

**Governmental Agencies**

**Building Department**

CITY OF MADISON BUILDING INSPECTION  
 215 MARTIN LUTHER KING JR. BLVD,  
 SUITE LL 100  
 MADISON, WI 53703  
 PHONE: 608-266-4559  
 FAX: 608-266-6522  
 CONTACT: MIKE VAN EREM

**Fire Department**

CITY OF MADISON FIRE  
 DEPARTMENT  
 325 W. JOHNSON STREET,  
 MADISON, WI 53703  
 PHONE: 608-261-9843  
 FAX: 608-267-1153  
 CONTACT: SCOTT STRASSBURG

**Health Department**

PUBLIC HEALTH MADISON AND DANE COUNTY  
 2701 INTERNATIONAL LANE, SUITE 204  
 MADISON, WI 53704  
 PHONE: 608-243-0332  
 FAX: 608-266-4858  
 CONTACT: RANDY HOLVECK

**Building Data**

BUILDING CODE:  
 INTERNATIONAL BUILDING CODE 2009  
 PLUMBING CODE:  
 WISCONSIN PLUMBING CODE SPS382  
 MECHANICAL CODE:  
 INTERNATIONAL MECHANICAL CODE 2009  
 ELECTRICAL CODE:  
 NATIONAL ELECTRICAL CODE 2008  
 FIRE CODE:  
 SPS 314  
 ENERGY CODE:  
 INTERNATIONAL ENERGY CONSERVATION  
 CODE 2009  
 HEALTH CODE:  
 WISCONSIN FOOD CODE DHS 196

NOTE:  
 SEE A.I.O FOR:  
 ACCESSIBILITY NOTES  
 LIFE SAFETY NOTES  
 CODE SUMMARIES



5200 BUFFINGTON ROAD  
 ATLANTA, GEORGIA 30349-2998  
 PHONE: (404) 765-8000  
 FAX: (404) 684-8550

SO8H-CUSTOM

EAST TOWNE FSU  
 4210 E. WASHINGTON AVE.  
 MADISON, WI 53704  
 5-13-2015

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5200 Buffington Rd.  
 Atlanta Georgia,  
 30349-2998

Revisions:

Mark	Date	By
△	5.13.15	

LAND USE AND UDC  
 APPLICATION SET

Mark	Date	By
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Mark	Date	By
△		

Seal

STORE  
 Name  
 FSU SO8H- CUSTOM

East Towne FSU  
 4210 E Washington  
 Avenue  
 Madison, WI 53704

SHEET TITLE  
 TITLE SHEET

VERSION: V4  
 ISSUE DATE: 5-2015

Job No. : 15-1356

Store : 03601

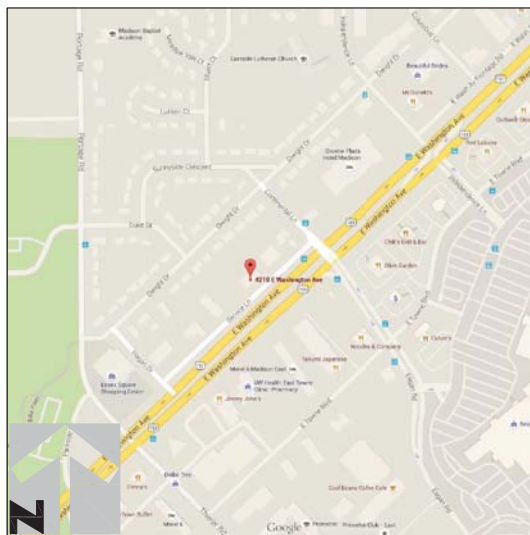
Date : 5.13.15

Drawn By : ---

Checked By: ---

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T-11



**VICINITY MAP**  
 NOT TO SCALE



**Architect:**

CHIPMAN DESIGN ARCHITECTURE, INC.  
 2700 SOUTH RIVER ROAD  
 SUITE 400  
 DES PLAINES, IL 60018  
 CONTACT: MATT LYNN  
 PHONE: (847) 298-6900  
 FAX: (847) 298-6966

**Structural Engineer:**

W-T CONSULTING ENGINEERS  
 2675 PRATUM AVENUE  
 HOFFMAN ESTATES, IL 60192  
 CONTACT: STEPHEN TRIPHAHN  
 PHONE: (224) 293-6333  
 FAX: (224) 293-6444

**Mechanical Engineer:**

KURZYNSKE & ASSOCIATES  
 825 THIRD AVENUE, SOUTH  
 NASHVILLE, TN 37210  
 CONTACT: MARK KURZYNSKE  
 (615) 255-5203

**Plumbing Engineer:**

KURZYNSKE & ASSOCIATES  
 825 THIRD AVENUE, SOUTH  
 NASHVILLE, TN 37210  
 CONTACT: MARK KURZYNSKE  
 (615) 255-5203

**Electrical Engineer:**

KURZYNSKE & ASSOCIATES  
 825 THIRD AVENUE, SOUTH  
 NASHVILLE, TN 37210  
 CONTACT: MARK KURZYNSKE  
 (615) 255-5203

**Civil Engineer:**

WOOLPERT, INC.  
 1815 SOUTH MEYERS ROAD,  
 STE 120  
 OAKBROOK TERRACE, IL 60181  
 CONTACT: BLAIR CARMOSINO  
 PHONE: (630) 424-9080  
 FAX: (630) 495-3731

**Landscape Architect:**

WOOLPERT, INC.  
 1815 SOUTH MEYERS ROAD,  
 STE 120  
 OAKBROOK TERRACE, IL 60181  
 CONTACT: BLAIR CARMOSINO  
 PHONE: (630) 424-9080  
 FAX: (630) 495-3731

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# SITE IMPROVEMENT PLANS

## EAST TOWNE MALL (MADISON)

### 4210 EAST WASHINGTON AVENUE

### COUNTY OF DANE

### STATE OF WISCONSIN

#### UTILITY CONTACTS

##### ELECTRICAL SERVICE:

AGENCY: MADISON GAS AND ELECTRIC  
 ADDRESS: 623 RAILROAD STREET, MADISON, WI 53703  
 CONTACT: MARK STAVEN  
 PHONE: (608) 252-7373  
 EMAIL: MSTAVERN@MGE.COM

##### GAS SERVICE:

AGENCY: MADISON GAS AND ELECTRIC  
 ADDRESS: 623 RAILROAD STREET, MADISON, WI 53703  
 CONTACT: MARK STAVEN  
 PHONE: (608) 252-7373  
 EMAIL: MSTAVERN@MGE.COM

##### TELEPHONE SERVICE:

AGENCY: AT&T  
 CONTACT: CHRIS DUNCAN  
 PHONE: (877) 438-0041

##### SANITARY SEWER SERVICE:

AGENCY: CITY OF MADISON SANITARY AND STORM SEWERS  
 ADDRESS: 210 MARTIN LUTHER KING JR., ROOM 115, MADISON, WI 53703  
 CONTACT: MARK MODER  
 PHONE: (608) 261-9250  
 EMAIL: MMODER@CITYOFMADISON.COM

##### STORM SEWER SERVICE:

AGENCY: CITY OF MADISON SANITARY AND STORM SEWERS  
 ADDRESS: 210 MARTIN LUTHER KING JR. BLVD., ROOM 115, MADISON, WI 53703  
 CONTACT: JEFF BENEDICT  
 PHONE: (608) 267-1995  
 EMAIL: JBENEDICT@CITYOFMADISON.COM

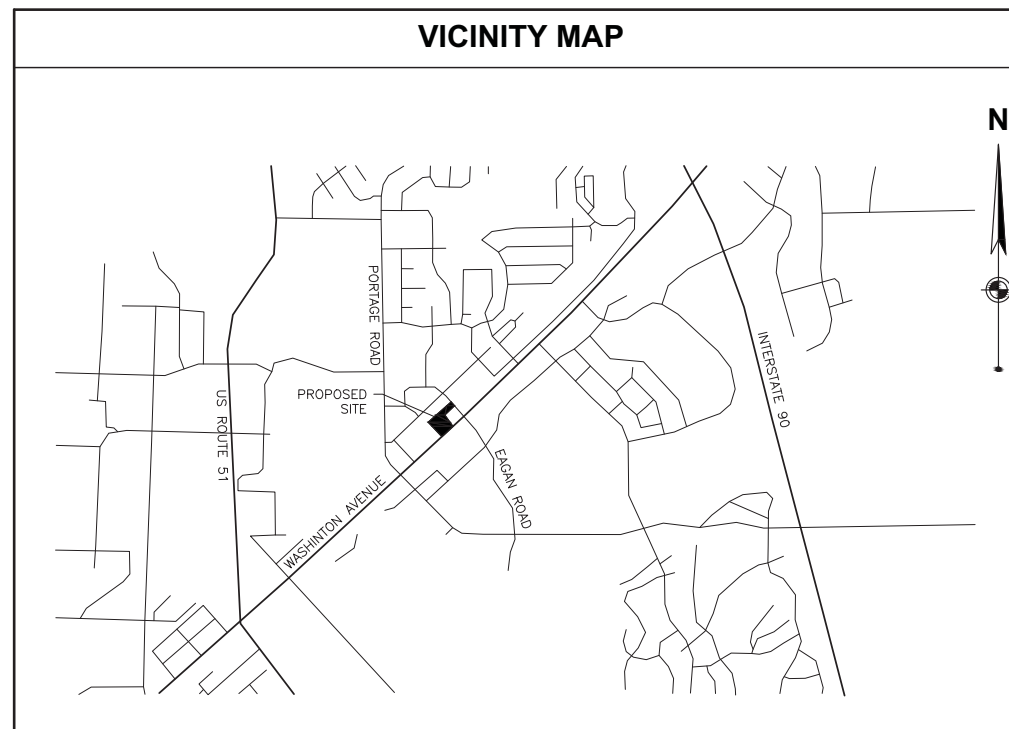
##### WATER SERVICE:

AGENCY: CITY OF MADISON WATER UTILITY BOARD  
 ADDRESS: 119 EAST OLIN AVENUE, MADISON WI 53713  
 CONTACT: DENNIS CAWLEY  
 PHONE: (608) 266-4641  
 EMAIL: DCAWLEY@CITYOFMADISON.COM

#### BENCHMARK

THE BASIS OF ELEVATIONS HEREON IS NAVD 88.  
 IRON ROD WITH CAP SET - SEE DRAWING FOR LOCATION.

ELEVATION = 877.24'



#### APPLICANT/DEVELOPER:

CHICK-FIL-A, INC.  
 5200 BUFFINGTON RD.  
 ATLANTA GEORGIA 30349-2998  
 CONTACT: JASON HILL  
 PHONE: 404-684-8530

#### PREPARED BY:



1815 South Meyers Road  
 Suite 120  
 Oakbrook Terrace, IL 60181  
 630.424.9080  
 FAX: 630.495.3731

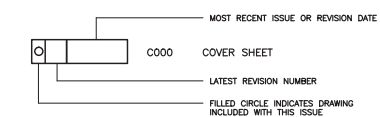
#### SHEET INDEX

●	-	05/13/15	C-0.0.....COVER SHEET
●	-	05/13/15	C-2.0.....SITE PLAN
●	-	05/13/15	C-3.0.....GRADING PLAN
●	-	05/13/15	C-4.0.....UTILITY PLAN

#### SUPPLEMENTAL DRAWINGS

●	-	01/20/15	.....ALTA/ACSM LAND TITLE & TOPOGRAPHIC SURVEY
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#### DRAWING INDEX LEGEND



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#### Revisions:

Mark	Date	By
△	5.13.15	

LAND USE AND UDC  
 APPLICATION SET

Mark	Date	By
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△		

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STORE  
 STORE #03601  
 FSU S08H- CUSTOM

