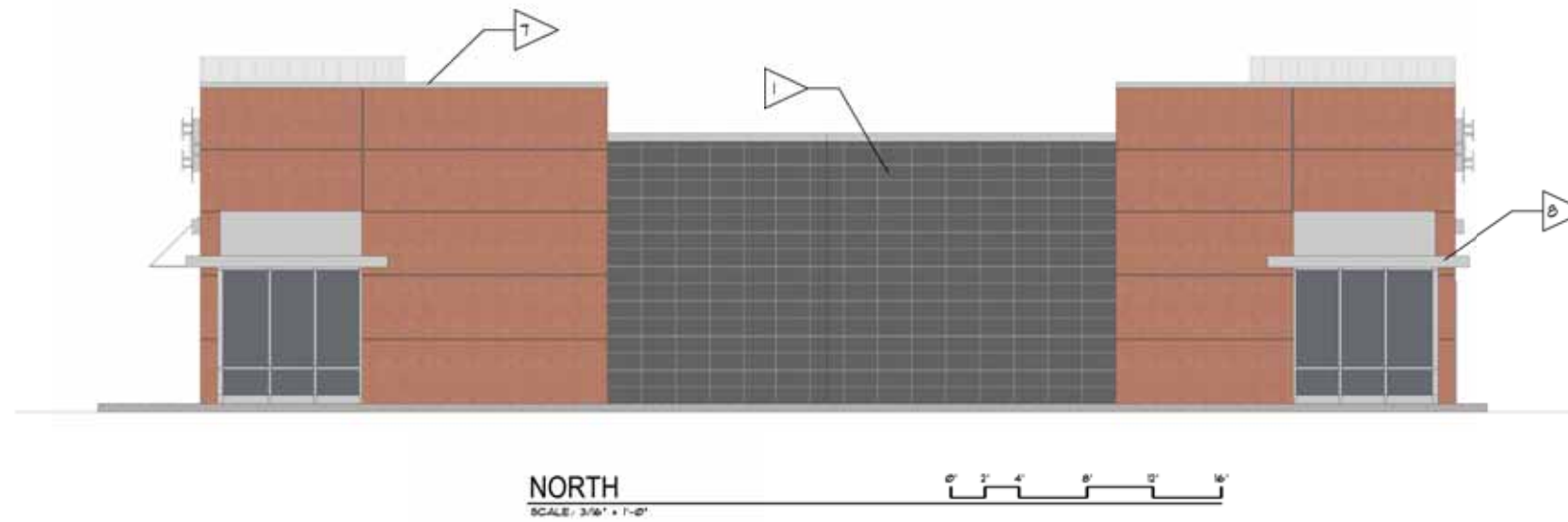
PRELIMINARY 05.23.2013

SUBMITTAL 06.05.2013



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XX EXTERIOR ELEVATION KEY NOTES	
1	12" X 24" LARGE FORMAT, BURNISHED ARCHITECTURAL BLACK IN STACK BOND
2	8" WIDE FLAT FACE STEEL FLUSH PANELS IN SILVER FINISH
3	ALUMINUM COMPOSITE PANELS
4	24 GA. PRE-FINISHED STEEL FASCIA, SILVER FINISH
5	CANVAS AWNING
6	PRE-FINISHED COMPOSITE PANEL, ROUTE AND REVEAL W/ 1-1/2" WIDE REVEAL
7	24 GA STEEL COPING, SILVER FINISH
8	24" PROJECTING METAL CLAD EYEBROWS
9	ALUMINUM STOREFRONT IN CLEAR ANODIZED FINISH, ALL GLASS



PROJECT: 420 GAMMON PLACE  
420 GAMMON PLACE  
MADISON, WI 53719  
CLIENT: PARK TOWNE DEVELOPMENT  
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MADISON, WI 53719

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PROJECT: 201211  
DRAWN BY: KD  
DATE:  
SCALE: AS NOTED  
PRELIMINARY: 06-23-2010  
SUBMITTAL: 06-09-2010

EXTERIOR  
ELEVATIONS

A6.01

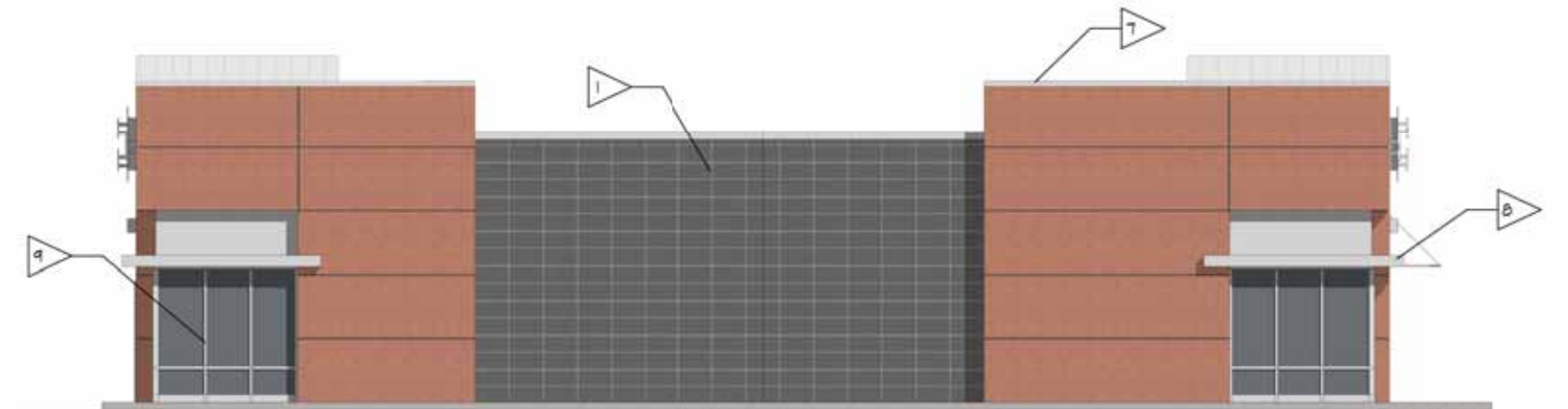


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8	24" PROJECTING METAL CLAD EYEBROW
9	ALUMINUM STOREFRONT IN CLEAR ANODIZED FINISH, ALL GLASS



WEST  
SCALE: 3/16" = 1'-0"



SOUTH  
SCALE: 3/16" = 1'-0"

PROJECT: 420 GAMMON PLACE  
420 GAMMON PLACE  
MADISON, WI 53719  
CLIENT: PARK TOWNE DEVELOPMENT  
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MADISON, WI 53719

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DATE:  
SCALE: AS NOTED  
PRELIMINARY: 06.23.2010  
SUBMITTAL: 06.29.2010





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PROJECT: 420 GAMMON PLACE  
420 GAMMON PLACE  
MADISON, WI 53719  
CLIENT: PARK TOWNE DEVELOPMENT  
402 GAMMON PLACE, SUITE 300  
MADISON, WI 53719

