

PROPOSED FACILITY FOR:

# KLINKE CLEANERS

4518 MONONA DRIVE  
MADISON, WISCONSIN

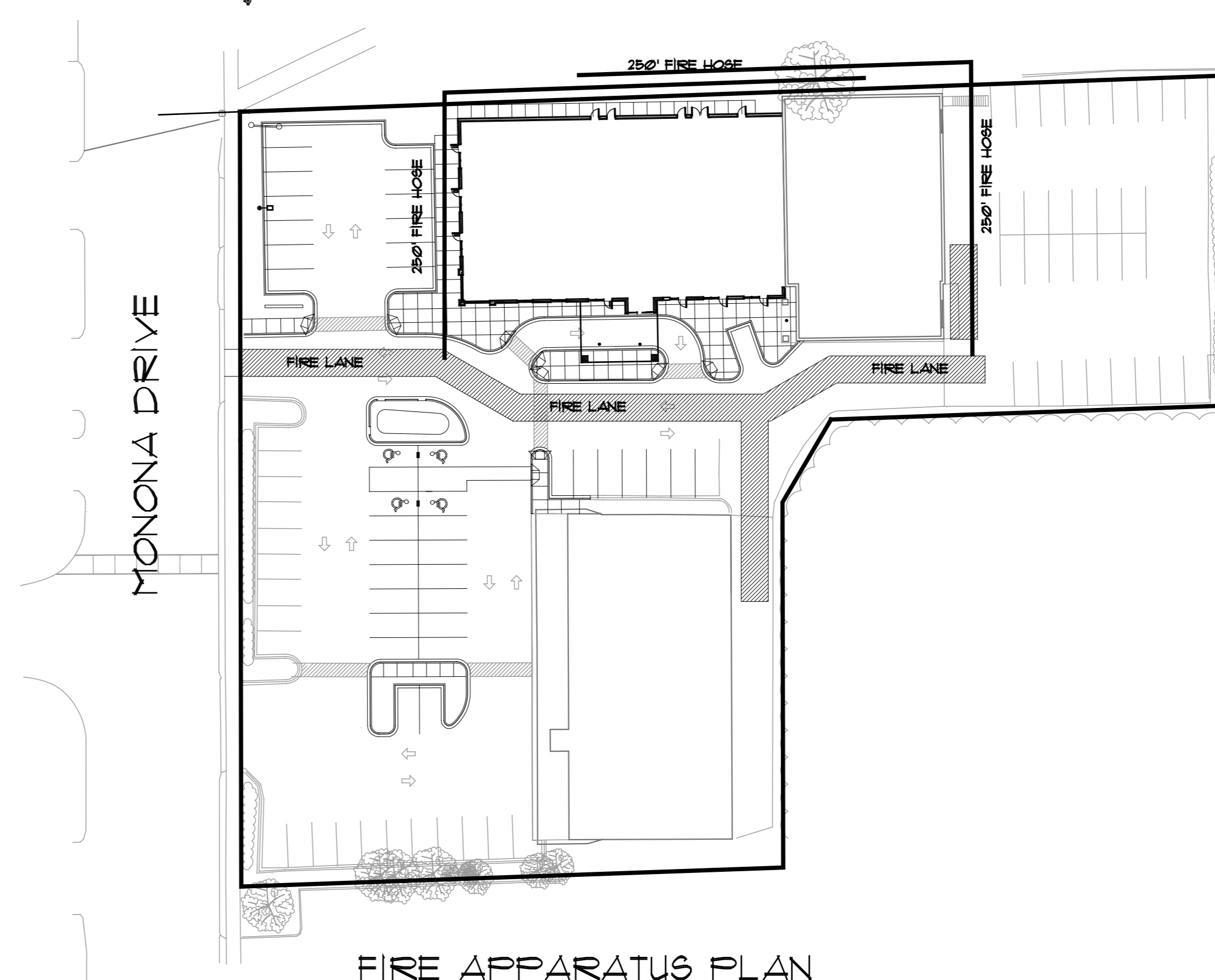
**TJK** TJK Design Build  
634 West Main Street  
Madison, WI 53703  
**DESIGNBUILD** 608-257-1090 FAX 608-257-1092

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- A-1.1 FLOOR PLAN
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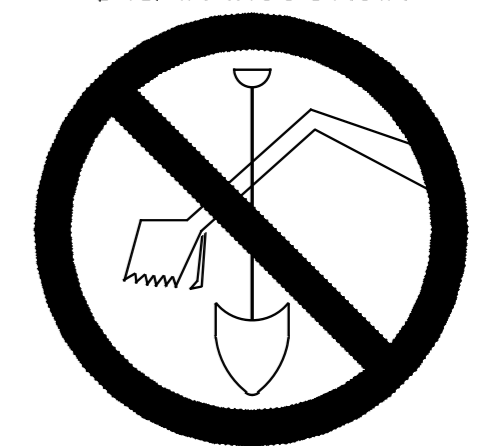
SITE LOCATION MAP



FIRE APPARATUS PLAN

SCALE: 1" = 40'-0"

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE

WIS STATUTE 182.0175(1974)  
REQUIRES MIN. 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

PROPOSED FACILITY FOR:  
KLINKE CLEANERS - MONONA DR.

REV	DATE
1	XXX
2	XXX
3	XXX
4	XXX
5	XXX
6	XXX

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PROPOSED FACILITY FOR:  
**KLINKE CLEANERS**  
**MONONA DRIVE FACILITY**  
4518 MONONA DRIVE  
MONONA, WISCONSIN

**C-1.1**

12.21.09

**EXISTING PARKING LOT PLAN SITE INFORMATION BLOCK**

SITE ADDRESS 4518 MONONA DRIVE MONONA, WISCONSIN  
SITE ACREAGE (TOTAL) 11,113 SQ FT = 1.78 ACRES  
NUMBER OF BUILDING STORIES (ABOVE GRADE) 1 STORY WITH PARTIAL 2 STORY  
BUILDING HEIGHT VARIES  
TYPE OF CONSTRUCTION (NEW STRUCTURES OR ADDITIONS) 5 B, FULLY SPRINKLED

TOTAL SQUARE FOOTAGE OF BUILDINGS 43,980 SQ FT  
USE OF PROPERTY OFFICE / RETAIL  
GROSS SQUARE FEET OF OFFICE 9,250 SQ FT  
GROSS SQUARE FEET OF RETAIL AREA 33,480  
NUMBER OF EMPLOYEES IN WAREHOUSE N/A  
NUMBER OF EMPLOYEES ON PRODUCTION AREA N/A  
CAPACITY OF RESTAURANT / PLACE OF ASSEMBLY N/A  
NUMBER OF BICYCLE STALLS SHOWN 4  
NUMBER OF PARKING STALLS (TOTAL SITE)

SHOWN	
STALLS SHOWN	81
ACCESSIBLE	1
TOTAL	82

NUMBER OF TREES SHOWN SEE LANDSCAPE PLAN

**EXISTING SITE INFORMATION**

SITE SIZE 11,113 SQ FT  
BLDG AREA (FOOTPRINT) 23,885 SQ FT  
FLOOR AREA RATIO 37%  
PARKING AND WALKS 48,132 SQ FT  
IMPERVIOUS SURFACE AREA 12,611 SQ FT  
IMPERVIOUS SURFACE RATIO 93.4%  
PARKING RATIO 1 STALL/300 SQ FT  
ZONING

**PROPOSED PARKING LOT PLAN SITE INFORMATION BLOCK**

SITE ADDRESS 4518 MONONA DRIVE MONONA, WISCONSIN  
SITE ACREAGE (TOTAL) 11,113 SQ FT = 1.78 ACRES  
NUMBER OF BUILDING STORIES (ABOVE GRADE) PARTIAL 2 STORY  
BUILDING HEIGHT VARIES  
TYPE OF CONSTRUCTION (NEW STRUCTURES OR ADDITIONS) 5 B, FULLY SPRINKLED