East Towne FSU  
 4210 E Washington  
 Avenue  
 Madison, WI 53704

SHEET TITLE  
 COVER  
 SHEET

VERSION: V4  
 ISSUE DATE: 5-2015

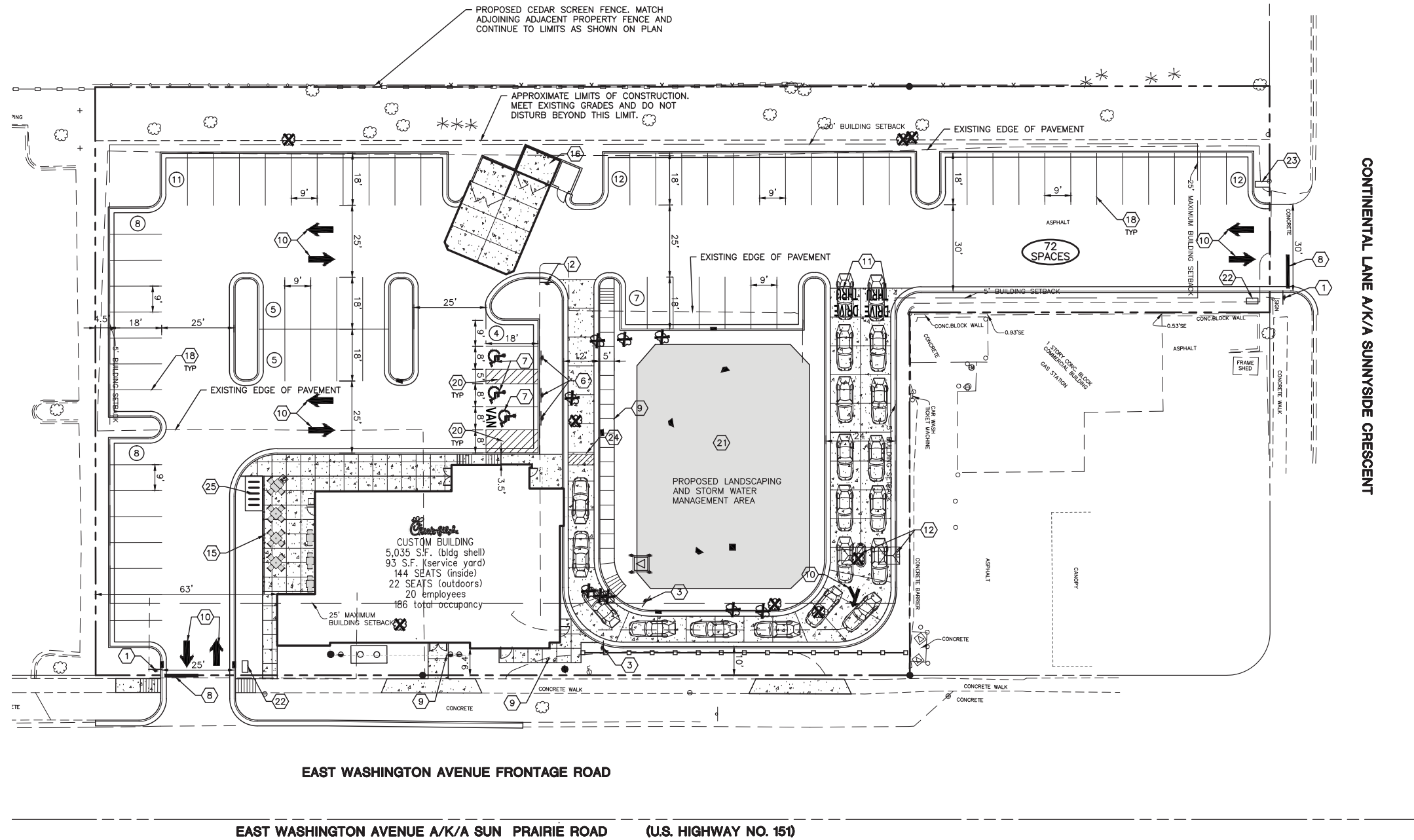
Job No. : 075144  
 Store : 03601  
 Date : 05/13/15  
 Drawn By : DH  
 Checked By : BC

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C-0.0



Toll Free (800) 242-8511  
 Milwaukee Area (414) 259-1181  
 Hearing Impaired TDD (800) 542-2289  
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**SITE PLAN LEGEND**

- PROPOSED CURB AND GUTTER
- ACCESSIBLE RAMP
- DETECTABLE WARNING
- EXISTING TREE TO BE REMOVED

**SITE KEY NOTES**

- NO. DESCRIPTION
- ① "STOP" SIGN
- ② "DO NOT ENTER" SIGN
- ③ "PEDESTRIAN CROSSING" SIGN
- ④ "LEFT TURN ONLY" SIGN
- ⑤ "YIELD" SIGN
- ⑥ ACCESSIBLE PARKING SIGN
- ⑦ PAINTED ACCESSIBLE PARKING SYMBOL
- ⑧ STOP BAR
- ⑨ CONCRETE SIDEWALK
- ⑩ DIRECTIONAL ARROW
- ⑪ DRIVE-THRU GRAPHICS
- ⑫ MENU BOARD & CANOPY ORDERING STATION
- ⑬ THREE-SIDED PYLON SIGN (30' HEIGHT)
- ⑭ DIRECTIONAL SIGN
- ⑮ ALUMINUM HANDRAIL, DARK BRONZE
- ⑯ REFUSE ENCLOSURE (SEE ARCH. PLANS FOR DETAILS)
- ⑰ 4" STRIPE, TRAFFIC YELLOW PAINT
- ⑱ 4" STRIPE, TRAFFIC WHITE PAINT
- ⑲ PAINT 4" WIDE STRIPES @ 4' O.C. AT 45° ANGLE, TRAFFIC WHITE PAINT
- ⑳ PAINT 4" WIDE STRIPES @ 4' O.C. AT 45° ANGLE, TRAFFIC YELLOW PAINT
- ㉑ STORMWATER MANAGEMENT AREA
- ㉒ PYLON SIGN (SEE SIGN SURVEY)
- ㉓ MONUMENT SIGN (SEE SIGN SURVEY)
- ㉔ PEDESTRIAN CROSSWALK
- ㉕ PROVIDE 5 RACKS FOR 10 BICYCLE SPACES

**SITE DATA**

SITE AREA:	±1.55 ACRES (67,515 S.F.)
CURRENT ZONING:	CC-T COMMERCIAL CORRIDOR TRANSPORTATION DISTRICT
EXISTING BUILDING AREA:	12,123 S.F. (17.9%)
EXISTING PAVEMENT AREA:	42,509 S.F. (62.9%)
EXISTING LANDSCAPE AREA:	12,991 S.F. (19.2%)
PARKING DATA:	
REQUIRED PARKING:	
MAXIMUM PARKING:	40% OF CAPACITY OF PERSONS
144 SEATS(INDOOR)+22 SEATS(OUTDOOR)+20 EMPLOYEES=186 TOTAL	
40% X 186 = 74 PARKING SPACES ALLOWED	
PARKING PROVIDED:	
69 REGULAR SPACES PROVIDED	
3 ACCESSIBLE SPACES PROVIDED	
72 PARKING SPACES PROVIDED	
REQUIRED BIKE PARKING:	
BIKE SPACES REQUIRED: 5% OF CAPACITY OF PERSONS	
144 SEATS(INDOOR)+22 SEATS(OUTDOOR)+20 EMPLOYEES=186 TOTAL	
5% X 186 = 10 SPACES REQUIRED	
10 SPACES PROVIDED	
DEVELOPMENT SITE MINIMUM PLANTING REQUIREMENT SUMMARY:	
PARKING LOT TOTAL AREA: 1.04 ACRES	
GREENSPACE IN PARKING AREA: 0.20 ACRES	
PERCENTAGE OF INTERIOR PLANTING AREA: 19%	

SITE NOTES:  
 1. NEW PAVEMENT NOT TO EXTEND BEYOND EXISTING EDGE OF PAVEMENT AROUND PARKING PERIMETER.



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 630.424.9080  
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STORE #03601  
 FSU S08H- CUSTOM

East Towne FSU  
 4210 E Washington Avenue  
 Madison, WI 53704

SHEET TITLE  
**SITE PLAN**

VERSION: V4  
 ISSUE DATE: 5-2015

Job No. : 075144  
 Store : 03601  
 Date : 05/13/15  
 Drawn By : DH  
 Checked By : JG

Sheet

C-2.0

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Chick-fil-e

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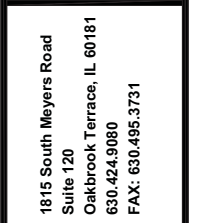
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STORE #03601  
FSU S08H- CUSTOM

East Towne FSU  
4210 E Washington Avenue  
Madison, WI 53704

SHEET TITLE  
**GRADING PLAN**

VERSION: V4  
ISSUE DATE: 5-2015

Job No. : 075144  
Store : 03601  
Date : 05/13/15  
Drawn By :  
Checked By :

Sheet

C-3.0

GRADING LEGEND

	EXISTING BOUNDARY
	PROPOSED BOUNDARY
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED 5' CONTOUR
	PROPOSED STORM SEWER LIMITS OF DISTURBANCE
	PROPOSED UNDERDRAIN
	SPILLING CURB & GUTTER
	CATCHING CURB & GUTTER
	DIRECTION OF FLOW
	ELEVATION AT TOP OF CURB
	ELEVATION AT TOP OF PAVEMENT
	MATCH EXISTING GRADE
	ELEVATION AT TOP OF WALK
	ELEVATION AT STRUCTURE RIM
	PROPOSED CATCH BASIN
	PROPOSED CURB INLET
	PROPOSED STORM MANHOLE
	PROPOSED INFILTRATION TRENCH

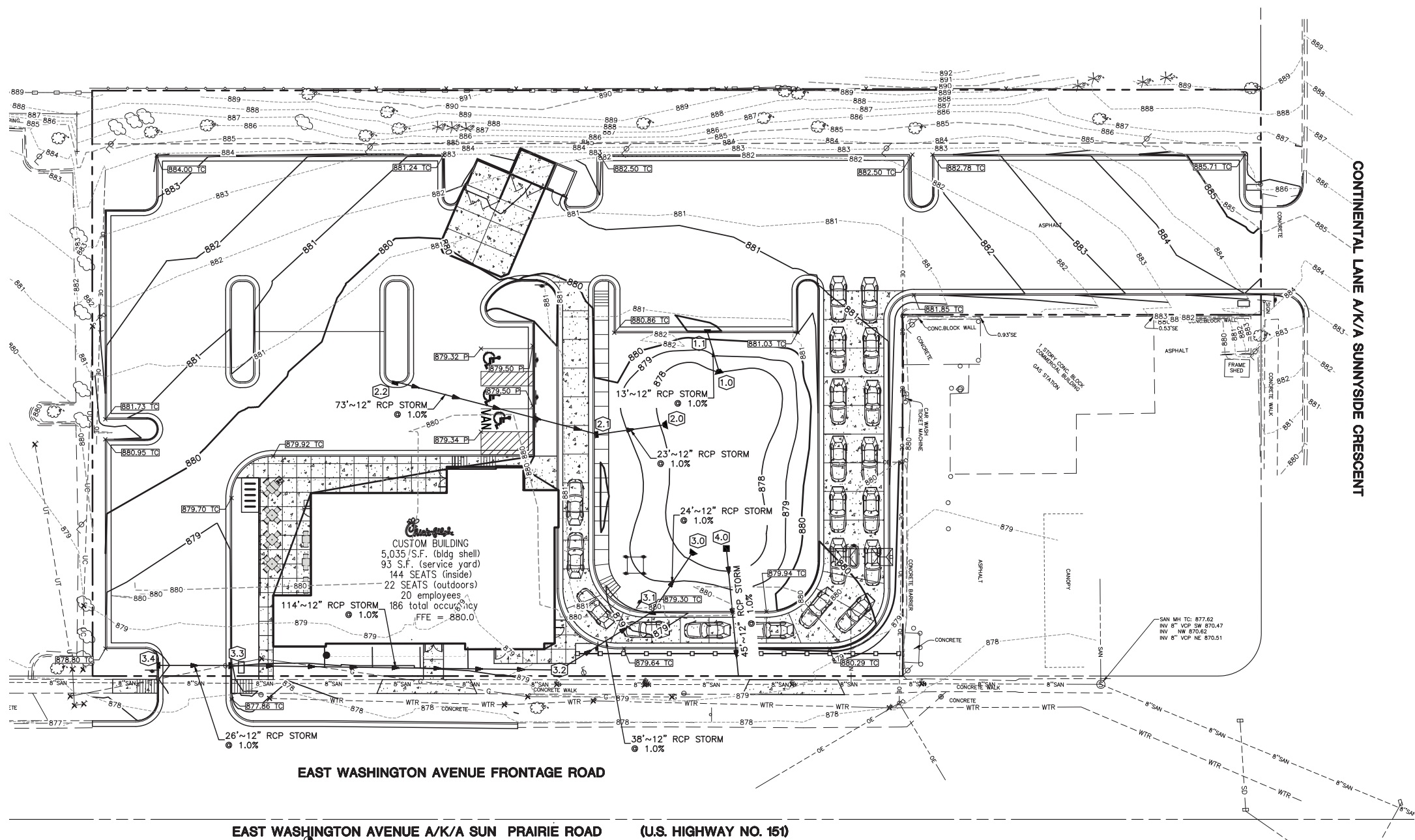
GRADING NOTES

1. CONTOURS SHOWN ARE FOR REFERENCE ONLY.
2. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT OR GREEN AREAS.
3. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
4. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
5. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, SIZES, AND MATERIAL OF ALL EXISTING UTILITIES WHICH ARE TO BE TAPPED OR EXTENDED ON SITE. ANY DEVIATIONS FROM PLAN INFORMATION SHALL BE PROVIDED TO THE ENGINEER IN WRITING WITHIN 24 HOURS AND PRIOR TO THE START OF CONSTRUCTION ON THAT SYSTEM(S). SHOULD THE CONTRACTOR START WORK WITHOUT NOTIFICATION TO THE ENGINEER OF ANY DISCREPANCIES, HE WILL ASSUME ALL RESPONSIBILITY OF THE WORK NECESSARY TO COMPLETE THE PROJECT.
6. ALL FIELD TILE ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON RECORD PLANS BY THE CONTRACTOR.
7. ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE VILLAGE OF BLOOMINGDALE.
8. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
9. PROPER TRANSITION TO BE PROVIDED FROM END OF PROPOSED STORM SEWERS, DITCHES, ROADWAY, ETC. TO EXISTING GRADE. RESTORATION OF DISTURBED AREAS OUTSIDE OF THE CONSTRUCTION LIMITS IS THE RESPONSIBILITY OF THE CONTRACTOR. AREAS SHALL BE RESTORED TO PRECONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE OWNER.
10. CONTRACTOR TO ADJUST ALL EXISTING UTILITY STRUCTURES TO PROPOSED GRADE.
11. INVERTS AT BOTTOM OF MANHOLES AND CATCH BASINS MUST BE CHANNELIZED.
12. PROVIDE UNDERDRAINS FROM SEEPS OR SPRINGS ENCOUNTERED. EXTEND TO STORM SEWER SYSTEM OR DAYLIGHT AT THE BOTTOM OF THE FILL SLOPE.
13. ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING.