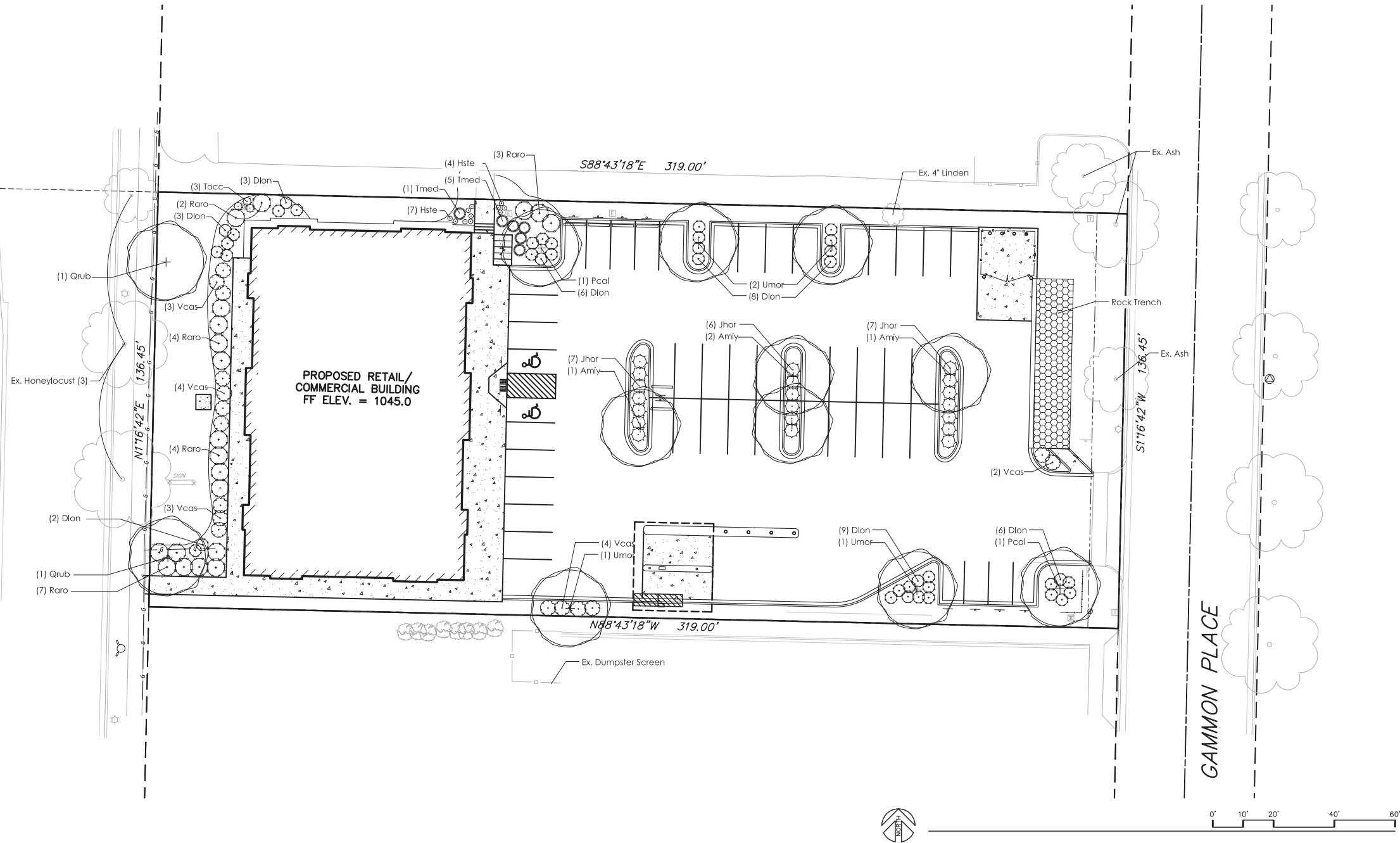
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PROJECT: 201211  
DRAWN BY: SVIN  
DATE:  
SCALE: AS NOTED  
PRELIMINARY 06.05.2013

LANDSCAPE  
PLAN

L1.0

SOUTH GAMMON ROAD



Plant List						
key	qty.	botanical name	common name	planting size	root cond.	mature size
<b>shade trees</b>						
Amly	4	<i>Acer miyabei</i> 'Morton'	State Street Maple	2.5" cal.	B&B	50' x 40'
Pcal	2	<i>Pyrus calleryana</i> 'Cleveland Select'	Cleveland Select Pear	2.5" cal.	B&B	35' x 15'
Qrub	2	<i>Quercus rubra</i>	Red Oak	2.5" cal.	B&B	w/ native
Umor	4	<i>Ulmus</i> 'Morton Glossy'	Triumph Elm	2.5" cal.	B&B	55' x 45'
<b>deciduous shrubs</b>						
Dlon	37	<i>Diervilla lonicera</i>	Dwarf Bush-Honeysuckle	#5	cont.	3' x 4'
Raro	20	<i>Rhus aromatica</i> 'Gro-low'	Gro-low Sumac	#5	cont.	30' x 6'
Vcas	16	<i>Viburnum cassinoides</i>	Witherod Viburnum	#5	cont.	4' x 5'
<b>evergreen shrubs</b>						
Jhor	20	<i>Juniperus horizontalis</i> 'Wisconsin'	Wisconsin Juniper	#5	cont.	8" x 5'
Tmed	6	<i>Taxus x media</i> 'Everlow'	Everlow Yew	#5	cont.	30' x 4'
Tocc	3	<i>Thuja occidentalis</i> 'Holmstrup'	Holmstrup Arb	5' ht.	cont.	14' x 3'
<b>perennials</b>						
Hste	11	<i>Hemerocallis</i> 'Stella d'Oro'	Stella D'Oro Daylily	#1	cont.	18" x 18"

**LANDSCAPING REQUIREMENTS: CITY OF MADISON**

Total Developed Area: 43,527.6 SF  
Developed Area / 300 SF= 145.1 Landscape Units  
Landscape Units x 5 landscape points = 725.5 Total Points Required

Credit for Existing Landscape: 105 Points  
Overstory Deciduous Tree: 3 x 35 points = 105

Total for Proposed Landscape: 675 Points  
Overstory Deciduous Tree: 12 x 35 points = 420  
Ornamental Tree: 0 x 15 points = 0  
Evergreen Tree: 0 x 15 points = 0  
Deciduous Shrub: 73 x 2 points = 146  
Evergreen Shrub: 29 x 3 points = 87  
Perennial: 11 x 2 points = 22

Total Points Provided: 780 Points

**GENERAL NOTES:**

- All plantings shall conform to quality requirements as per ANSI Z60.1.
- All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climactic conditions similar to those of the project site.
- Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
- All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by Olds Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
- All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
- Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
- Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min.
- Landscape beds to be edged with black vinyl edging, Black Diamond or equal.
- Protect existing trees from damage due to construction activity.

# PROPOSED COMMERCIAL BUILDING

FOR



420 GAMMON PLACE  
MADISON, WI 53719

## CONCEPTUAL RENDERING



## SHEET INDEX

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C2.0	DEMOLITION PLAN
C3.0	SITE UTILITY PLAN
C4.0	GRADING AND EROSION CONTROL PLAN
C5.0	CONSTRUCTION DETAILS
C6.0	CONSTRUCTION DETAILS
C7.0	CONSTRUCTION DETAILS
L1.0	LANDSCAPE PLAN
ARCHITECTURAL	
A1.01	SITE PLAN AND DETAILS
A2.01	FLOOR PLAN
A6.01	BUILDING ELEVATIONS
A6.02	BUILDING ELEVATIONS



GARY BRINK & ASSOCIATES  
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608-829-1750  
608-829-3056 (FAX)

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FAX: 608.833.1792  
CONTACT: MIKE RING  
EMAIL: miker@parktowne.com

**ARCHITECT :**  
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EMAIL: gary@garybrink.com

**CIVIL ENGINEER :**  
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FAX: 608.826.0530  
CONTACT: JEFFREY QUAMME  
EMAIL: jqva@vierbicher.com

**LANDSCAPE ARCHITECT:**  
VEIRBICHER  
999 FOURIER DRIVE, SUITE 201  
MADISON, WISCONSIN 53717  
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FAX: 608.826.0530  
CONTACT: SUZANNE VINCENT  
EMAIL: svin@vierbicher.com

**GENERAL CONTRACTOR:**  
ENGINEERED CONSTRUCTION  
525 COMMERCE PARKWAY  
VERONA, WI 53593  
PHONE: 608.845.7930  
CONTACT: DAVE LOMBARDO

