

**Surveyor's Certificate**

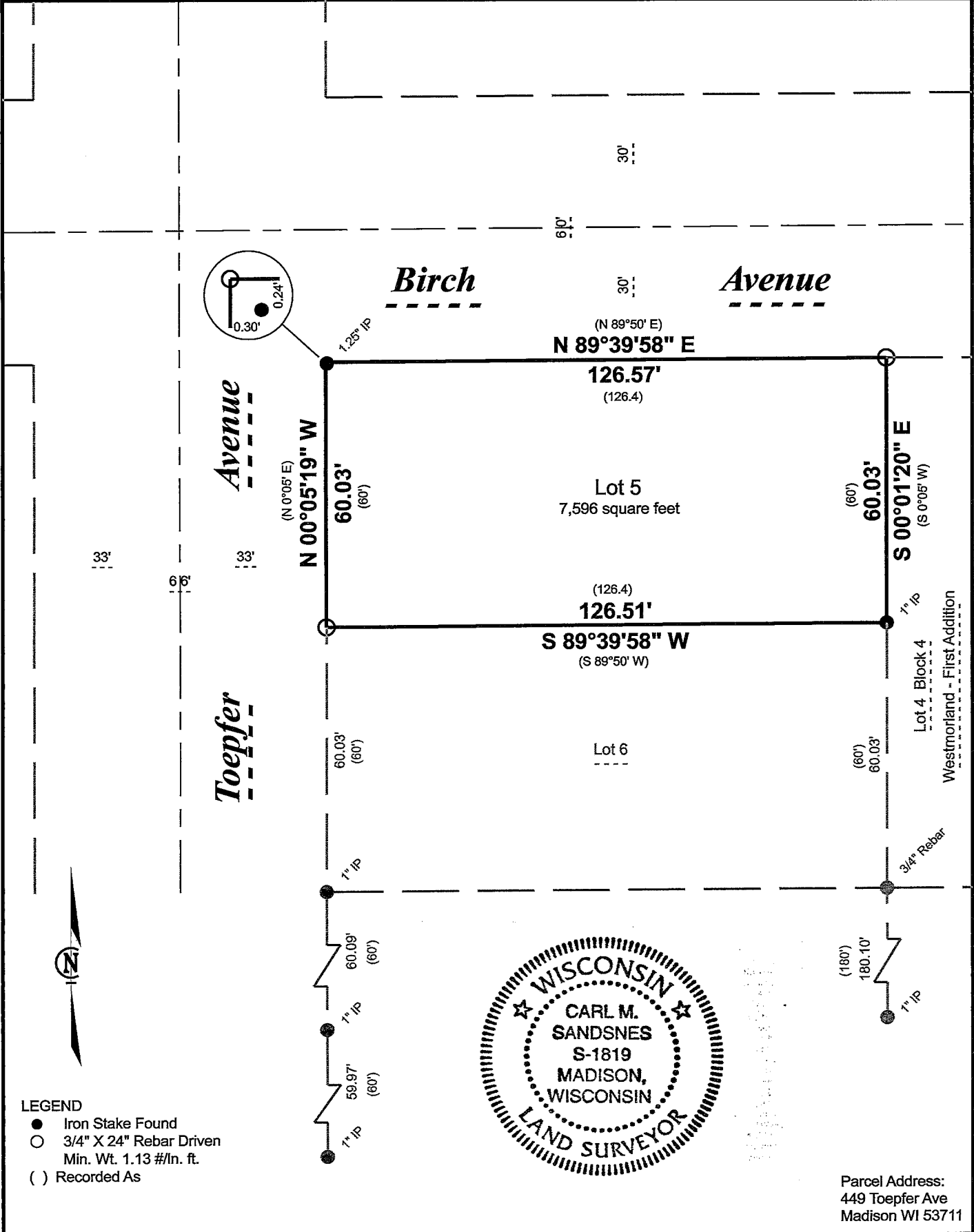
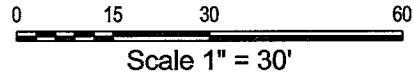
I hereby certify that this survey is in compliance with A-E 7 of Wisconsin Administrative Code.

I further certify that I have surveyed and mapped the lands described hereon, and that this map is a correct representation in accordance with the information furnished.

*Carl M. Sandsnes* July 27, 2012  
 Carl M Sandsnes, Professional Land Surveyor S-1819

**Plat of Survey**

Lot 5, Block 4, Westmorland lying in the SW 1/4 of the NW 14/ of Section 28, T07N, R09E, City of Madison, Dane County, Wisconsin