BENCHMARK:

THE BASIS OF ELEVATIONS HEREON IS NAVD 88.  
IRON ROD WITH CAP SET - SEE DRAWING FOR LOCATION.

ELEVATION = 877.24'



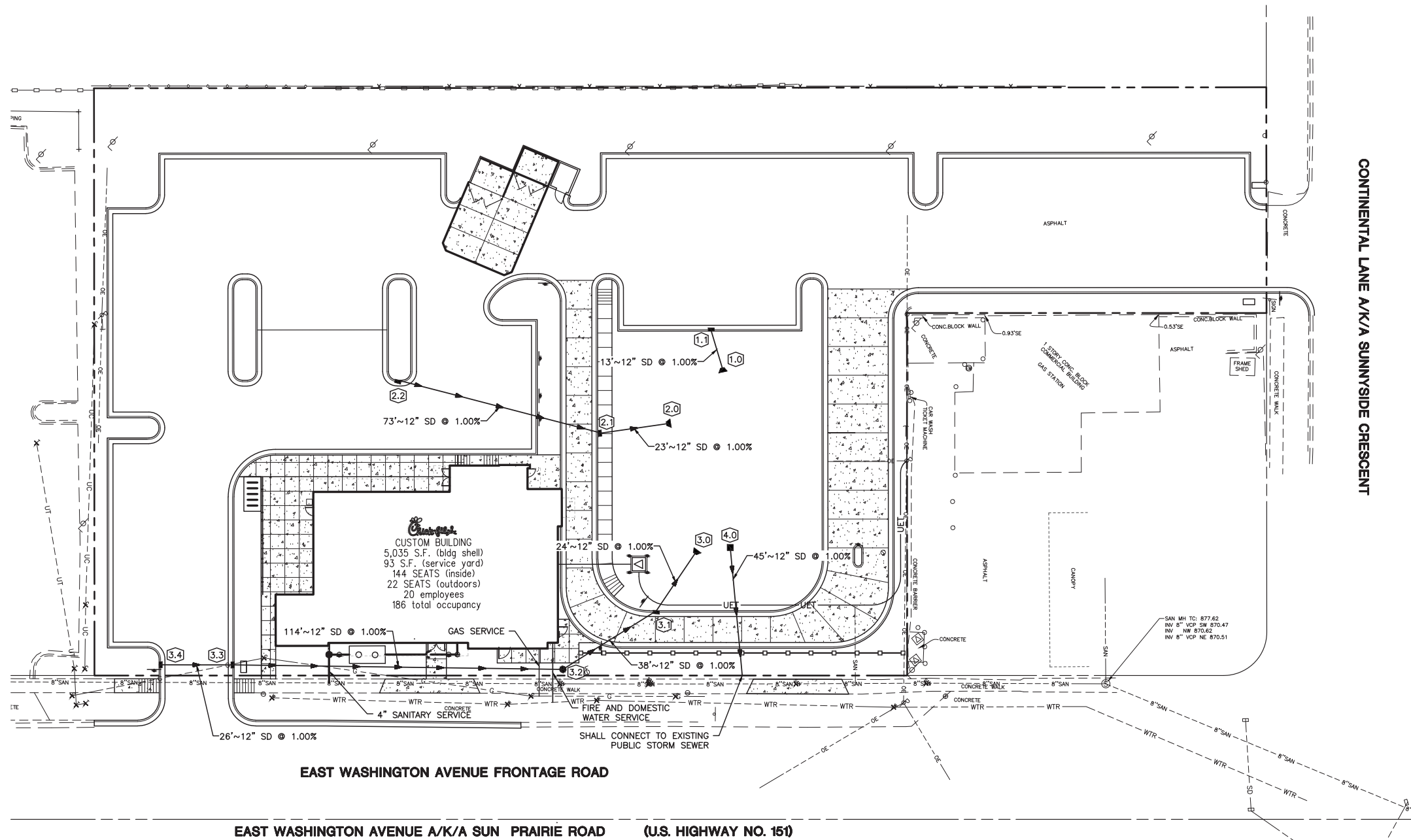
EAST WASHINGTON AVENUE FRONTAGE ROAD

EAST WASHINGTON AVENUE A/K/A SUN PRAIRIE ROAD (U.S. HIGHWAY NO. 151)

BENCHMARK  
ELEVATION = 877.24'

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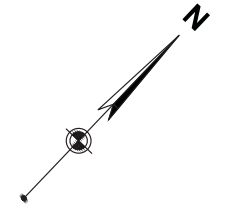
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CONTINENTAL LANE A/K/A SUNNYSIDE CRESCENT

**UTILITY PLAN LEGEND**

- EXISTING BOUNDARY
- - - PROPOSED BOUNDARY
- >->- PROPOSED SANITARY SEWER
- >->- PROPOSED STORM DRAIN
- >->- PROPOSED WATER MAIN
- >->- PROPOSED ELECTRIC
- >->- PROPOSED GAS
- >->- PROPOSED TELEPHONE
- PROPOSED CATCH BASIN
- PROPOSED CURB INLET
- PROPOSED STORM MANHOLE
- PROPOSED SANITARY MANHOLE
- PROPOSED FLARED END SECTION
- PROPOSED CLEAN OUT
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE
- PROPOSED VALVE VAULT
- PROPOSED ELECTRICAL MANHOLE
- PROPOSED TELEPHONE MANHOLE
- ▨ JACK AND BORE UTILITY (SEE NOTE 16)
- □ □ PROPOSED LIGHT POLE
- ① INDICATES DETAIL LOCATION (DETAIL NUMBER/DETAIL SHEET)
- ①.0 PROPOSED SANITARY STRUCTURE CALLOUT
- ①.0 PROPOSED STORM STRUCTURE CALLOUT
- PROPOSED UTILITY LAYOUT CALLOUT
- ◇ PROPOSED UTILITY CROSSING CALLOUT



**Chick-fil-A**  
 5200 Buffington Rd.  
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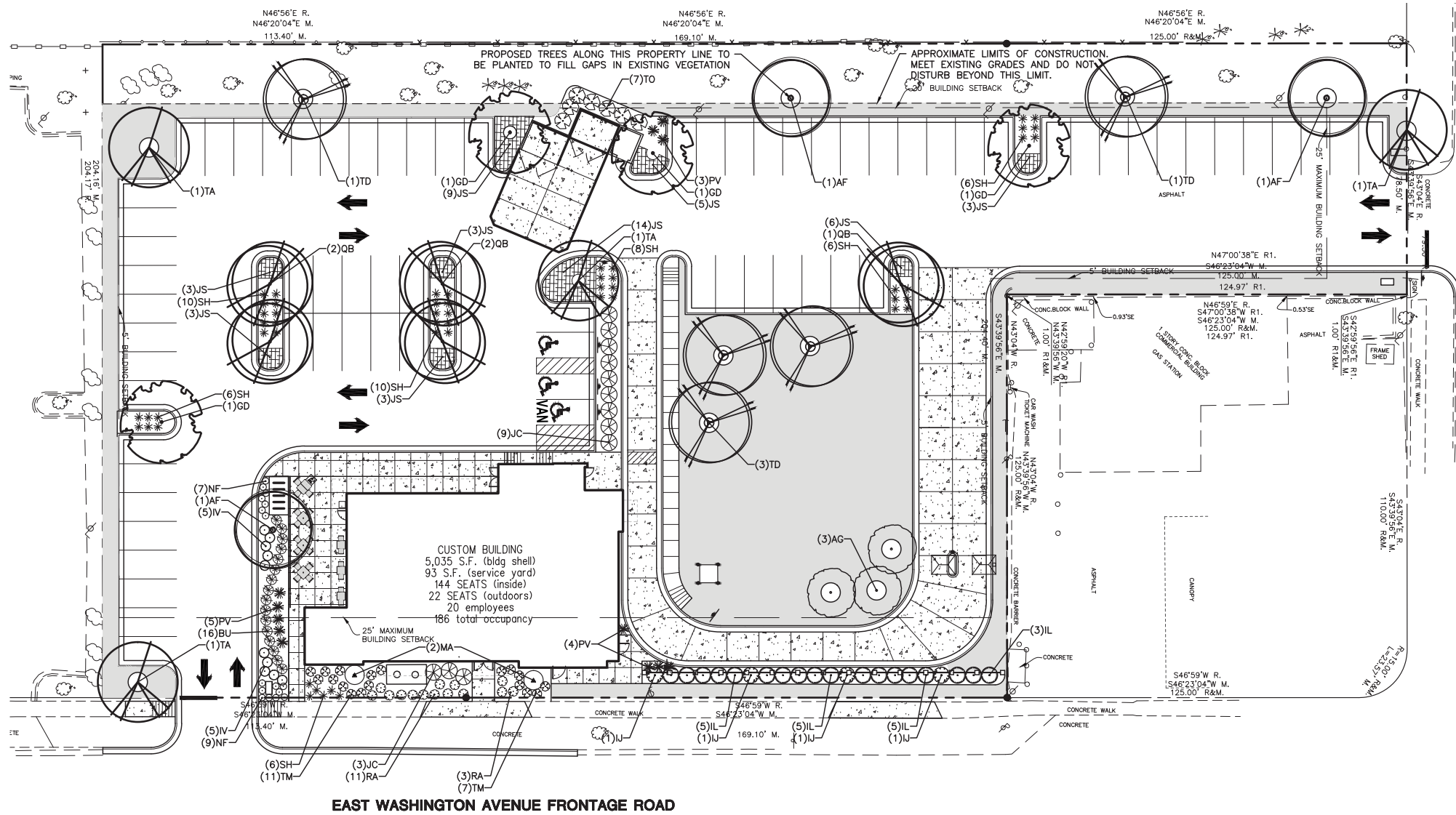
SHEET TITLE  
**UTILITY PLAN**

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Job No. : 075144  
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 Drawn By : DH  
 Checked By : JG

Sheet

C-4.0



CONTINENTAL LANE A/K/A SUNNYSIDE CRESCENT

**LANDSCAPE NOTES:**

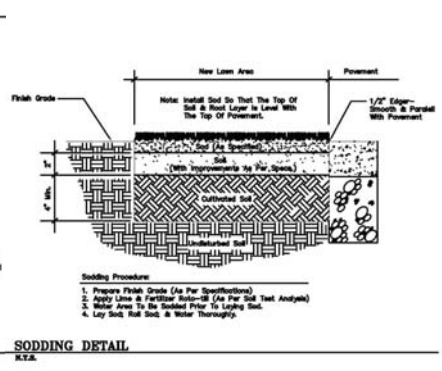
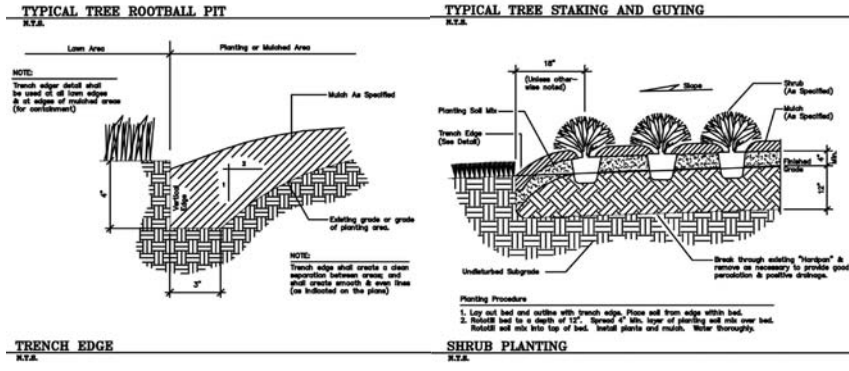
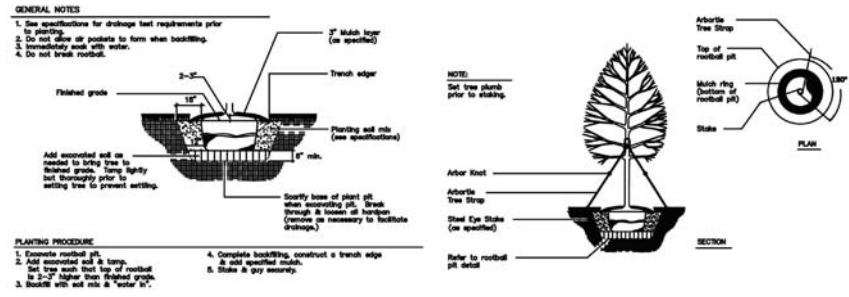
- LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES, PRIOR TO DIGGING, IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUB GRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS. WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR AND/OR CONSTRUCTION MANAGER.
- GENERAL AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR PROTECTING EXISTING TREES FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO INSTALL TREE PROTECTION FENCING PRIOR TO ANY SITE WORK.
- ALL SHRUB AND GROUND COVER BEDS TO BE MULCHED WITH A MINIMUM OF 3 INCHES OF CLEAN SHREDDED HARDWOOD MULCH.
- ALL ANNUAL AND PERENNIAL BEDS TO BE TILLED TO A MINIMUM DEPTH OF 18 INCHES AND AMENDED WITH 4 INCHES OF ORGANIC MATERIAL. MULCH PLANT BEDS WITH 2 INCH DEPTH OF PINE BARK MINI NUGGETS.
- PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH AND 6-12 INCHES DEEPER THAN THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE. AMEND BACKFILL WITH TOPSOIL MIX. BACKFILL AND TAMP BOTTOM OF HOLE PRIOR TO PLANTING SO TOP OF ROOT BALL DOES NOT SETTLE BELOW SURROUNDING GRADE.
- TOPSOIL MIX TO BE 4 PARTS SCREENED TOPSOIL AND 1 PART ORGANIC MATERIAL (i.e. NATURE'S HELPER OR FRO MIX).
- EXISTING GRASS IN PROPOSED PLANTING AREAS TO BE REMOVED AND AREA TO BE HAND RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO PLANTING SHRUBS.
- SOIL TO BE TESTED TO DETERMINE FERTILIZER AND LIME REQUIREMENTS. LIME AND FERTILIZER TO BE DISTRIBUTED PRIOR TO LAYING SOD.
- SOD TO BE DELIVERED FRESH (CUT LESS THAN 24 HOURS PRIOR TO ARRIVING ON SITE), LAD IMMEDIATELY, ROLLED AND WATERED THOROUGHLY WITHIN ONE HOUR OF INSTALLATION.
- ALL CHANGES TO DESIGN AND/OR PLANT SUBSTITUTIONS TO BE AUTHORIZED BY LANDSCAPE ARCHITECT.
- ALL PARKING ISLANDS TO BE BERMED UP 6"-10" WITH CLEAN FRIABLE TOPSOIL PRIOR TO PLANTING.
- ALL LANDSCAPING SHALL BE INSTALLED IN CONFORMANCE WITH ANSI Z60.1 THE AMERICAN STANDARD FOR NURSERY STOCK, AND THE ACCEPTED STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- SITE TO BE 100% IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ACTS OF GOD OR VANDALISM.
- ANY PLANT THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR WITH THE COST OF THE REPLACEMENT INCLUDED IN THE BID OR PROPOSAL PRICE.
- STAKE ALL TREES.
- WATER THOROUGHLY TWICE IN THE FIRST 24 HOURS AND APPLY MULCH IMMEDIATELY.