## PROJECT LOCATION



### GENERAL PROJECT NOTES:

1. THE CONTRACTORS SHALL REVIEW THE DRAWING(S), SPECIFICATIONS (WHEN INCLUDED) AND UNDERSTAND THE SCOPE OF THE DRAWINGS TO BE THE FOLLOWING: THE DOCUMENTS (DRAWINGS, SPECIFICATIONS, ADDENDUMS, ETC.) INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPTS, THE DIMENSION OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE MAJOR STRUCTURAL ELEMENTS AND SYSTEMS. THE DOCUMENTS DO NOT AND ARE NOT INTENDED TO INDICATE OR DESCRIBE ALL THE WORK REQUIRED FOR FULL PERFORMANCE OF, AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED HEREIN, THE CONTRACTOR AND CONTRACTOR'S SUB-CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
2. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS ENCOUNTERED. NO ADDITIONAL COMPENSATION WILL BE CONSIDERED FOR ITEMS THAT WERE VISIBLE OR COULD HAVE BEEN ANTICIPATED AT TIME OF BID. THE CONTRACTOR SHALL FOLLOW AND OBEY ALL FEDERAL, STATE AND LOCAL CODES, LAWS, SAFETY REGULATIONS, ACCESSIBILITY/ADA AND HAZARDOUS WASTE LAWS, ETC. THE WORK SHALL BE PERFORMED IN AN INDUSTRY APPROVED, WORKMANLIKE MANNER. GENERAL CONTRACTOR SHALL OBTAIN, PROCURE AND PAY FOR ALL PERMITS, LICENSES, AND INSPECTION FEES AND SHALL COMPLY WITH REQUIREMENTS OF LICENSING AGENCIES. TEMPORARILY BRACE THE STRUCTURE AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY UNTIL THE WORK IS COMPLETE AND FUNCTIONING PER THE DESIGN INTENT IN ACCORDANCE WITH THE GENERALLY ACCEPTED CONSTRUCTION PRACTICES. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
3. THESE DRAWINGS AND SPECIFICATIONS (WHEN INCLUDED) FROM ALL DISCIPLINES ARE COOPERATIVE AND COMPLEMENTARY AND WORK TOGETHER AS A WHOLE. NO DISCIPLINES' DOCUMENTS CONTAIN ALL OF THE REQUIRED INFORMATION FOR ANY ONE TRADE. ALL CONTRACTORS & SUPPLIERS WILL NEED TO CROSS REFERENCE THE DOCUMENTS OF VARIOUS DISCIPLINES TO GAIN COMPLETE UNDERSTANDING OF ALL WORK REQUIRED FOR THE PROJECT.
4. THE DRAWINGS, SPECIFICATIONS, ADDENDUMS, ETC. INDICATE WHAT IS TO BE INCLUDED IN THE BASE BID. MODIFICATIONS FROM THE CONTRACT DOCUMENTS SHOULD BE INDICATED AS AN ALTERNATE AND SHOULD INCLUDE THE EXTRA COST OR CREDIT ASSOCIATED WITH THE MODIFICATION AS WELL AS ANY OTHER PERTINENT INFORMATION SUCH AS REQUIRED TIME EXTENSIONS, MODIFICATIONS REQUIRED TO ANOTHER TRADES SCOPE DUE TO THE PROPOSED MODIFICATION, ETC.
5. ALL MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, FIRE ALARM ARE TO HAVE A SERVICE CENTER LOCATED WITHIN A 100 MILE RADIUS OF THE JOB SITE. IT IS THE RESPONSIBILITY OF EACH RESPECTIVE TRADE TO ENSURE ALL ASPECTS OF WORK COMPLY WITH ALL APPLICABLE LAWS, COVENANTS, CODES ORDINANCES, RULES, REGULATIONS, RESTRICTIONS, ETC. WHICH IMPACT THE USE OF THE FACILITY.
6. PRODUCT DATA AND/OR SHOP DRAWINGS SHALL BE SUBMITTED TO TENANT/ARCHITECT FOR APPROVAL ON ALL FINISHES & FURNISHING.

PROJECT: 420 GAMMON PLACE  
420 GAMMON PLACE  
MADISON, WI 53719  
CLIENT: PARK TOWNE DEVELOPMENT  
402 GAMMON PLACE, SUITE 300  
MADISON, WI 53719

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PROJECT: 201211  
DRAWN BY: KOD  
DATE:  
SCALE: AS NOTED  
SUBMITTAL 06.05.2013

COVER SHEET  
AND PROJECT  
CONTACTS

T1





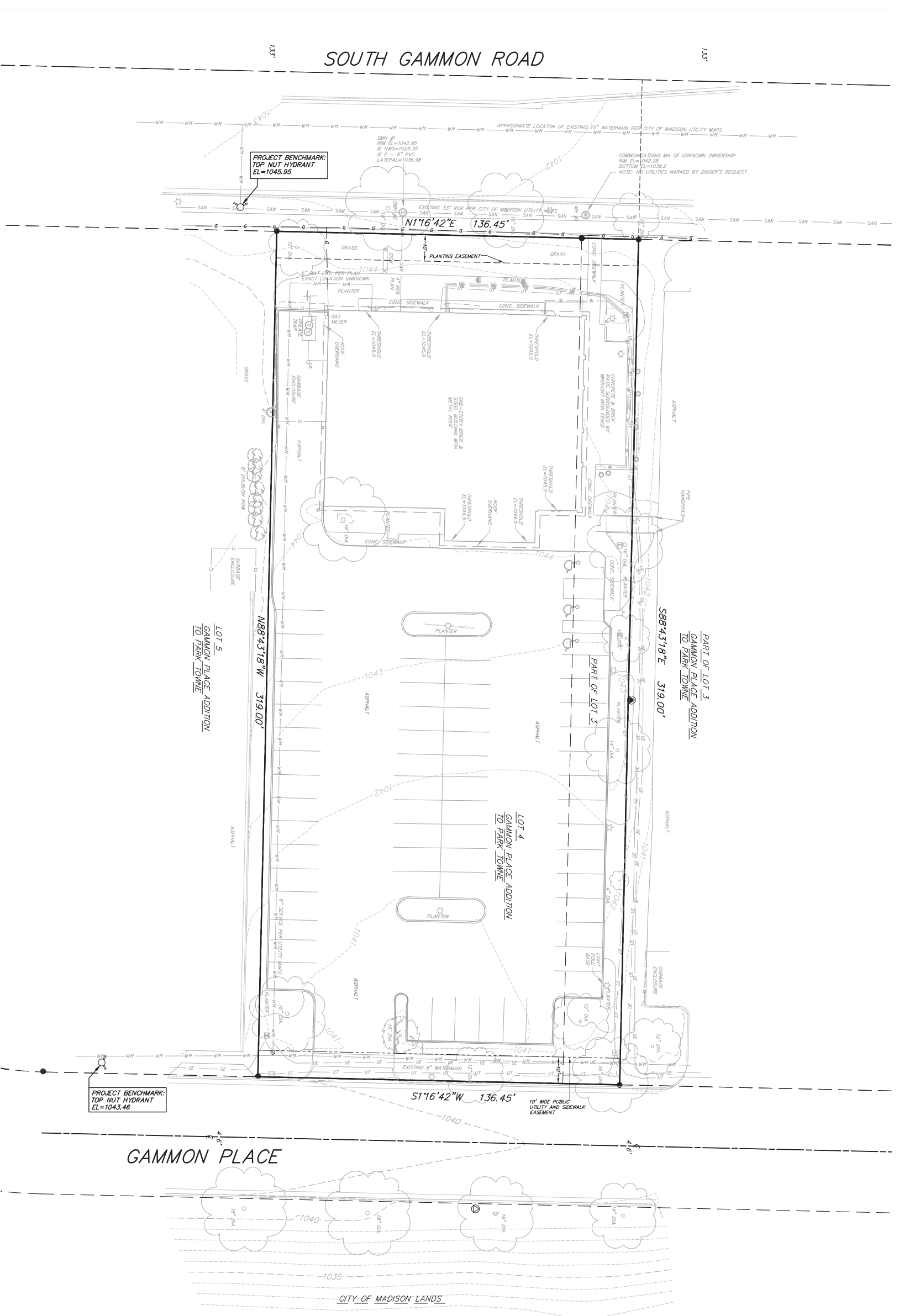
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PROJECT:  
**420 GAMMON PLACE**  
420 GAMMON PLACE  
MADISON, WI 53719  
CLIENT:  
**PARK TOWNE DEVELOPMENT**  
402 GAMMON PLACE, SUITE 300  
MADISON, WI 53719

