

CATALINA CROSSING
APARTMENTS

4525 Secret Garden Drive
Madison, Wisconsin



CONDITIONAL USE SUBMITTAL

JLA
architects

JLA PROJECT NUMBER: 14-1103

04 FEBRUARY 2015

ABBREVIATIONS

A as shown	D dimension	G gate	N north	T tank & rollers
AB above	DE double end	GL ground level	NE north east	TR transfer
AC above center	DF double front	GR ground surface	NEC north east corner	TRC transfer corner
AD above door	DR double rear	GS ground slope	NEE north east edge	TRF transfer face
AE above elevation	DS double side	GS ground surface	NEF north east face	TRH transfer height
AF above finish	DT double top	GS ground surface	NEP north east pitch	TRJ transfer joint
AG above grade	DW double wall	GS ground surface	NEQ north east quarter	TRK transfer knee
AH above head	DY double yard	GS ground surface	NER north east return	TRM transfer member
AI above interior	DZ double zone	GS ground surface	NES north east slope	TRN transfer nail
AJ above joint	E end	H hole	NESE north east side	TRP transfer pin
AK above knee	E1 end 1	HO hole opening	NESEF north east side face	TRQ transfer point
AL above level	E2 end 2	HR hole radius	NESEH north east side height	TRR transfer rod
AM above member	E3 end 3	HS hole size	NESEK north east side knee	TRS transfer screw
AN above nail	E4 end 4	HT hole thickness	NESEP north east side pitch	TRT transfer tee
AO above opening	E5 end 5	HU hole under	NESEQ north east side quarter	TRU transfer urethane
AP above panel	E6 end 6	HV hole vertical	NESEF north east side face	TRV transfer vent
AQ above plate	E7 end 7	HV hole vertical	NESEH north east side height	TRW transfer weld
AR above railing	E8 end 8	HV hole vertical	NESEK north east side knee	TRX transfer wax
AS above slab	E9 end 9	HV hole vertical	NESEP north east side pitch	TRY transfer yoke
AT above top	E0 end 0	HV hole vertical	NESEQ north east side quarter	TRZ transfer zinc
AV above valve	E1 end 1	HV hole vertical	NESEH north east side height	TR transfer
AW above wall	E2 end 2	HV hole vertical	NESEK north east side knee	TR transfer
AX above window	E3 end 3	HV hole vertical	NESEP north east side pitch	TR transfer
AY above yard	E4 end 4	HV hole vertical	NESEQ north east side quarter	TR transfer
AZ above zone	E5 end 5	HV hole vertical	NESEF north east side face	TR transfer

SYMBOL LEGEND

VIEW NUMBER
 19 TITLE - VIEW NAME
 1/2" = 1'-0" - VIEW SCALE

WALL TAG
 100

DOOR TAG
 200

KEYNOTE TAG
 300

REVISION TAG
 400

FURNITURE TAG
 500

EQUIPMENT TAG
 600

WINDOW TAG
 700

CASEWORK TAG (PLAN OR ELEVATION)
 800

FLOOR
 900

BASE
 1000

WALL
 1100

REMARKS
 1200

FINISH PLAN TAG
 1300

CEILING TAG
 1400

ROOM TAG
 1500

ELEVATION TAG
 1600

NEW GRID AND IDENTIFICATION
 1700

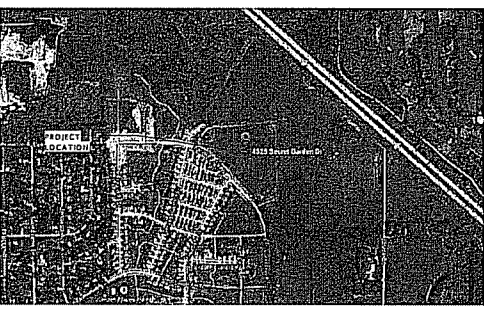
EXISTING GRID AND IDENTIFICATION
 1800

EXISTING CONSTRUCTION
 1900

DEMOLITION
 2000

NEW CONSTRUCTION
 2100

VICINITY MAP



PROJECT ADDRESS

CATALINA CROSSING APARTMENTS
 4525 Secret Garden Drive
 Madison, Wisconsin

OWNER INFORMATION

DECKER PROPERTIES, INC.
 15850 W. BLUEMOUND RD. #60
 BROOKFIELD, WISCONSIN 53005
 CONTACT: MR. DAVID J. DECKER
 DECKERPROPERTIES@SBGGLOBAL.NET
 262.785.0840

PROJECT TEAM

GENERAL CONTRACTOR

T.B.D.
 STREET ADDRESS
 CITY, STATE ZIP CODE
 PHONE NUMBER

ARCHITECTURAL

JOSEPH LEE & ASSOCIATES, LLC
 2418 CROSSROADS DR. - SUITE 2300
 MADISON, WISCONSIN 53718
 CONTACT: MS. LEAH TESKE
 LTESKE@JLA-AP.COM
 608.241.9500

CIVIL ENGINEERING

D'ONOFRIO, KOTTKE & ASSOCIATES, INC.
 7530 WESTWARD WAY
 MADISON, WISCONSIN 53717
 CONTACT: MR. BRUCE HOLLAR
 BHOLLAR@DONOFRIO.CC
 608.833.7530

STRUCTURAL ENGINEERING

MP-SQUARED STRUCTURAL ENGINEERS LLC
 583 D'ONOFRIO DR. SUITE 201
 MADISON, WISCONSIN 53538
 CONTACT: MARK LINDLOFF, P.E.
 MLINDLOFF@MPSQRD.COM
 608.821.4770

SITE LIGHTING

T.B.D.
 STREET ADDRESS
 CITY, STATE ZIP CODE
 PHONE NUMBER

SET ISSUE

CONDITIONAL USE SUBMITTAL
 04 FEBRUARY 2015

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A401-B	PLANS & INTERIOR ELEVATIONS - BUILDING TYPE 'B'
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A101-C	FIRST FLOOR PLAN - BUILDING TYPE 'C'
A102-C	SECOND FLOOR PLAN - BUILDING TYPE 'C'
A109-C	ROOF PLAN - BUILDING TYPE 'C'
A200-C	EXTERIOR ELEVATIONS
A201-C	EXTERIOR ELEVATIONS
A300-C	PLANS & INTERIOR ELEVATIONS - BUILDING TYPE 'C'
A401-C	PLANS & INTERIOR ELEVATIONS - BUILDING TYPE 'C'
A800-C	DEVICE PLACEMENT PLAN - FIRST FLOOR BUILDING 'C'
A801-C	DEVICE PLACEMENT PLAN - SECOND FLOOR BUILDING 'C'

JLA
 REAL ESTATE DEVELOPMENT, INC.

JOSEPH LEE & ASSOCIATES, LLC
 2418 CROSSROADS DR. SUITE 2300
 MADISON, WISCONSIN 53718
 608.241.9500

JLA PROJECT NUMBER: 14-1123

Fiduciary
 REAL ESTATE DEVELOPMENT, INC.

DECKER PROPERTIES, INC.
 INC.

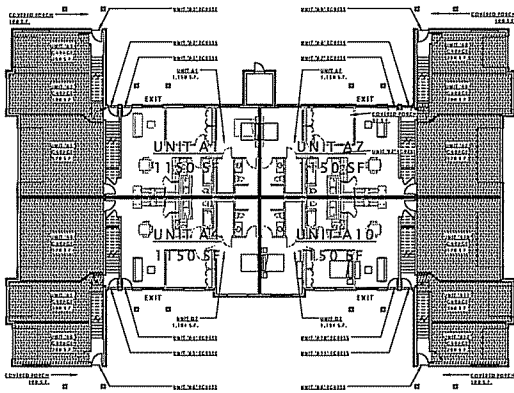
CATALINA CROSSING APARTMENTS

DATE OF ISSUANCE: 04 FEBRUARY 2015

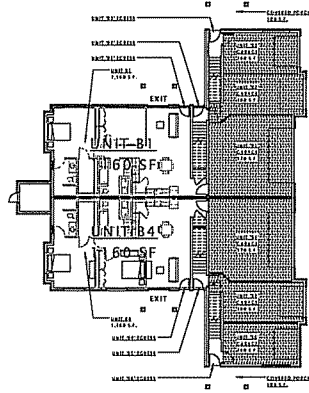
Revision Schedule		
Matr.	Description	Date

SHEET TITLE: INDEX

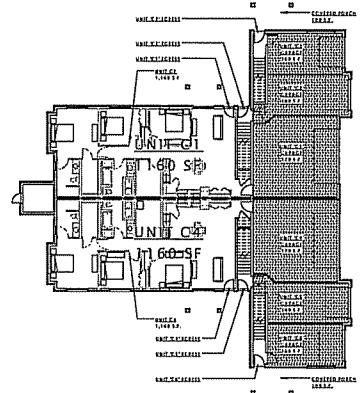
SHEET NUMBER: G001



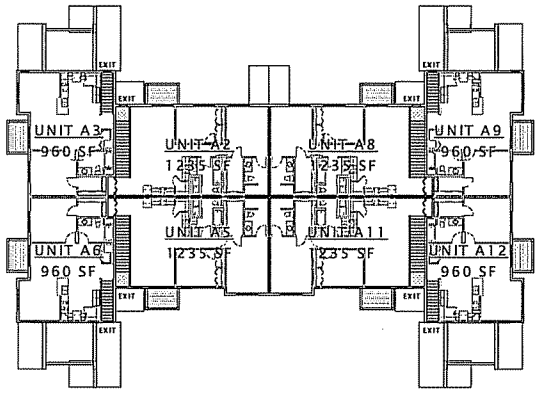
⑥ FIRST FLOOR PLAN - BUILDING 'A'
1/16" = 1'-0"



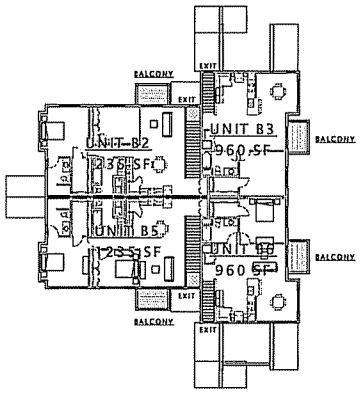
⑦ FIRST FLOOR PLAN - BUILDING 'B'
1/16" = 1'-0"



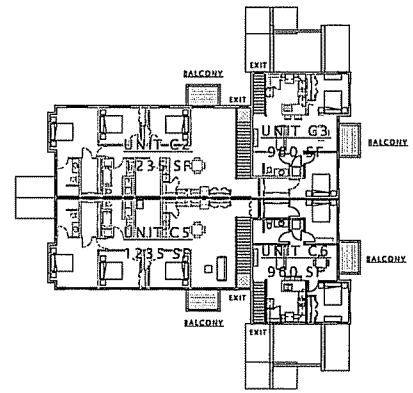
⑧ FIRST FLOOR PLAN - BUILDING 'C'
1/16" = 1'-0"



⑩ SECOND FLOOR PLAN - BUILDING 'A'
1/16" = 1'-0"



⑪ SECOND FLOOR PLAN - BUILDING 'B'
1/16" = 1'-0"



⑫ SECOND FLOOR PLAN - BUILDING 'C'
1/16" = 1'-0"

LIFE SAFETY LEGEND

INCIDENTAL USE AREAS SEPARATED WITH FIRE BARRIERS PER 2009 IBC TABLE 508.2.5

NOTES:

- ALL RESIDENTIAL UNITS ARE SEPARATED WITH 1 HR RATED FIRE PARTITIONS.

EXIT TRAVEL DISTANCE - "B" BUILDING

Path ID	Travel Distance	Destination

JLA

ARCHITECTS

JOSEPH LEE & ASSOCIATES
2410 CENTRAL EXPRESS DRIVE, SUITE 200
MILWAUKEE, WISCONSIN 53212
TEL: 414.224.1100 FAX: 414.224.1101
WWW.JLA-ARCHITECTS.COM

DECKER PROPERTIES, INC.

CATALINA CROSSING APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional filing. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE 04 FEBRUARY 2015

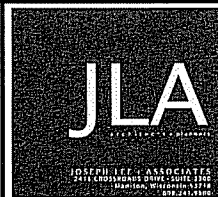
Revision Schedule	
Mark	Date

SHEET TITLE

CODE INFORMATION

SHEET NUMBER

G002



JLA PROJECT NUMBER: 14-1103

D'IGNOFIO KOTTKE AND ASSOCIATES, INC.
 7530 Westwood Way, Madison, WI 53717
 Phone 608.833.7530 • Fax 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

CATALINA CROSSING
 PROGRESS SET

PROGRESS DOCUMENTS
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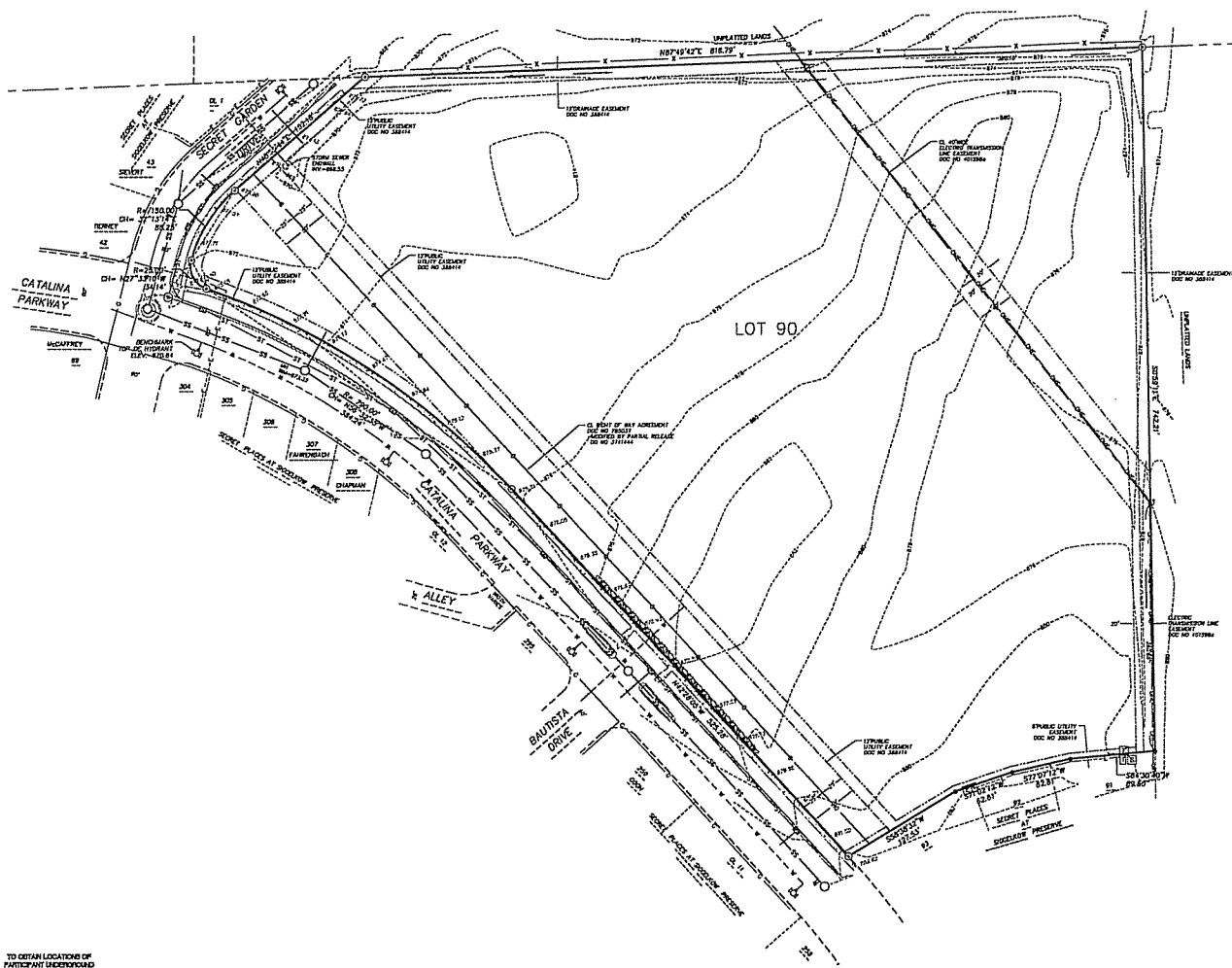
DATE OF ISSUANCE: 04 FEBRUARY 2015