**PERMANENT SOD BLEND**

- 90% FINE LEAF FESCUE (FESTUCA ARUNDINACEA) REBEL, REBEL II, WRANGLER, BONANZA, MOJAVE OR EQUAL
- 10% KENTUCKY BLUEGRASS (POA PRATENSIS) MIDNIGHT, RUGBY II, MIDIRON VARIETIES OR EQUAL
- 98% PURITY AND 85% GERMINATION
- 95% WEED FREE

TAG	QTY	SCIENTIFIC NAME	COMMON NAME	COND.	SIZE	REMARKS
<b>SHADE TREE</b>						
AF	3	Acer x freemanii 'Jeffersred'	Autumn Brilliance Maple	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
GD	4	Gymnocladus dioica 'Espresso'	Fruitless KY Coffeetree	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
QB	5	Quercus bicolor	Swamp White Oak	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
TA	4	Tilia americana 'Redmond'	Redmond Linden	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
TD	5	Taxodium distichum	Bald Cypress	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
<b>ORNAMENTAL / EVERGREEN TREE</b>						
AG	3	Amelanchier x grandiflora 'Autumn Brilliance'	Apple Serviceberry	B&B	1.5" cal. 8'ht. 4'wd.	Full, well shaped, single-stem
<b>EVERGREEN SHRUB</b>						
BU	16	Buxus x 'Glencoe'	Chicagoland Green Boxwood	#3 cont.	18"ht. x 18"wd.	Full, vigorous
JC	12	Juniperus chinensis 'Sea Green'	Sea Green Juniper	B&B	24"ht. x 24"wd.	Full, vigorous
PM	4	Pinus mugo 'Mops'	Dwarf Mugo Pine	#3 cont.	18"ht. x 18"wd.	Full, vigorous
TM	14	Taxus x media 'Densiflora'	Dense Yew	#3 cont.	18"ht. x 18"wd.	Full, vigorous
TO	7	Thuja occidentalis 'Techy'	Techy Arborvitae	B&B	48"ht. x 24"wd.	Full, vigorous
<b>DECIDUOUS SHRUB</b>						
IJ	4	Ilex verticillata 'Jim Dandy'	Jim Dandy Male Winterberry	#3 cont.	18"ht. x 18"wd.	Full, vigorous
IL	18	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	#3 cont.	18"ht. x 18"wd.	Full, vigorous
IV	10	Itea virginica 'Little Henry'	Little Henry Sweetpire	#3 cont.	18"ht. x 18"wd.	Full, vigorous
MA	2	Magnolia stellata 'Royal Star'	Royal Star Magnolia	B&B	36"ht. x 24"wd.	Full, vigorous
RA	14	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	#3 cont.	18"ht. x 18"wd.	Full, vigorous
<b>ORNAMENTAL GRASS</b>						
PV	12	Panicum virgatum 'Shenadoah'	Shenadoah Red Switchgrass	#1 cont.		Full, vigorous
SH	52	Sporobolus heterolepis	Prairie Dropseed	#1 cont.		
<b>GROUND COVER</b>						
JS	46	Juniperus chinensis sargentii 'Viridis'	Green Sargent Juniper	#3 cont.		4" on center
<b>PERENNIAL / ANNUAL COLOR / MISCELLANEOUS</b>						
NF	17	Nepeta x foassenii 'Walker's Low'	Walker's Low Catmint	#1 cont.		
		12,000 SF	Permanent Sod Blend			

\* QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES OF PLANTS ON LANDSCAPE PLAN.  
 \* ANNUALS HAVE TWO VARIETIES WITH IDENTICAL QUANTITIES ANN1 FOR SPRING AND SUMMER AND ANN2 FOR FALL AND WINTER.



5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:  
Mark Date By  
△ 5.13.15

LAND USE AND UDC  
APPLICATION SET

Mark Date By  
△

Mark Date By  
△

Seal

1815 South Meyers Road  
Suite 120  
Oakbrook Terrace, IL 60181  
630.424.9080  
FAX: 630.495.3731



STORE #03601  
FSU S08H- CUSTOM

East Towne FSU  
4210 E Washington  
Avenue  
Madison, WI 53704

SHEET TITLE  
**LANDSCAPE PLAN**

VERSION: V4  
ISSUE DATE: 5-2015

Job No. : 075144  
Store : 03601  
Date : 05/13/15  
Drawn By : JM  
Checked By : JG

Sheet  
**C-5.0**



SITE MAP NOT TO SCALE

LEGEND:

- Legend listing various symbols and their corresponding field descriptions, including surveyed boundaries, lot/parcel lines, right-of-way lines, setbacks, easement lines, and various utility and monument markers.

PROPERTY DESCRIPTION:

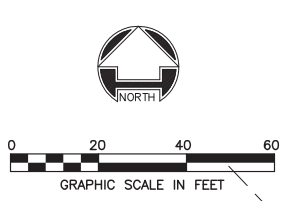
PARCEL I: LOT SIXTY-THREE (63) AND THE SOUTHWEST 31.9 FEET OF LOT SIXTY-FOUR (64), FIRST ADDITION TO NORMAN ACRES, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.
PARCEL II: LOT SIXTY-FOUR (64), EXCEPT THE SOUTHWEST 31.9 FEET THEREOF, ALL OF LOT SIXTY-FIVE (65), AND THE SOUTHWEST 38 FEET OF LOT SIXTY-SIX (66), FIRST ADDITION TO NORMAN ACRES, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.
PARCEL III: LOT TWO (2), OF CERTIFIED SURVEY MAP NO. 6 RECORDED IN THE DANE COUNTY REGISTER OF DEEDS OFFICE, IN VOLUME 1 OF CERTIFIED SURVEY MAPS, PAGE 6, AS DOCUMENT NO. 980559, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

AREA SCHEDULE:

PARCEL I: 23,157 S.F. OR 0.532 ACRES (MORE OR LESS)
PARCEL II: 34,552 S.F. OR 0.793 ACRES (MORE OR LESS)
PARCEL III: 9,806 S.F. OR 0.225 ACRES (MORE OR LESS)
TOTAL: 67,515 S.F. OR 1.550 ACRES (MORE OR LESS)

ZONING INFORMATION:

PER THE ZONING MAP PREPARED BY THE CITY OF MADISON PLANNING DIVISION AND ZONING STAFF AND DATED NOVEMBER 2014 THE SUBJECT PROPERTY IS ZONED CC-2 (COMMERCIAL CORRIDOR - TRANSITIONAL DISTRICT).



SURVEYOR'S NOTES:

- 1. THE BASIS OF MEASURED BEARINGS AND COORDINATES SHOWN HEREON IS THE WISCONSIN COUNTY COORDINATE SYSTEM - DANE COUNTY ZONE.
2. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING RECORD EASEMENTS, ADJOINERS, AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF THE TRACTS DEPICTED HEREON WAS OBTAINED FROM FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT FOR TITLE INSURANCE, COMMITMENT NO. NCS-699367-MAD, DATED NOVEMBER 03, 2014.
3. SURVEY AS SHOWN WAS PREPARED FROM THE LEGAL DESCRIPTIONS, TOGETHER WITH SCHEDULE B CONTAINED IN RECORD HEREON. PLEASE REFER TO YOUR TITLE ABSTRACT, DEED, GUARANTEE POLICY, TITLE COMPANY, LOCAL GOVERNMENTAL BODIES, LOCAL ORDINANCES, AND OTHERS, IN ORDER TO DETERMINE IF ANY ADDITIONAL AGREEMENTS, LIENS, WAIVERS, RESTRICTIONS, ENCUMBRANCES, AND EASEMENTS EXIST.

UTILITY CONTACT INFORMATION:

SITE UTILITIES: SANITARY SEWER
AGENCY: CITY OF MADISON SANITARY AND STORM SEWERS
ADDRESS: 210 MARTIN LUTHER KING JR. BLVD., ROOM 115, MADISON, WI 53703
CONTACT: MARK MODER
PHONE: (608) 261-9250
EMAIL: MMODER@CITYOFMADISON.COM
FAX: (608) 264-9275

FLOOD ZONE INFORMATION:

FURTHER CERTIFY THAT ACCORDING TO THE FLOOD INSURANCE RATE MAP - MAP NUMBER 55025C028BH, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY WITH AN EFFECTIVE DATE OF SEPTEMBER 17, 2014, WHICH IS THE MOST CURRENT FLOOD INSURANCE RATE MAP AVAILABLE ON FEMA'S WEBSITE, THIS SITE IS LOCATED IN ZONE "X" (NO SHADING) - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN OR IN ZONE "D" (NO SHADING) - AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NOTES:

- 1. "M." DESIGNATES MEASURED DIMENSION/BEARING, "R." DESIGNATES RECORD DIMENSION/BEARING PER FIRST ADDITION TO NORMAN ACRES PLAT AND CERTIFIED SURVEY MAP NO. 6, "R1." DESIGNATES RECORD DIMENSION/BEARING PER PARCEL III EXCEPTION DESCRIPTION.
2. DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
3. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENTS HEREON.
4. THE SUBJECT PROPERTY CONTAINS PARKING STALLS, BUT DUE TO THE SITE CONDITIONS AN ACCURATE COUNT WAS NOT OBTAINABLE.

BENCHMARK:

THE BASIS OF ELEVATIONS HEREON IS NAVD 88. IRON ROD WITH CAP SET - SEE DRAWING FOR LOCATION. ELEVATION = 877.24'

Project information block including Diggers Hotline contact info, project number (75144), date (01/20/15), scale (AS SHOWN), and Woolpert, Inc. contact details for the survey.