PROJECT: 201211  
DRAWN BY: DEHL  
DATE:  
SCALE: AS NOTED  
PRELIMINARY 06.05.2013



**TOPOGRAPHIC LINEWORK LEGEND**

UTV	EXISTING UNDERGROUND CABLE TV
FO	EXISTING FIBER OPTIC LINE
UT	EXISTING UNDERGROUND TELEPHONE
*	EXISTING GENERAL FENCE
G	EXISTING WOOD FENCE
6	EXISTING UNDERGROUND ELECTRIC LINE
OE	EXISTING OVERHEAD ELECTRIC LINE
OSM	EXISTING SANITARY SEWER LINE (SIZE NOTED)
WM	EXISTING WATER MAIN (SIZE NOTED)
820	EXISTING MAJOR CONTOUR
818	EXISTING MINOR CONTOUR

**TOPOGRAPHIC SYMBOL LEGEND**

○	EXISTING BOLLARD
○	EXISTING SIGN (TYPE NOTED)
○	EXISTING SANITARY CLEANOUT
○	EXISTING SANITARY MANHOLE
○	EXISTING FIRE HYDRANT
○	EXISTING STANDPIPE
○	EXISTING WATER MAIN VALVE
○	EXISTING CURB STOP
○	EXISTING GAS VALVE
○	EXISTING AIR CONDITIONING PEDESTAL
○	EXISTING DOWN GUY
○	EXISTING ELECTRIC MANHOLE
○	EXISTING ELECTRIC PEDESTAL
○	EXISTING TRANSFORMER
○	EXISTING GUY POLE
○	EXISTING LIGHT POLE
○	EXISTING GENERIC LIGHT
○	EXISTING UTILITY POLE
○	EXISTING TELEPHONE PEDESTAL
○	EXISTING UNIDENTIFIED MANHOLE
○	EXISTING HANDICAP PARKING
○	EXISTING SHRUB
○	EXISTING CONIFEROUS TREE
○	EXISTING DECIDUOUS TREE



NOTES:  
1) THIS MAP WAS PREPARED BY THE ARCHITECT AND ENGINEER FOR THE CLIENT AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT AND ENGINEER.  
2) THIS MAP WAS COMPILED FROM DATA USING GPS AND REBORIC TOTAL STATION. IT IS REFERENCED TO THE MISSOURI VERTICAL DATUM (MVD) 88 AS PER CITY OF MADISON 11-17 REBAR MOMENTUM FORMER LOCATED IN THE NORTHERN LANE OF SOUTH GAMMON ROAD JUST NORTH OF THE BELTLINE HWY. ELEV=1078.55  
3) ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED PER MARKINGS PLACED ON THE GROUND OR MAPS PROVIDED BY THE CLIENT. THE ARCHITECT AND ENGINEER DOES NOT WARRANT THESE LOCATIONS AND MARKINGS ARE MARKED OR IDENTIFIED BY THE CLIENT.  
4) FIELD WORK FOR THIS MAP WAS COMPLETED BY 5-15-13. ANY CHANGES AFTER THIS DATE ARE NOT REFLECTED ON THIS MAP

**EXISTING CONDITIONS PLAN**  
**C1.0**



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**PARK TOWNE DEVELOPMENT**

**PROJECT: 420 GAMMON PLACE**

420 GAMMON PLACE  
MADISON, WI 53719

CLIENT:

**PARK TOWNE DEVELOPMENT**  
402 GAMMON PLACE, SUITE 300  
MADISON, WI 53719

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PROJECT: 201211

DRAWN BY: DEHL

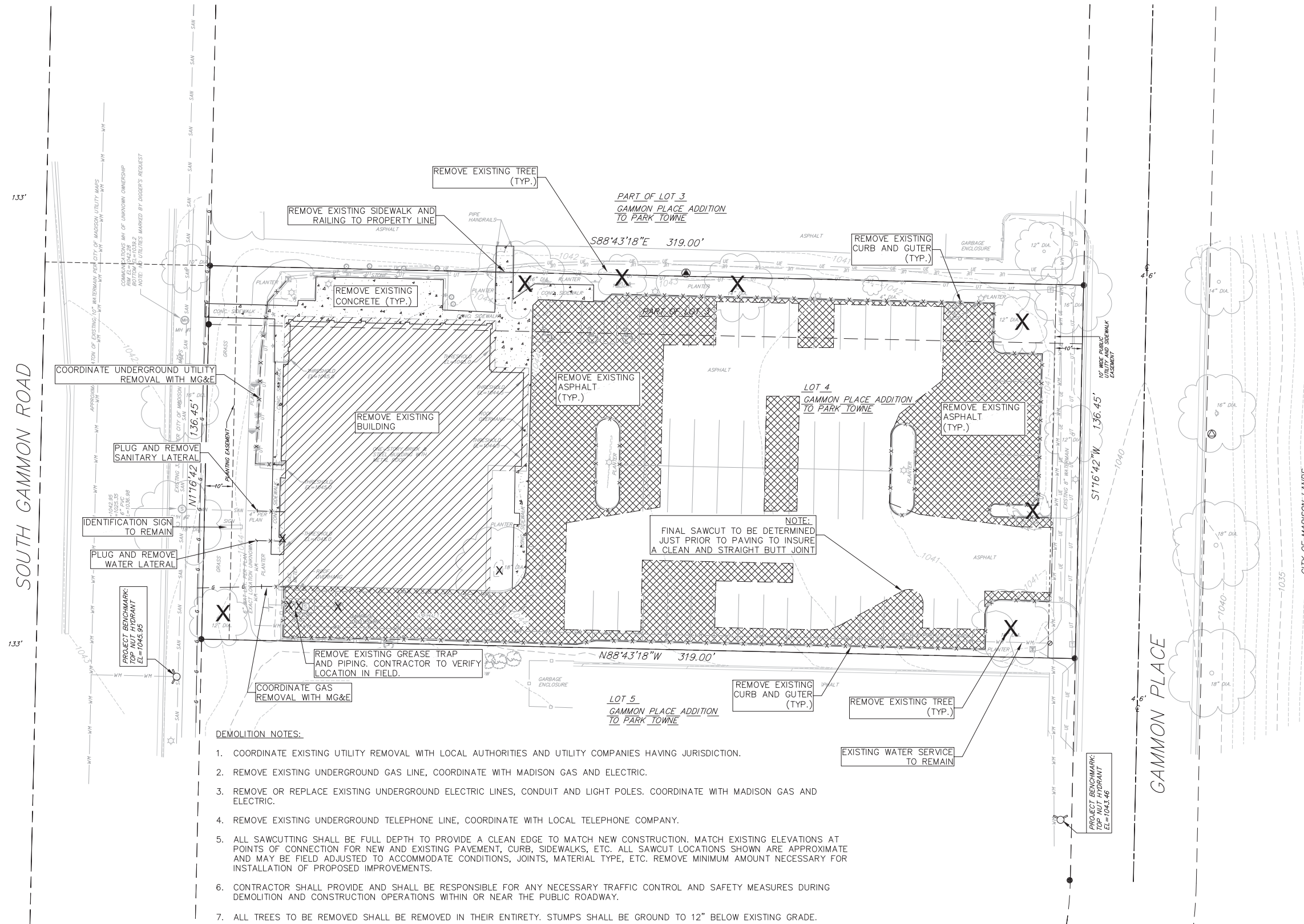
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SCALE: AS NOTED