Mark	Description	Date

SHEET TITLE: EXISTING CONDITIONS

SHEET NUMBER: C100

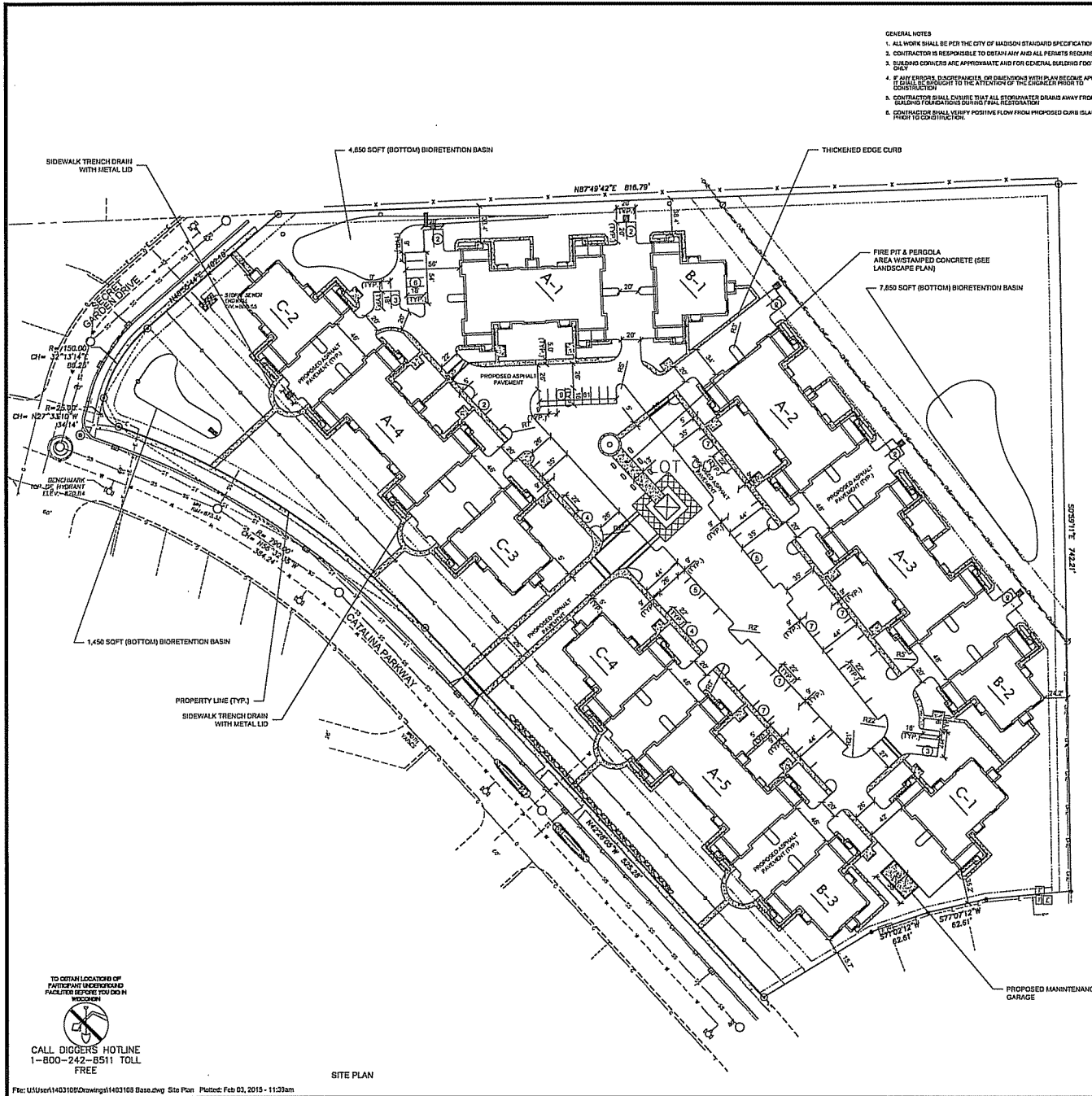
- LEGEND**
- FOUND 1-1/4" RIM REBAR
 - FOUND 3/4" RIM REBAR
 - UNDERGROUND ELECTRIC
 - SANITARY SEWER
 - WATER MAIN
 - GAS MAIN
 - OVERHEAD ELECTRIC
 - STORM SEWER
 - ELECTRIC TRANSFORMER
 - TELEPHONE PEDESTAL
 - MANHOLE
 - CATCH BASIN/VALET
 - PUMP POLE
 - HYDRANT
 - CONCRETE
 - BOLLARD RETAINING WALL
 - CONC. CURB
 - DRAINAGE DIRECTION (SEE NOTE 9)
 - EXISTING CONTOUR



TO OBTAIN LOCATIONS OF PARTICULAR UNDERGROUND FACILITIES BEFORE YOU DIG, WE COVER
 CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE

EXISTING CONDITIONS





- GENERAL NOTES**
1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
 2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 3. BUILDING FOOTPRINTS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
 4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
 5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOOTPRINTS DURING FINAL REGISTRATION.
 6. CONTRACTOR SHALL VERIFY POSITIVE FLOW FROM PROPOSED CURB ISLANDS PRIOR TO CONSTRUCTION.

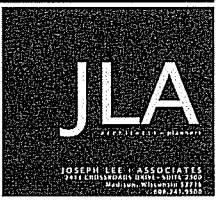
LEGEND

- CONCRETE PAVEMENT
- FIRE LANE ACCESS (30' WIDE LANE AT ALL POINTS & ALL INSIDE TURNING RADI ARE 20' AS REQUIRED)

EXISTING CONDITIONS LEGEND

- FOUND 3/4" SOLID ROUND IRON STAKE
- UNDERGROUND ELECTRIC
- SANITARY SEWER
- WATER MAIN
- GAS MAIN
- OVERHEAD ELECTRIC
- TELECOMMUNICATION LINE
- STEEL PIPE
- ELECTRIC TRANSFORMER
- TELEPHONE PEDESTAL
- MANHOLE
- CATCH BASIN/VALET
- POWER POLE
- LIGHT POLE
- GAS METER
- VALVE
- HYDRANT
- GUY WIRE
- CONCRETE
- SHOULDER RETAINING WALL
- CHAIN-LINK FENCE
- CONC. CURB
- EXISTING CONTOUR
- TOP OF CURB SPOT ELEVATION (0 DECIMAL PT.)
- SPOT ELEVATION (0 DECIMAL PT.)
- "RECORDED AS" INFORMATION

SITE PLAN INFORMATION BLOCK CATALINA CROSSING	
LOT AREA	7.81 AC ±
EXISTING TOTAL IMPERVIOUS AREA	0 SF ±
PROPOSED TOTAL IMPERVIOUS AREA	241,160 SF ±
TOTAL BUILDING ROOF AREA	107,275 SF ±
NUMBER OF PROPOSED SURFACE PARKING STALLS	88



JLA PROJECT NUMBER: 14-1101

D'HOFFRIED KOTTE AND ASSOCIATES, INC.
7530 Wenhaven Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

**CATALINA CROSSING
PROGRESS SET**

PROGRESS DOCUMENTS
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DATE OF ISSUANCE 04 FEBRUARY 2015		
Mark	Revision Schedule	Date

SHEET TITLE
SITE PLAN

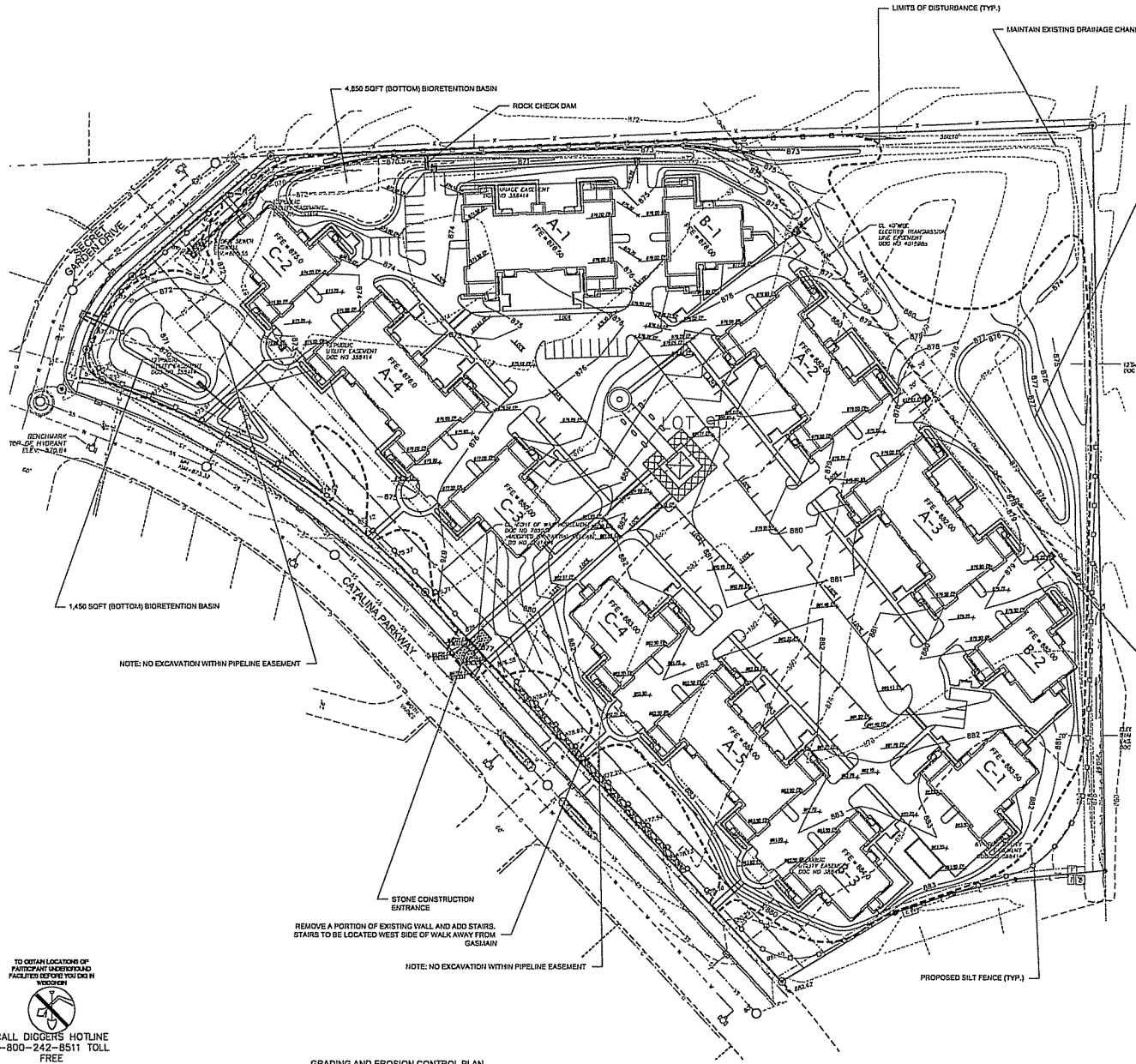
SHEET NUMBER
C101

TO OBTAIN LOCATION OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN MADISON
CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE

SITE PLAN

LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
BY EDGE OF PAVEMENT
- LIMITS OF DISTURBANCE
- FLOW ARROW
- SILT FENCE/STOCK
- RIPRAP PAD



7,850 SOFT (BOTTOM) BIORETENTION BASIN

1,450 SOFT (BOTTOM) BIORETENTION BASIN

- GENERAL NOTES
- ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
 - CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 - RECORD COPIES ARE APPROPRIATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
 - IF ANY ERROR, OMISSIONS, CONFLICTS OR INCONSISTENCIES ARE IDENTIFIED, CONTRACTOR SHALL BRING IT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS AND SHALL BE MAINTAINED.
 - CONTRACTOR SHALL VERIFY POSITIVE FLOW FROM PROPOSED CURB ISLANDS PRIOR TO CONSTRUCTION.

- GRADING AND EROSION CONTROL NOTES:
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR ACCORDING WITH THE FOLLOWING TECHNICAL STANDARDS. IF IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
 - SETBACKS OF EROSION CONTROL MEASURES SHALL BE AS FOLLOWS: 10' FROM EXISTING OR PROPOSED CONTOUR, 5' FROM EXISTING OR PROPOSED CONTOUR, 5' FROM EXISTING OR PROPOSED CONTOUR, 5' FROM EXISTING OR PROPOSED CONTOUR.
 - EROSION CONTROL MEASURES INSTALLED ON THE FLATS SHALL BE CONSIDERED SLOPES UP TO 1% UNLESS OTHERWISE NOTED. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT SEEDING FROM LEAVING THE SITE.
 - ROCK CHECK DAMS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
 - SUSPECT EROSION CONTROL MEASURES AFTER EACH 12" OR GREATER RAINFALL. REPAIR ANY DAMAGE OCCURRING DURING THE INSPECTION.
 - NO EROSION CONTROL MEASURES SHALL BE CONSTRUCTED OUTSIDE THE LIMITS OF DISTURBANCE.
 - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES FINISHED AND STABILIZED TO A SUFFICIENT LEVEL.
 - INSTALL SILT FENCE PROTECTION IN ALL STORM DRAINAGE AREAS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS. REPAIR AND MAINTAIN AS NEEDED.
 - CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
 - SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
 - ALL INTERCEPTAL AND THROUGH DRAINAGE SYSTEMS SHALL BE INSTALLED AND OPERATIONAL PRIOR TO THE START OF CONSTRUCTION. ALL DRAINAGE SYSTEMS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 - ANY DISTURBED AREA THAT REMAINS UNACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION MEASURES SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING OR MULCH.
 - PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
 - INSTALL EROSION CONTROL ON THE DOWNSTREAM SIDE OF STOCKPILES.
 - AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL. TOPSOIL SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 100 SQ FT ON ALL DISTURBED AREAS. TOPSOIL SHALL BE APPLIED AT A RATE OF 1 POUND PER 100 SQ FT ON ALL DISTURBED AREAS. TOPSOIL SHALL BE PLANTED WITH A SEED MIXTURE OF FLOCCULATING WATER CONDITIONER.
 - CONTRACTOR SHALL VERIFY POSITIVE FLOW FROM PROPOSED CURB ISLANDS PRIOR TO CONSTRUCTION.

LIMITS OF DISTURBANCE = 488,800 SQ FT



JLA PROJECT NUMBER: 14-1103

D'ONOFRIO KOTKE AND ASSOCIATES, INC.
7530 Wisconsin Way, Madison, WI 53717
Phone: 608.833.7340 • Fax: 608.833.1895
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

CATALINA CROSSING
PROGRESS SET

PROGRESS DOCUMENTS
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DATE OF ISSUANCE	04 FEBRUARY 2015
Mark	Revision Schedule Date

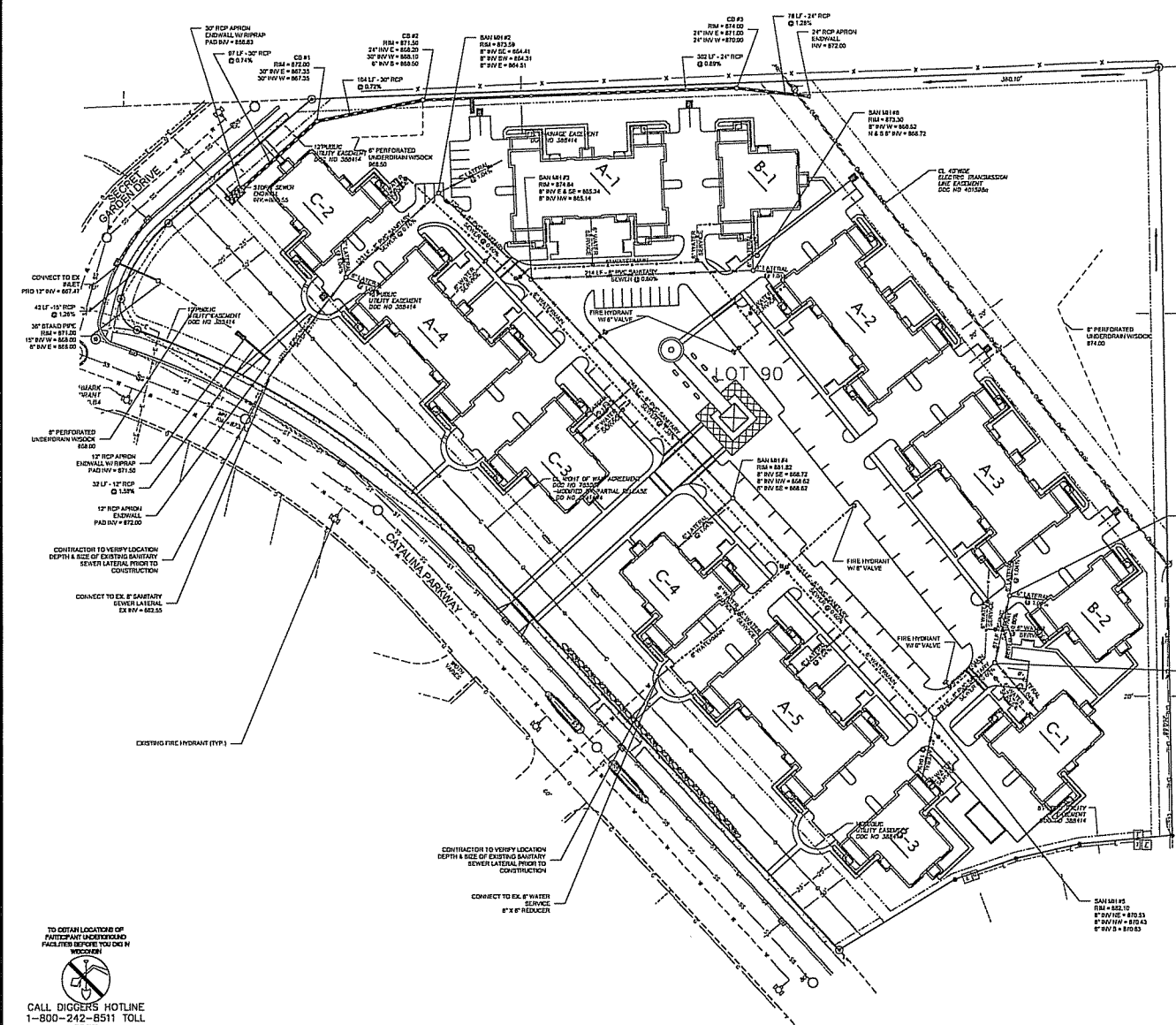
SHEET TITLE
GRADING AND EROSION CONTROL PLAN