CHICK-FIL-A MADISON, WISCONSIN
A PART OF THE SOUTHEAST 1/4 OF SECTION 28, TOWNSHIP 8 NORTH, RANGE 10 EAST OF THE 4TH PRINCIPAL MERIDIAN, CITY OF MADISON, DANE COUNTY, WISCONSIN.
ALTA/ACSM LAND TITLE & TOPOGRAPHIC SURVEY



**Chick-fil-e**

5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:

Mark	Date	By
△	5.13.15	

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APPLICATION SET

Mark	Date	By
△		

Mark	Date	By
△		

Seal

STORE  
Name  
FSU S08H- CUSTOM

East Towne FSU  
4210 E Washington  
Avenue  
Madison, WI 53704

SHEET TITLE  
FLOOR PLAN

VERSION: V4  
ISSUE DATE: 5-2015

Job No. : 15-1356

Store : 03601

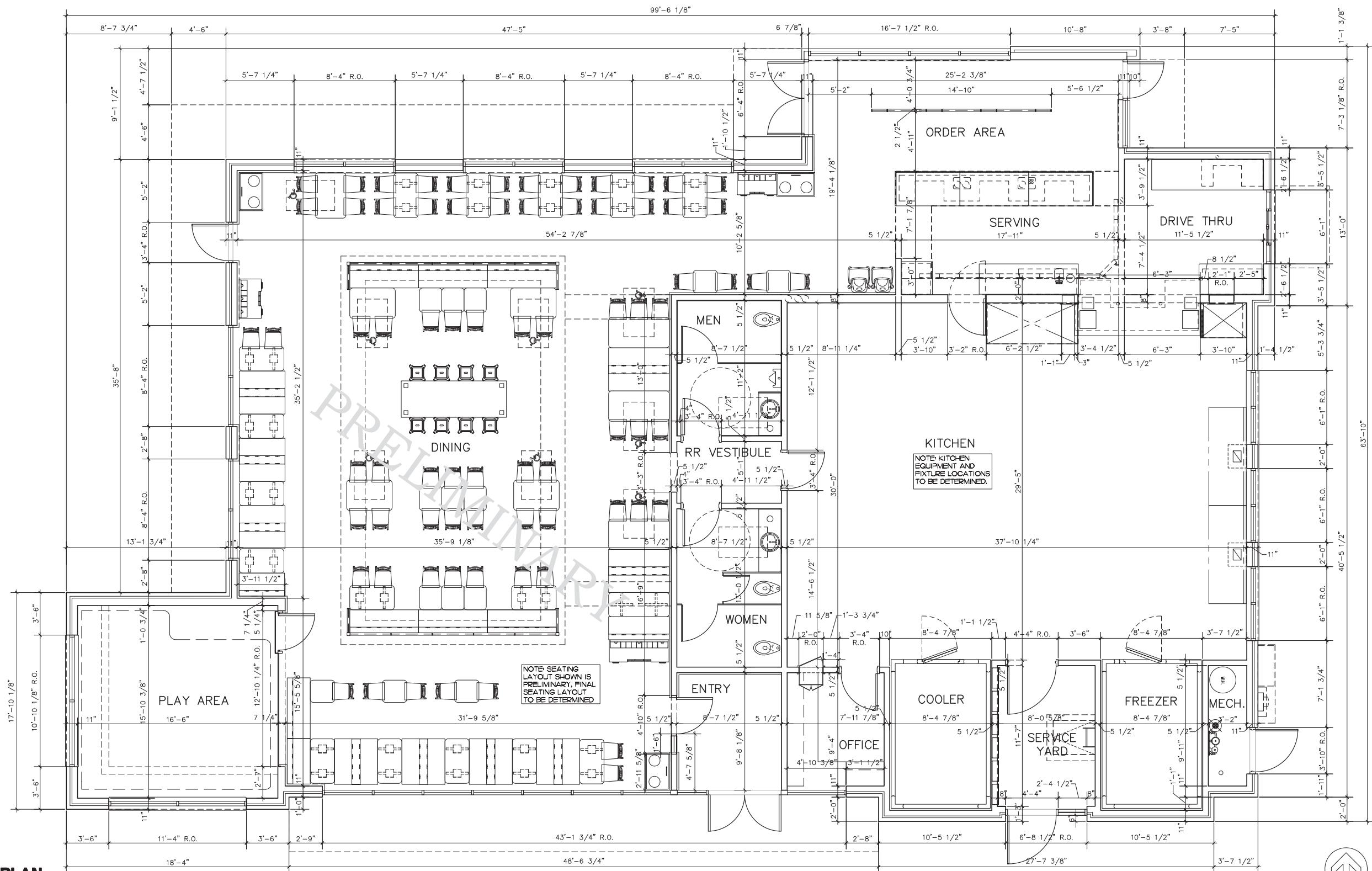
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Checked By: --

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**A-1.1A**



**FLOOR PLAN**  
1/4" = 1'-0"



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Name  
FSU S08H- CUSTOM

East Towne FSU  
4210 E Washington  
Avenue  
Madison, WI 53704

SHEET TITLE  
PATIO PLAN

VERSION: V4  
ISSUE DATE: 5-2015

Job No. : 15-1356

Store : 03601

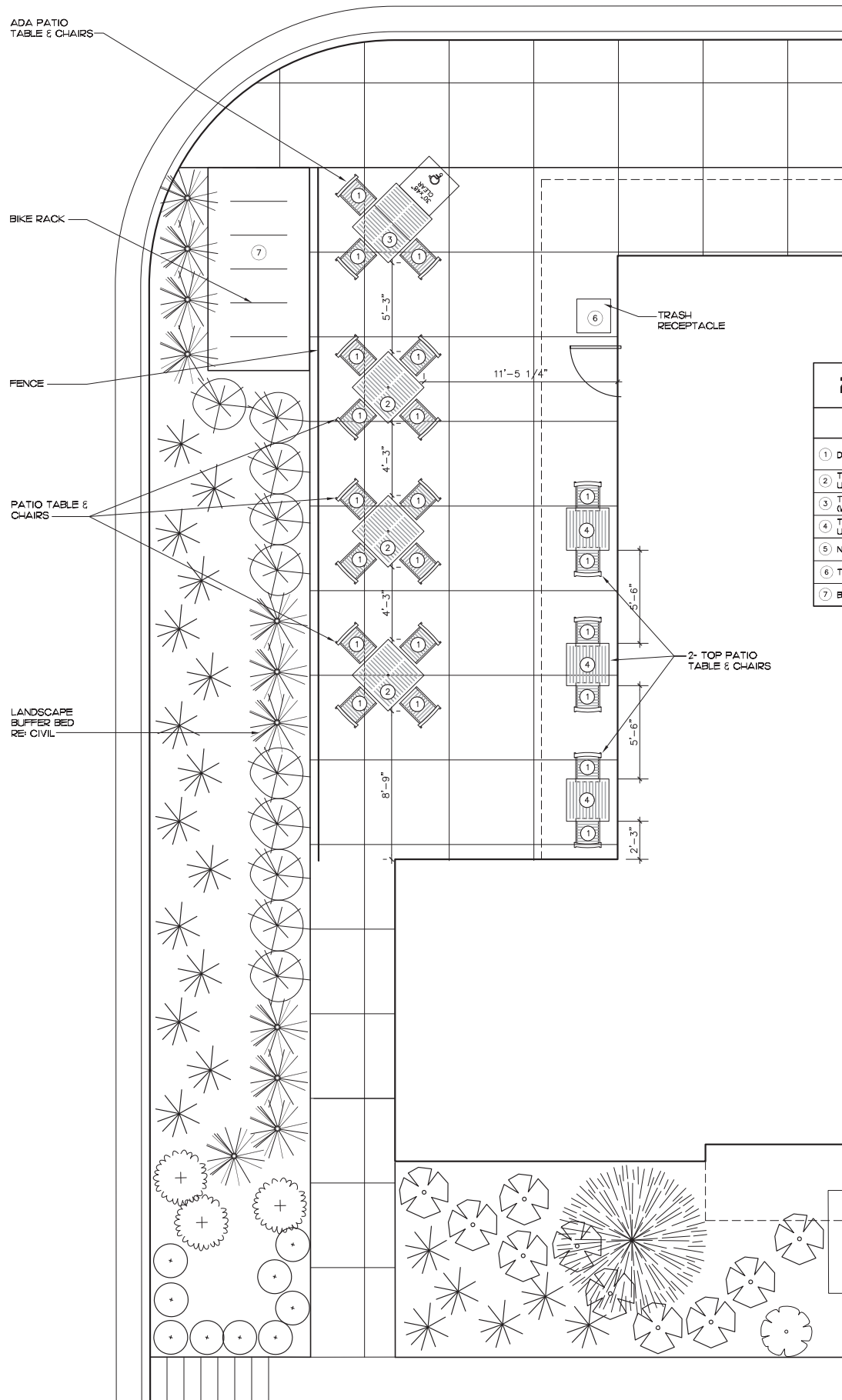
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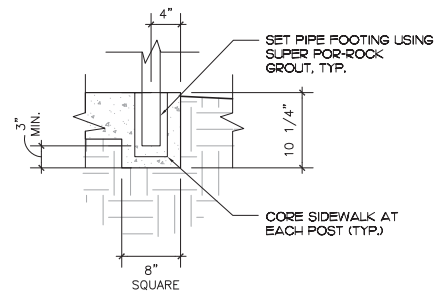
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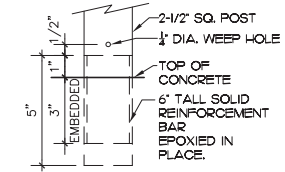
**A-1.B**



2 PATIO SEATING SCHEDULE						
NAME	MANUFACTURER	PART #	SIZE	MATERIAL	FINISH	PROVIDED BY:
① DINING CHAIR	BENCH-MARK DESIGN GROUP	BAJA SIDE STACK (2012)	20" W X 21" D X 32.31" H, 17" SEAT HEIGHT	ALUMINUM - 1" X 1.5" TUBING	RAL 49166220 (C34 BRONZE ONE COAT)	STRATEGIC
② TABLE - FOUR TOP (W/ UMBRELLA HOLE)	BENCH-MARK DESIGN GROUP	TAB3055-3636-AAL-WJ-LH-BDT	36" X 36" X 29-1/4" H	ALUMINUM	RAL 49166220 (C34 BRONZE ONE COAT)	STRATEGIC
③ TABLE - ADA FOUR TOP (W/ UMBRELLA HOLE)	BENCH-MARK DESIGN GROUP	TAB3055-3644-AAL-WJ-LH-BDT	36" X 44" X 29-1/4" H	ALUMINUM	RAL 49166220 (C34 BRONZE ONE COAT)	STRATEGIC
④ TABLE - TWO TOP (W/O UMBRELLA HOLE)	BENCH-MARK DESIGN GROUP	TAB3055-3030-AAL-WJ-BDT	24" X 24" X 29-1/4" H	ALUMINUM	RAL 49166220 (C34 BRONZE ONE COAT)	STRATEGIC
⑤ NOT USED						
⑥ TRASH RECEPTACLE	BENCH-MARK DESIGN GROUP	CFA-AL-2444	24"W X 24"D X 47"H	ALUMINUM	RAL 49166220 (C34 BRONZE ONE COAT)	STRATEGIC
⑦ BIKE RACK	BELSON OUTDOORS	IN-GROUND MOUNTED #ORN-2-16-6 SURFACE MOUNTED #ORN-2-SF-6	40"L X 33"W X 2-3/8" TUBING	STEEL TUBING	GALVANIZED FINISH	G.C.



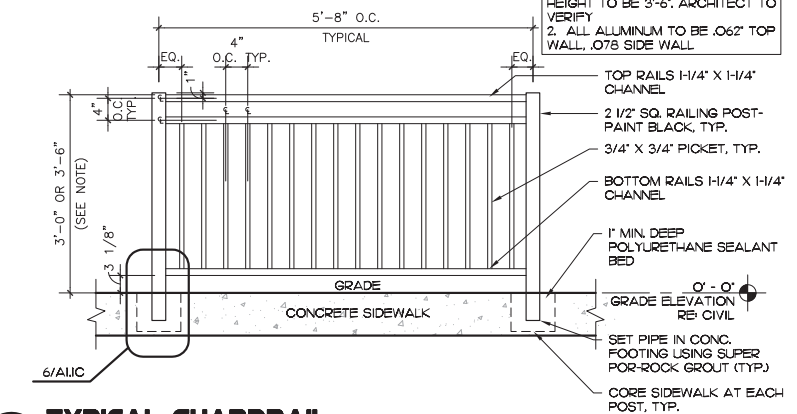
**3 TYPICAL PATIO RAIL**  
1" = 1'-0"



**WEEP HOLE NOTE**  
ALL POSTS GROUTED INTO CONCRETE MUST HAVE A 1/2" DIAMETER WEEP HOLE LOCATED JUST ABOVE THE MOUNTING SURFACE AND ALONG THE PLANE OF THE RAIL. WEEP HOLES WILL NEED TO BE DRILLED AFTER RAILS HAVE BEEN INSTALLED.

**4 EMBEDDED POST DETAIL**  
3" = 1'-0"

**NOTES:**  
1. FINAL GUARDRAIL HEIGHT 3'-0" FOR ELEVATION CHANGES UNDER 0'-6"; FOR CHANGES IN ELEVATION OVER 0'-6" OR WHERE REQUIRED BY LOCAL A.H.I. FINAL GUARDRAIL HEIGHT TO BE 3'-6". ARCHITECT TO VERIFY  
2. ALL ALUMINUM TO BE .062" TOP WALL, .078" SIDE WALL



**2 TYPICAL GUARDRAIL**  
3/4" = 1'-0"

**1 PATIO SEATING PLAN**  
1/4" = 1'-0"





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30349-2998

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Mark	Date	By
△		

Seal

STORE  
Name  
FSU S08H- CUSTOM

East Towne FSU  
4210 E Washington  
Avenue  
Madison, WI 53704

SHEET TITLE  
SITE SECTION

VERSION: V4  
ISSUE DATE: 5-2015

Job No. : 15-1356

Store : 03601

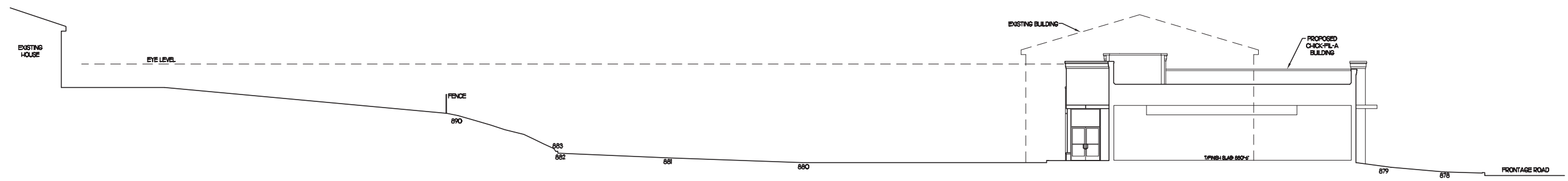
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**A-I-C**



**I SITE SECTION LOOKING EAST**

3/32" = 1'-0"

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△		

Seal

STORE  
Name  
FSU S08H- CUSTOM

East Towne FSU  
4210 E Washington  
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Madison, WI 53704