PRELIMINARY 06.05.2013

**DEMOLITION PLAN**

**C2.0**

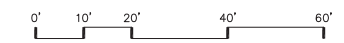


**DEMOLITION NOTES:**

- COORDINATE EXISTING UTILITY REMOVAL WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- REMOVE EXISTING UNDERGROUND GAS LINE, COORDINATE WITH MADISON GAS AND ELECTRIC.
- REMOVE OR REPLACE EXISTING UNDERGROUND ELECTRIC LINES, CONDUIT AND LIGHT POLES. COORDINATE WITH MADISON GAS AND ELECTRIC.
- REMOVE EXISTING UNDERGROUND TELEPHONE LINE, COORDINATE WITH LOCAL TELEPHONE COMPANY.
- ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
- CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
- ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. STUMPS SHALL BE GROUND TO 12" BELOW EXISTING GRADE.
- PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
- ALL DEMOLISHED MATERIAL TO BE REMOVED FROM SITE UNLESS NOTED AS SALVAGE OR AS DIRECTED BY OWNER.
- ASPHALT AND CONCRETE DEMOLITION TO INCLUDE CURB AND GUTTER DEMOLITION WITHIN PROPERTY BOUNDARY. SEE SAWCUT FOR ASPHALT REMOVAL LIMITS.
- CONCRETE DEMOLITION TO INCLUDE STOOP DEMOLITION
- REMOVE ALL EXISTING BOLLARDS WITHIN PROPERTY BOUNDARY.
- REMOVE ALL EXISTING LIGHT POLES AND CONCRETE BASES WITHIN PROPERTY BOUNDARY.
- REMOVE EXISTING BUILDINGS AND ATTACHMENTS, INCLUDING FOUNDATIONS.
- REMOVE PLANTERS
- PLUG AND ABANDON EXISTING WATER SERVICE AT LOCATION SHOWN AND REMOVE REMAINDER OF PIPE ON SITE. CONTACT WATER UTILITY PRIOR TO REMOVING WATER METER,
- OBTAIN SANITARY PLUG PERMIT AND COORDINATE WITH CITY ENGINEERING PRIOR TO SEWER LATERAL PIPE REMOVAL.
















**DEMOLITION PLAN LEGEND**

- CURB AND GUTTER REMOVAL
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- BUILDING REMOVAL
- TREE REMOVAL
- SAWCUT
- UTILITY STRUCTURE REMOVAL
- UTILITY LINE REMOVAL





**PROPOSED LEGEND**

-  PROPERTY BOUNDARY
-  18" CURB AND GUTTER (ALL REVERSE)
-  18" RIBBON CURB
-  PROPOSED FENCE
-  PROPOSED CONCRETE
-  PROPOSED LIGHT-DUTY ASPHALT
-  PROPOSED SIGN
-  PROPOSED LIGHT POLE
-  PROPOSED BOLLARD
-  PROPOSED ADA DETECTABLE WARNING FIELD
-  PROPOSED HANDICAP PARKING
-  PROPOSED PIPE INSULATION
-  SANITARY SEWER LATERAL PIPE
-  WATER SERVICE LATERAL PIPE
-  ROOF DRAIN

**ABBREVIATIONS**

STMH	-	STORM MANHOLE
FI	-	FIELD INLET
CI	-	CURB INLET
CB	-	CATCH BASIN
EW	-	ENDWALL
SMH	-	SANITARY MANHOLE



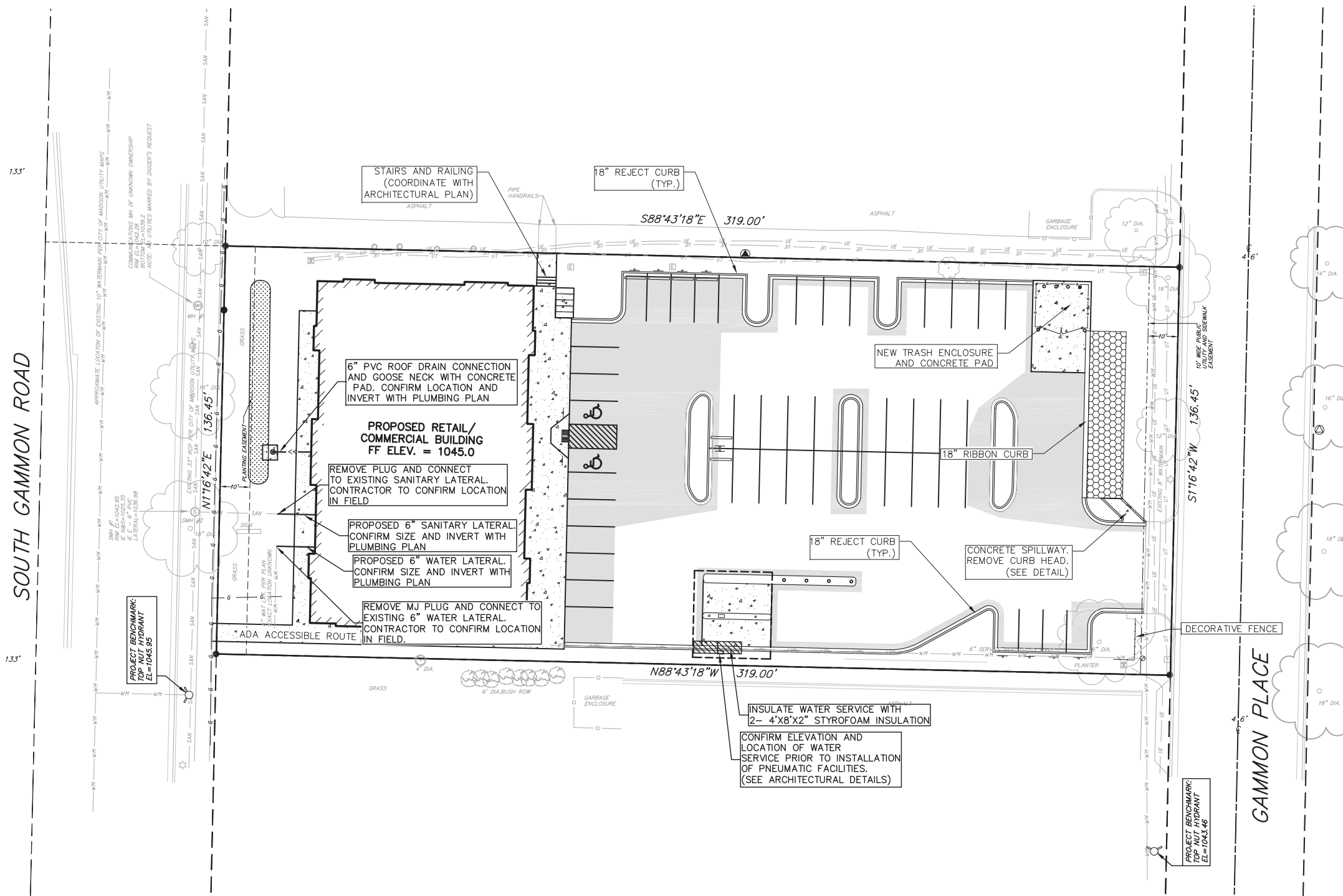
CALL DIGGER'S HOTLINE  
1-800-242-8511  
TOLL FREE

TELEFAX: 1-800-338-3860  
TDC (FOR HEARING IMPAIRED):  
1-800-542-2289

WIS. STATUTE 182.0175 (1979)  
REQUIRES MINIMUM OF 3 WORKING DAYS  
NOTICE BEFORE YOU EXCAVATE.

**SITE AND UTILITY NOTES:**

1. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF DSPS AND OTHER LOCAL INSPECTORS.
2. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO SPS 384.
3. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.
4. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.
5. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO.
6. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
7. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
8. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
10. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
11. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
12. ALL DIMENSIONS GIVEN ARE TO FACE OF CURB OR EDGE OF ASPHALT WHEN CURB IS ABSENT.
13. CONTRACTOR TO SUBMIT CONCRETE JOINT PATTERNS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.