SHEET NUMBER
C102

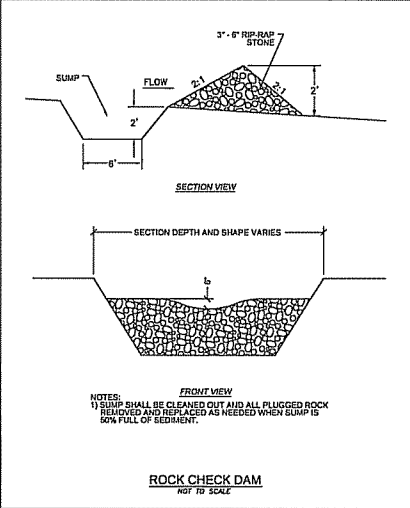
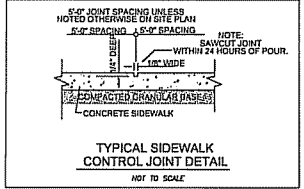
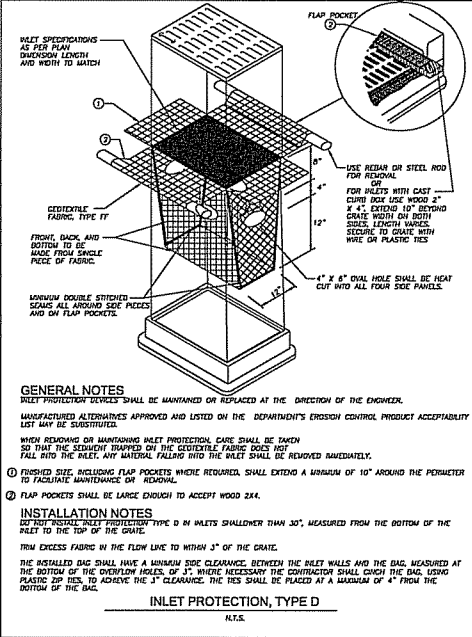
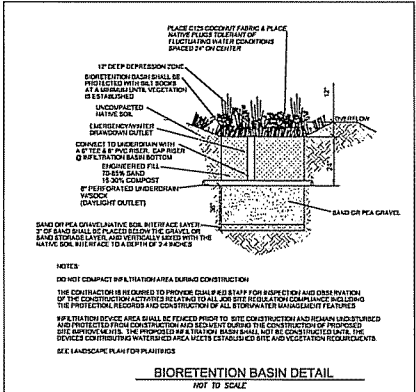
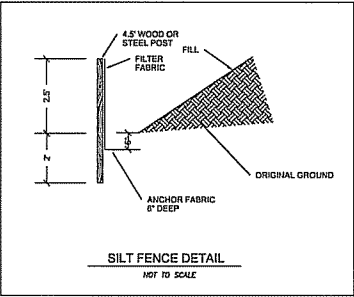
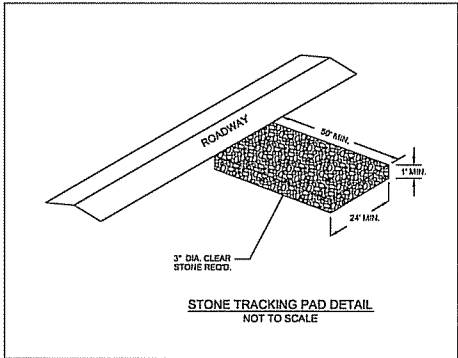
TO OBTAIN LOCATION OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE

Mark	Revision Schedule	Date

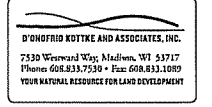
- GENERAL NOTES**
- ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
 - CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 - BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
 - IF ANY ERRORS, DISCREPANCIES OR OMISSIONS ARE APPARENT, CONTRACTOR SHALL BE RESPONSIBLE TO THE EXTENT OF THE WORK PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL EXAMINE THAT ALL STORMWATER CHANNELS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION.
 - CONTRACTOR SHALL VERIFY POSITIVE FLOW FROM PROPOSED CURB ISLANDS PRIOR TO CONSTRUCTION.
- SITE UTILITY NOTES**
- THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
 - CONTRACTOR TO VERIFY LOCATION DEPTH & SIZE OF EXISTING WATER AND SEWER PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY AND COORDINATE SANITARY AND WATER SERVICE CONNECTION LOCATION WITH ARCHITECTURAL PLUMBING PLAN.
 - CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
 - UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
 - ALL WATER SERVICES AND HYDRANTS SHALL BE INSTALLED WITH A VALVE.
 - ALL STORM MANHOLES TO BE 48" DIAMETER MANHOLE WITH MEEHAN ROSS 2501 VALVE FRAME, GRATE WITH TYPE G LID UNLESS NOTED AS SOLID LID ON PLAN.



TO OBTAIN LOCATION OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
 CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE



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DECKER PROPERTIES, INC.

CATALINA CROSSING
PROGRESS SET

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DATE OF ISSUANCE		04 FEBRUARY 2015
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SHEET TITLE
DETAIL SHEET

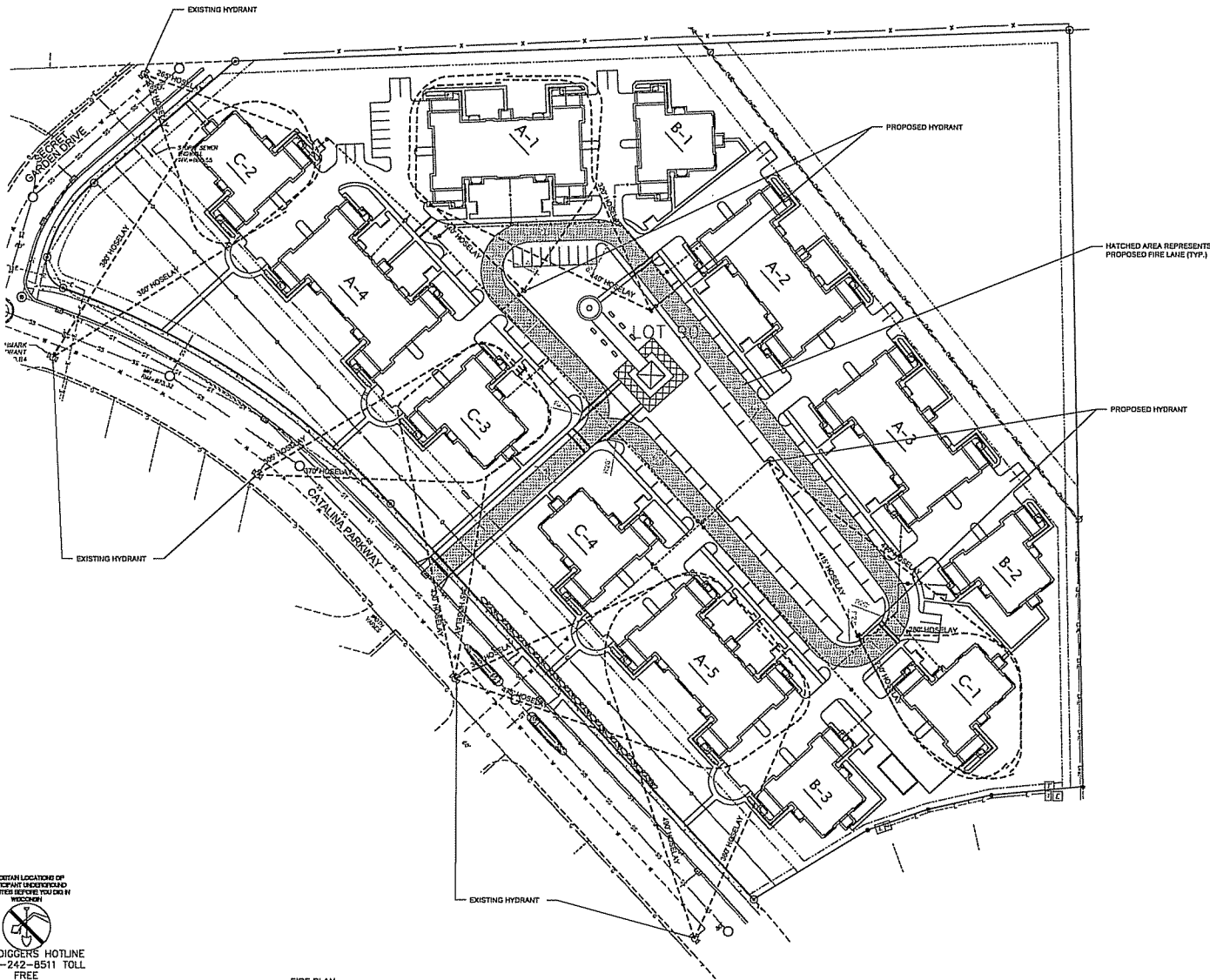
SHEET NUMBER
C104



LEGEND



FIRE LANE ACCESS (10' WIDE LANE AT ALL POINTS & ALL INSIDE TURNING RADIUS ARE 20' AS REQUIRED)



HATCHED AREA REPRESENTS PROPOSED FIRE LANE (TYP.)

PROPOSED HYDRANT

PROPOSED HYDRANT

EXISTING HYDRANT

EXISTING HYDRANT

EXISTING HYDRANT

TO OBTAIN LOCATION OF PARTICIPANT GREENERY AND FACILITIES BEFORE YOU DIG IN WISCONSIN



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1-800-242-8511 TOLL FREE

FIRE PLAN

File: U:\User\140310\Drawings\1403108 Base.dwg Fire Plan Plotted: Feb 03, 2015 - 11:42am



JLA PROJECT NUMBER: 14-1102

D'ONOFRIO KOTKE AND ASSOCIATES, INC.
7530 Wernand Way, Madison, WI 53717
Phone: 608.833.7330 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

**CATALINA CROSSING
PROGRESS SET**

PROGRESS DOCUMENTS

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DATE OF ISSUANCE 04 FEBRUARY 2015

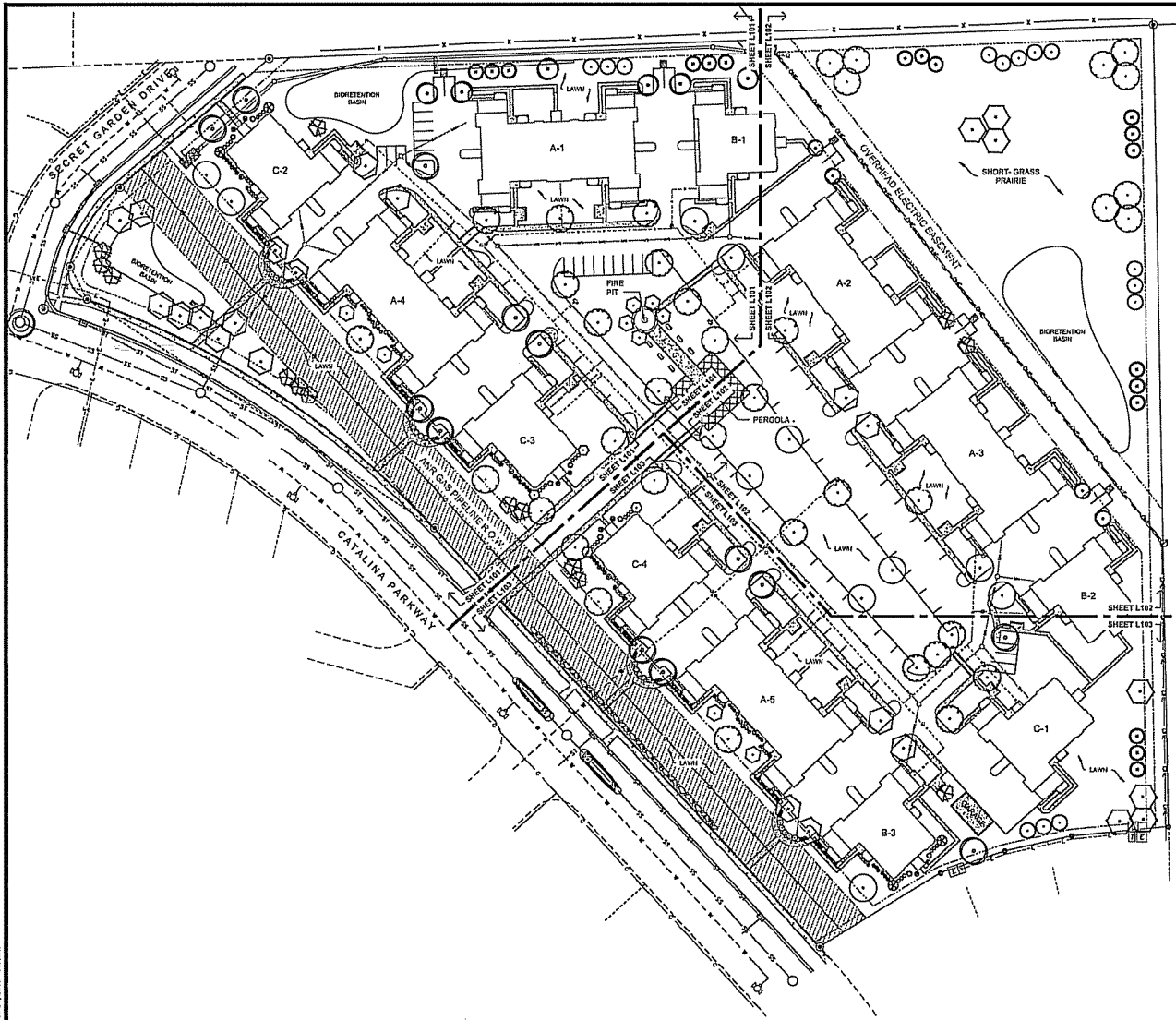
Blank	Revision Schedule	Date

SHEET TITLE

FIRE PLAN

SHEET NUMBER

C105



LANDSCAPE REQUIREMENTS SUMMARY

BUILDING TYPE A (5)
 AREA = 10,328 SF (51,640 SF)
 PERIMETER = 827 LF (3,135 SF)

BUILDING TYPE B (3)
 AREA = 6,222 SF (15,666 SF)
 PERIMETER = 379 LF (1,137 LF)

BUILDING TYPE C (4)
 AREA = 5,888 SF (23,544 SF)
 PERIMETER = 407 LF (1,628 LF)

TOTAL BUILDINGS
 AREA = 90,850 SF
 PERIMETER = 5,900 LF

DEVELOPED AREA REQUIREMENT:
 6 PTS PER 300 SQ FT OF DEVELOPED AREA
 GROSS DEVELOPED AREA = 326,823 SQ FT
 BUILDING FOOTPRINTS = 90,850 SQ FT
 NET DEVELOPED AREA = 235,973 SQ FT

POINTS REQUIRED = 3,833 POINTS
 POINTS PROVIDED = 5,926 POINTS

STREET FRONTAGE REQUIREMENT:
 1 OVERSTORY TREE OR 2 EVERGREEN & 5 SHRUB PER 30 FT

CATALINA PARKWAY FRONTAGE = 935 FT
 PLANTS REQUIRED = 31 OVERSTORY TREES OR
 62 EVERGREEN / ORNAMENTAL TREES
 156 SHRUBS
 PLANTS PROVIDED = 25 OVERSTORY TREES
 14 ORNAMENTAL TREES
 189 SHRUBS

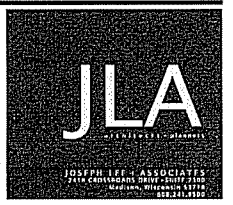
SECRET GARDEN DRIVE FRONTAGE = 99 FT
 PLANTS REQUIRED = 3 OVERSTORY TREES OR
 7 EVERGREEN / ORNAMENTAL TREES
 17 SHRUBS
 PLANTS PROVIDED = 3 OVERSTORY TREES
 18 SHRUBS

PARKING LOT LANDSCAPING REQUIREMENT:
 1 OVERSTORY TREE PER 160 SQ FT OF REQUIRED AREA

TOTAL PARKING LOT AREA = 114,454 SQ FT
 REQUIRED LANDSCAPED AREA = 9,156 SQ FT (8% TOTAL PARKING LOT AREA)

LANDSCAPED AREA PROVIDED = 28,416 SQ FT
 OVERSTORY TREES REQUIRED = 57 OVERSTORY TREES
 OVERSTORY TREES PROVIDED = 57 OVERSTORY TREES

PLANT SCHEDULE



JLA PROJECT NUMBER: 14-1103

D'ONOFRIO KOTKIE AND ASSOCIATES, INC.
 7330 Westward Way, Madison, WI 53717
 Phone: 608.833.7330 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

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SHEET TITLE: **OVERALL LANDSCAPE PLAN**