TOTAL SQUARE FOOTAGE OF BUILDINGS 26,280 SQ FT  
USE OF PROPERTY OFFICE / RETAIL  
GROSS SQUARE FEET OF OFFICE 9,250 SQ FT  
GROSS SQUARE FEET OF RETAIL AREA 15,780  
NUMBER OF EMPLOYEES IN WAREHOUSE 2  
NUMBER OF EMPLOYEES ON PRODUCTION AREA N/A  
CAPACITY OF RESTAURANT / PLACE OF ASSEMBLY N/A  
NUMBER OF BICYCLE STALLS SHOWN 10  
NUMBER OF PARKING STALLS (TOTAL SITE)

SHOWN	
STALLS SHOWN	84
ACCESSIBLE	4
TOTAL	88

NUMBER OF TREES SHOWN SEE LANDSCAPE PLAN

**PROPOSED SITE INFORMATION**

SITE SIZE 11,113 SQ FT  
BLDG AREA (FOOTPRINT) 20,815 SQ FT  
FLOOR AREA RATIO 28%  
PARKING AND WALKS 49,541 SQ FT  
IMPERVIOUS SURFACE AREA 10,362 SQ FT  
IMPERVIOUS SURFACE RATIO 91.0%  
PARKING RATIO 1 STALL/300 SQ FT  
ZONING

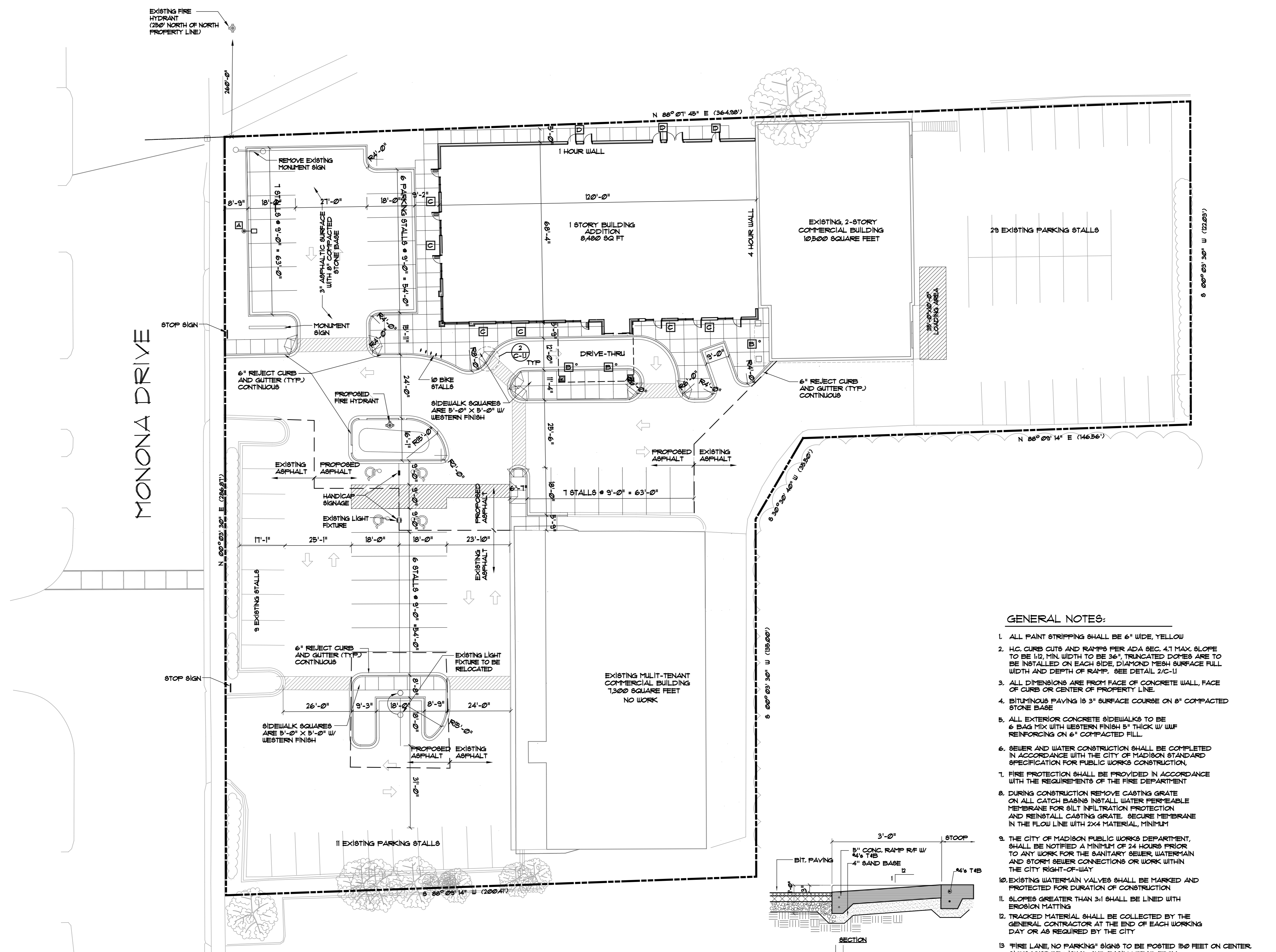
**LIGHT FIXTURE KEY**

A RUID 250W MH SINGLE HEAD PARKING LOT LIGHT ON 8" X 8" POLE ON 2'-0" CONC. PIER, MODEL #AVV4242-M 8BL-AVVA2BE (11'-0" FROM GRADE)

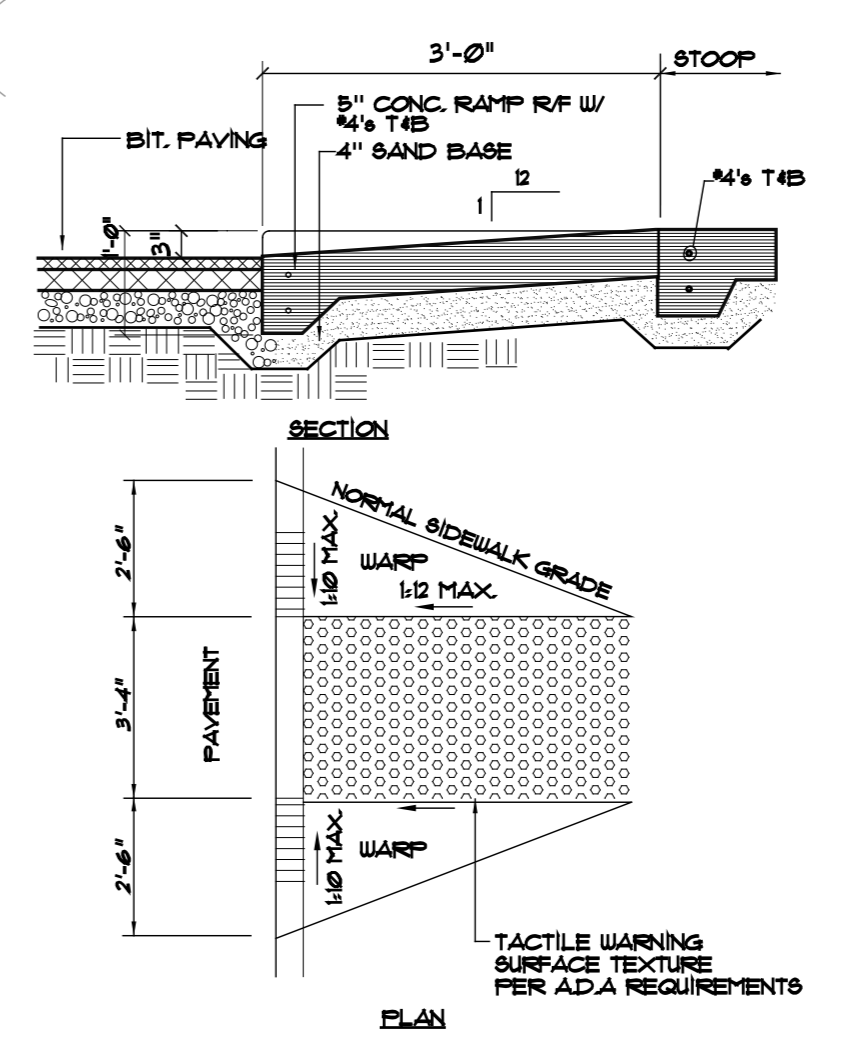
B RUID 100W MH RECESSED CAN LIGHT FIXTURE (11'-0" FROM GRADE), MODEL #RTM10 WITH MODEL #RTR14