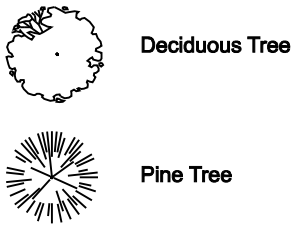
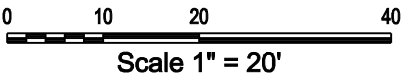
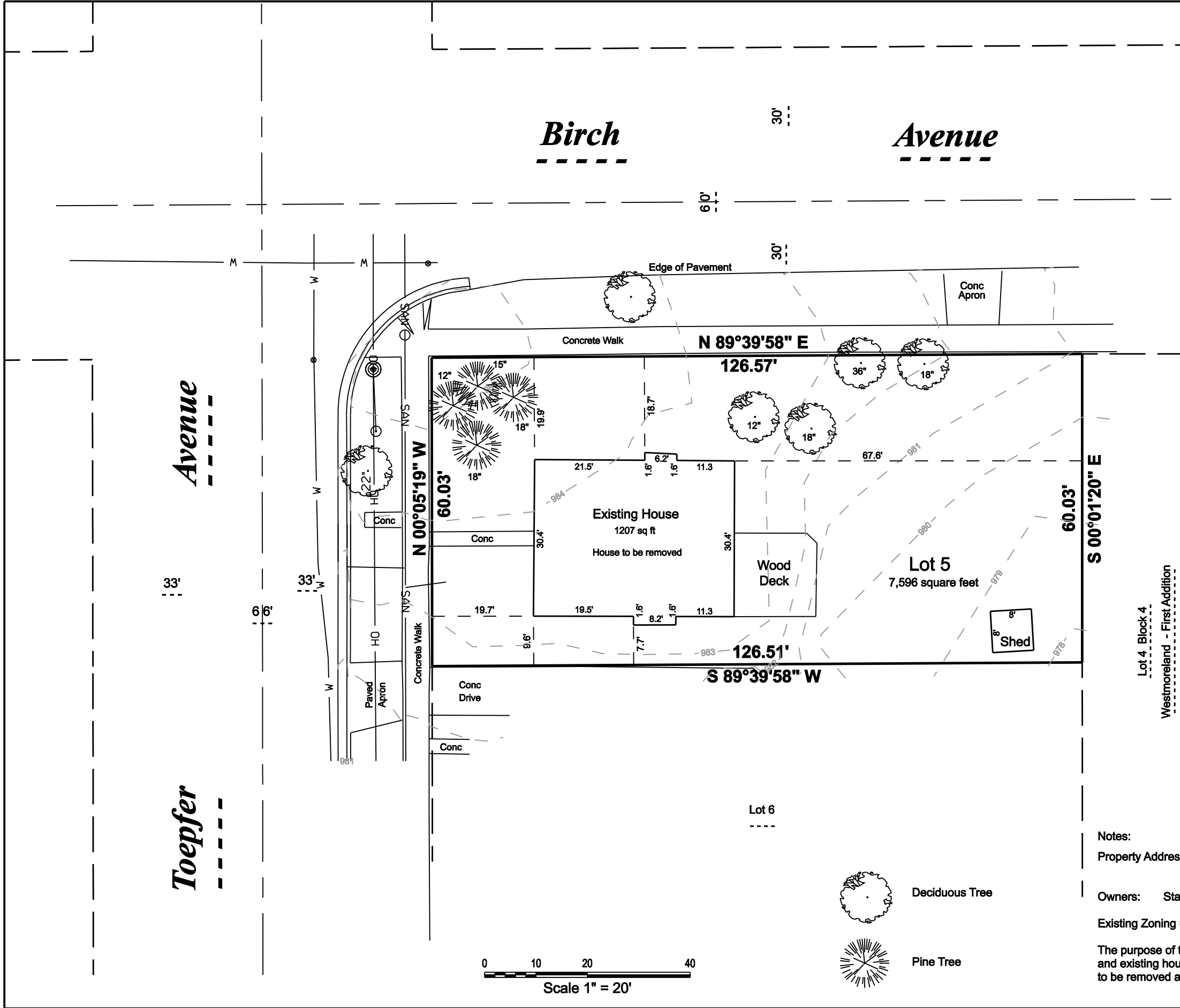


Parcel Address:  
 449 Toepfer Ave  
 Madison WI 53711

**Royal Oak & Associates, Inc.**  
 3678 Kinsman Blvd  
 Madison, WI 53704  
 Phone (608) 274-0500  
 Fax (608) 274-4530  
 www.royaloakengineering.com



Surveyed By: T Thorson	Surveyed for: Terry Wanta
Drawn By: T Thorson	Address: 2984 Triverton Pike Dr
Checked By: C Sandsnes	Fitchburg WI 53711
Approved By: C Sandsnes	Project:
Field Book:	Plot File: 16071.ini
Date: 07-20-12	Pen Table: 16071.tbl
File Name:	Office Map No: 16071
	Sheet 1 of 1 Sheets



Notes:  
 Property Address: 449 Toepfer Ave  
 Madison WI 53711

Owners: Stanley and Colette Corwin

Existing Zoning = R2

The purpose of this map is to show the existing conditions and existing house on this Lot. The existing house is proposed to be removed and a new house is proposed to be built.