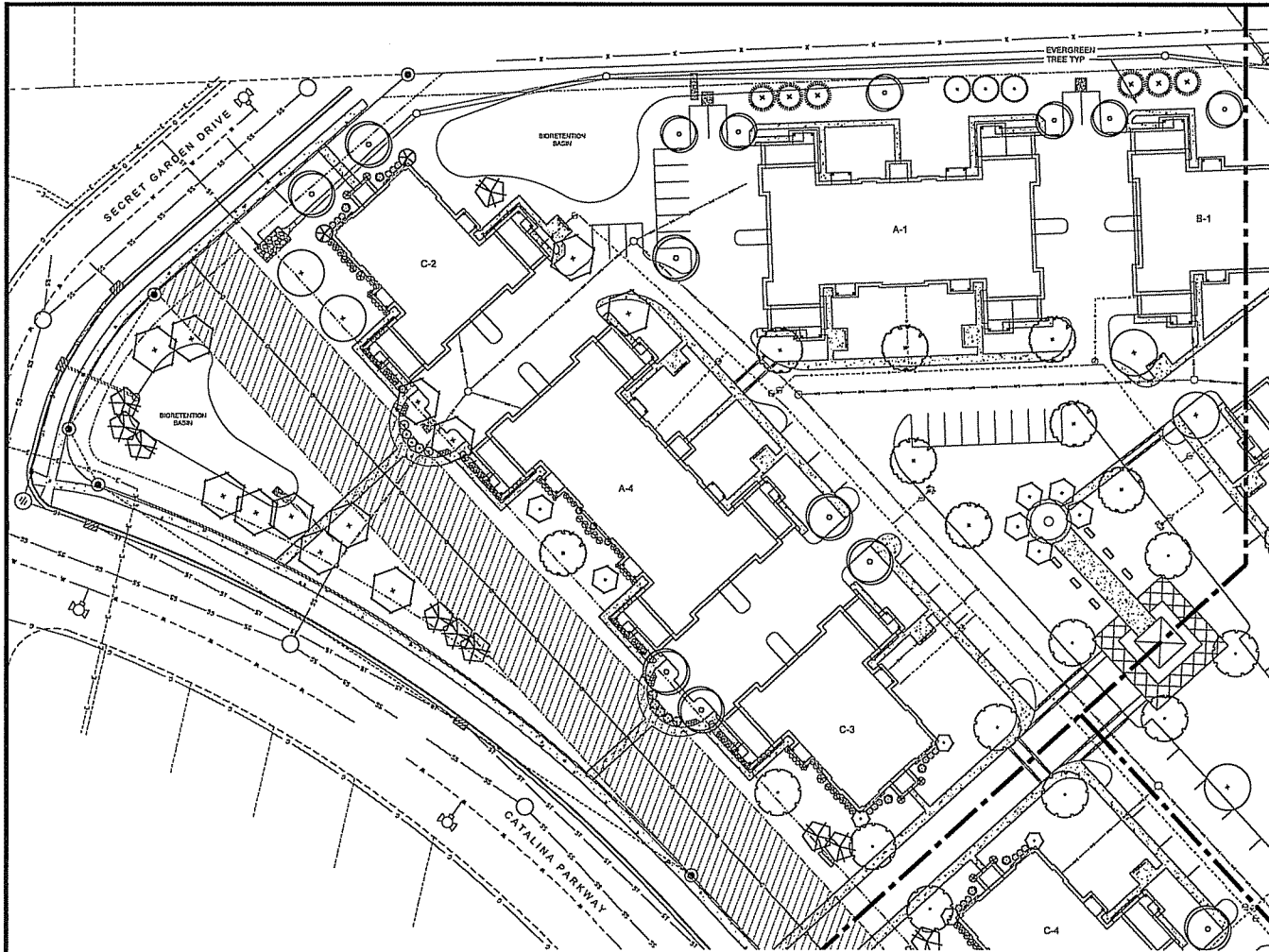
SHEET NUMBER: **L100**

File: L100.dwg (1/20/15) 10:00 AM 2/4/2015 9:01 AM

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 1-800-242-8511 TOLL FREE





PLANT SCHEDULE

NO.	SYMBOL	PLANT NAME	QUANTITY
1	(Symbol)	EVERGREEN TREE TYP	100
2	(Symbol)
3	(Symbol)
4	(Symbol)
5	(Symbol)
6	(Symbol)
7	(Symbol)
8	(Symbol)
9	(Symbol)
10	(Symbol)
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43	(Symbol)
44	(Symbol)
45	(Symbol)
46	(Symbol)
47	(Symbol)
48	(Symbol)
49	(Symbol)
50	(Symbol)



JLA PROJECT NUMBER: 14-1103

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DATE OF ISSUANCE		04 FEBRUARY 2015	
Revision Schedule			
Rev.	Description	Date	

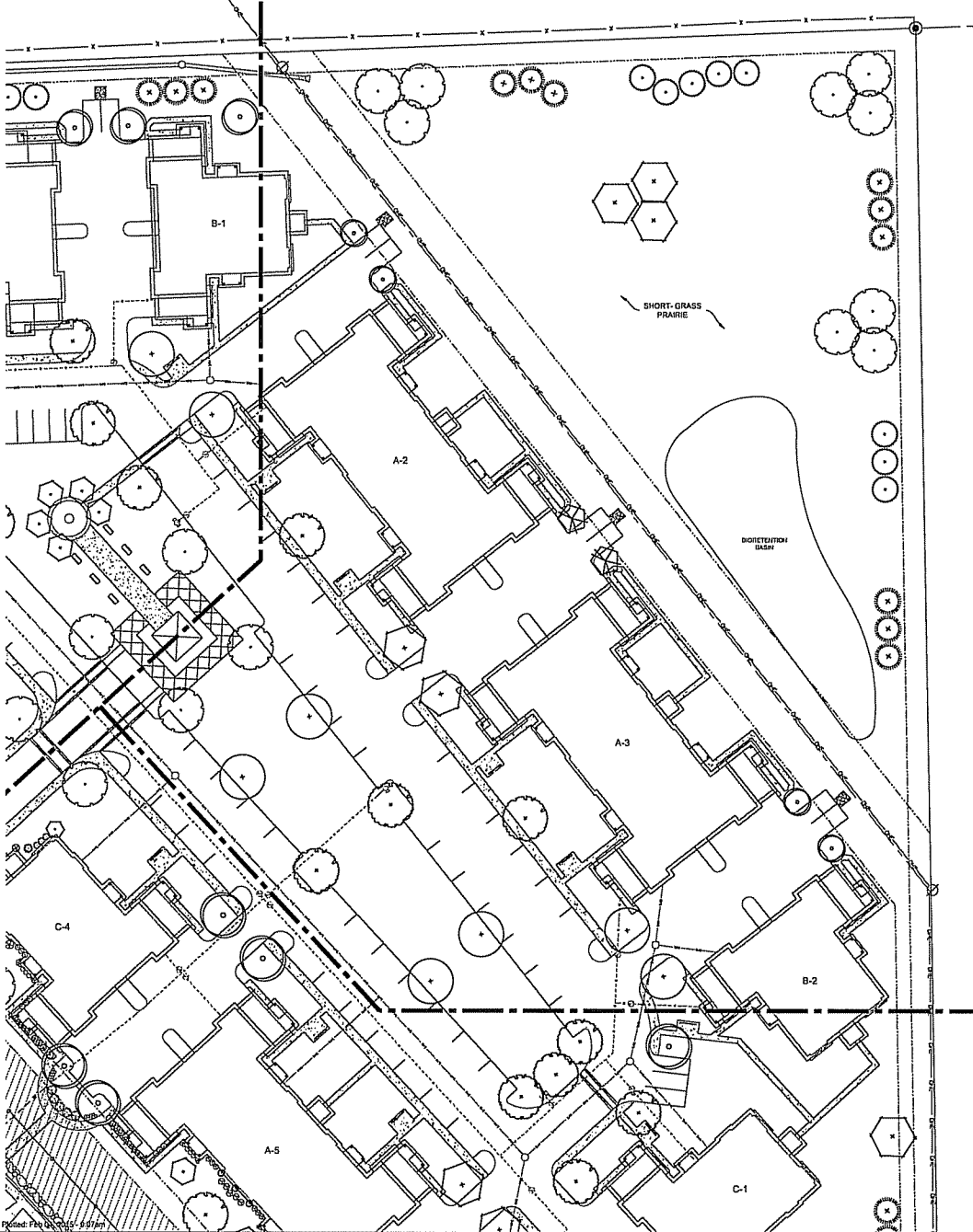
SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L101

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE



PLANT SCHEDULE

Plant Name	Quantity	Notes
[Symbol]	10	
[Symbol]	15	
[Symbol]	20	
[Symbol]	25	
[Symbol]	30	
[Symbol]	35	
[Symbol]	40	
[Symbol]	45	
[Symbol]	50	
[Symbol]	55	
[Symbol]	60	
[Symbol]	65	
[Symbol]	70	
[Symbol]	75	
[Symbol]	80	
[Symbol]	85	
[Symbol]	90	
[Symbol]	95	
[Symbol]	100	



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 7530 Wardway Way, Madison, WI 53717
 Phone 608.833.7330 • Fax 608.833.1089
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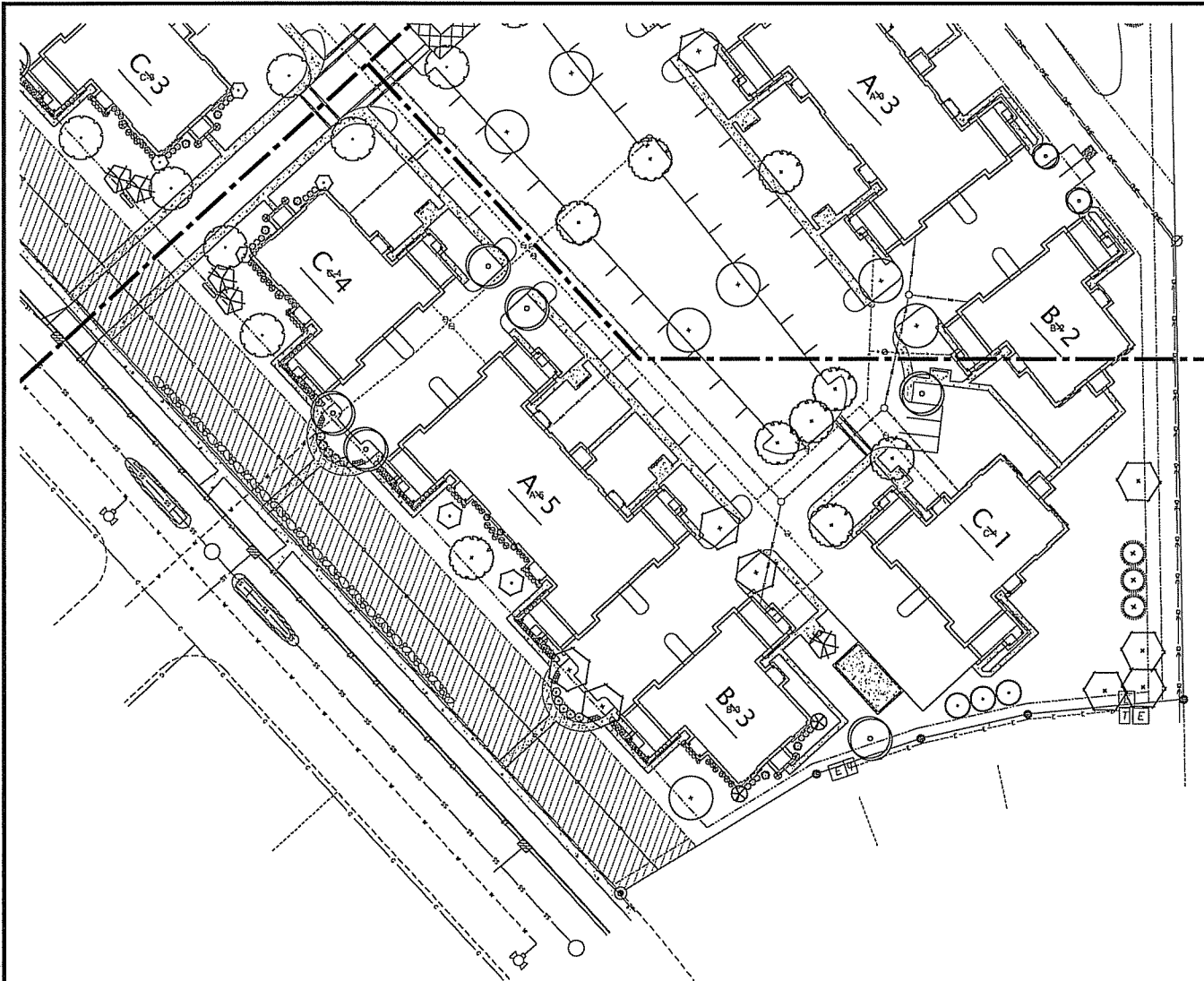
Mark	Revision Schedule	Date

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L102

TO OBTAIN LOCATIONS OF PARTICIPATING LANDSCAPING FACILITIES REPORT YOU DO NOT NEED TO CALL DIGGERS HOTLINE

**CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE**



PLANT SCHEDULE

Plant	Quantity
1	1
2	1
3	1
4	1
5	1
6	1
7	1
8	1
9	1
10	1
11	1
12	1
13	1
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99	1
100	1

JLA
ARCHITECT ASSOCIATES

1035 PHILIP STREET, SUITE 100
MADISON, WISCONSIN 53717
PHONE 608.833.7530 FAX 608.833.1089
WWW.JLA-ARCHITECT.COM

JLA PROJECT NUMBER: 14-1103

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7530 Wardway Way, Madison, WI 53717
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PROGRESS SET

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DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule	
Month	Day

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L103



TO OBTAIN LOCATIONS OF PARTICIPATING REGISTERED FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE

File: L:\Users\14031082\mch\landscapes\fig_L103_PlanSet_Feb 04, 2015 - 8:07am

DECKER PROPERTIES,
 INC.

CATALINA CROSSING
 APARTMENTS

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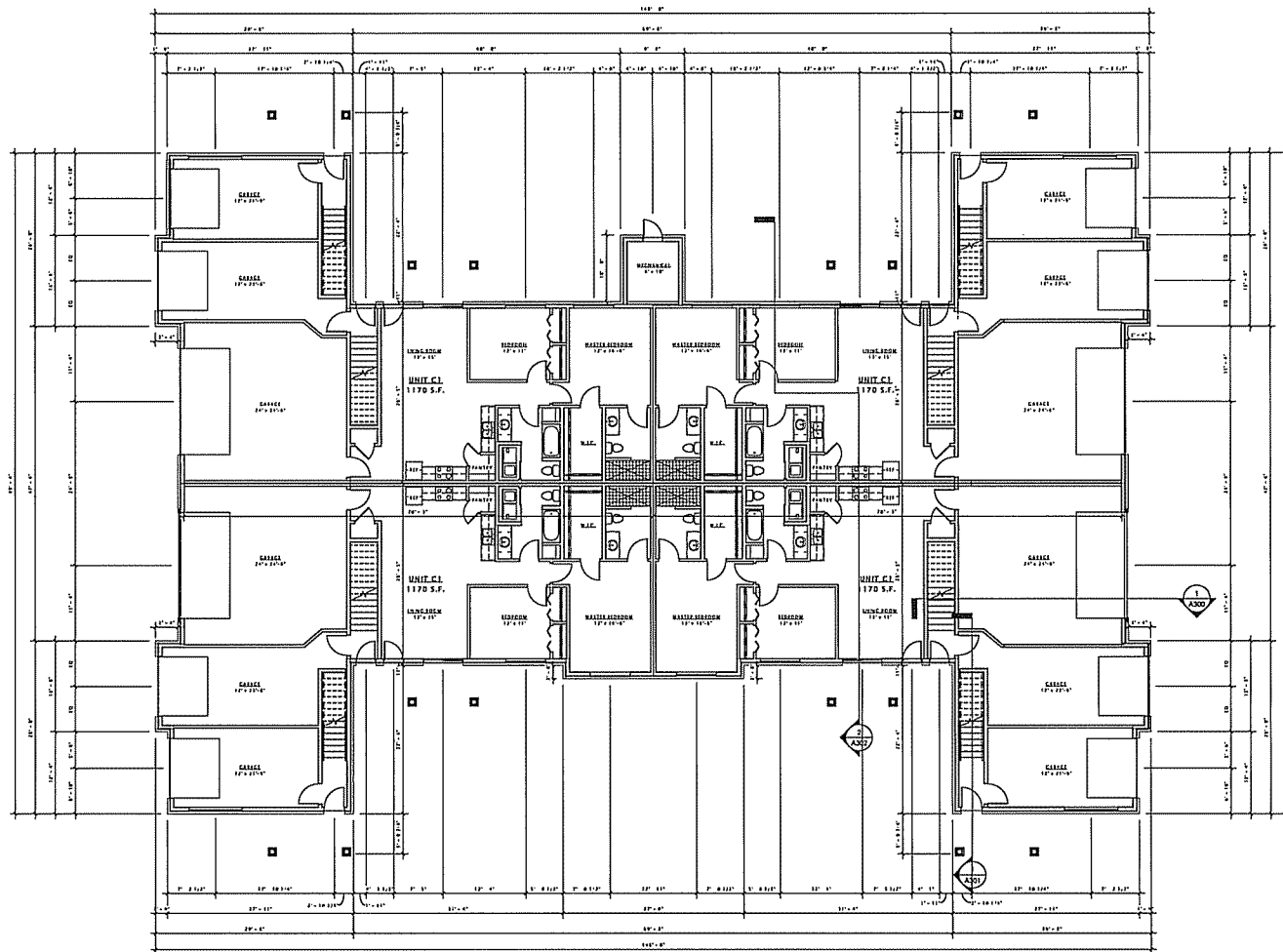
Prepared by	Brian S. Kozicki
Checked by	
Drawn by	
Date	

SHEET TITLE

FIRST FLOOR PLAN -
 BUILDING TYPE 'A'

SHEET NUMBER

A101-A



JLA

JOSEPH LEI & ASSOCIATES

JOSEPH LEI & ASSOCIATES
 300 EAST BROADWAY DRIVE, SUITE 200
 MADISON, WISCONSIN 53703
 TEL: 608.261.1100 FAX: 608.261.1100
 JLA PROJECT NUMBER: 14-1181

DECKER PROPERTIES,
 INC.