SHEET TITLE  
ROOF PLAN

VERSION: V4  
ISSUE DATE: 5-2015

Job No. : 15-1356

Store : 03601

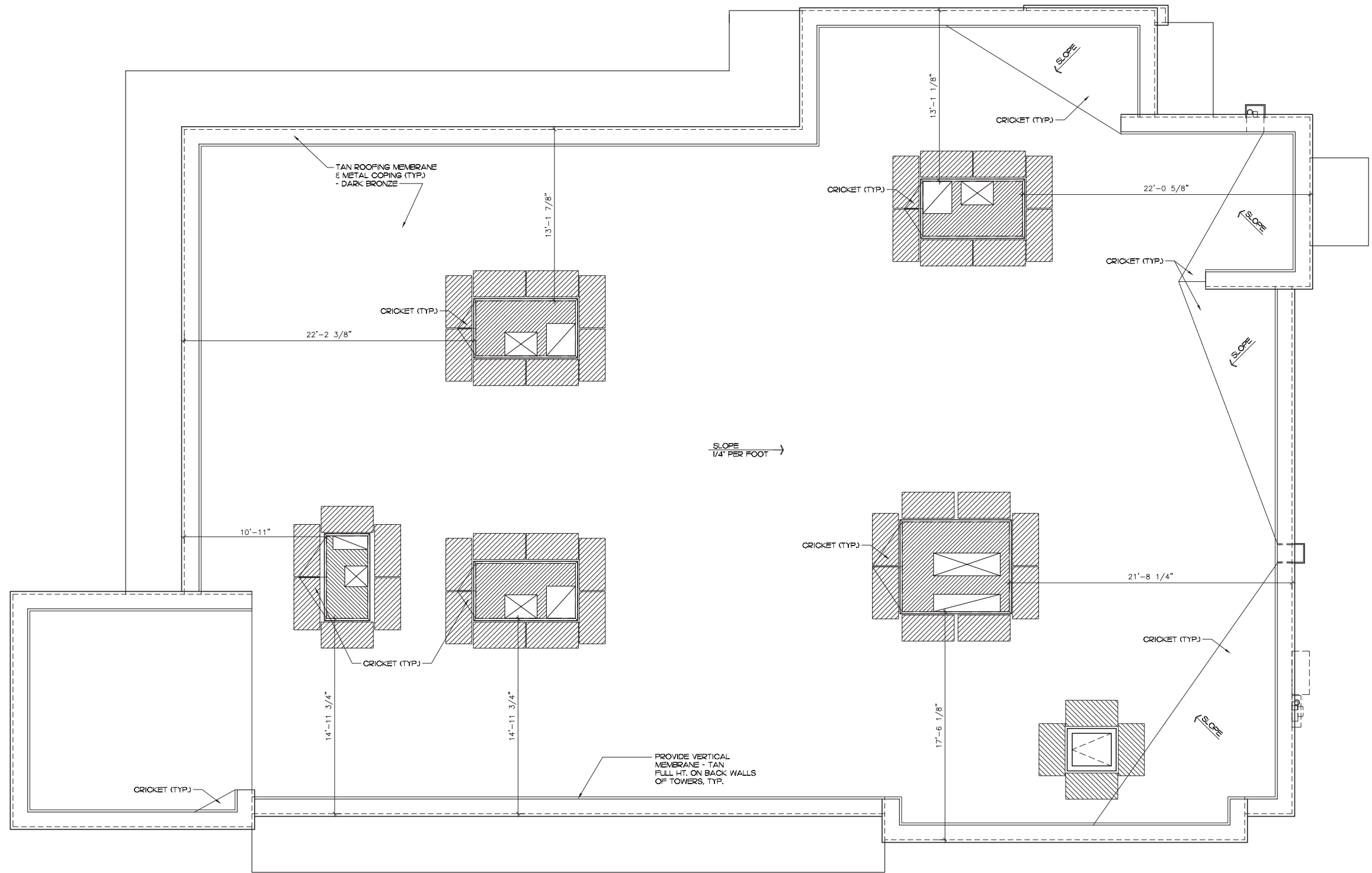
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Checked By : --

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**A-1.7**

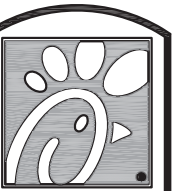


**ROOF PLAN**  
1/4" = 1'-0"

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EXTERIOR FINISHES - FOR STOREFRONT GLAZING - SEE GLASS SCHEDULE & INTERIOR ELEVATIONS			
BR-1	BRICK # 1 (MODULAR SIZE) GENERAL SHALE - RED VELOUR ACME EQUIVALENT - CRIMSON	A-1	ALUMINUM AWNING - LOUVERED COLOR - DARK BRONZE SIZE - 48'-6 3/4" LENGTH x 4'-6" DEPTH
BR-2	BRICK # 2 (MODULAR SIZE) GENERAL SHALE - SILVERSTONE ACME EQUIVALENT - MISSION BLEND 1	A-2	ALUMINUM AWNING - COVERED COLOR - DARK BRONZE SIZE - 6'-9" LENGTH x 4'-6" DEPTH
ST-1	STOREFRONT YKK - YES 45 TU COLOR - DARK BRONZE (MATTE)	A-3	ALUMINUM AWNING - COVERED COLOR - DARK BRONZE SIZE - 7'-3" LENGTH x 4'-6" DEPTH
PT-9	PAINT #9 SHERWIN WILLIAMS - SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350 COLOR - DARK BRONZE (SEMI-GLOSS)	A-4	ALUMINUM AWNING - LOUVERED COLOR - DARK BRONZE SIZE - LENGTH PER PLAN x 4'-6" DEPTH
EC-1	PARAPET WALL COPING DUROLAST/ EXCEPTIONAL METALS - COLOR - DARK BRONZE		

NOTE:  
ALTERNATE COLOR FOR ALL AWNINGS - REGAL RED. VERIFY ON PLANS.



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STORE Name  
FSU S08H- CUSTOM

East Towne FSU  
4210 E Washington  
Avenue  
Madison, WI 53704

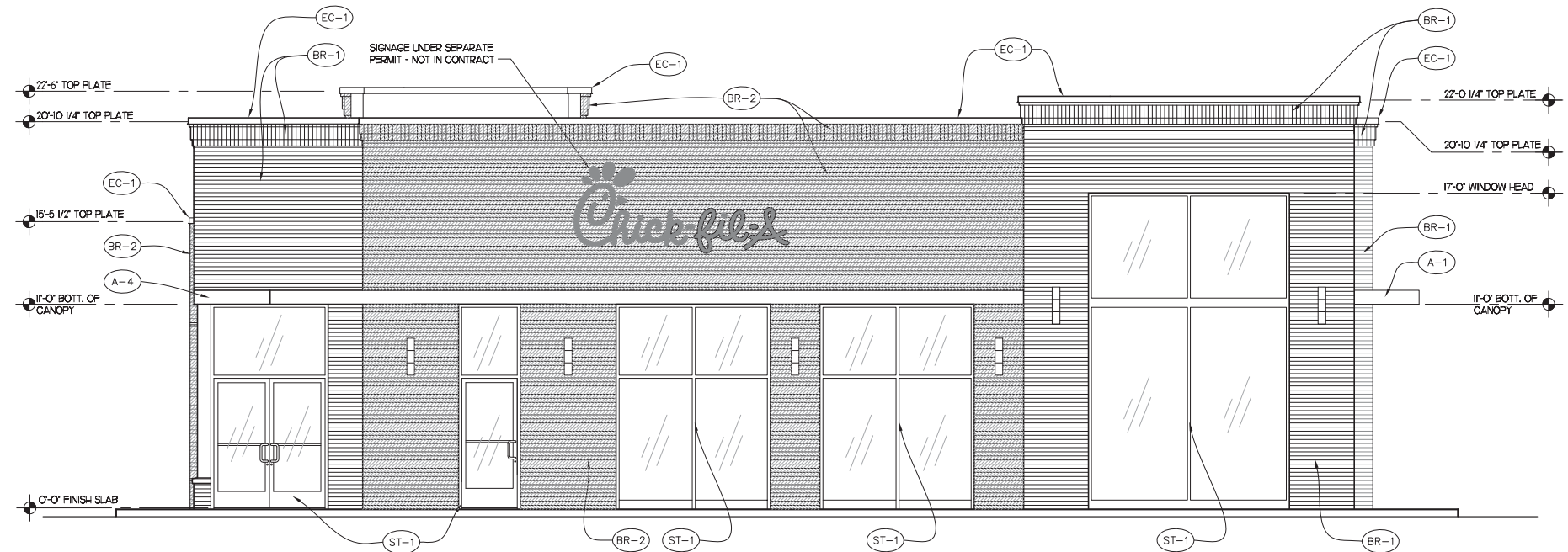
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EXTERIOR  
ELEVATIONS

VERSION: V4  
ISSUE DATE: 5-2015

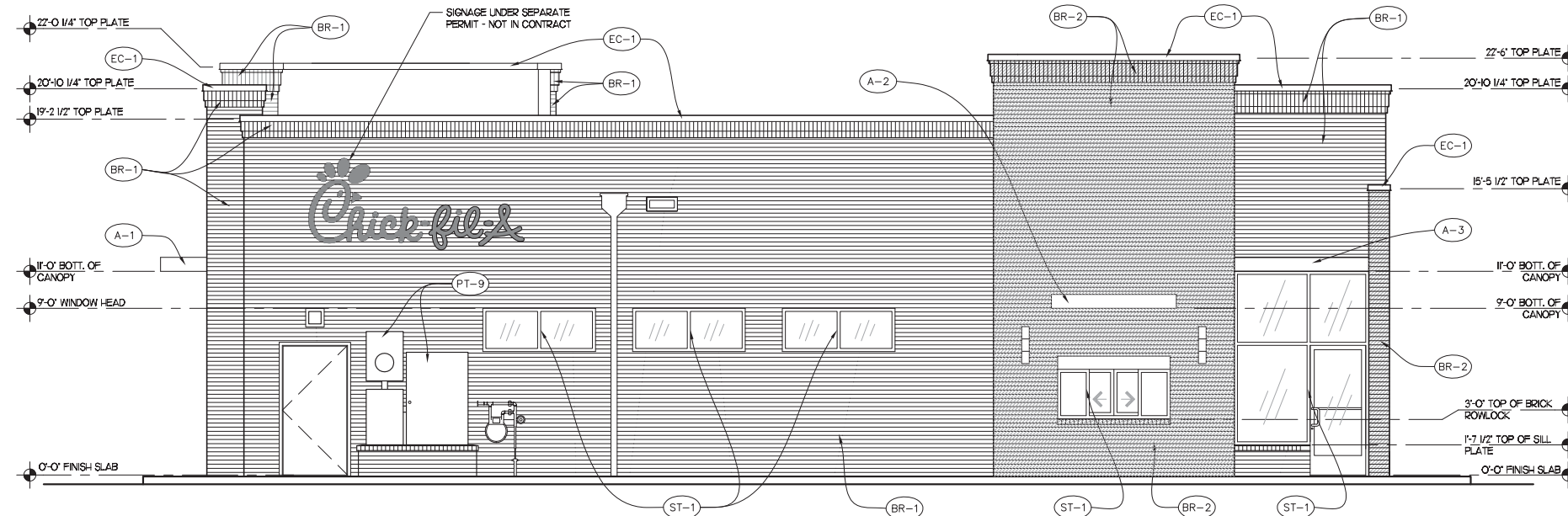
Job No. : 15-1356  
Store : 03601  
Date : 5.13.15  
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Sheet

**A-21**



**2 WEST ELEVATION**  
1/4" = 1'-0"



**1 EAST ELEVATION**  
1/4" = 1'-0"

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**Chick-fil-cu**

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Atlanta Georgia,  
30349-2998

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APPLICATION SET

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Mark	Date	By
△		

Seal

STORE  
Name  
FSU S08H- CUSTOM

East Towne FSU  
4210 E Washington  
Avenue  
Madison, WI 53704

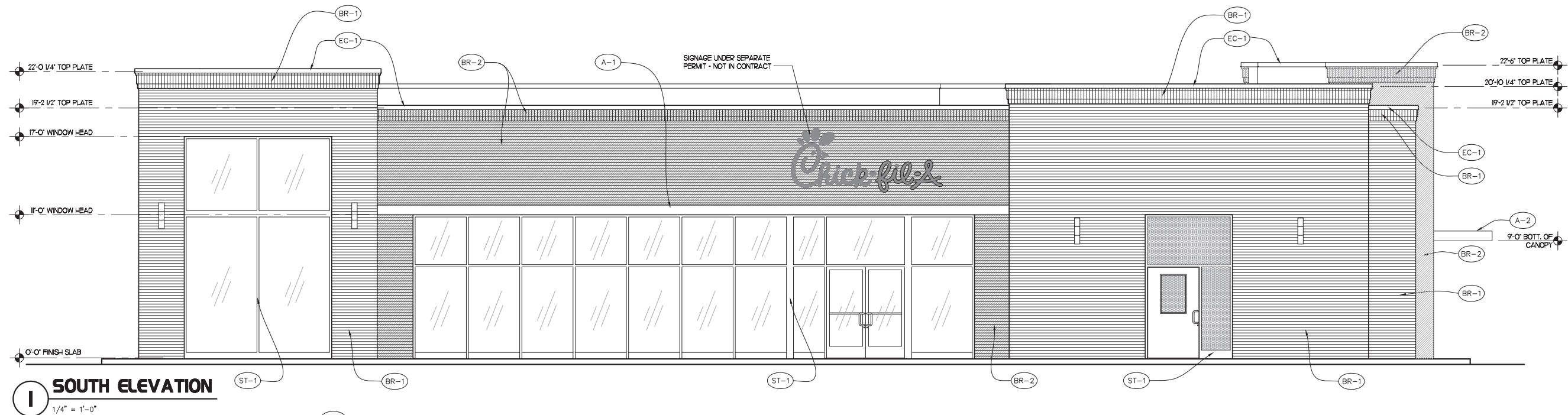
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ELEVATION