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999 Fourter Drive, Suite 201 - Madison, Wisconsin 53717  
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**PROJECT:** 420 GAMMON PLACE  
420 GAMMON PLACE  
MADISON, WI 53719  
**CLIENT:** PARK TOWNE DEVELOPMENT  
402 GAMMON PLACE, SUITE 300  
MADISON, WI 53719

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**PROJECT:** 201211  
**DRAWN BY:** DEHL  
**DATE:**  
**SCALE:** AS NOTED  
**PRELIMINARY** 06.05.2013

**SITE UTILITY PLAN**

**C3.0**



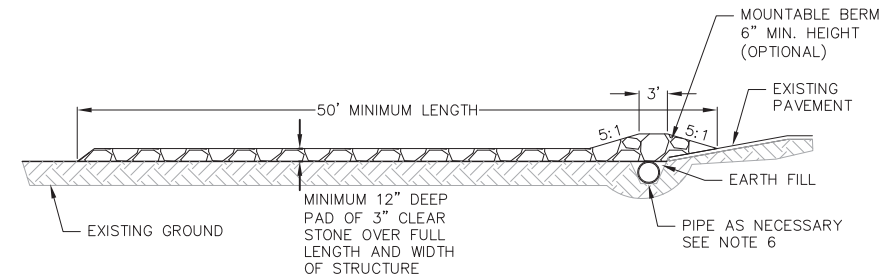


# EROSION CONTROL MEASURES

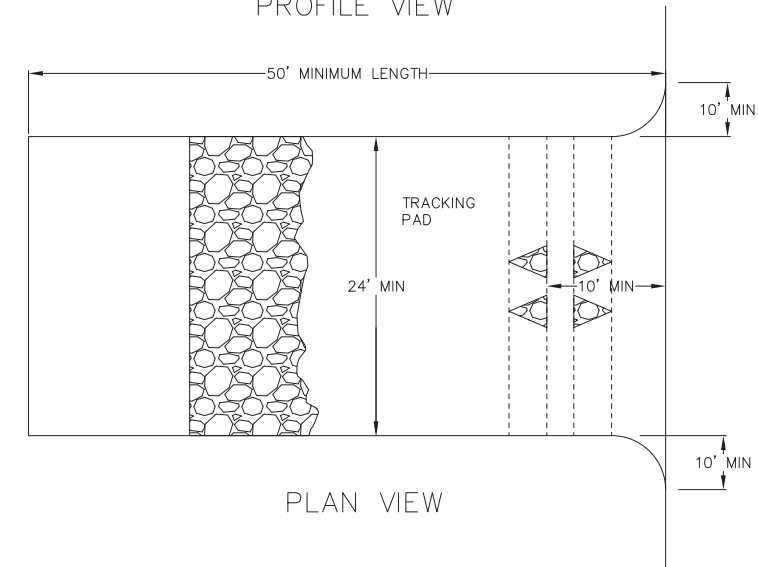
- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 7-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET (NOTE: ADD SEEDING RATE STANDARD OF DETAIL BLOCK TO PLAN) UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
- LAWN AREAS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 10 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY CITY OF MADISON ENGINEERING.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

## CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE/SILT SOCK AND TRACKING PAD
- DEMOLITION OF EXISTING BUILDING, SIDEWALK, AND PARKING AREA PER DEMOLITION PLAN.
- ROUGH GRADE DISTURBED AREA
- SEED AND EROSION MAT THE DISTURBED PROPOSED LAWN AREAS
- CONSTRUCT UNDERGROUND UTILITIES
- CONSTRUCT PARKING AREAS (STONE BASE, CURB & GUTTER, AND SIDEWALK).
- CONSTRUCT OIL AND GREASE CONTROL ROCK TRENCH (PER DETAIL).
- REMOVE TRACKING PAD AND SILT FENCE/SILT SOCK



PROFILE VIEW



PLAN VIEW

## SEEDING RATES:

### TEMPORARY:

- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
- USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

### PERMANENT:

- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

## FERTILIZING RATES:

### TEMPORARY AND PERMANENT:

- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

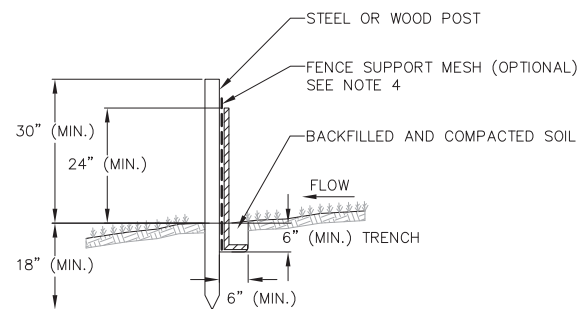
## MULCHING RATES:

### TEMPORARY AND PERMANENT:

- USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'.
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

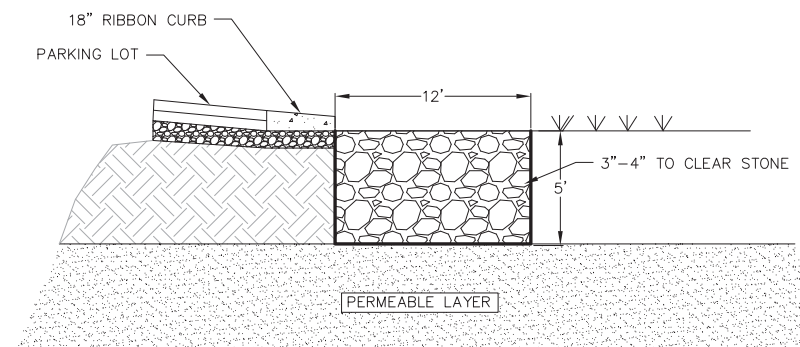
1 TRACKING PAD  
1 NOT TO SCALE



## NOTES:

- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
- CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
- POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)  
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
- SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

1 SILT FENCE  
1 NOT TO SCALE



1 ROCK TRENCH  
1 NOT TO SCALE



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PROJECT: 420 GAMMON PLACE  
420 GAMMON PLACE  
MADISON, WI 53719

CLIENT: PARK TOWNE DEVELOPMENT  
402 GAMMON PLACE, SUITE 300  
MADISON, WI 53719

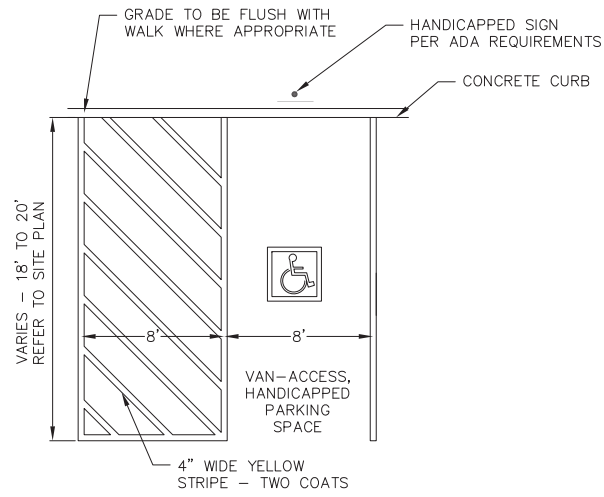
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PRELIMINARY 06.05.2013