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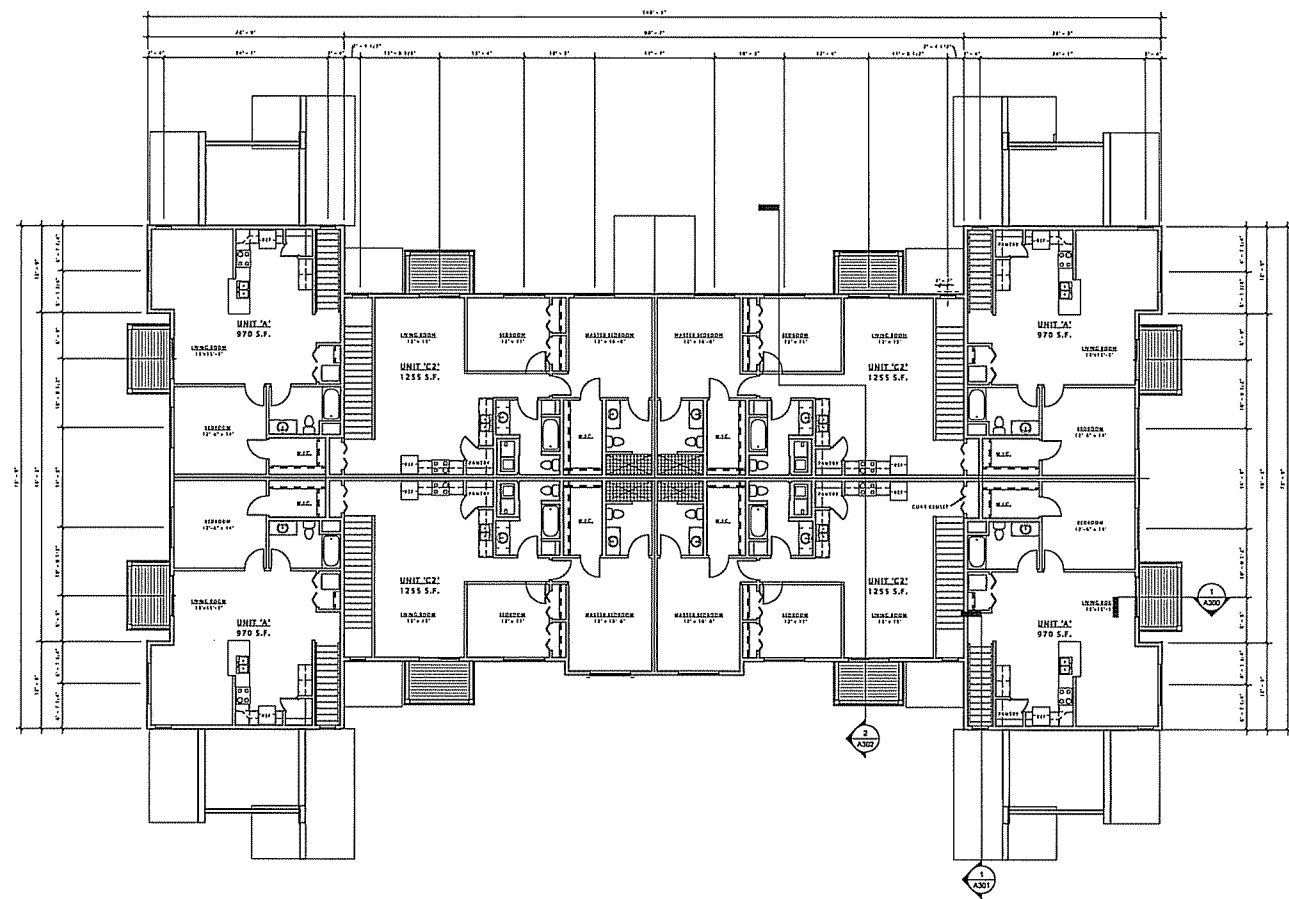
Revision Schedule	
Mark	Date

SHEET TITLE

SECOND FLOOR PLAN
 - BUILDING TYPE 'A'

SHEET NUMBER

A102-A



16 SECOND FLOOR PLAN - BUILDING 'A'
 1/8" = 1'-0"

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INC.

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APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: 04 FEBRUARY 2015

Revised Schedule

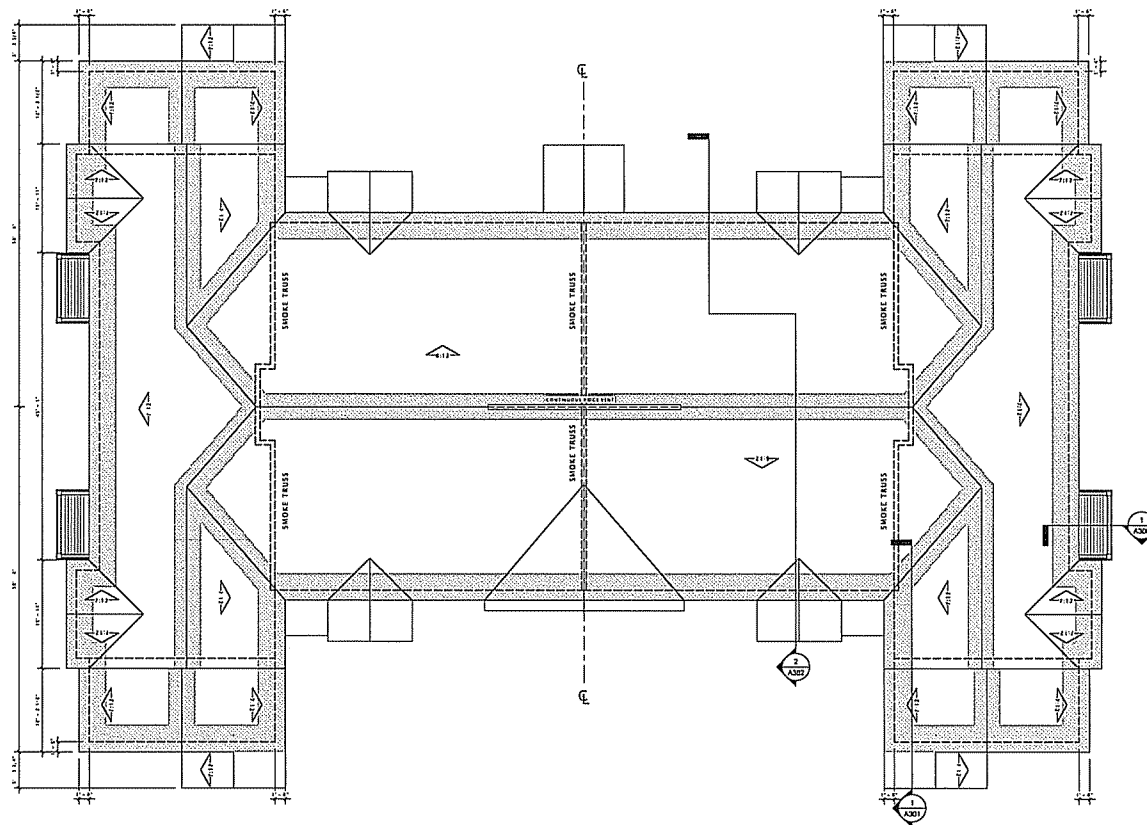
Rev.	Description	Date

SHEET TITLE

ROOF PLAN -
BUILDING TYPE 'A'

SHEET NUMBER

A109-A



① ROOF PLAN
1/8" = 1'-0"

JLA

JOSEPH LEE & ASSOCIATES
 ARCHITECTS
 1000 W. WASHINGTON ST. SUITE 200
 MADISON, WISCONSIN 53703
 TEL: 608.261.1000
 FAX: 608.261.1000

HA PROJECT NUMBER: 14-1183

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DATE OF ISSUANCE: 04 FEBRUARY 2015

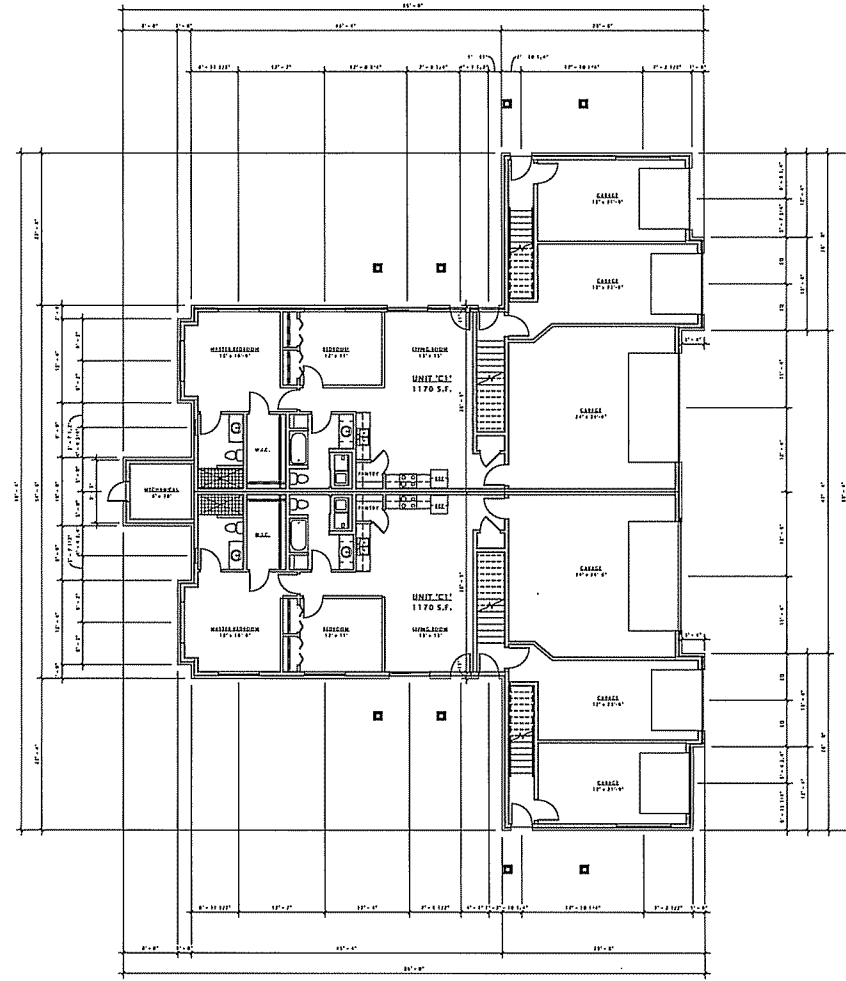
Rev.	Description	Date

SHEET TITLE

FIRST FLOOR PLAN -
 BUILDING TYPE 'B'

SHEET NUMBER

A101-B



16 FIRST FLOOR PLAN - BUILDING 'B'
 1/8" = 1'-0"

JLA

JOSEPH LEE & ASSOCIATES
 1404 KATY STREET, SUITE 200
 MADISON, WISCONSIN 53713
 608.241.4500

JLA PROJECT NUMBER: 14-1102

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 INC.

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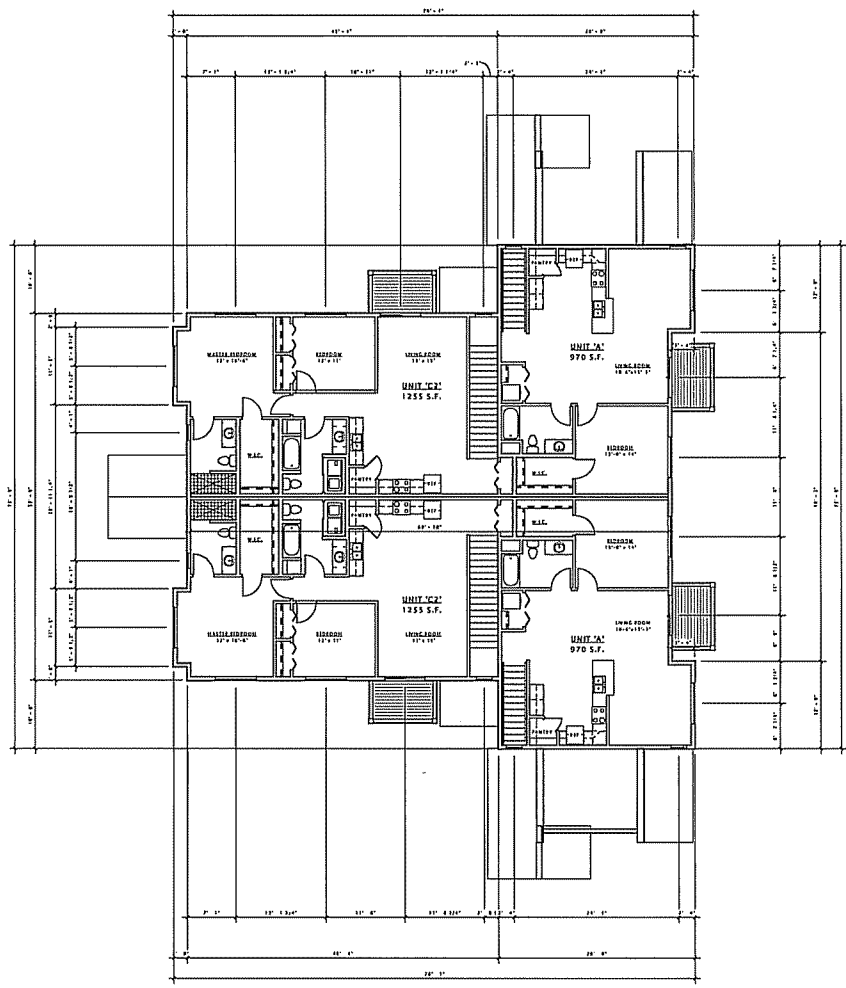
Revisions Schedule	Date

SHEET TITLE

SECOND FLOOR PLAN
 - BUILDING TYPE 'B'

SHEET NUMBER

A102-B



10 SECOND FLOOR PLAN - BUILDING 'B'
 1/8" = 1'-0"

JLA

JOSEPH J. LEE ASSOCIATES
2004 CROSSROADS DRIVE, SUITE 100
MADISON, WISCONSIN 53718
TEL: 608.241.1000
FAX: 608.241.1001
JLA PROJECT NUMBER: 14-109-B

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Revision Schedule

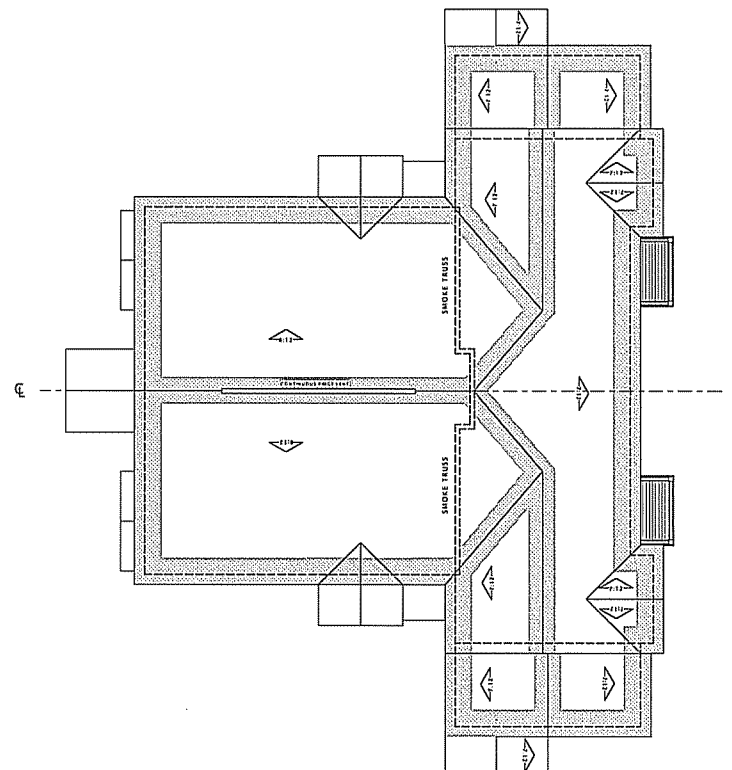
Rev.	Description	Date

SHEET TITLE

ROOF PLAN -
BUILDING TYPE 'B'

SHEET NUMBER

A109-B



① ROOF PLAN
1/8" = 1'-0"

DECKER PROPERTIES,
 INC.