C BEACON, MIRAMAR DS, 10W MH WALL-MOUNT LIGHT FIXTURE, CATALOG# MRD98-PEC-MH10 (9'-0" FROM GRADE)

D RUID 50W MH WALL-PAC WITH DEEP SHIELDING, RUID CATALOG# EB405-D (11'-0" FROM GRADE)



**SITE PLAN**  
SCALE: 1" = 20'-0"



**TYPICAL CURB RAMP DETAIL**  
SCALE: NO SCALE

- GENERAL NOTES:**
- ALL PAINT STRIPPING SHALL BE 6" WIDE, YELLOW
  - H.C. CURBS CUTS AND RAMPS PER ADA SEC. 411 MAX. SLOPE TO BE 1/2, MIN. WIDTH TO BE 36", TRUNCATED DOMES ARE TO BE INSTALLED ON EACH SIDE, DIAMOND MESH SURFACE FULL WIDTH AND DEPTH OF RAMP. SEE DETAIL 2/C-11
  - ALL DIMENSIONS ARE FROM FACE OF CONCRETE WALL, FACE OF CURB OR CENTER OF PROPERTY LINE.
  - BITUMINOUS PAVING IS 3" SURFACE COURSE ON 8" COMPACTED STONE BASE
  - ALL EXTERIOR CONCRETE SIDEWALKS TO BE 6 BAG MIX WITH WESTERN FINISH 5" THICK W/ W/F REINFORCING ON 6" COMPACTED FILL.
  - SEWER AND WATER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION.
  - FIRE PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DEPARTMENT
  - DURING CONSTRUCTION REMOVE CASTING GRATE ON ALL CATCH BASINS INSTALL WATER PERMEABLE MEMBRANE FOR SILT INFILTRATION PROTECTION AND REINSTALL CASTING GRATE. SECURE MEMBRANE IN THE FLOW LINE WITH 2X4 MATERIAL, MINIMUM
  - THE CITY OF MADISON PUBLIC WORKS DEPARTMENT, SHALL BE NOTIFIED A MINIMUM OF 24 HOURS PRIOR TO ANY WORK FOR THE SANITARY SEWER, WATERMAIN AND STORY SEWER CONNECTIONS OR WORK WITHIN THE CITY RIGHT-OF-WAY
  - EXISTING WATERMAIN VALVES SHALL BE MARKED AND PROTECTED FOR DURATION OF CONSTRUCTION
  - SLOPES GREATER THAN 3:1 SHALL BE LINED WITH EROSION MATTING
  - TRACKED MATERIAL SHALL BE COLLECTED BY THE GENERAL CONTRACTOR AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE CITY
  - "FIRE LANE, NO PARKING" SIGNS TO BE POSTED 150 FEET ON CENTER SIGNS MUST BE VISUAL AND EASILY READ FROM ANY LOCATION ON THE FIRE LANE
  - ALL "STOP" SIGNS ARE TO BE INSTALLED AT A HEIGHT OF 7 FEET AT ALL DRIVEWAY APPROACHES BEHIND THE PROPERTY LINE
  - ACCESSIBLE SIGNAGE AT THE HEAD OF STALLS SHALL BE A MINIMUM OF 60 INCHES BETWEEN THE BOTTOM OF THE SIGN AND THE GROUND
  - CONTRACTOR TO REPLACE ALL SIDEWALK, CURB AND GUTTER ABUTTING THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK, CURB AND GUTTER THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED
  - ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR
  - CONTRACTOR SHALL OBTAIN A STREET EXCAVATION PERMIT FOR THE UTILITIES REQUIRED TO SERVE THIS PROJECT. THE CONTRACTOR SHALL PAY THE PERMIT FEE, INSPECTION FEE AND STREET DEGRADATION FEE AS APPLICABLE AND SHALL COMPLY WITH ALL THE CONDITIONS OF THE PERMIT
  - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY SEWER CONNECTION PERMITS AND SEWER PLUGGING PERMITS PRIOR TO ANY UTILITY WORK.
  - ALL OUTSTANDING MADISON METROPOLITAN SEWERAGE DISTRICT (MMSD) AND CITY OF MADISON SANITARY SEWER CONNECTION CHARGES ARE DUE AND PAYABLE PRIOR TO CONNECTION TO THE PUBLIC SEWERAGE SYSTEM.

REV	DATE
1	X.X.X
2	X.X.X
3	X.X.X
4	X.X.X
5	X.X.X
6	X.X.X

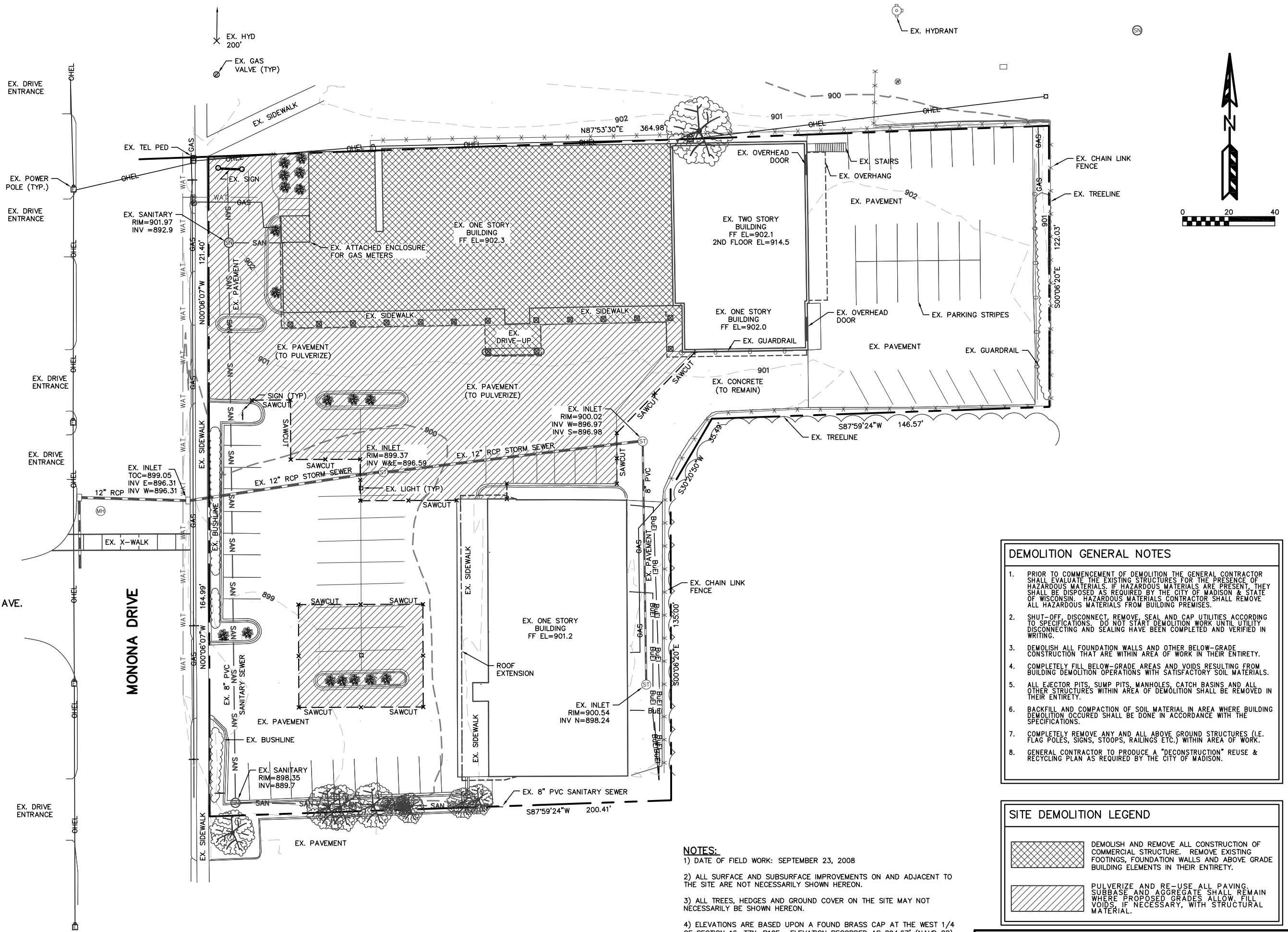
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QUAM ENGINEERING, LLC  
www.quamengineering.com  
Madison, WI 53703  
Phone: (608) 838-7755 Fax: (608) 838-7782