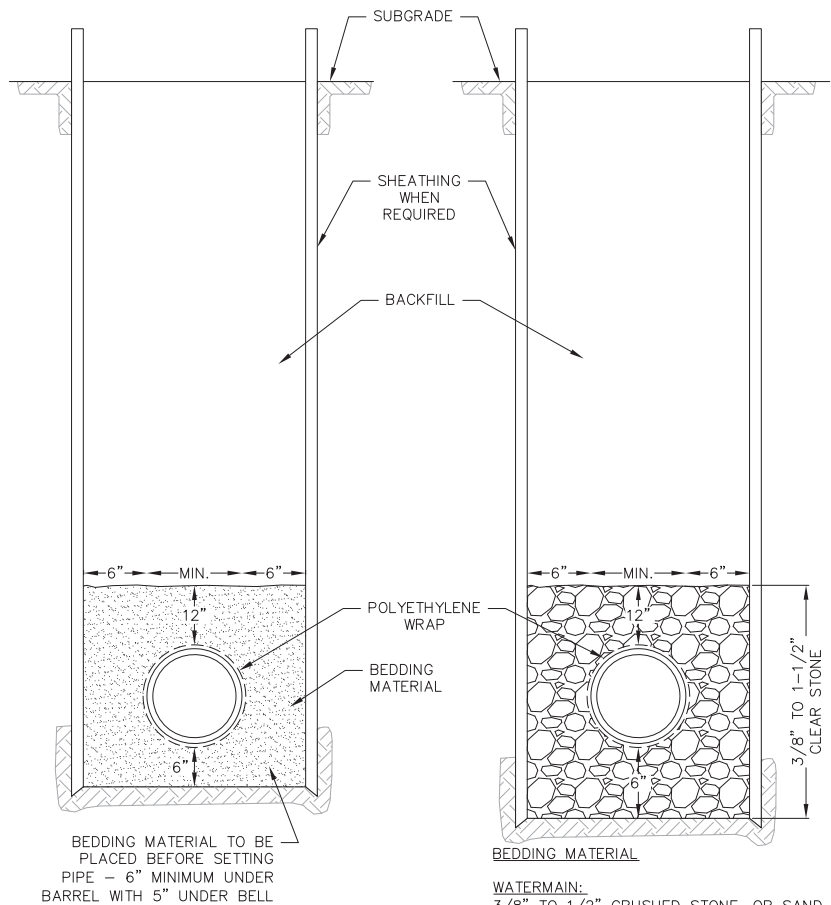
CONSTRUCTION  
DETAILS

C5.0





1 HANDICAP STRIPING  
1 NOT TO SCALE



DRY TRENCH CONDITION

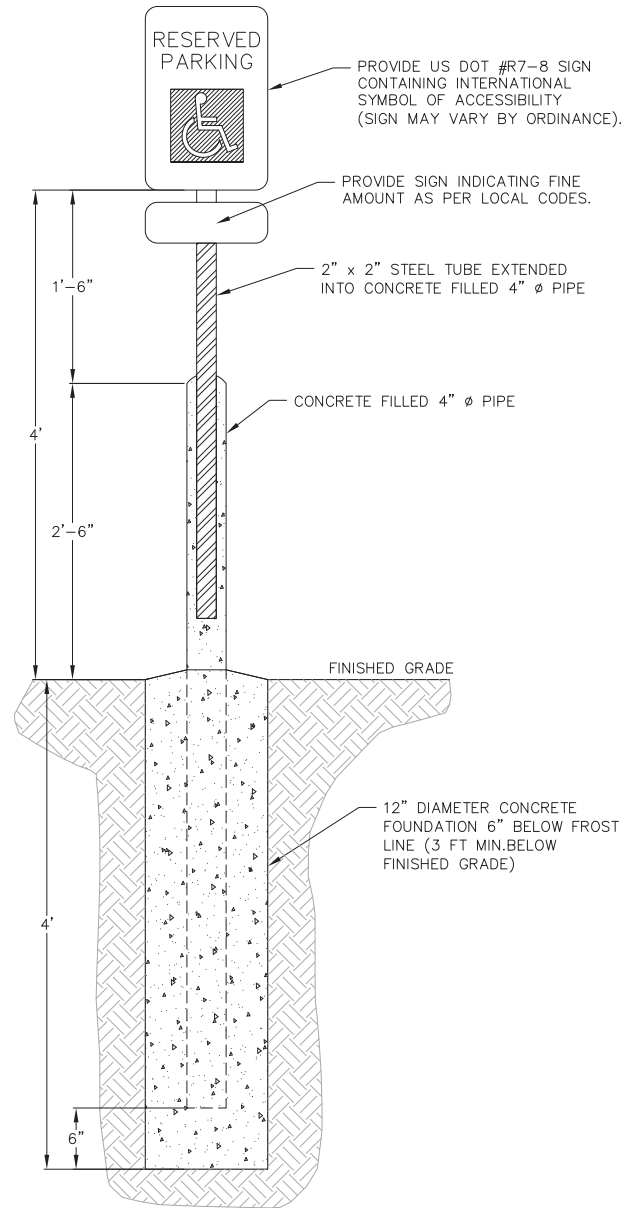
WET OR UNSTABLE CONDITION

WATERMAIN:  
3/8" TO 1/2" CRUSHED STONE, OR SAND

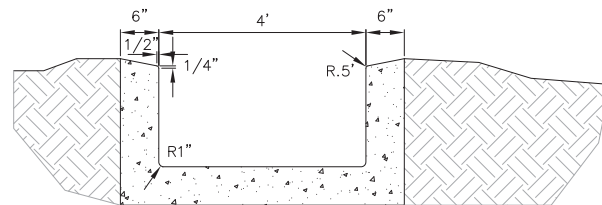
SANITARY SEWER:  
3/8" TO 1-1/2" CLEAR STONE

STORM SEWER:  
3/4" TO 1-1/2" CRUSHED STONE

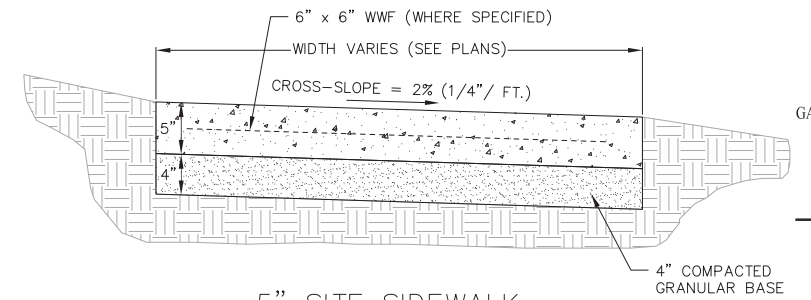
1 STANDARD TRENCH SECTION  
1 NOT TO SCALE



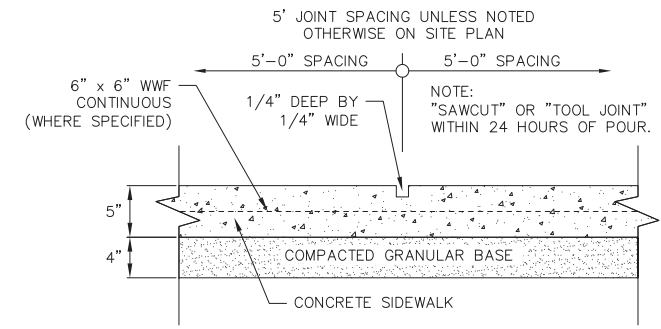
1 HANDICAP PARKING SIGN  
1 NOT TO SCALE



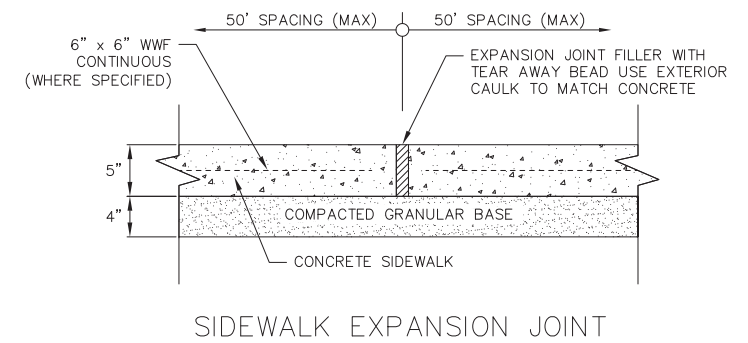
1 CONCRETE SPILLWAY/CURB CUT  
1 NOT TO SCALE