CATALINA CROSSING
 APARTMENTS

PROGRESS DOCUMENTS

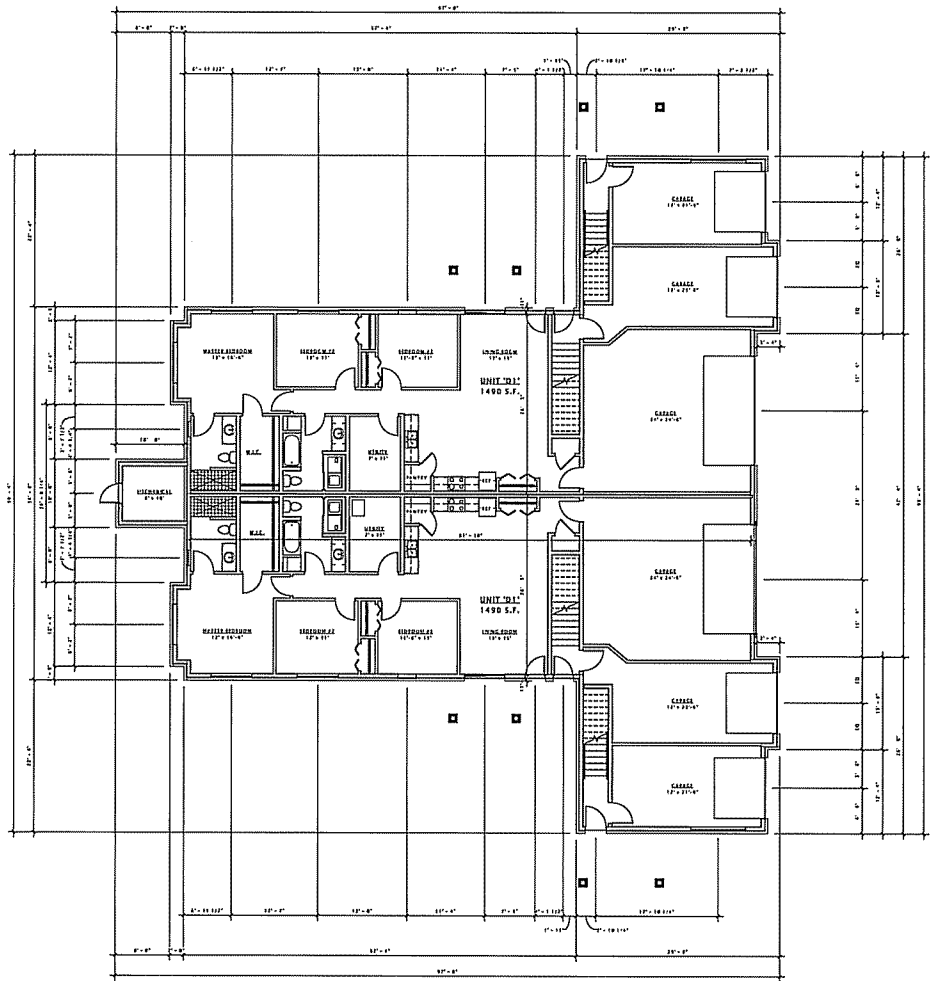
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DATE OF ISSUANCE: 04 FEBRUARY 2015

Mark	Description	Date

SHEET TITLE
**FIRST FLOOR PLAN -
 BUILDING TYPE 'C'**

SHEET NUMBER
A101-C



16' FIRST FLOOR PLAN - BUILDING 'C'
 1/8" = 1'-0"

DECKER PROPERTIES,
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CATALINA CROSSING
 APARTMENTS

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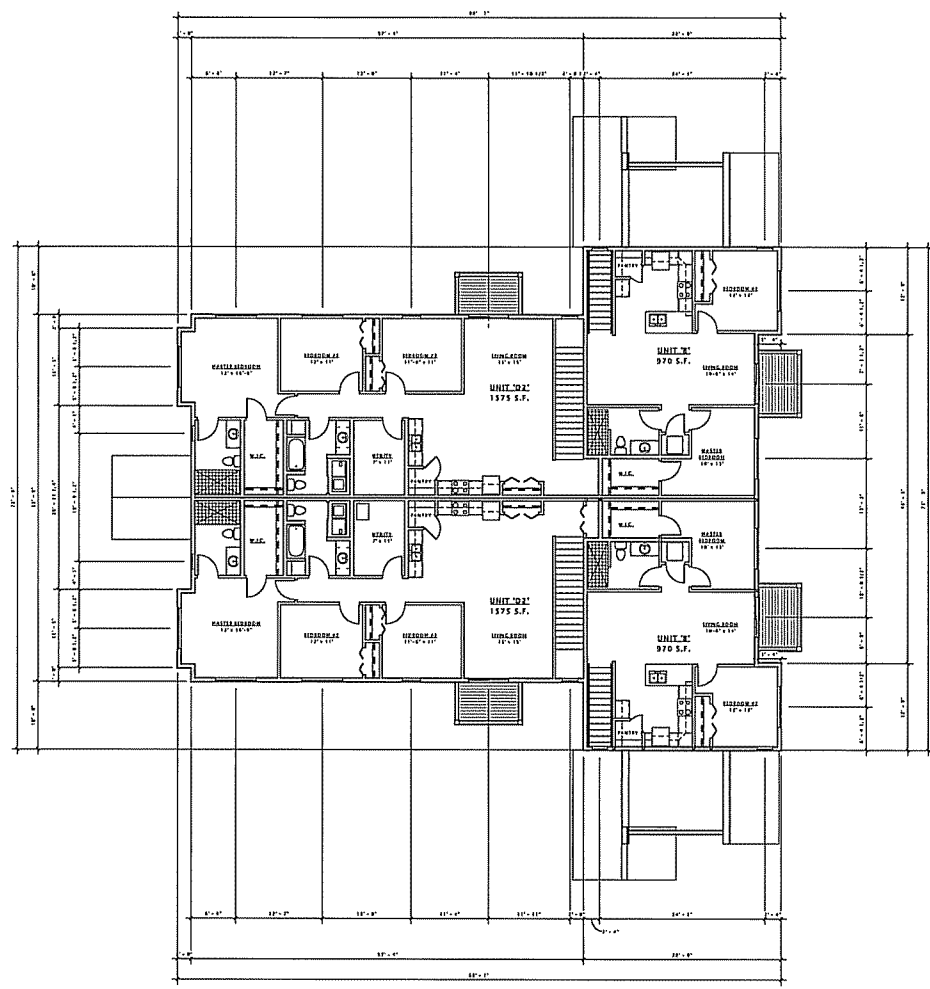
Revision Schedule		
Mat.	Description	Date

SHEET TITLE

SECOND FLOOR PLAN - BUILDING TYPE 'C'

SHEET NUMBER

A102-C



16 SECOND FLOOR PLAN - BUILDING 'C'
 1/8" = 1'-0"

JLA

JOSEPH LEICHT ASSOCIATES
2474 CATALINA DRIVE - SUITE 200
MADISON, WISCONSIN 53718
608.261.9000

BA PROJECT NUMBER: 14-0183

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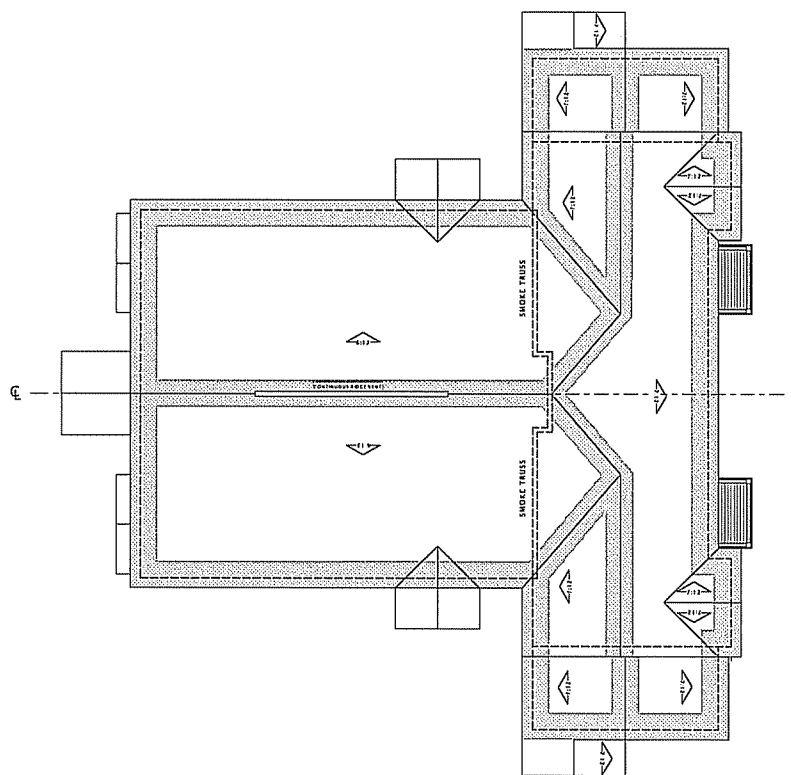
Rev.	Description	Date
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SHEET TITLE

ROOF PLAN -
BUILDING TYPE 'C'

SHEET NUMBER

A109-C



1 ROOF PLAN
1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
1. ROOF 1	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
2. ROOF 2	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
3. ROOF 3	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
4. WALLS 1	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
5. WALLS 2	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
6. WALLS 3	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
7. WALLS 4	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
8. WALLS 5	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
9. WALLS 6	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
10. WALLS 7	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
11. WALLS 8	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
12. WALLS 9	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding



16 BUILDING 'A' - ELEVATION 2
1/8" = 1'-0"



16 BUILDING 'A' - ELEVATION 3
1/8" = 1'-0"

JLA
JOSEPH LEE ASSOCIATES

JOSEPH LEE ASSOCIATES
2414 EASTMAN AVENUE, SUITE 200
MILWAUKEE, WISCONSIN 53212
TEL: 414.224.1100 FAX: 414.224.1101
USA PROJECT NUMBER: 04-103

DECKER PROPERTIES,
INC.

CATALINA CROSSING
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DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A200-A

EXTERIOR MATERIAL SCHEDULE		
1. WOOD 1	EXTERIOR SIDING	1/2" OSB SHEATHING OVER 1/2" GYPSUM BOARD OVER 1/2" OSB SHEATHING OVER 2X4 STUDS OVER 2X6 JOISTS OVER 2X12 RAFTERS OVER 2X12 TRUSS ROOF
2. WOOD 2	EXTERIOR SIDING	1/2" OSB SHEATHING OVER 1/2" GYPSUM BOARD OVER 1/2" OSB SHEATHING OVER 2X4 STUDS OVER 2X6 JOISTS OVER 2X12 RAFTERS OVER 2X12 TRUSS ROOF
3. WOOD 3	EXTERIOR SIDING	1/2" OSB SHEATHING OVER 1/2" GYPSUM BOARD OVER 1/2" OSB SHEATHING OVER 2X4 STUDS OVER 2X6 JOISTS OVER 2X12 RAFTERS OVER 2X12 TRUSS ROOF
4. WOOD 4	EXTERIOR SIDING	1/2" OSB SHEATHING OVER 1/2" GYPSUM BOARD OVER 1/2" OSB SHEATHING OVER 2X4 STUDS OVER 2X6 JOISTS OVER 2X12 RAFTERS OVER 2X12 TRUSS ROOF
5. WOOD 5	EXTERIOR SIDING	1/2" OSB SHEATHING OVER 1/2" GYPSUM BOARD OVER 1/2" OSB SHEATHING OVER 2X4 STUDS OVER 2X6 JOISTS OVER 2X12 RAFTERS OVER 2X12 TRUSS ROOF
6. WOOD 6	EXTERIOR SIDING	1/2" OSB SHEATHING OVER 1/2" GYPSUM BOARD OVER 1/2" OSB SHEATHING OVER 2X4 STUDS OVER 2X6 JOISTS OVER 2X12 RAFTERS OVER 2X12 TRUSS ROOF
7. WOOD 7	EXTERIOR SIDING	1/2" OSB SHEATHING OVER 1/2" GYPSUM BOARD OVER 1/2" OSB SHEATHING OVER 2X4 STUDS OVER 2X6 JOISTS OVER 2X12 RAFTERS OVER 2X12 TRUSS ROOF
8. WOOD 8	EXTERIOR SIDING	1/2" OSB SHEATHING OVER 1/2" GYPSUM BOARD OVER 1/2" OSB SHEATHING OVER 2X4 STUDS OVER 2X6 JOISTS OVER 2X12 RAFTERS OVER 2X12 TRUSS ROOF
9. WOOD 9	EXTERIOR SIDING	1/2" OSB SHEATHING OVER 1/2" GYPSUM BOARD OVER 1/2" OSB SHEATHING OVER 2X4 STUDS OVER 2X6 JOISTS OVER 2X12 RAFTERS OVER 2X12 TRUSS ROOF
10. WOOD 10	EXTERIOR SIDING	1/2" OSB SHEATHING OVER 1/2" GYPSUM BOARD OVER 1/2" OSB SHEATHING OVER 2X4 STUDS OVER 2X6 JOISTS OVER 2X12 RAFTERS OVER 2X12 TRUSS ROOF
11. WOOD 11	EXTERIOR SIDING	1/2" OSB SHEATHING OVER 1/2" GYPSUM BOARD OVER 1/2" OSB SHEATHING OVER 2X4 STUDS OVER 2X6 JOISTS OVER 2X12 RAFTERS OVER 2X12 TRUSS ROOF
12. WOOD 12	EXTERIOR SIDING	1/2" OSB SHEATHING OVER 1/2" GYPSUM BOARD OVER 1/2" OSB SHEATHING OVER 2X4 STUDS OVER 2X6 JOISTS OVER 2X12 RAFTERS OVER 2X12 TRUSS ROOF
13. WOOD 13	EXTERIOR SIDING	1/2" OSB SHEATHING OVER 1/2" GYPSUM BOARD OVER 1/2" OSB SHEATHING OVER 2X4 STUDS OVER 2X6 JOISTS OVER 2X12 RAFTERS OVER 2X12 TRUSS ROOF
14. WOOD 14	EXTERIOR SIDING	1/2" OSB SHEATHING OVER 1/2" GYPSUM BOARD OVER 1/2" OSB SHEATHING OVER 2X4 STUDS OVER 2X6 JOISTS OVER 2X12 RAFTERS OVER 2X12 TRUSS ROOF
15. WOOD 15	EXTERIOR SIDING	1/2" OSB SHEATHING OVER 1/2" GYPSUM BOARD OVER 1/2" OSB SHEATHING OVER 2X4 STUDS OVER 2X6 JOISTS OVER 2X12 RAFTERS OVER 2X12 TRUSS ROOF



1 BUILDING 'A' - ELEVATION 1
3/16" = 1'-0"



2 BUILDING 'A' - ELEVATION 4
3/16" = 1'-0"

JLA
JOSEPH LEE ASSOCIATES

JOSEPH LEE ASSOCIATES
2414 FORT WASHINGTON DRIVE, SUITE 200
FARMINGTON, CONNECTICUT 06030
TEL: 860.633.1111 FAX: 860.633.1112
WWW.JLA-ARCHITECTS.COM

PROJECT NUMBER: 14-0121

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule	
Mark	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

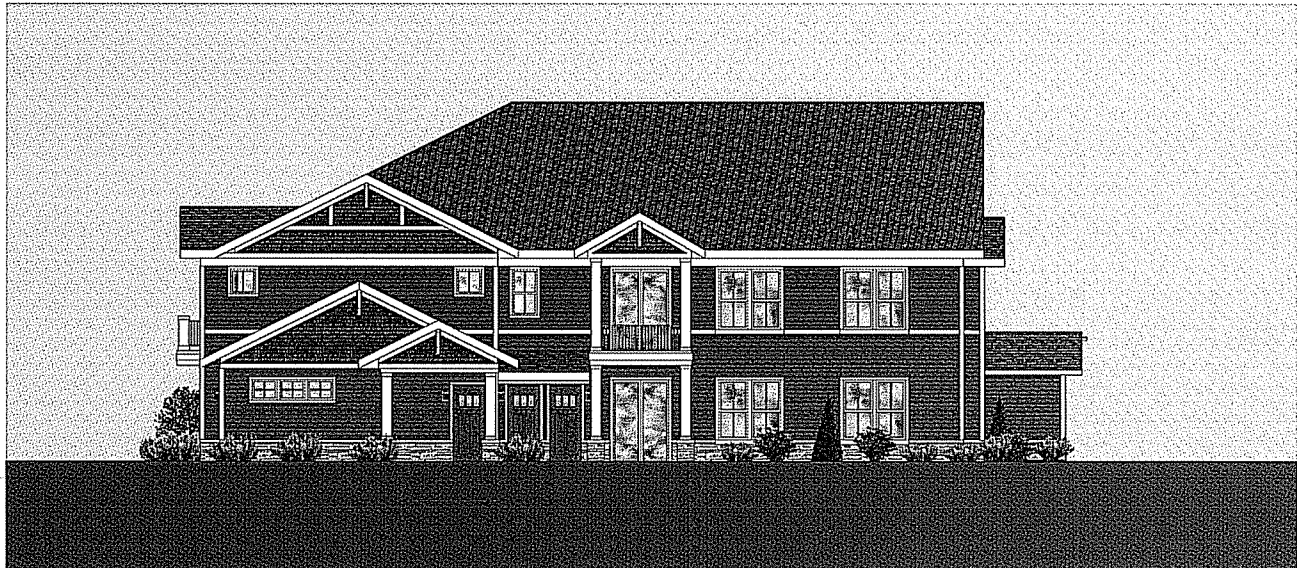
A201-A

EXTERIOR MATERIAL SCHEDULE

ITEM #	DESCRIPTION	QUANTITY	UNIT	REMARKS
1. ROOF 1	ASPH/FLT	17,820	SQ FT	ASPH/FLT
2. ROOF 2	ASPH/FLT	17,820	SQ FT	ASPH/FLT
3. ROOF 3	ASPH/FLT	17,820	SQ FT	ASPH/FLT
4. ROOF 4	ASPH/FLT	17,820	SQ FT	ASPH/FLT
5. EXTERIOR WALLS	BRICK	12,000	SQ FT	BRICK
6. EXTERIOR WALLS	BRICK	12,000	SQ FT	BRICK
7. EXTERIOR WALLS	BRICK	12,000	SQ FT	BRICK
8. EXTERIOR WALLS	BRICK	12,000	SQ FT	BRICK
9. EXTERIOR WALLS	BRICK	12,000	SQ FT	BRICK
10. EXTERIOR WALLS	BRICK	12,000	SQ FT	BRICK
11. EXTERIOR WALLS	BRICK	12,000	SQ FT	BRICK
12. EXTERIOR WALLS	BRICK	12,000	SQ FT	BRICK
13. EXTERIOR WALLS	BRICK	12,000	SQ FT	BRICK
14. EXTERIOR WALLS	BRICK	12,000	SQ FT	BRICK
15. EXTERIOR WALLS	BRICK	12,000	SQ FT	BRICK
16. EXTERIOR WALLS	BRICK	12,000	SQ FT	BRICK
17. EXTERIOR WALLS	BRICK	12,000	SQ FT	BRICK
18. EXTERIOR WALLS	BRICK	12,000	SQ FT	BRICK
19. EXTERIOR WALLS	BRICK	12,000	SQ FT	BRICK
20. EXTERIOR WALLS	BRICK	12,000	SQ FT	BRICK



② BUILDING 'B' - ELEVATION 2
3/16" = 1'-0"



① BUILDING 'B' - ELEVATION 3
3/16" = 1'-0"