Drawn By	T Thorson
Checked By	C Sandness
Approved By	C Sandness
Date	07-25-12
Dir	
Dir	
Office Map Number	16072

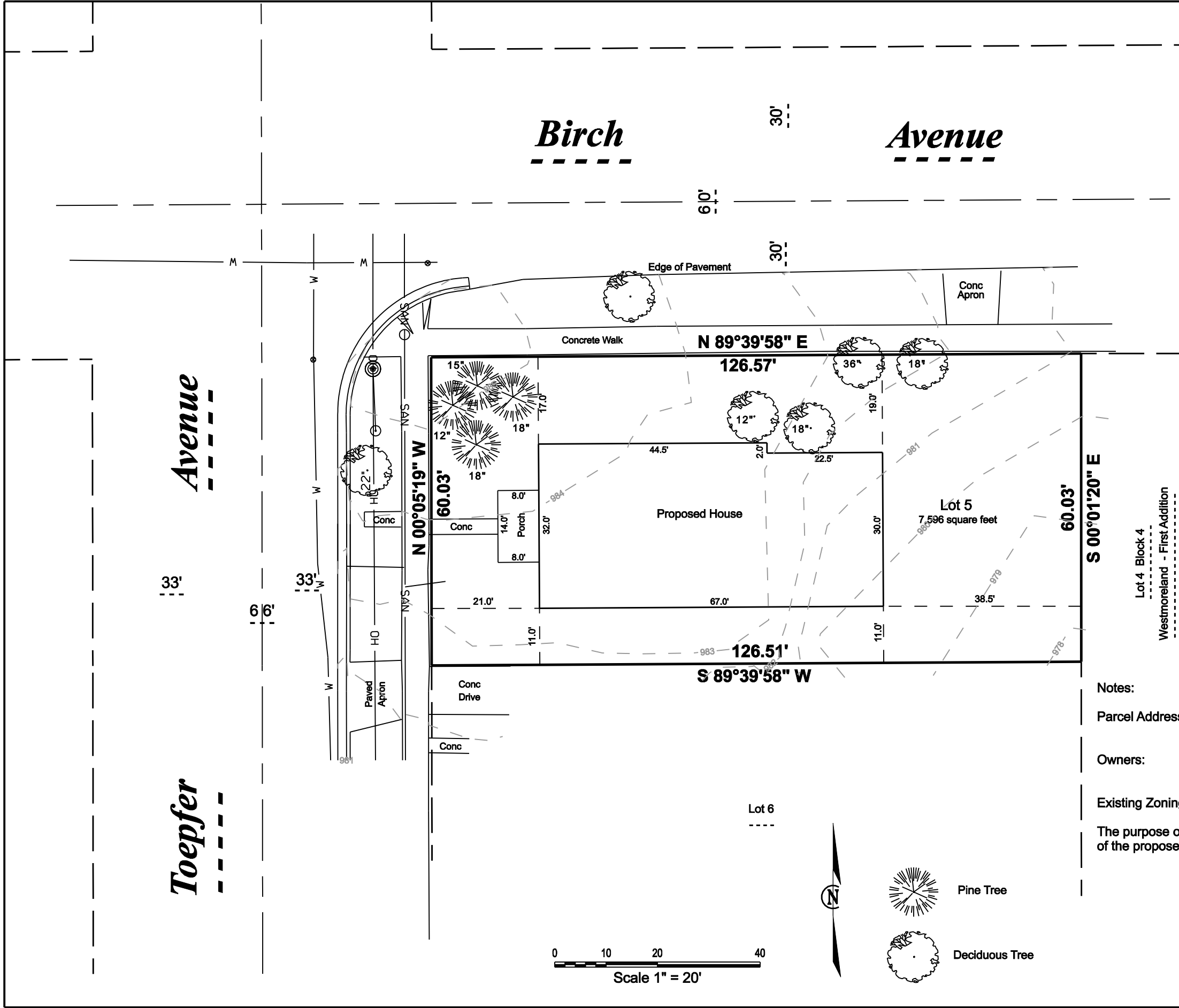
**Existing Conditions - House Demo**

**Lot 5, Block 4  
Westmorland**

*Lying in the SW 1/4 of the NW 1/4 of Section 28, T 07 N,  
R 09 E, City of Madison, Dane County, Wisconsin*

For:  
 Home Comfort  
 Company  
 Terry Wanta  
 2984 Triverton Pike Dr  
 Fitchburg WI 53711

**Royal Oak & Associates Inc**  
 3678 Kinsman Blvd - Madison Wisconsin, 53704 - Phone 274-0500 - Fax 274-4530



Notes:  
 Parcel Address: 449 Toepfer Ave  
 Madison WI 53711  
 Owners: Stanley and Colette Corwin  
 Existing Zoning = R2  
 The purpose of the map is to show the placement of the proposed house.