5" SITE SIDEWALK



SIDEWALK CONTROL JOINT



SIDEWALK EXPANSION JOINT

1 5" SIDEWALK  
1 NOT TO SCALE



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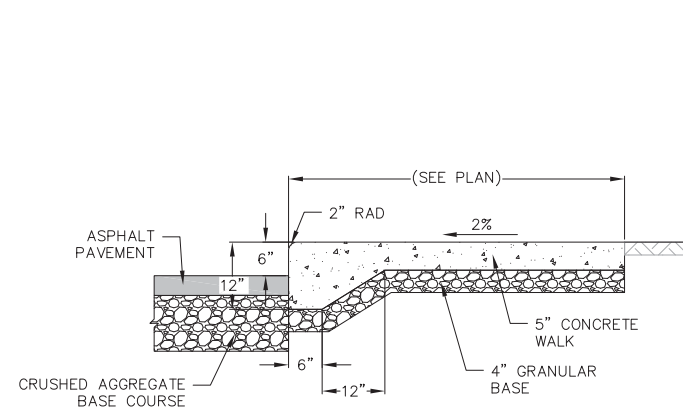
PROJECT: 420 GAMMON PLACE  
420 GAMMON PLACE  
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CLIENT: PARK TOWNE DEVELOPMENT  
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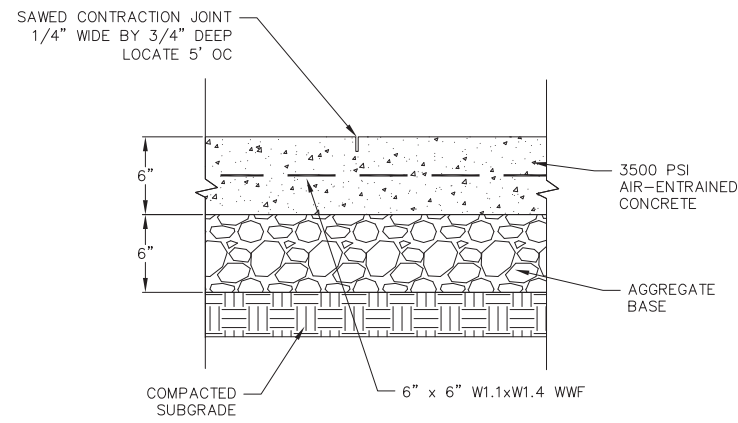
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SCALE: AS NOTED  
PRELIMINARY 06.05.2013

CONSTRUCTION  
DETAILS

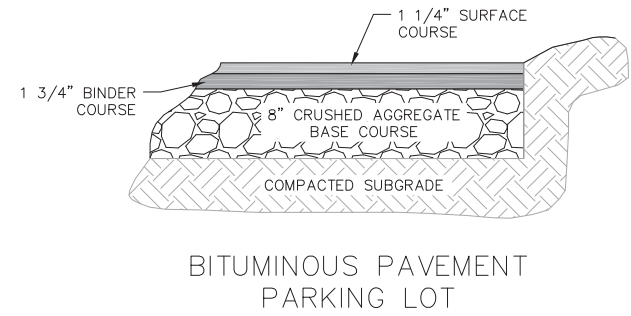
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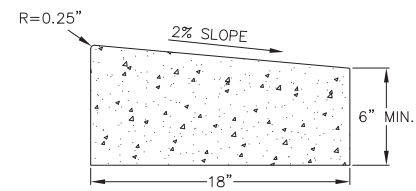
1 CURBED SIDEWALK SITE DETAIL  
1 NOT TO SCALE



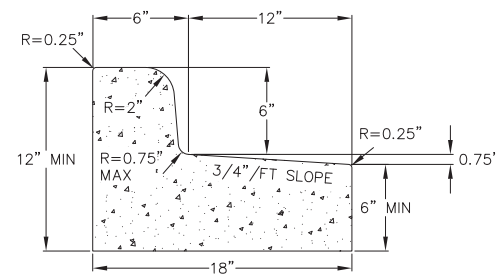
1 CONCRETE PAD  
1 NOT TO SCALE



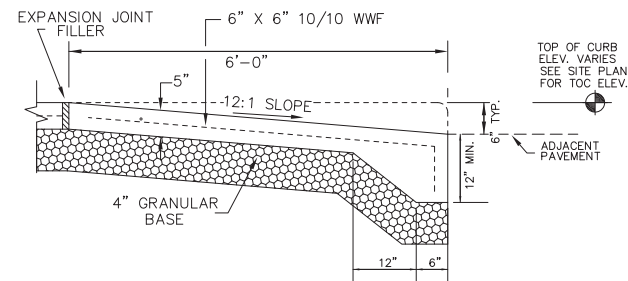
1 SITE PAVEMENT  
1 NOT TO SCALE



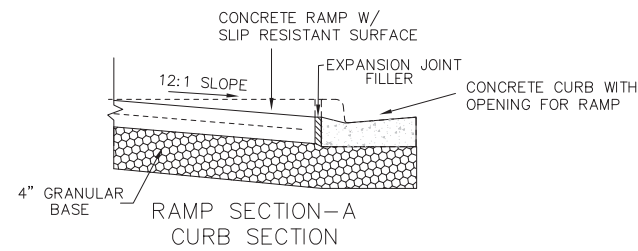
RIBBON CURB



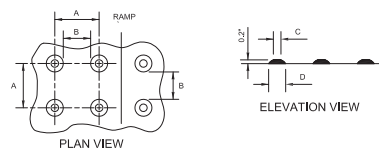
CURB AND GUTTER  
REJECT SECTION



RAMP SECTION-A  
SIDEWALK / CURB COMBINATION

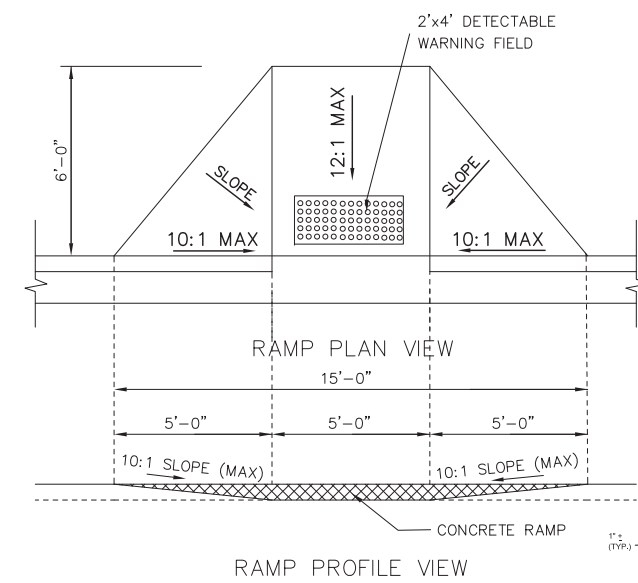


RAMP SECTION-A  
CURB SECTION

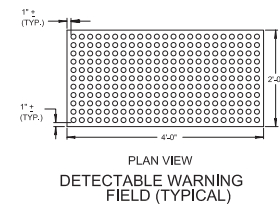


TRUNCATED DOMES  
DETECTABLE WARNING  
PATTERN DETAIL

NOTE: 1) MATERIALS AND METHOD OF CONSTRUCTION FOR TRUNCATED DOMES SHALL BE SPECIFIED IN SPECIAL PROVISIONS OR AS REQUIRED BY THE VILLAGE ENGINEER  
2) COLOR SHALL BE A DISSIMILAR COLOR FROM THE ADJACENT PAVED SURFACE AND APPROVED BY THE OWNER AND ENGINEER



RAMP PROFILE VIEW



PLAN VIEW  
DETECTABLE WARNING  
FIELD (TYPICAL)

1 CURB RAMP DETAIL  
1 NOT TO SCALE

1 18" CONCRETE CURB AND GUTTER  
1 NOT TO SCALE

GENERAL NOTES  
RAMPS SHALL BE BUILT AT 12:1 OR FLATTER.  
WHEN NECESSARY, THE SIDEWALK ELEVATION  
MAY BE LOWERED TO MEET THE HIGH POINT  
ON THE RAMP.