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PROJECT NUMBER: A200-B

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: 04 FEBRUARY 2015

Revision Schedule

Month	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A200-B

EXTERIOR MATERIAL SCHEDULE		
1. WINDOW 1	FRAMING	1" x 4" SYPRESS, 100% KDAT
2. WINDOW 2	FRAMING	1" x 4" SYPRESS, 100% KDAT
3. WINDOW 3	FRAMING	1" x 4" SYPRESS, 100% KDAT
4. WINDOW 4	FRAMING	1" x 4" SYPRESS, 100% KDAT
5. WINDOW 5	FRAMING	1" x 4" SYPRESS, 100% KDAT
6. WINDOW 6	FRAMING	1" x 4" SYPRESS, 100% KDAT
7. WINDOW 7	FRAMING	1" x 4" SYPRESS, 100% KDAT
8. WINDOW 8	FRAMING	1" x 4" SYPRESS, 100% KDAT
9. WINDOW 9	FRAMING	1" x 4" SYPRESS, 100% KDAT
10. WINDOW 10	FRAMING	1" x 4" SYPRESS, 100% KDAT
11. WINDOW 11	FRAMING	1" x 4" SYPRESS, 100% KDAT
12. WINDOW 12	FRAMING	1" x 4" SYPRESS, 100% KDAT
13. WINDOW 13	FRAMING	1" x 4" SYPRESS, 100% KDAT
14. WINDOW 14	FRAMING	1" x 4" SYPRESS, 100% KDAT
15. WINDOW 15	FRAMING	1" x 4" SYPRESS, 100% KDAT



② BUILDING 'B' - ELEVATION 1
3/16" = 1'-0"



① BUILDING 'B' - ELEVATION 4
3/16" = 1'-0"

JLA
ARCHITECTURE INCORPORATED

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04 PROJECT NUMBER: 142103

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201-B

EXTERIOR MATERIAL SCHEDULE		
1. WINDOW 1	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
2. WINDOW 2	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
3. WINDOW 3	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
4. WINDOW 4	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
5. WINDOW 5	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
6. WINDOW 6	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
7. WINDOW 7	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
8. WINDOW 8	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
9. WINDOW 9	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
10. WINDOW 10	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
11. WINDOW 11	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
12. WINDOW 12	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
13. WINDOW 13	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
14. WINDOW 14	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
15. WINDOW 15	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
16. WINDOW 16	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
17. WINDOW 17	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
18. WINDOW 18	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
19. WINDOW 19	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
20. WINDOW 20	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
21. WINDOW 21	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
22. WINDOW 22	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
23. WINDOW 23	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
24. WINDOW 24	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
25. WINDOW 25	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
26. WINDOW 26	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
27. WINDOW 27	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
28. WINDOW 28	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
29. WINDOW 29	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
30. WINDOW 30	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
31. WINDOW 31	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
32. WINDOW 32	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
33. WINDOW 33	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
34. WINDOW 34	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
35. WINDOW 35	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
36. WINDOW 36	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
37. WINDOW 37	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
38. WINDOW 38	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
39. WINDOW 39	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
40. WINDOW 40	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
41. WINDOW 41	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
42. WINDOW 42	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
43. WINDOW 43	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
44. WINDOW 44	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
45. WINDOW 45	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
46. WINDOW 46	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
47. WINDOW 47	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
48. WINDOW 48	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
49. WINDOW 49	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
50. WINDOW 50	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
51. WINDOW 51	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
52. WINDOW 52	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
53. WINDOW 53	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
54. WINDOW 54	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
55. WINDOW 55	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
56. WINDOW 56	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
57. WINDOW 57	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
58. WINDOW 58	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
59. WINDOW 59	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
60. WINDOW 60	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
61. WINDOW 61	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
62. WINDOW 62	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
63. WINDOW 63	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
64. WINDOW 64	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
65. WINDOW 65	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
66. WINDOW 66	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
67. WINDOW 67	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
68. WINDOW 68	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
69. WINDOW 69	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
70. WINDOW 70	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
71. WINDOW 71	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
72. WINDOW 72	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
73. WINDOW 73	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
74. WINDOW 74	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
75. WINDOW 75	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
76. WINDOW 76	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
77. WINDOW 77	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
78. WINDOW 78	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
79. WINDOW 79	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
80. WINDOW 80	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
81. WINDOW 81	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
82. WINDOW 82	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
83. WINDOW 83	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
84. WINDOW 84	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
85. WINDOW 85	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
86. WINDOW 86	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
87. WINDOW 87	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
88. WINDOW 88	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
89. WINDOW 89	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
90. WINDOW 90	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
91. WINDOW 91	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
92. WINDOW 92	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
93. WINDOW 93	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
94. WINDOW 94	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
95. WINDOW 95	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
96. WINDOW 96	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
97. WINDOW 97	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
98. WINDOW 98	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
99. WINDOW 99	EXTERIOR	1" POLYURETHANE URETHANE INSULATION
100. WINDOW 100	EXTERIOR	1" POLYURETHANE URETHANE INSULATION



Ⓢ BUILDING 'C' - ELEVATION 2
3/16" = 1'-0"



Ⓢ BUILDING 'C' - ELEVATION 3
3/16" = 1'-0"

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04 PROJECT NUMBER: A200-C

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and issues and may be subject to change, including additional issues. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule		
Month	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A200-C

EXTERIOR MATERIAL SCHEDULE		
1. BRICK	Exterior	3" x 6" x 12" Solid Brick
2. BRICK	Exterior	3" x 6" x 12" Solid Brick
3. BRICK	Exterior	3" x 6" x 12" Solid Brick
4. BRICK	Exterior	3" x 6" x 12" Solid Brick
5. STONE	Exterior	3" x 6" x 12" Solid Brick
6. BRICK	Exterior	3" x 6" x 12" Solid Brick
7. BRICK	Exterior	3" x 6" x 12" Solid Brick
8. BRICK	Exterior	3" x 6" x 12" Solid Brick
9. BRICK	Exterior	3" x 6" x 12" Solid Brick
10. BRICK	Exterior	3" x 6" x 12" Solid Brick
11. BRICK	Exterior	3" x 6" x 12" Solid Brick
12. BRICK	Exterior	3" x 6" x 12" Solid Brick



1 BUILDING 'C' - ELEVATION 1
3/16" = 1'-0"



2 BUILDING 'C' - ELEVATION 4
3/16" = 1'-0"

JLA
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RA PROJECT NUMBER: 14-0112

DECKER PROPERTIES,
INC.

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APARTMENTS

PROGRESS DOCUMENTS
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DATE OF ISSUANCE: 04 FEBRUARY 2015
Revision Schedule
Mark Description Date

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A201-C

DECKER PROPERTIES,
INC.

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APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional items. These are not final construction documents and should not be used for building or construction-related purposes.

DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule

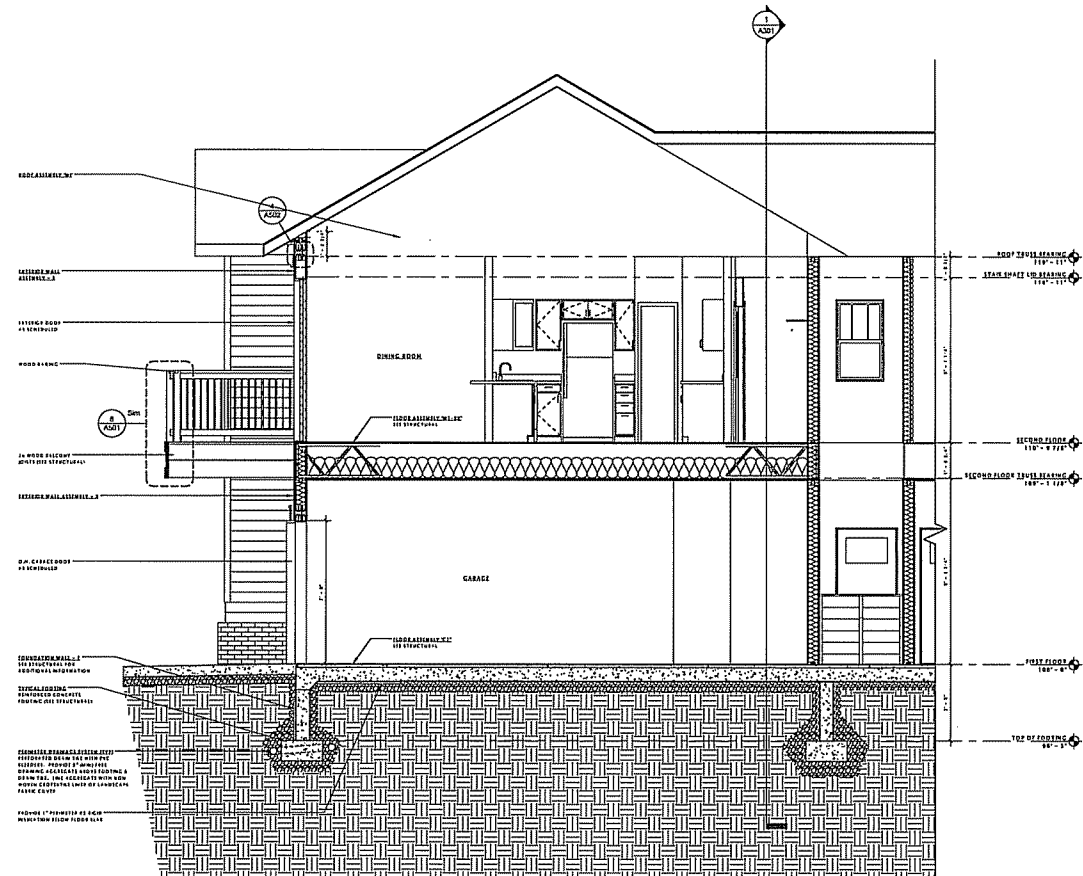
No.	Description	Date

SHEET TITLE

BUILDING SECTIONS

SHEET NUMBER

A300



1 SECTION THRU OVER HEAD GARAGE DOOR
3/8" = 1'-0"

DECKER PROPERTIES,
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CATALINA CROSSING
 APARTMENTS

PROGRESS DOCUMENTS

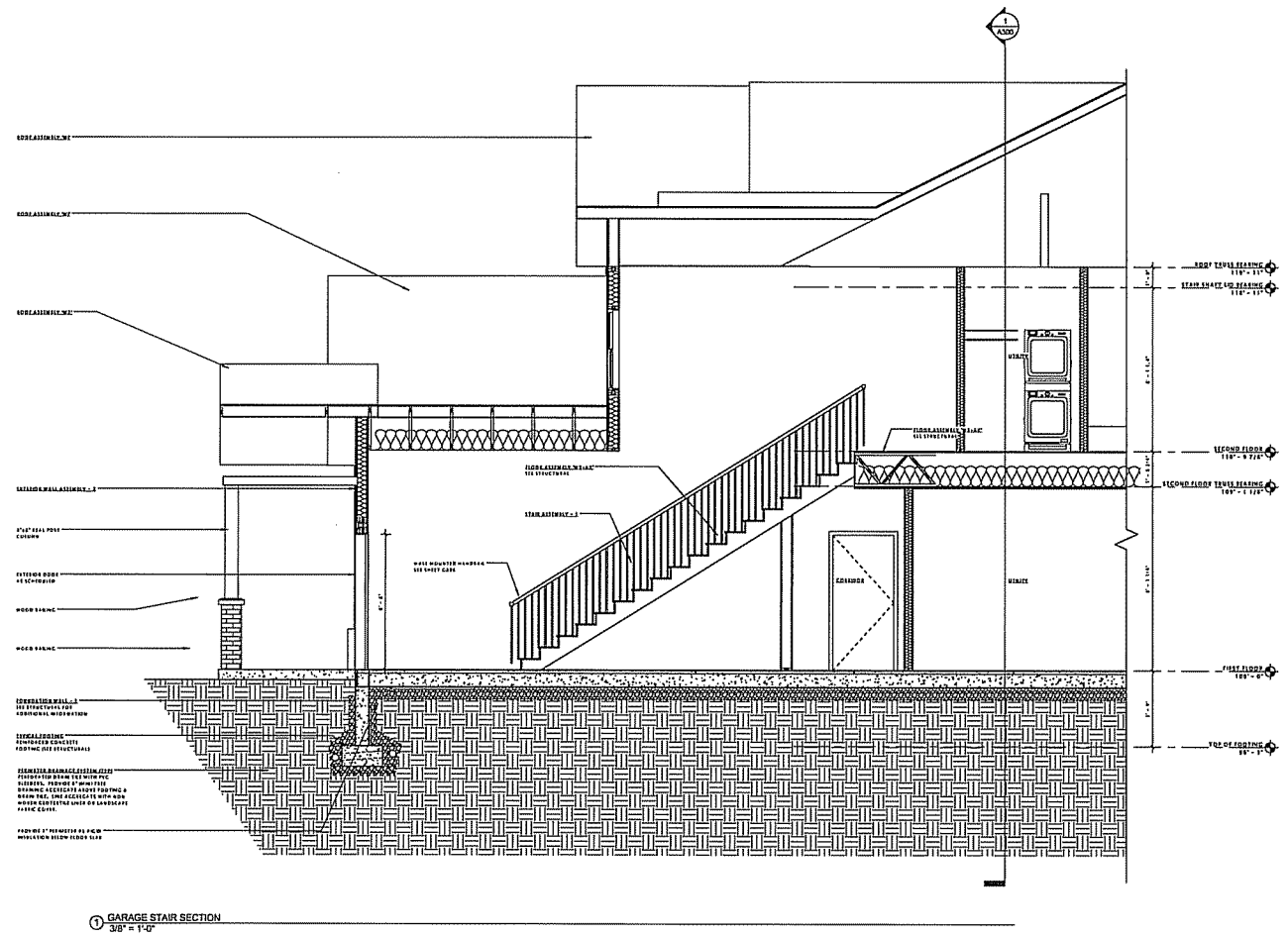
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DATE OF ISSUANCE: 04 FEBRUARY 2015

Revision Schedule		
Rev.	Description	Date

SHEET TITLE
BUILDING SECTIONS

SHEET NUMBER
A301



① GARAGE STAIR SECTION
 3/8" = 1'-0"

DECKER PROPERTIES, INC.

CATALINA CROSSING APARTMENTS

PROGRESS DOCUMENTS

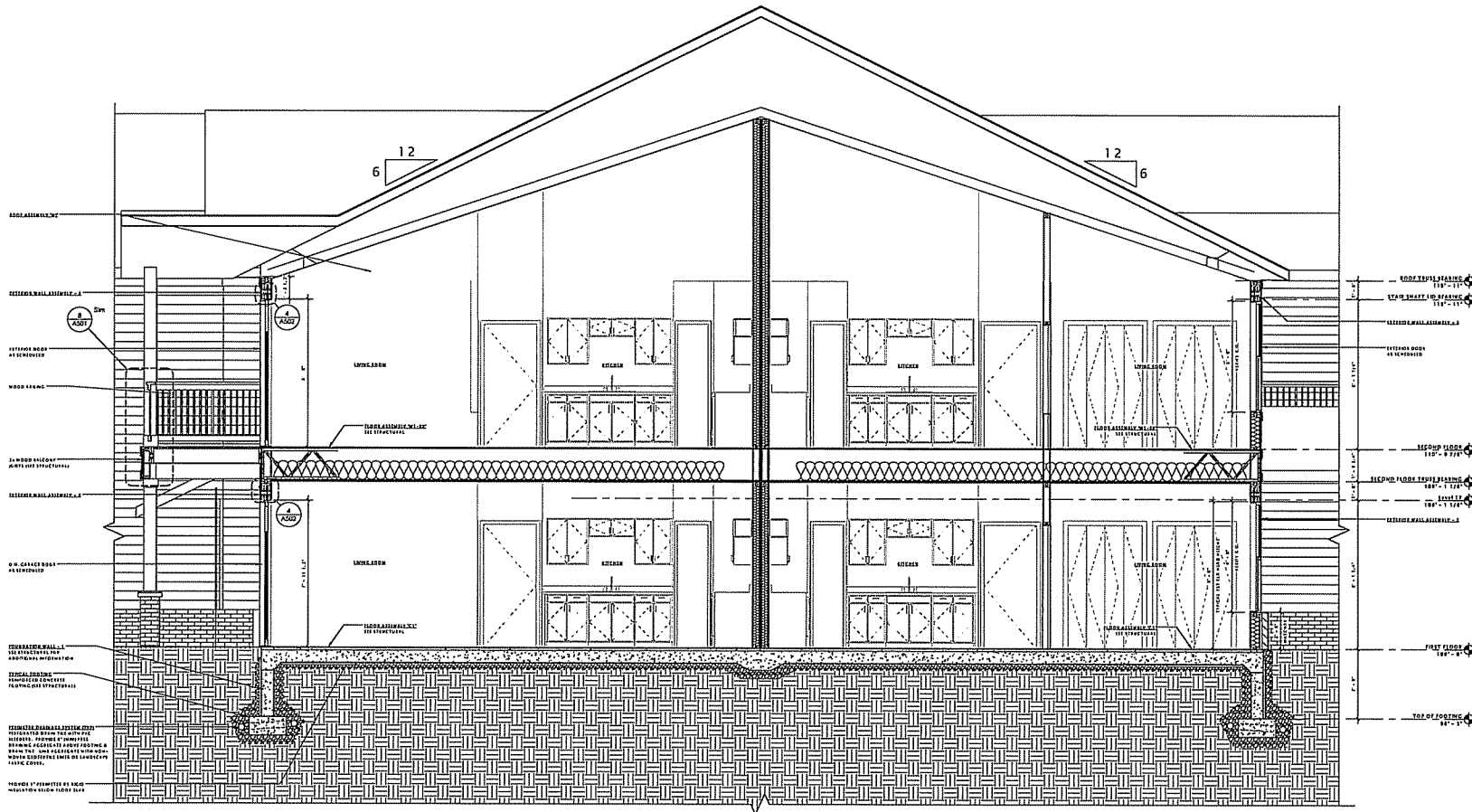
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