VERSION: V4  
ISSUE DATE: 5-2015

Job No. : 15-1356  
Store : 03601  
Date : 5.13.15  
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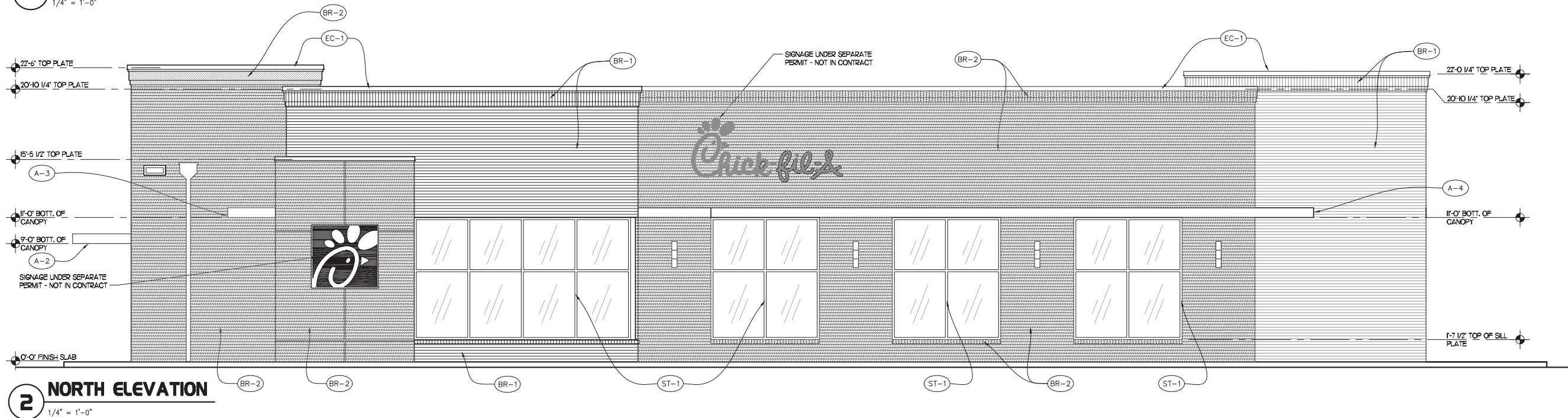
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**A-2.2**



**1 SOUTH ELEVATION**

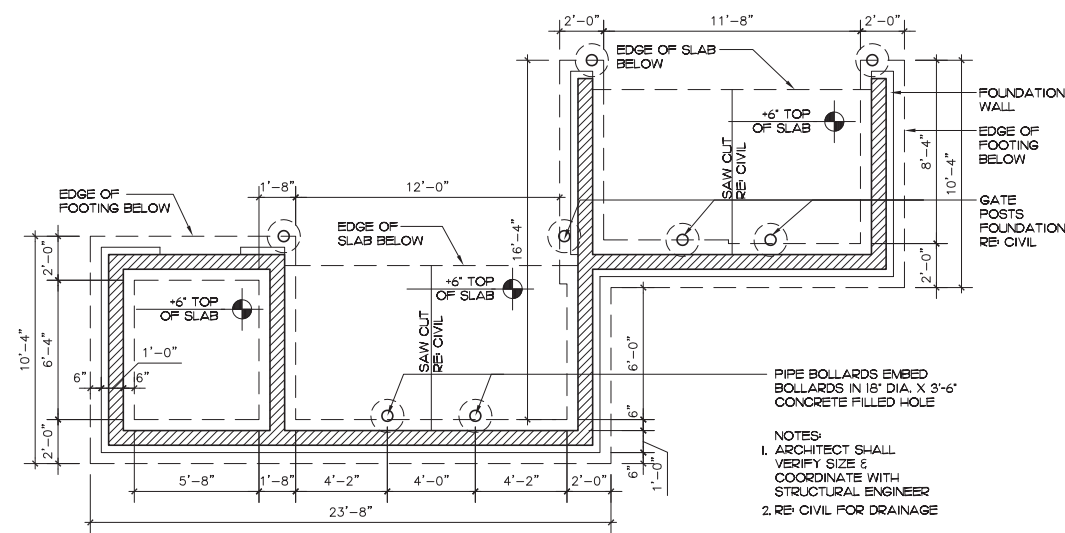
1/4" = 1'-0"



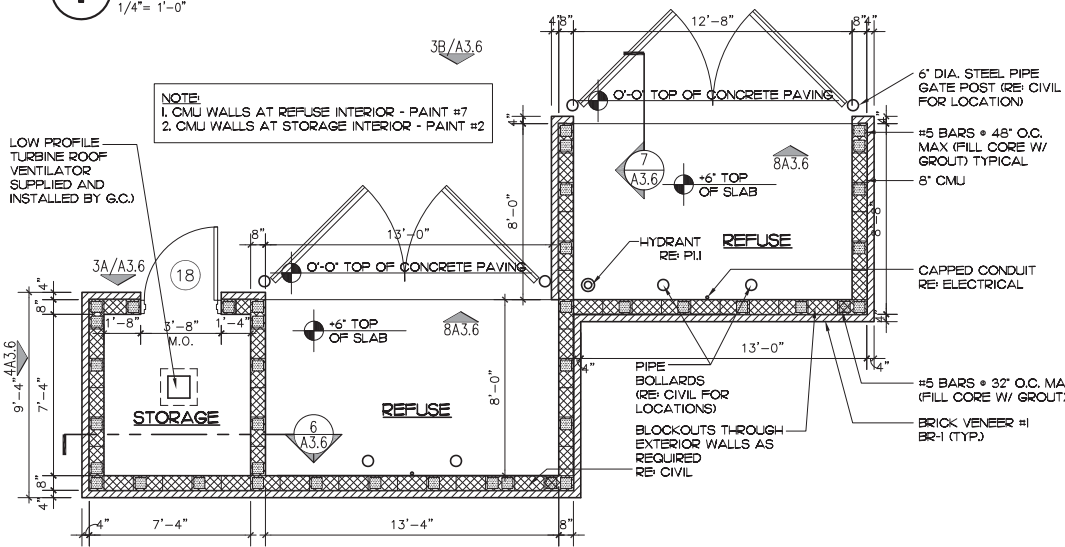
**2 NORTH ELEVATION**

1/4" = 1'-0"

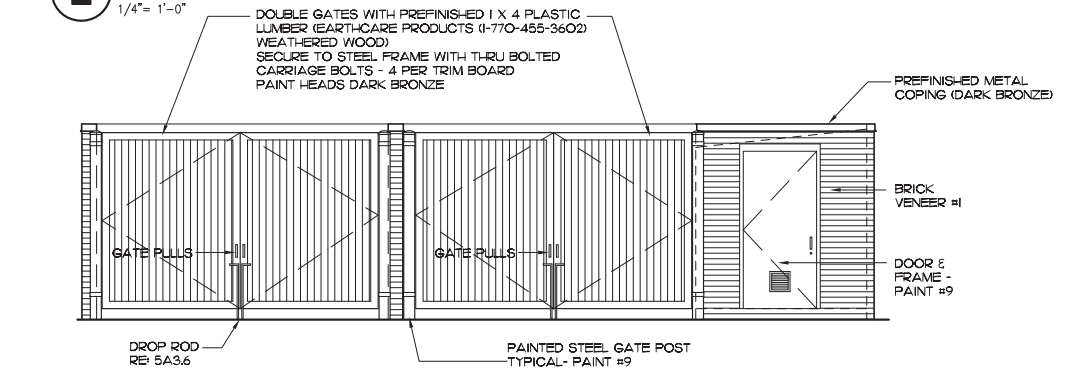
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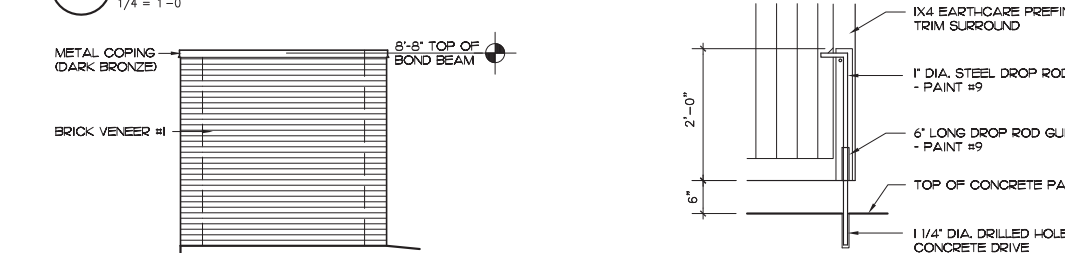
**1 FOUNDATION PLAN**  
1/4" = 1'-0"



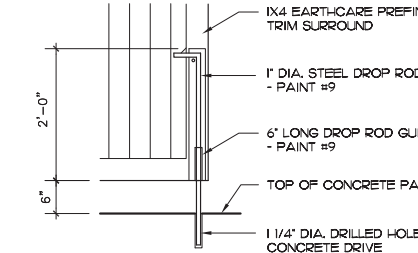
**2 FLOOR PLAN**  
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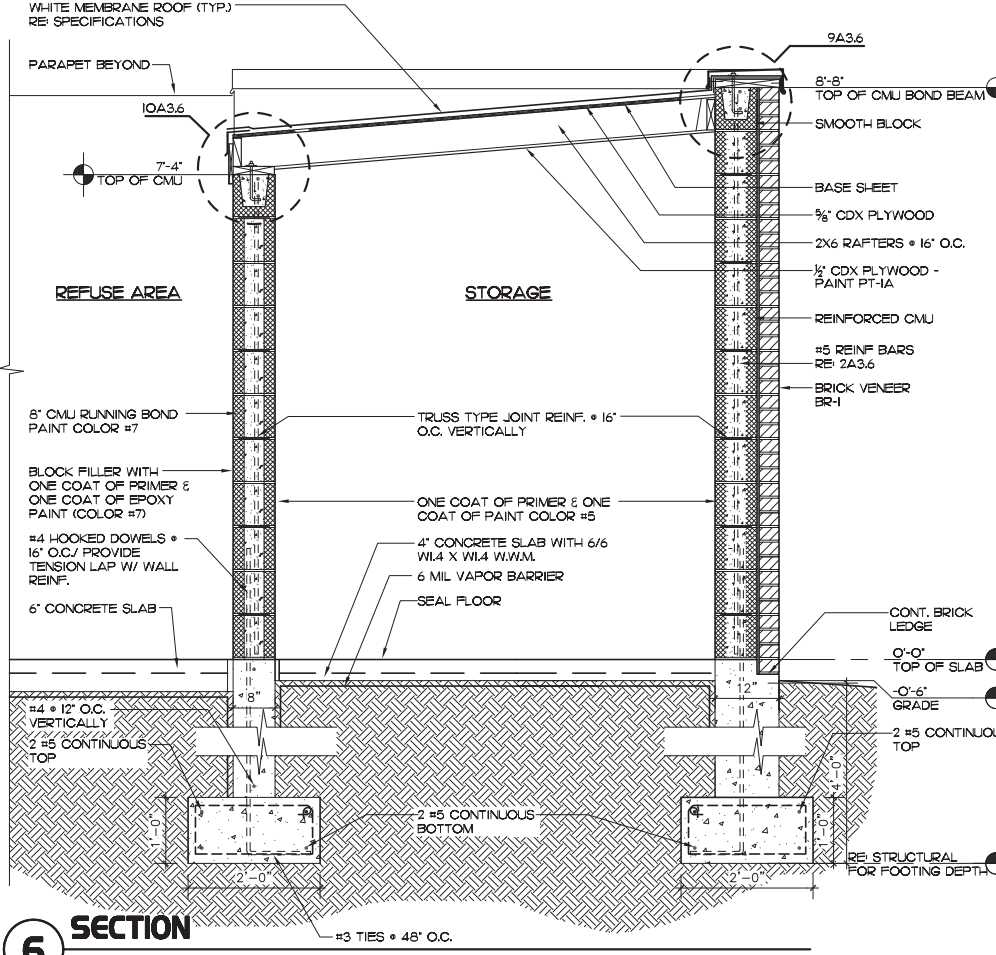
**3 FRONT ELEVATION**  
1/4" = 1'-0"



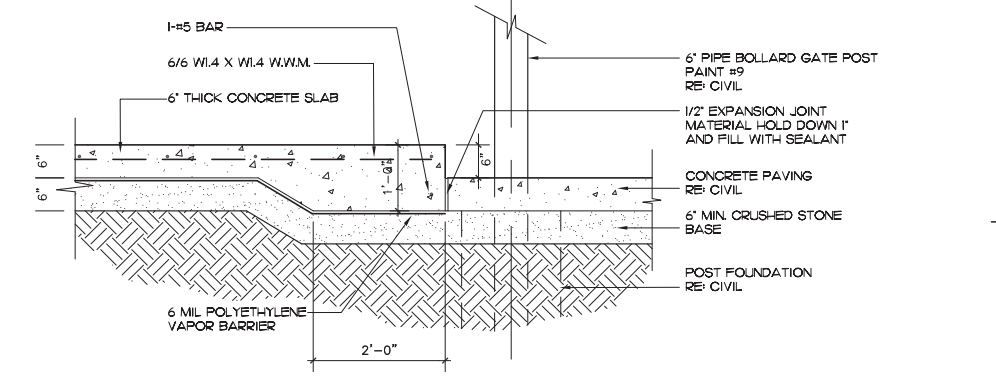
**4 SIDE ELEVATION**  
1/4" = 1'-0"