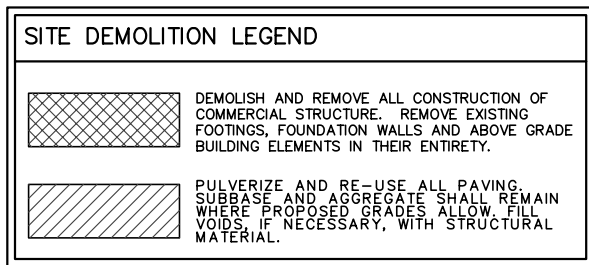
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MONONA DRIVE FACILITY  
4518 MONONA DRIVE  
MADISON, WISCONSIN

C-1.2

12.16.09



- DEMOLITION GENERAL NOTES**
1. PRIOR TO COMMENCEMENT OF DEMOLITION THE GENERAL CONTRACTOR SHALL EVALUATE THE EXISTING STRUCTURES FOR THE PRESENCE OF HAZARDOUS MATERIALS. IF HAZARDOUS MATERIALS ARE PRESENT, THEY SHALL BE DISPOSED AS REQUIRED BY THE CITY OF MADISON & STATE OF WISCONSIN. HAZARDOUS MATERIALS CONTRACTOR SHALL REMOVE ALL HAZARDOUS MATERIALS FROM BUILDING PREMISES.
  2. SHUT-OFF, DISCONNECT, REMOVE SEAL AND CAP UTILITIES ACCORDING TO SPECIFICATIONS. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING.
  3. DEMOLISH ALL FOUNDATION WALLS AND OTHER BELOW-GRADE CONSTRUCTION THAT ARE WITHIN AREA OF WORK IN THEIR ENTIRETY.
  4. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM BUILDING DEMOLITION OPERATIONS WITH SATISFACTORY SOIL MATERIALS.
  5. ALL EJECTOR PITS, SUMP PITS, MANHOLES, CATCH BASINS AND ALL OTHER STRUCTURES WITHIN AREA OF DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY.
  6. BACKFILL AND COMPACTION OF SOIL MATERIAL IN AREA WHERE BUILDING DEMOLITION OCCURED SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
  7. COMPLETELY REMOVE ANY AND ALL ABOVE GROUND STRUCTURES (I.E. FLAG POLES, SIGNS, STOOPS, RAILINGS ETC.) WITHIN AREA OF WORK.
  8. GENERAL CONTRACTOR TO PRODUCE A "DECONSTRUCTION" REUSE & RECYCLING PLAN AS REQUIRED BY THE CITY OF MADISON.



- NOTES:**
- 1) DATE OF FIELD WORK: SEPTEMBER 23, 2008
  - 2) ALL SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN HEREON.
  - 3) ALL TREES, HEDGES AND GROUND COVER ON THE SITE MAY NOT NECESSARILY BE SHOWN HEREON.
  - 4) ELEVATIONS ARE BASED UPON A FOUND BRASS CAP AT THE WEST 1/4 OF SECTION 16, T7N, R10E. ELEVATION RECORDED AS 894.67' (NAVD 88) RECORDED IN A US PUBLIC SURVEY MONUMENT RECORD BY CARL SANDSNES DATED FEBRUARY 16, 2004.

**EXISTING SITE/DEMOLITION PLAN**



REV	DATE
1	X.X.X
2	X.X.X
3	X.X.X
4	X.X.X
5	X.X.X
6	X.X.X

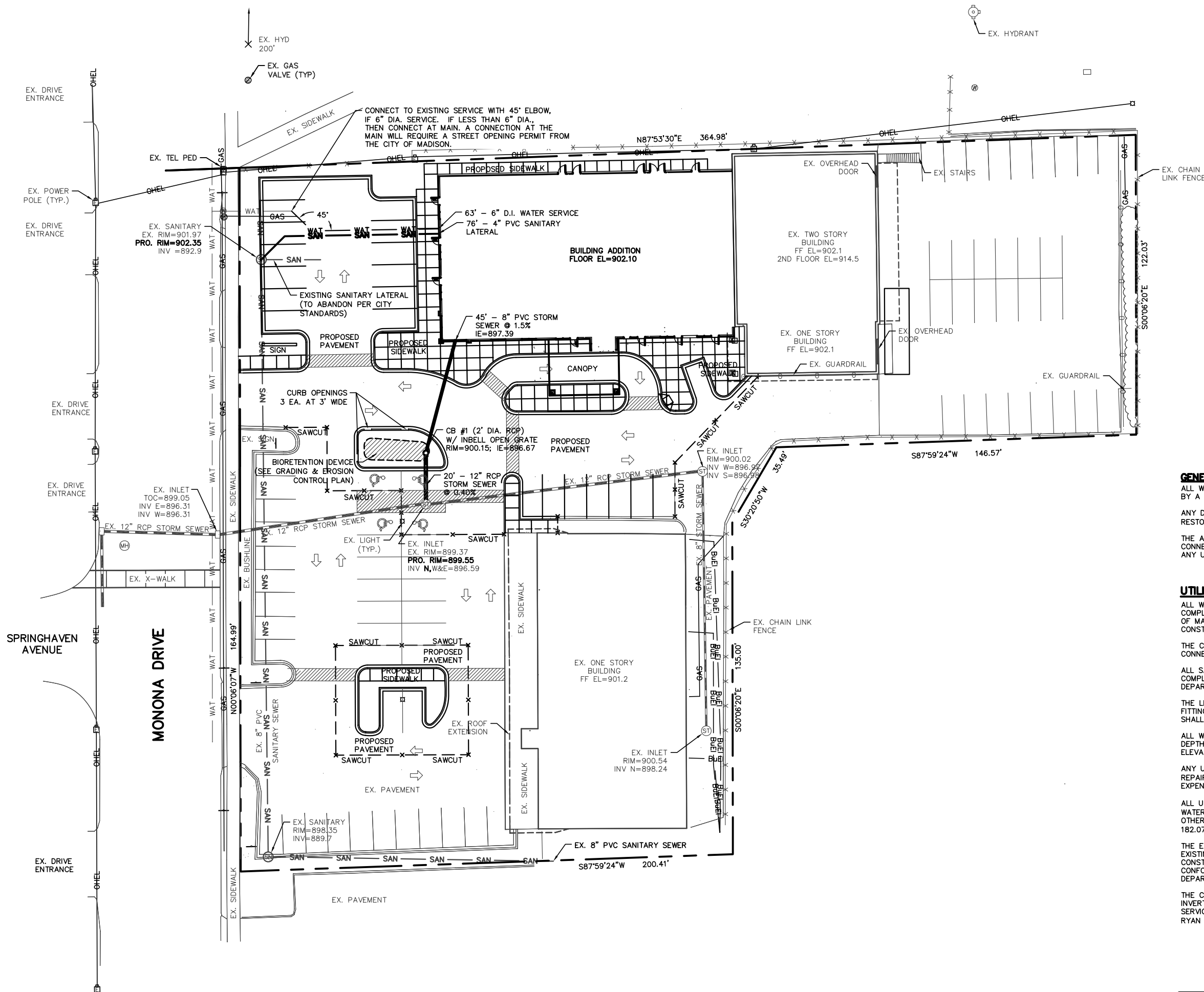
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QUAM ENGINEERING, LLC  
www.quamengineering.com  
Madison (608) 838-7750 Fax (608) 838-7752