For:  
 Home Comfort  
 Company  
 Terry Wanta  
 2984 Triverton Pike Dr  
 Fitchburg WI 53711

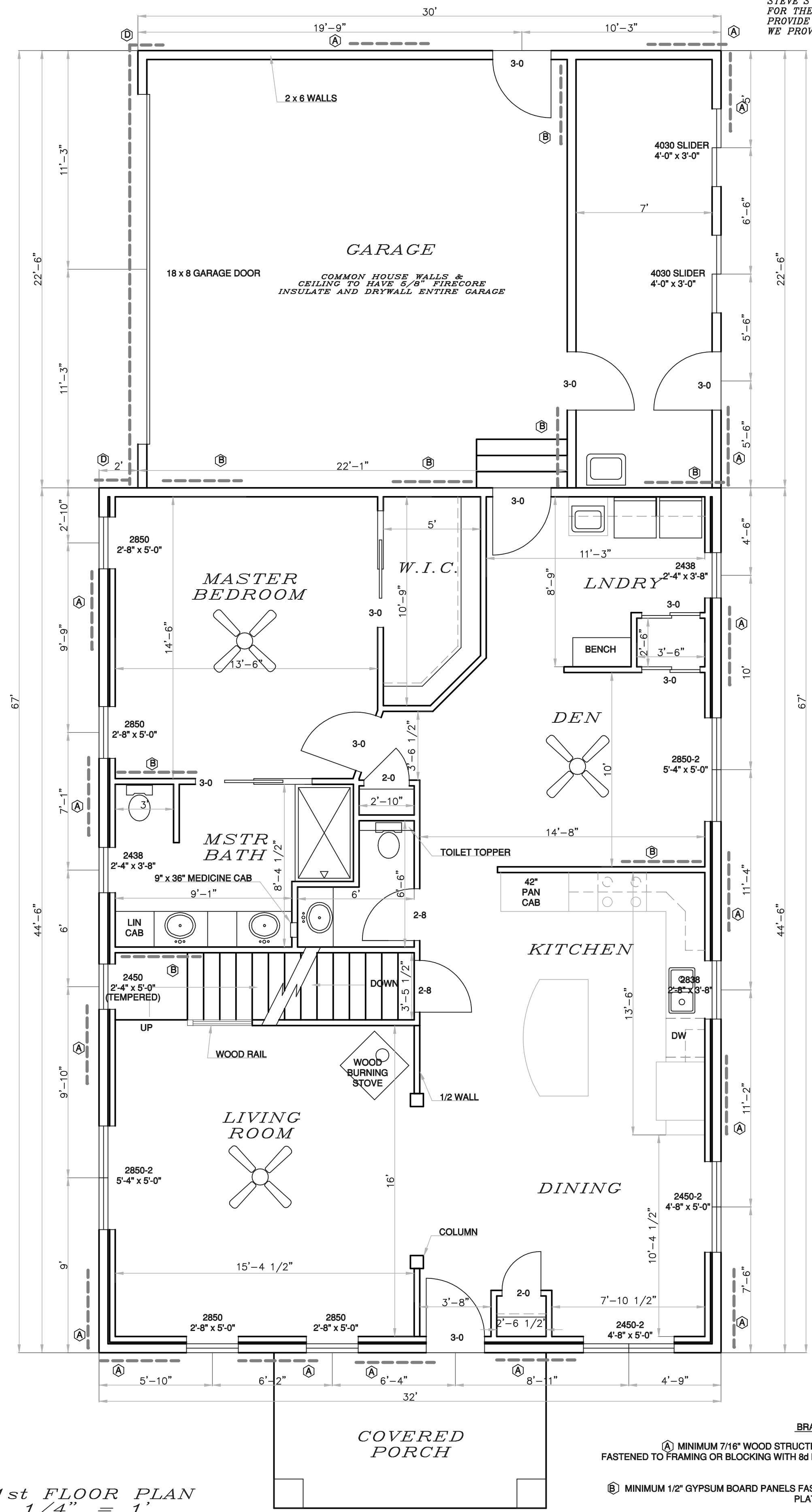
**Proposed Site Plan**  
**Lot 5, Block 4**  
**Westmorland**

Lying in the SW 1/4 of the NW 1/4 of Section 28, T 07 N,  
 R 09 E, City of Madison, Dane County, Wisconsin

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Drawn By T Thorson  
 Checked By C Sandnes  
 Approved By C Sandnes  
 Date 07-25-12  
 Dir  
 Dir  
 Office Map Number 16073

STEVE'S DRAFTING SERVICE ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THESE PLANS. WE DO NOT PROVIDE ARCHITECTURAL OR ENGINEERING SERVICES. WE PROVIDE A DRAFTING SERVICE ONLY.



1st FLOOR PLAN  
 1/4" = 1'  
 1424 SQ.FT.