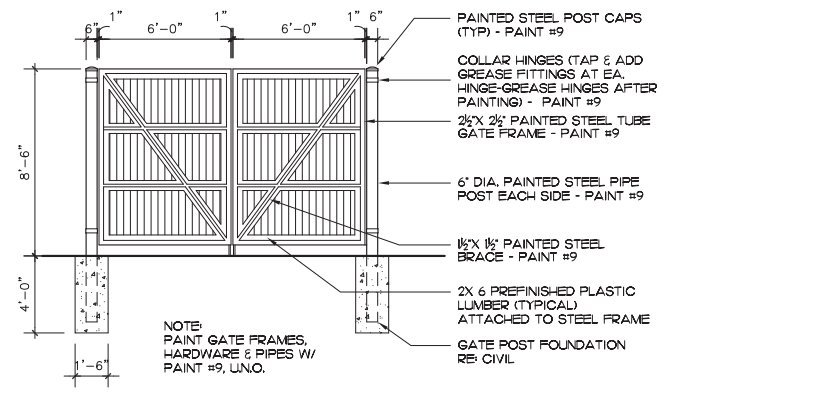
**5 DROP ROD DETAIL**  
3/4" = 1'-0"



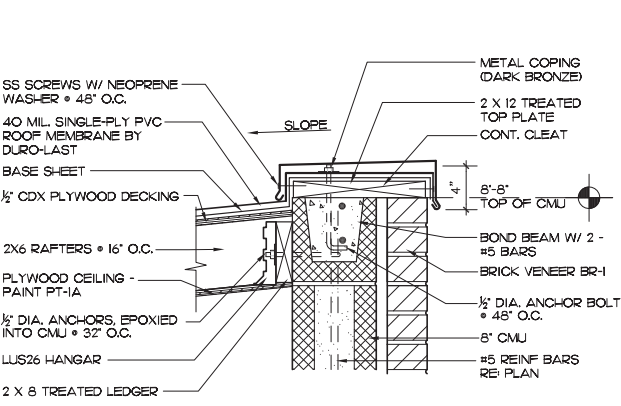
**6 SECTION**  
3/4" = 1'-0"



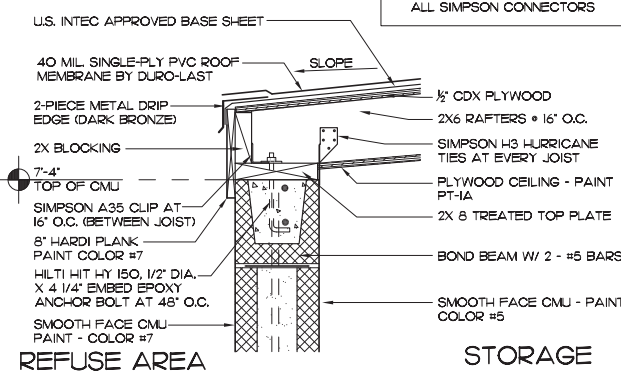
**7 REFUSE PAD AT CONCRETE PAVING DETAIL**  
3/4" = 1'-0"



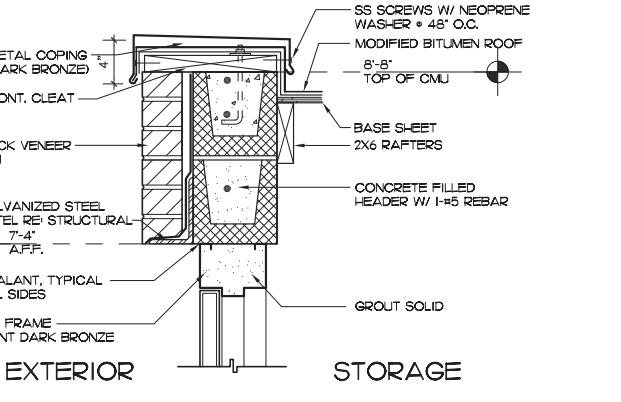
**8 TYPICAL DOUBLE GATE ELEVATION**  
1/4" = 1'-0"



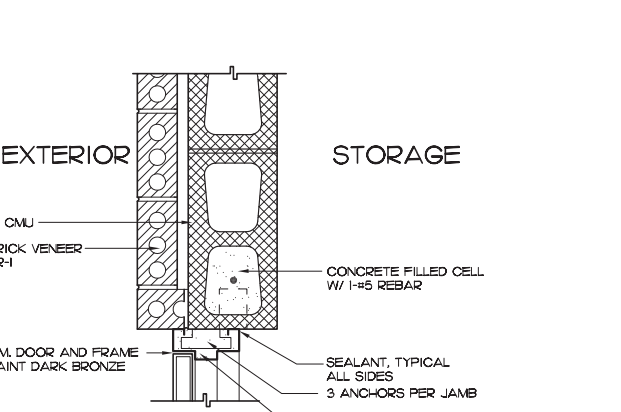
**9 ROOF EDGE DETAIL**  
1 1/2" = 1'-0"



**10 ROOF EDGE DETAIL**  
1 1/2" = 1'-0"



**11 HEAD DETAIL**  
1 1/2" = 1'-0"



**12 JAMB**  
1 1/2" = 1'-0"



**Chick-fil-e**

5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:  
Mark Date By  
△ 5.13.15

LAND USE AND UDC  
APPLICATION SET

Mark Date By  
△

Mark Date By  
△

Seal

STORE  
Name  
FSU S08H- CUSTOM

East Towne FSU  
4210 E Washington  
Avenue  
Madison, WI 53704

SHEET TITLE  
REFUSE  
ENCLOSURE

VERSION: V4  
ISSUE DATE: 5-2015

Job No. : 15-1356  
Store : 03601  
Date : 5.13.15

Drawn By :  
Checked By :  
Sheet

**A-3.6**



**Chick-fil-A**

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Atlanta Georgia,  
30349-2998

Revisions:  
Mark Date By  
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APPLICATION SET

Mark Date By  
△

Mark Date By  
△

Seal

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STORE  
Name  
FSU S08H- CUSTOM

East Towne FSU  
4210 E Washington  
Avenue  
Madison, WI 53704

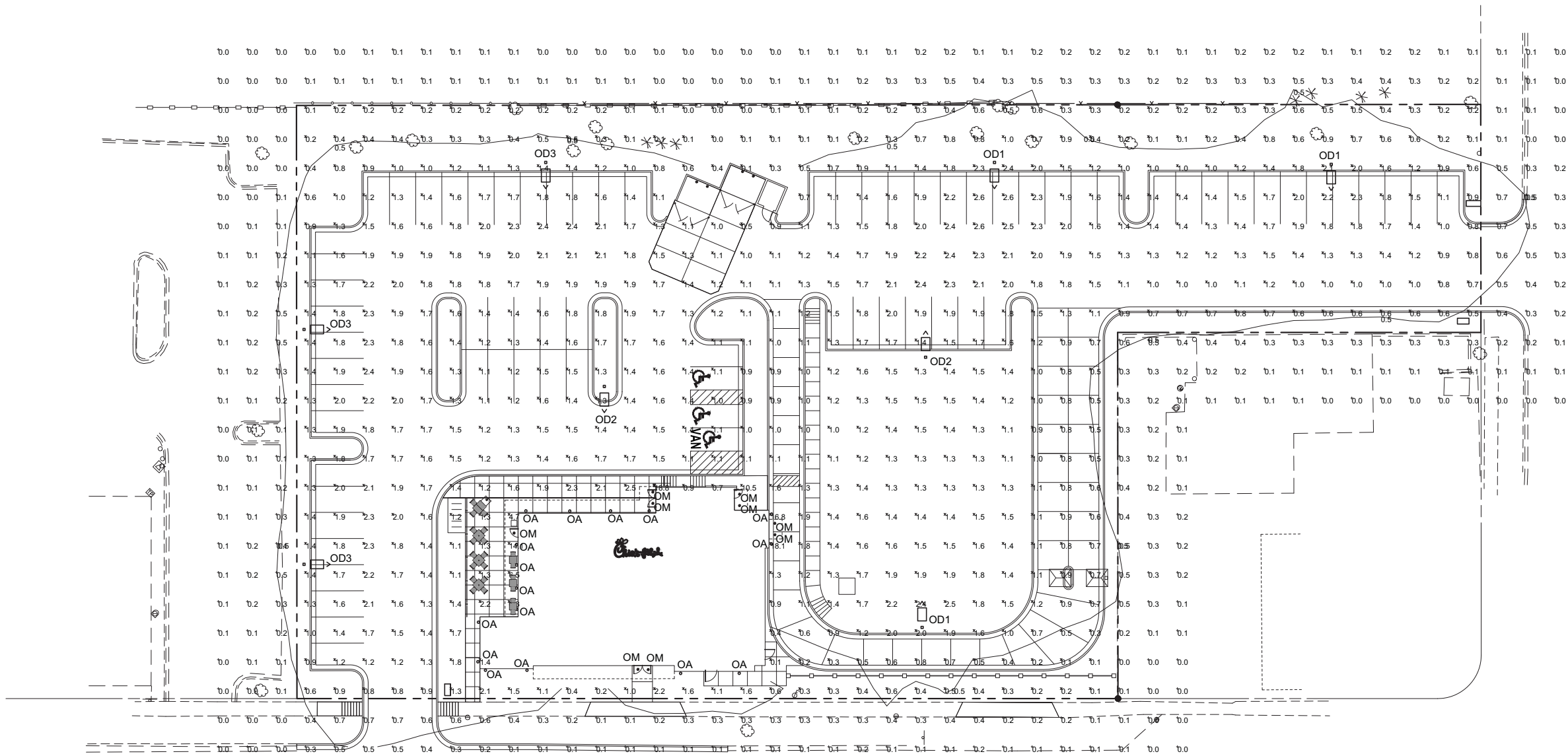
SHEET TITLE  
Photometric  
Plan

VERSION: V4  
ISSUE DATE: 5-2015

Job No. : CF1536  
Store : 03601  
Date : 5.13.15  
Drawn By : BS  
Checked By : MK

Sheet

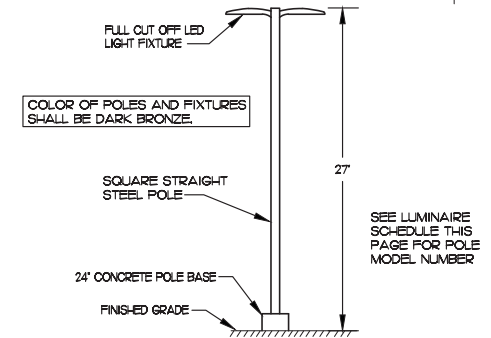
**ES2.I**



LUMINAIRE SCHEDULE								
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	LLF	Watts
□	OD1	3	LITHONIA DSX0 LED 40C 1000 40K T3M MVOLT DDBXD	DSX0 LED WITH (2) 20 LED LIGHT ENGINE, TYPE T3M OPTIC, 4000K, @ 1000mA	LED	Absolute	0.94	138
□	OD2	2	LITHONIA DSX0 LED 40C 1000 40K T3M MVOLT DDBXD	DSX0 LED WITH (2) 20 LED LIGHT ENGINE, TYPE T3M OPTIC, 4000K, @ 1000mA	LED	Absolute	0.94	138
□	OD3	3	LITHONIA DSX0 LED 40C 1000 40K T3M MVOLT DDBXD HS	DSX0 LED WITH (2) 20 LED LIGHT ENGINE, TYPE T3M OPTIC, 4000K, @ 1000mA WITH HOUSE SIDE SHIELD	LED	Absolute	0.94	138
○	OM	9	ND4R20-NDLED4R-80Y (PROVIDED BY CANPOPY MFR.)	LED RECESSED DOWN LIGHT, LENSED	LED	Absolute	0.94	21
○	OA	16	BA2-010A-24-GW-BNP (SEE SHEET E1.1 FOR MIRE INFO.)	2 BRIDGELUX 20 LED ARRAYS IN BAMBOO WALL SCONCE LUMINAIRE 3.75" DIA 8" TALL WHITE ACRYLIC DIFFUSERS TOP & BOTTOM THOMAS RESEARCH DRIVER #LED30W-66-C0450-D WATTS=30.47		Absolute	0.94	30

OD POLE SHALL BE A 2" STRAIGHT STEEL POLE BY LITHONIA, MODEL #SSS-25-5C-DM19-BC-NACF-DBB. ANCHOR BOLT SET: MODEL #ABSSS-5.

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #4	+	1.0 fc	18.8 fc	0.0 fc	N/A	N/A
Lot Summary	⊗	1.4 fc	18.8 fc	0.0 fc	N/A	N/A
Parking Lot Summary	⊗	1.5 fc	2.6 fc	0.5 fc	5.2:1	3.0:1



**2 SITE LIGHTING POLE DETAIL**  
NOT TO SCALE

**1 PHOTOMETRIC PLAN**  
SCALE: 1"=20'-0"