PROPOSED FACILITY FOR:  
KLINKE CLEANERS  
MONONA DRIVE FACILITY  
4518 MONONA DRIVE  
MADISON, WISCONSIN

C-1.4

12.16.09



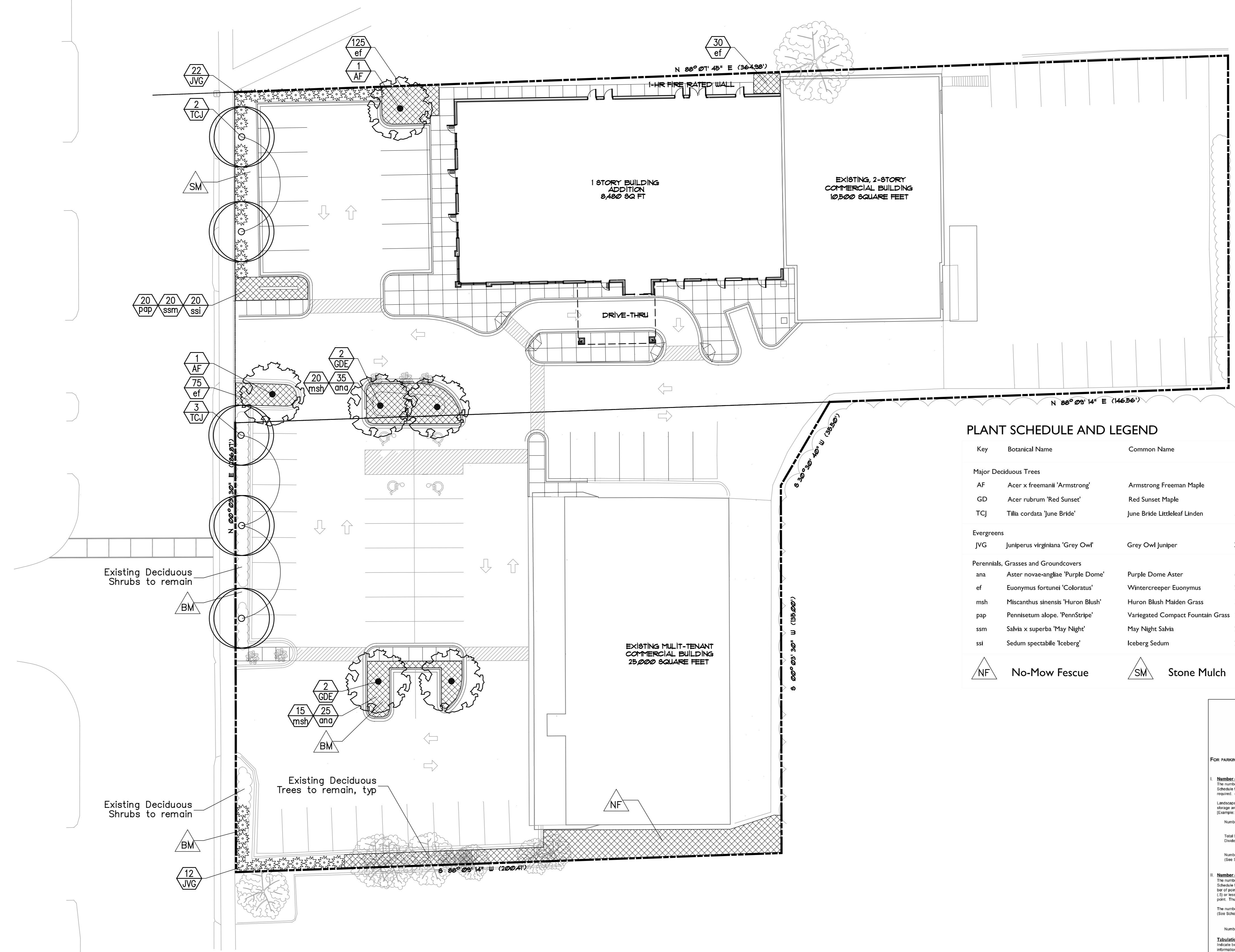
**GENERAL NOTES:**  
ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.  
ANY DAMAGE TO THE PAVEMENT ON MONONA DRIVE SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PATCHING CRITERIA.  
THE APPLICANT SHALL OBTAIN ALL NECESSARY SEWER CONNECTION PERMITS AND SEWER PLUGGING PERMITS PRIOR TO ANY UTILITY WORK.

**UTILITY NOTES:**  
ALL WORK WITHIN THE CITY OF MADISON RIGHT-OF-WAY SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.  
THE CONTRACTOR SHALL CONTACT THE CITY OF MADISON PRIOR TO CONNECTING TO EXISTING SANITARY SEWER AND WATER MAIN.  
ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.  
THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.  
ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.  
ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.  
ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.  
THE EXISTING SANITARY LATERAL AND WATER SERVICE TO THE EXISTING BUILDING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE ABANDONMENT OF ANY SERVICES SHALL BE IN CONFORMANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.  
THE CONTRACTOR SHALL FIELD VERIFY THE SIZE, MATERIAL AND INVERT OF THE EXISTING SANITARY SEWER LATERAL AND WATER SERVICE PRIOR TO CONNECTION AND PROVIDE THE INFORMATION TO RYAN QUAM WITH QUAM ENGINEERING AT (608) 838-7750.

UTILITY PLAN

REV	DATE
1	XXX
2	XXX
3	XXX
4	XXX
5	XXX
6	XXX

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**PLANT SCHEDULE AND LEGEND**

Key	Botanical Name	Common Name	Qty	Planting Size	Root Spec	Spacing	Comments
<b>Major Deciduous Trees</b>							
AF	Acer x freemanii 'Armstrong'	Armstrong Freeman Maple	2	2-2 1/2" cal	B&B	As shown	Straight leader
GD	Acer rubrum 'Red Sunset'	Red Sunset Maple	4	2-2 1/2" cal	B&B	As shown	Straight leader
TCJ	Tilia cordata 'June Bride'	June Bride Littleleaf Linden	5	2-2 1/2" cal	B&B	As shown	Straight leader, matched
<b>Evergreens</b>							
JVG	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	34	30" HT min	B&B	As shown	Full plants, matched
<b>Perennials, Grasses and Groundcovers</b>							
ana	Aster novae-angliae 'Purple Dome'	Purple Dome Aster	60	1 GAL	CONT	24" o.c.	Vigorous plants
ef	Euonymus fortunei 'Coloratus'	Wintercreeper Euonymus	230	4"	CONT	15" o.c.	Vigorous plants
msh	Miscanthus sinensis 'Huron Blush'	Huron Blush Maiden Grass	35	1 GAL	CONT	48" o.c.	Full, matched plants
pap	Pennisetum alopecuroides 'PennStripe'	Variiegated Compact Fountain Grass	20	1 GAL	CONT	24" o.c.	Full, matched plants
ssm	Salvia x superba 'May Night'	May Night Salvia	20	1 GAL	CONT	24" o.c.	Full, matched plants
ssi	Sedum spectabile 'Iceberg'	Iceberg Sedum	20	1 GAL	CONT	24" o.c.	Full, matched plants
NF	No-Mow Fescue						
SM	Stone Mulch						
BM	Shredded Bark Mulch						

**PLANTING PLAN**

SCALE: 1" = 20'



**LANDSCAPE WORKSHEET**  
Parking Lots, Storage Areas and Loading Areas  
(Section 28.04 Madison General Ordinance)

Project Location/Address: 4518 Monona Drive  
Name of Project: Klinkle Cleaners Monona Drive Facility  
Client/Contractor:  
Address:

FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT

**I. Number of Trees Required**  
The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls.)  
Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by 1000 square feet. This converts area to stalls. (Example: 10,000 square feet is equivalent to 10 stalls or 100 points.)