- BRACING NOTES**
- (A) MINIMUM 7/16" WOOD STRUCTURAL PANEL SHEATHING WITH ALL EDGES FASTENED TO FRAMING OR BLOCKING WITH 8d NAILS AT 6" O.C. ALONG EDGES AND 12" O.C. IN THE FIELD
  - (B) MINIMUM 1/2" GYPSUM BOARD PANELS FASTENED AT PANEL EDGES INCLUDING TOP AND BOTTOM PLATES AT 7" O.C.
  - (C) CONTINUOUSLY SHEATHED WALL WITH 2" SHEATHED RETURNS
  - (D) CONTINUOUSLY SHEATHED WALL WITH 2" SHEATHED RETURNS AND EXTENDED HEADER

STEVE'S  
 DRAFTING SERVICE  
 STEVEN M. BUSS  
 746 LOIS DR.  
 SUN PRAIRIE WI. 53590  
 [608]837-6569  
 E-MAIL: steve.sds@charter.net

**HOME COMFORT CO.**

CORWIN RESIDENCE

1st FLOOR PLAN

DATE	7/6/2012
DRAWN BY	SMB
REVISED	7/10/2012

**NOTES:**

- 1 ALL DIMENSIONS ARE FACE OF STUD TO FACE OF STUD
- 2 ALL CLOSETS TO BE 25" DEEP
- 3 ALL EXTERIOR WALLS TO BE 2x6 (5 1/2")
- 4 ALL INTERIOR WALLS TO BE 2x4 (3 1/2")

**BRACING NOTES**

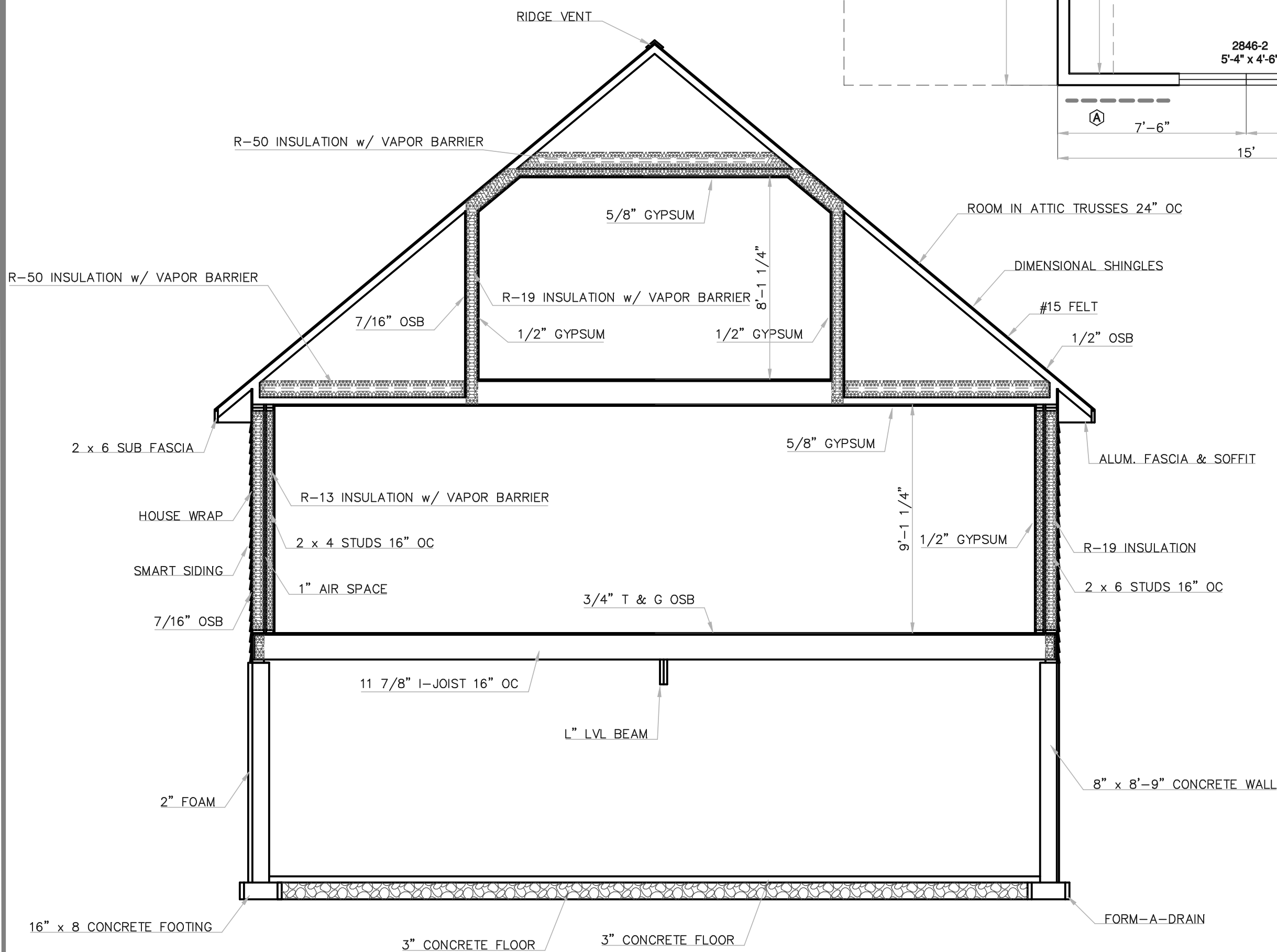
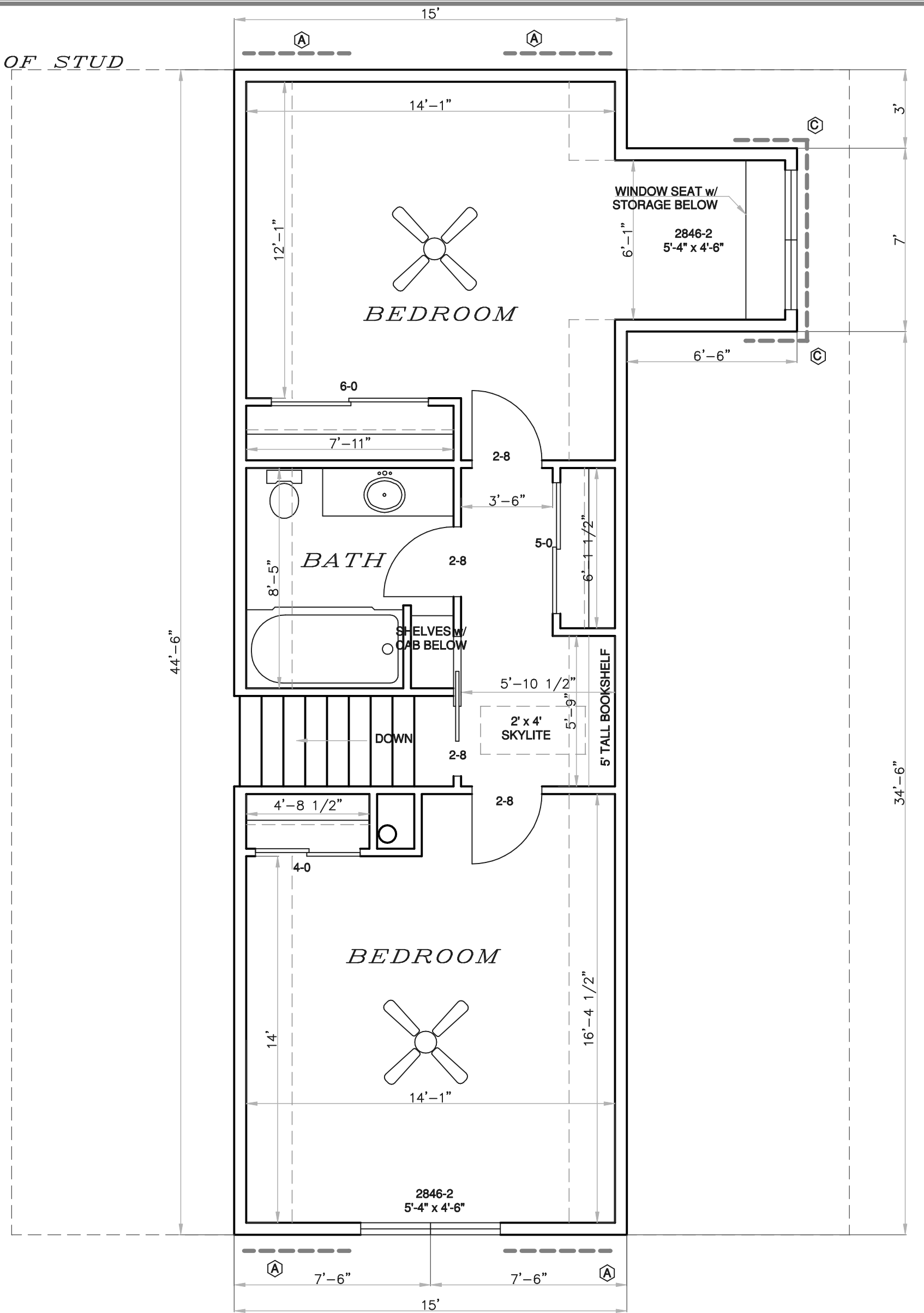
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(C) CONTINUOUSLY SHEATHED WALL WITH 2' SHEATHED RETURNS

(D) CONTINUOUSLY SHEATHED WALL WITH 2' SHEATHED RETURNS AND EXTENDED HEADER

2nd FLOOR PLAN  
1/4" = 1'  
713 SQ.FT.



SECTION  
1/4" = 1'

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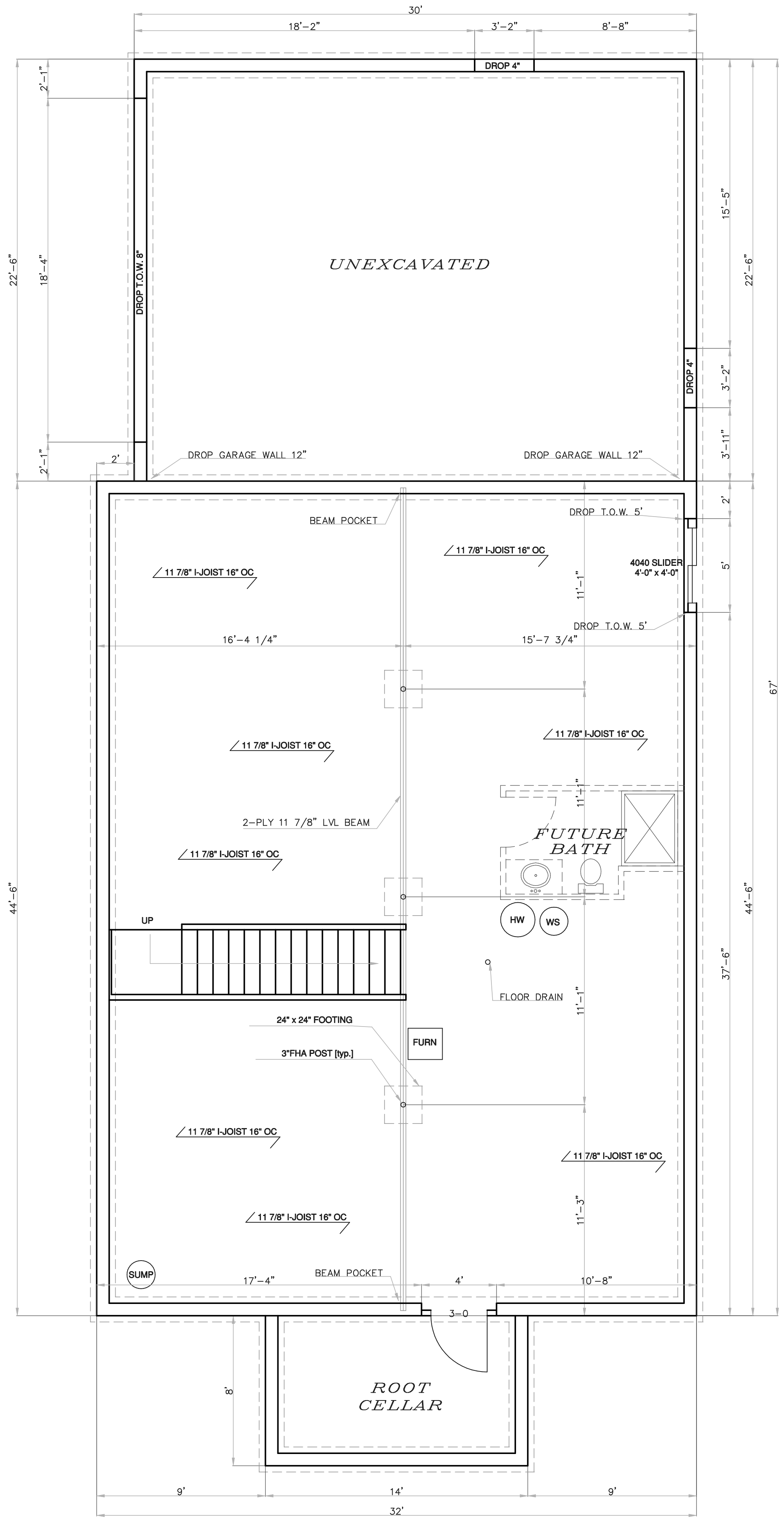
CORWIN RESIDENCE

2nd FLOOR PLAN

DATE 7/6/2012

DRAWN BY SMB

REVISED 7/10/2012



FOUNDATION PLAN  
 1/4" = 1'

ELEVATIONS AND CONCRETE DROPS (EXPOSURE) PER BUILDER  
 PLAN MAY NOT REFLECT SITE CONDITIONS  
 BASEMENT WINDOWS PER BUILDER

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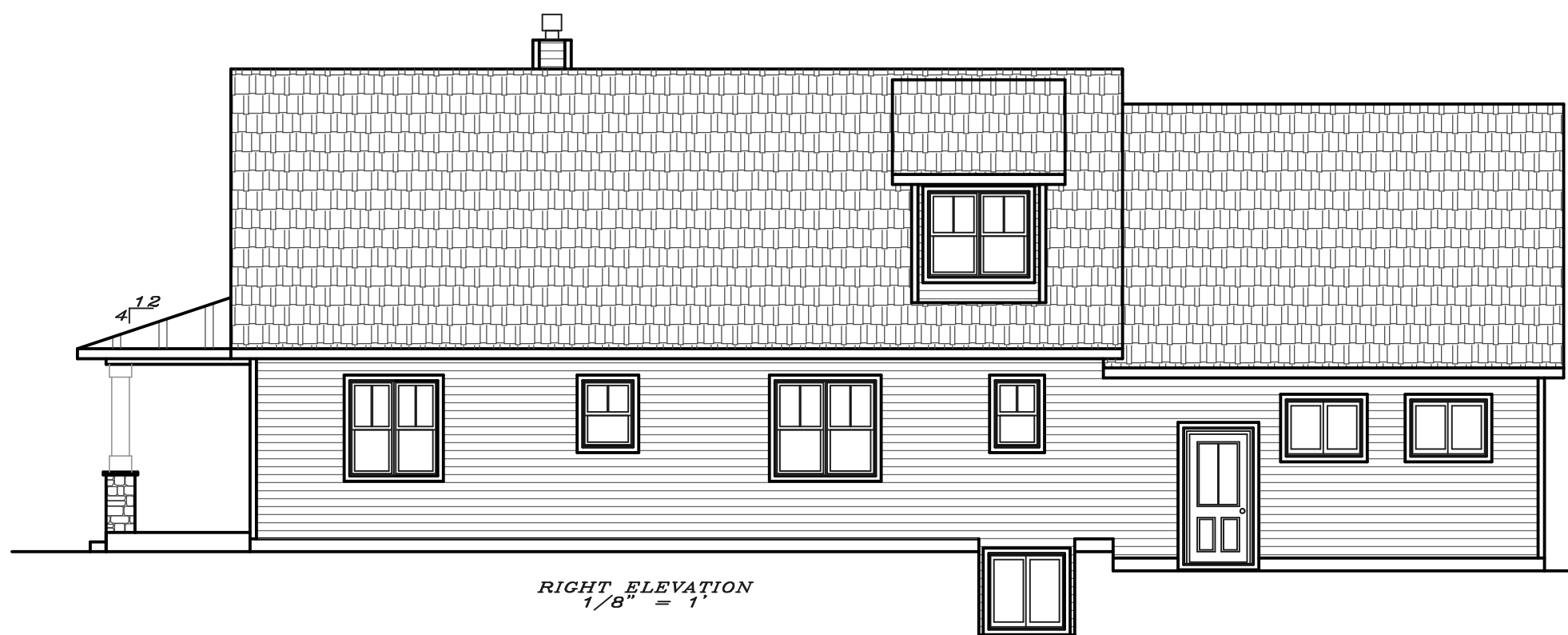
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HOME COMFORT CO.  
 CORWIN RESIDENCE FOUNDATION PLAN