Number of Parking Stalls = 88  
Total Square Footage of the Storage Area = 1550 sq/300 = 5.2  
Divided by Trees Required (200) Square feet = 6  
Number of Storage Areas (Trees Required 2" - 2 1/2" Caliber) = 7  
(See Schedule on reverse side) 94 Stalls: 85 to 98 stalls = 7 Trees

**II. Number of Landscape Points Required**  
The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 40 points are required for 10 stalls). A point fraction of 0.5 or less may be disregarded, unless a fraction in excess of 0.5 must be counted as one point. Thus, 48.5 points would be rounded down to 48 points required.  
The number of points required for loading areas is 175 points for each loading berth. (See Schedule on reverse side.)

Number of Points Required (See Schedule on reverse side) = 75  
TOTAL = 479

**Tabulation of Points and Credits**  
Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

ELEMENT	POINTS VALUE	QUANTITY	POINTS ADDED	POINTS DEDUCTED	TOTAL
canopy trees 2" - 2 1/2"	35	4	140	6	210
Deciduous Shrub	5	-	-	15	30
Evergreen Shrub	3	22	66	15	30
Decorative Wall or Fence (per 10 L.F.)	5	-	-	-	-
Earth Bank (per 50 L.F.)	-	-	-	-	-
Avg. Hedge 30"	5	-	-	-	-
Avg. Hedge 45"	2	-	-	-	-
Evergreen Tree 1" Single Release	15	-	-	-	-
canopy Tree or Small Tree 1 1/2" - 2" Caliber (i.e., Crab, Redbuds)	15	-	3	45	-
Sub Totals		206	285		491

\*Trees required in Part I above, are not to be included in the point count.  
Total No. of Points Provided (Equal to or greater than points required) = 491

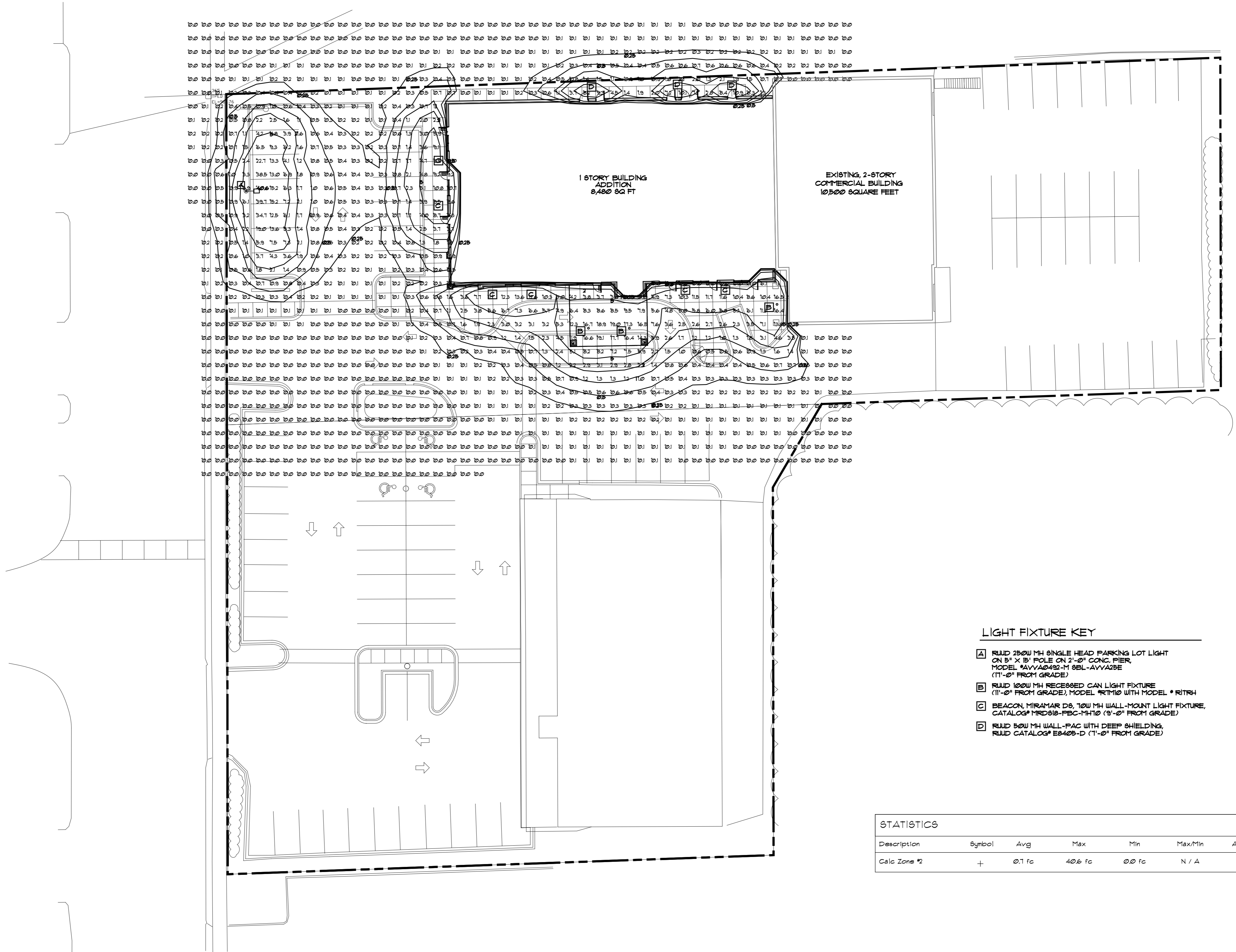
Approved by: \_\_\_\_\_ Date: \_\_\_\_\_

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**MONONA DRIVE FACILITY**  
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- LIGHT FIXTURE KEY**
- A RUID 280W MH SINGLE HEAD PARKING LOT LIGHT ON 5" X 10" POLE ON 2'-0" CONC. PIER, MODEL MAVVAD482-M BEL-AVVA2BE (11'-0" FROM GRADE)
  - B RUID 100W MH RECESSED CAN LIGHT FIXTURE (11'-0" FROM GRADE), MODEL RTM10 WITH MODEL RITRH
  - C BEACON MIRAMAR D6, 100W MH WALL-MOUNT LIGHT FIXTURE, CATALOG# MRD610-FBC-THT0 (9'-0" FROM GRADE)
  - D RUID 80W MH WALL-FAC WITH DEEP SHIELDING, RUID CATALOG# E8405-D (1'-0" FROM GRADE)