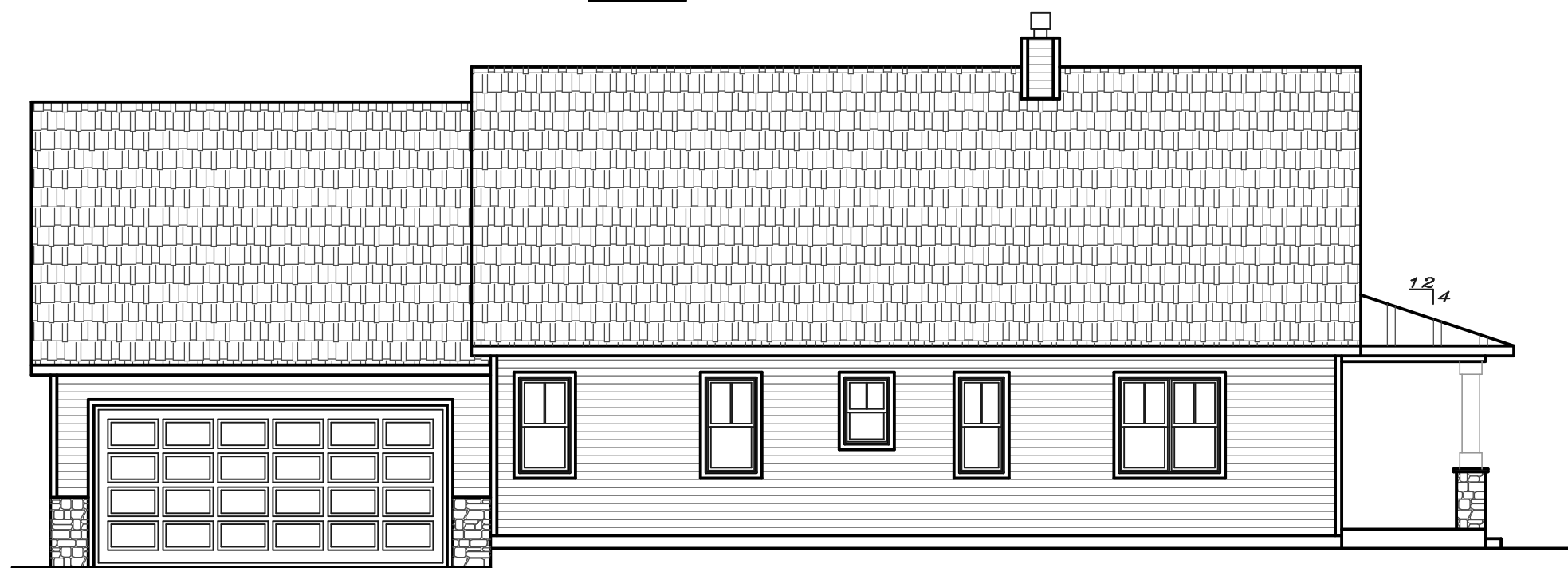
DATE 7/6/2012  
 DRAWN BY SMB  
 REVISED 7/10/2012



FRONT ELEVATION  
1/4" = 1'



RIGHT ELEVATION  
1/8" = 1'



LEFT ELEVATION  
1/8" = 1'



REAR ELEVATION  
1/8" = 1'

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CORWIN RESIDENCE

ELEVATIONS

DATE 7/6/2012

DRAWN BY SMB

REVISED 7/10/2012