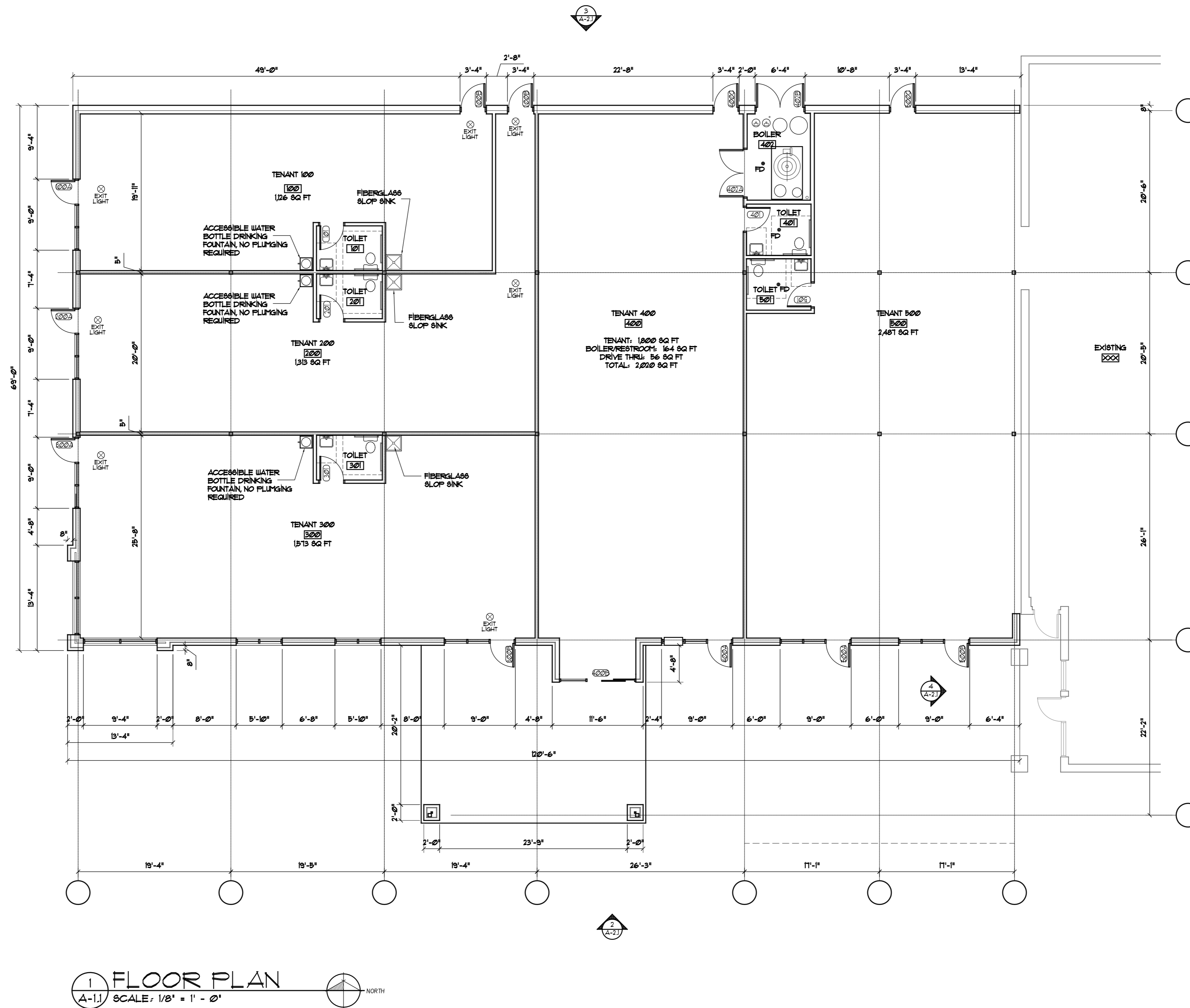
STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Cs/c Zone #2	+	0.7 fc	406 fc	0.0 fc	N / A	N / A

**SITE PLAN**  
SCALE: 1" = 20'-0"  
NORTH

REV	DATE
1	XXX
2	XXX
3	XXX
4	XXX
5	XXX
6	XXX

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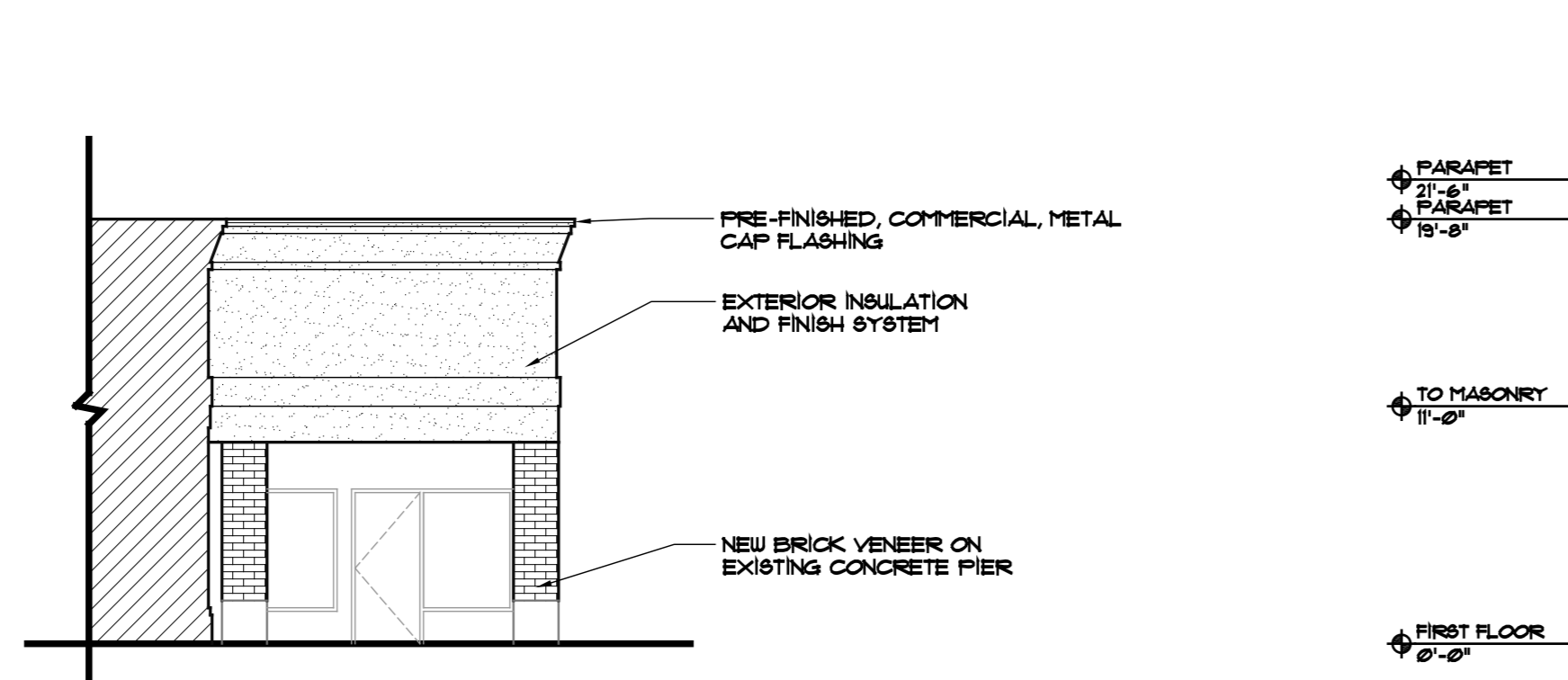
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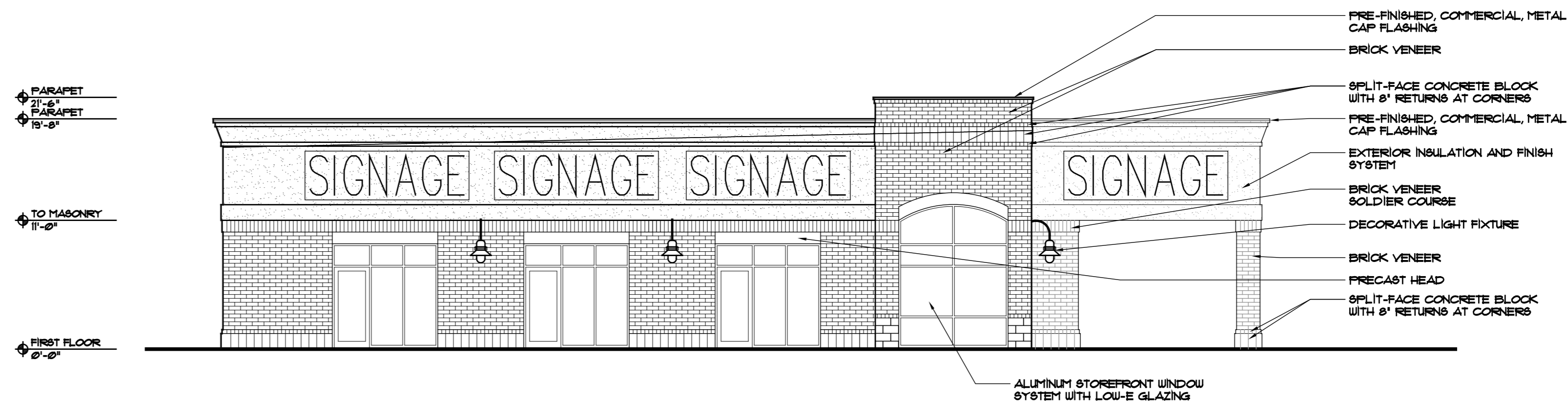
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**A-2.1**

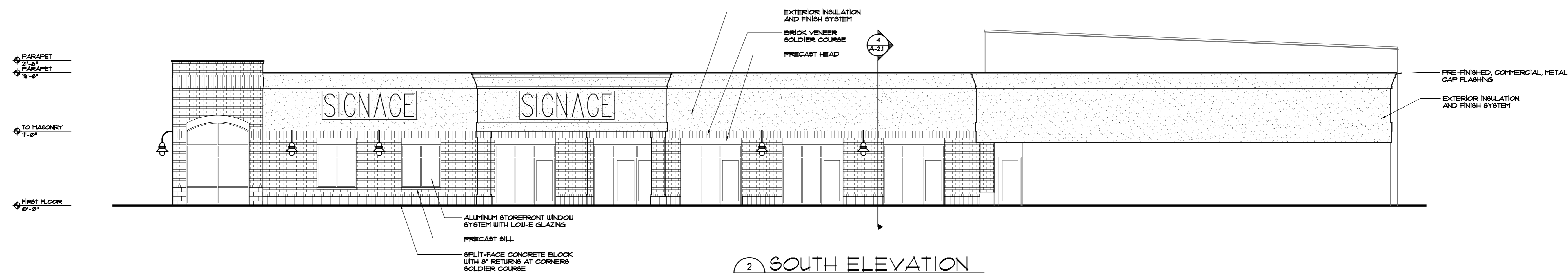
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4 PARTIAL WEST ELEVATION  
A-2.1 SCALE: 1/8" = 1' - 0"

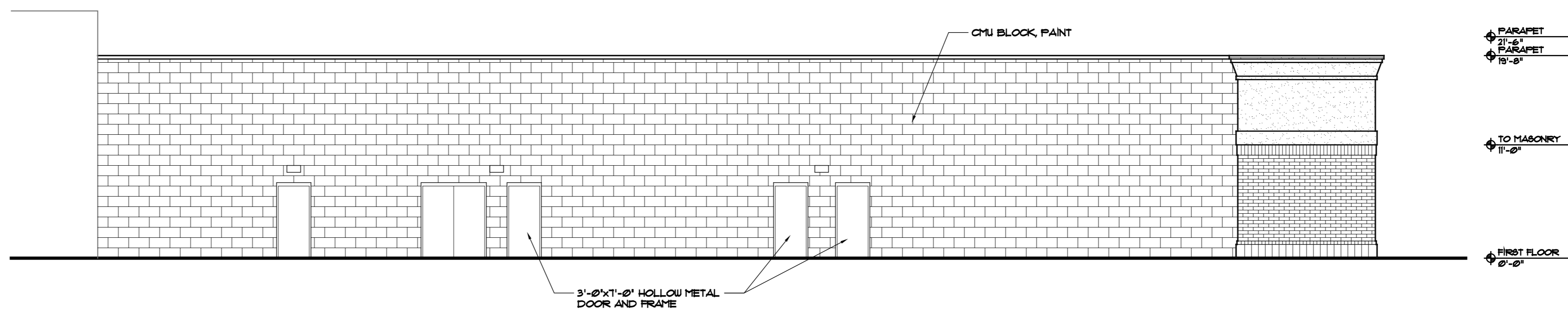


1 WEST ELEVATION  
A-2.1 SCALE: 1/8" = 1' - 0"



2 SOUTH ELEVATION  
A-2.1 SCALE: 1/8" = 1' - 0"

FIELD BRICK:	600X CITY BRICK AND TILE CO. HEARTHSTONE VELOUR UTILITY (404x42) COLORED MORTAR TO MATCH
SPLIT-FACE CONCRETE BLOCK:	COUNTY MATERIALS CORP. SPLITROCK 'AUTUMN WHEAT' WITH 8" RETURNS AND COLORED MORTAR TO MATCH
PRECAST SILLS AND ACCENTS:	EDWARDS CAST STONE, #2, TAN
ALUMINUM STOREFRONT WINDOW SYSTEM:	KALNEER ANODIZED LIGHT BRONZE FRAMES
EXTERIOR INSULATION AND FINISH SYSTEM:	FAREX #2414, 'GHAKI'
CAP FLASHING:	PAC-CLAD, 'HEMLOCK GREEN'
LIGHT FIXTURE:	PAINT TO MATCH CAP FLASHING



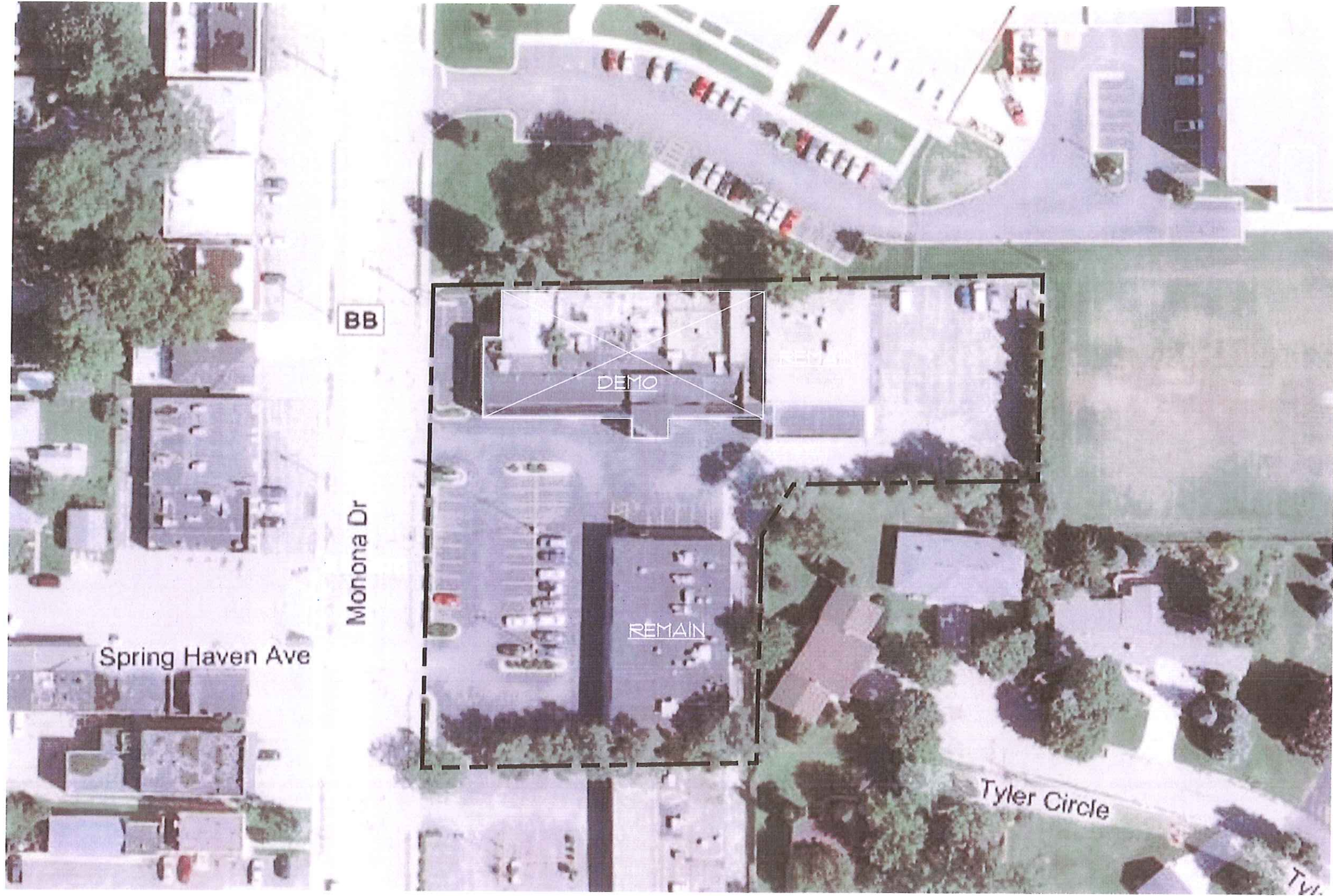
3 NORTH ELEVATION  
A-2.1 SCALE: 1/8" = 1' - 0"

AERIAL VIEW OF EXISTING SITE

KLINKE CLEANERS

MAISON, WI

PHOTOS:



AERIAL VIEW