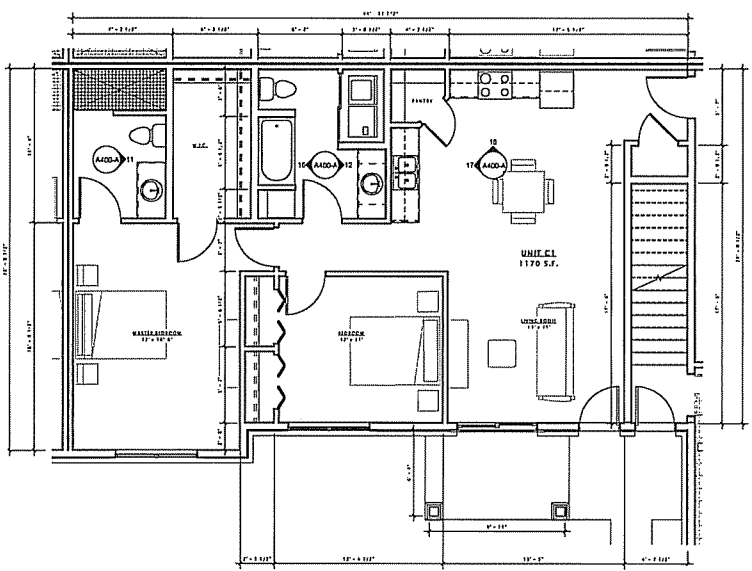
Mark	Description	Date

SHEET TITLE
BUILDING SECTIONS

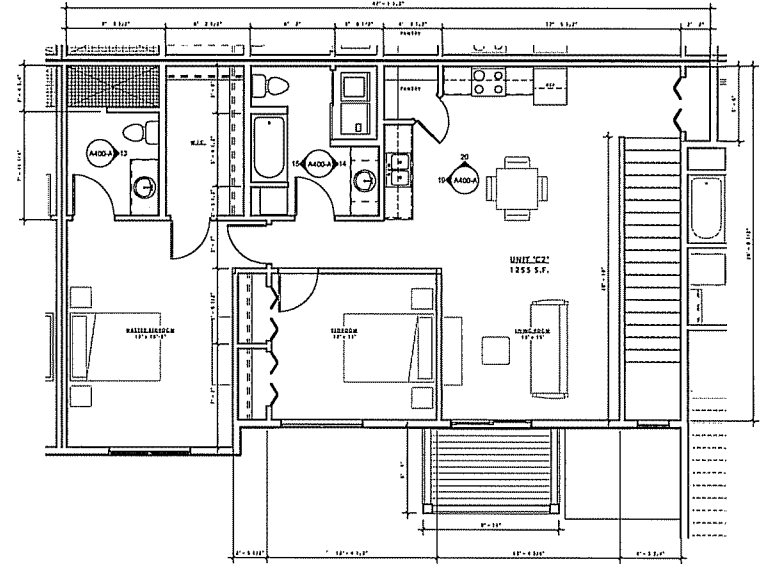
SHEET NUMBER
A302



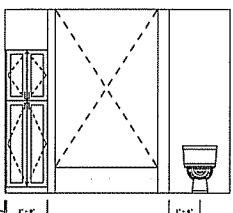
2 WALL SECTION
 3/8" = 1'-0"



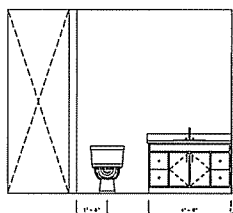
① UNIT 'A1' - FLOOR PLAN
1/4" = 1'-0"



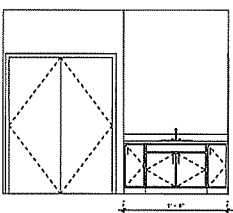
② UNIT 'A2' - FLOOR PLAN
1/4" = 1'-0"



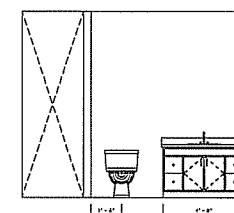
⑬ A1 - BATH 3
3/8" = 1'-0"



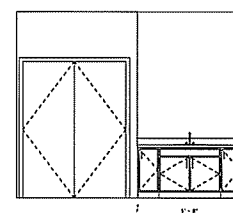
⑭ A1 - BATH 1
3/8" = 1'-0"



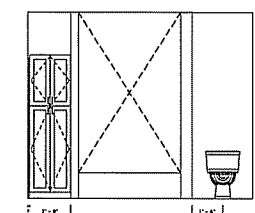
⑮ A1 - BATH 2
3/8" = 1'-0"



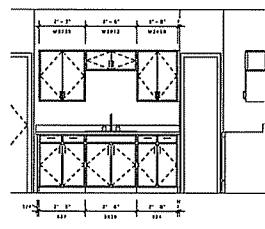
⑯ A2 - BATH 1
3/8" = 1'-0"



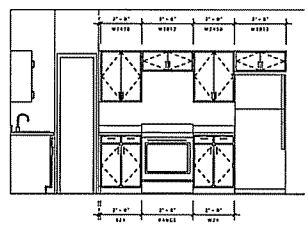
⑰ A2 - BATH 2
3/8" = 1'-0"



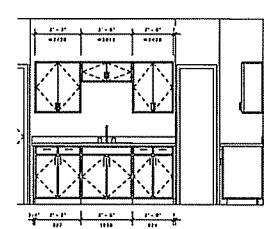
⑱ A2 - BATH 3
3/8" = 1'-0"



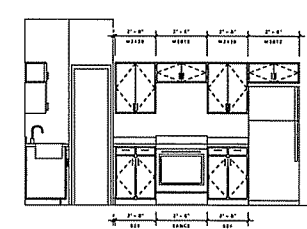
⑲ A1 - KITCHEN 1
3/8" = 1'-0"



⑳ A1 - KITCHEN 2
3/8" = 1'-0"



㉑ A2 - KITCHEN 1
3/8" = 1'-0"



㉒ A2 - KITCHEN 2
3/8" = 1'-0"

JLA
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FAX: 608.261.5500
JLA PROJECT NUMBER: 14-1181

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

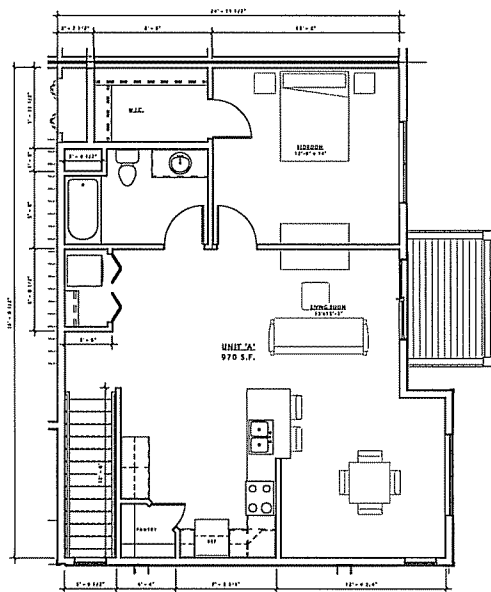
PROGRESS DOCUMENTS

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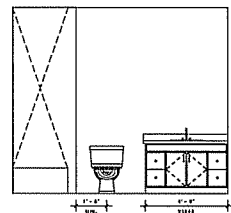
DATE OF ISSUANCE	04 FEBRUARY 2015
Revision Schedule	
Mat'd	Date

SHEET TITLE
**PLANS & INTERIOR
ELEVATIONS -
BUILDING TYPE 'A'**

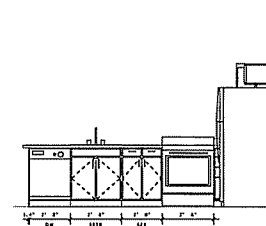
SHEET NUMBER
A400-A



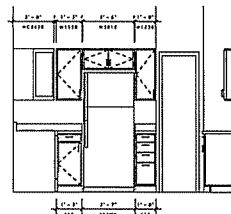
② SECOND FLOOR PLAN - BUILDING 'A'
1/4" = 1'-0"



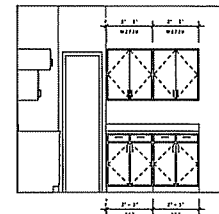
④ A3 - BATH
3/8" = 1'-0"



⑤ A3 - KITCHEN 1
3/8" = 1'-0"



⑥ A3 - KITCHEN 2
3/8" = 1'-0"



⑦ A3 - KITCHEN 3
3/8" = 1'-0"

JLA
ARCHITECTS

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MILWAUKEE, WISCONSIN 53212
TEL: 414.224.1100
JLA PROJECT NUMBER: 14-1181

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: 04 FEBRUARY 2015

Revised Schedule	Date

SHEET TITLE
**PLANS & INTERIOR
ELEVATIONS -
BUILDING TYPE 'A'**

SHEET NUMBER
A401-A

JLA

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JLA PROJECT NUMBER: 14-1101

DECKER PROPERTIES,
 INC.

CATALINA CROSSING
 APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: 04 FEBRUARY 2015

Revision Schedule

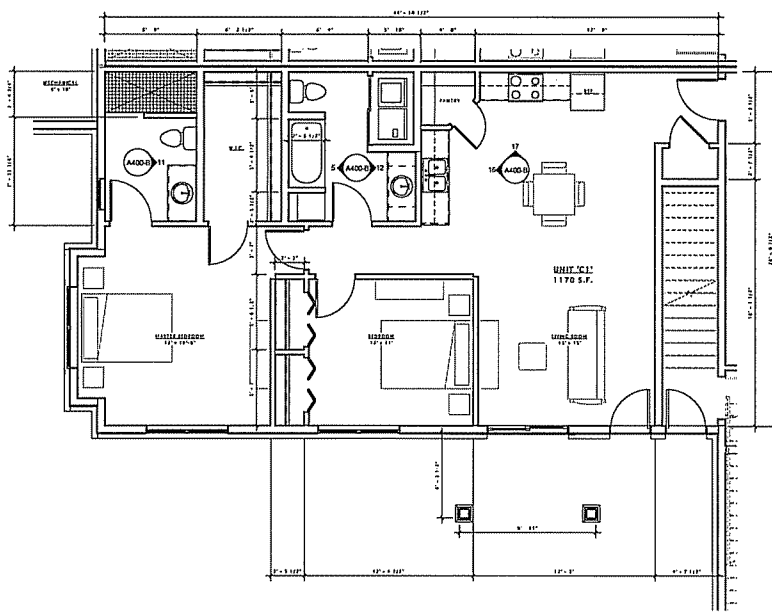
Mark	Description	Date

SHEET TITLE

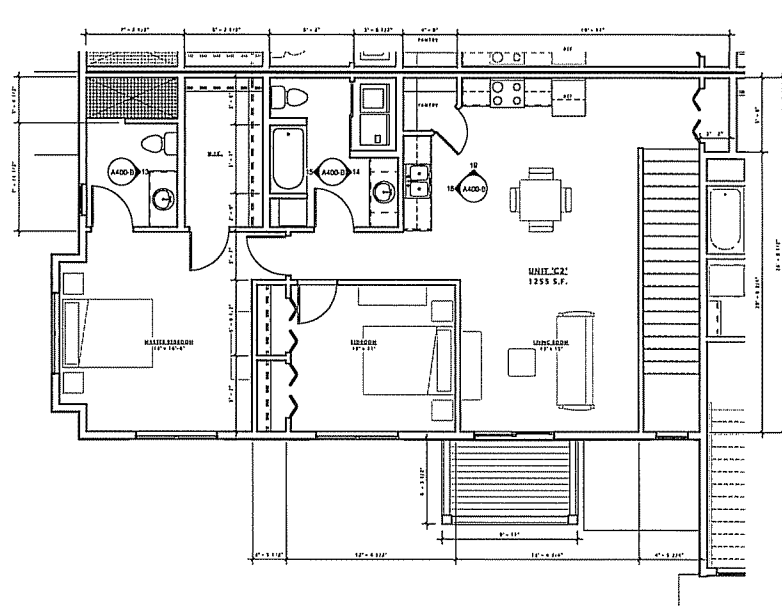
PLANS & INTERIOR
 ELEVATIONS -
 BUILDING TYPE 'B'

SHEET NUMBER

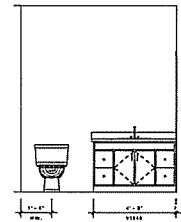
A400-B



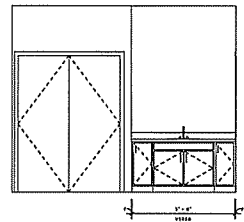
① UNIT 'B1' - FLOOR PLAN
 1/4" = 1'-0"



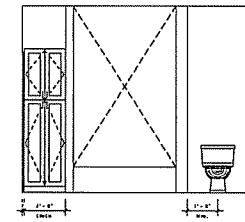
② UNIT 'B2' - FLOOR PLAN
 1/4" = 1'-0"



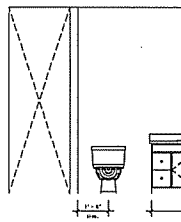
③ B1 - BATH 1
 3/8" = 1'-0"



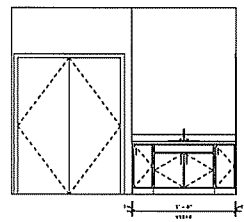
④ B1 - BATH 2
 3/8" = 1'-0"



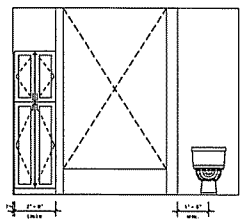
⑤ B1 - BATH 3
 3/8" = 1'-0"



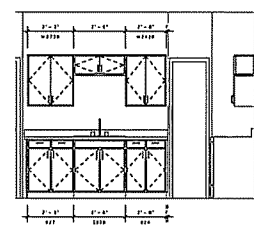
⑥ B2 - BATH 1
 3/8" = 1'-0"



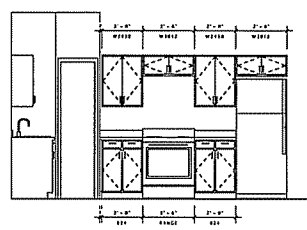
⑦ B2 - BATH 2
 3/8" = 1'-0"



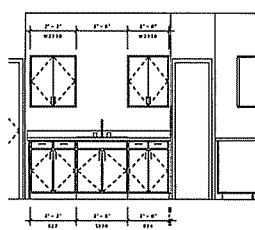
⑧ B2 - BATH 3
 3/8" = 1'-0"



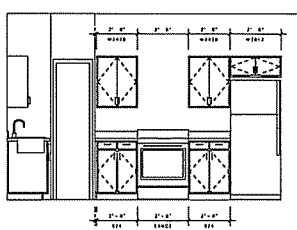
⑨ B1 - KITCHEN 1
 3/8" = 1'-0"



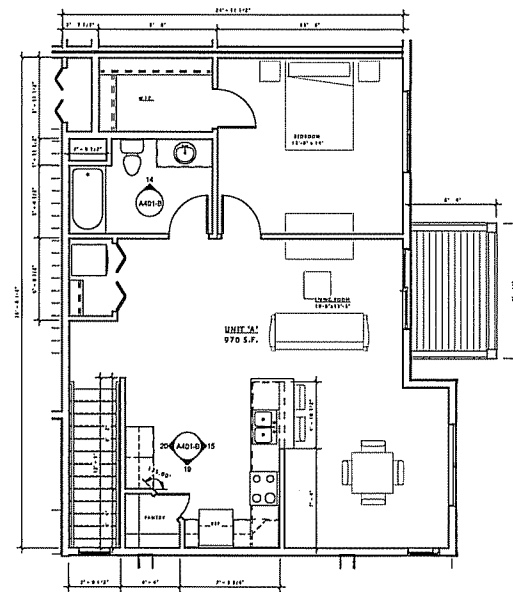
⑩ B1 - KITCHEN 2
 3/8" = 1'-0"



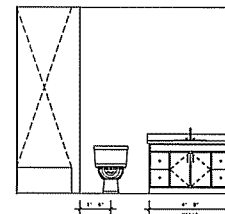
⑪ B2 - KITCHEN 1
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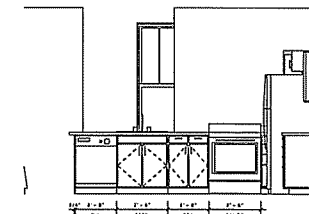
⑫ B2 - KITCHEN 2
 3/8" = 1'-0"



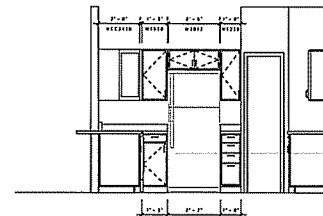
② SECOND FLOOR PLAN - BUILDING 'B'
1/4" = 1'-0"



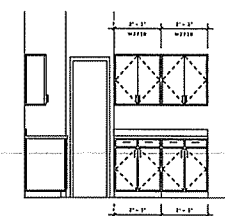
⑬ B3 - BATH
3/8" = 1'-0"



⑭ B3 - KITCHEN 1
3/8" = 1'-0"



⑮ B3 - KITCHEN 2
3/8" = 1'-0"



⑯ B3 - KITCHEN 3
3/8" = 1'-0"

JLA
ARCHITECTS

JOSEPH LEE & ASSOCIATES
ARCHITECTS
1000 WISCONSIN DRIVE, SUITE 200
MADISON, WISCONSIN 53718
TEL: 608.241.1500
FAX: 608.241.1500

JLA PROJECT NUMBER: 14-1193

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE 04 FEBRUARY 2015

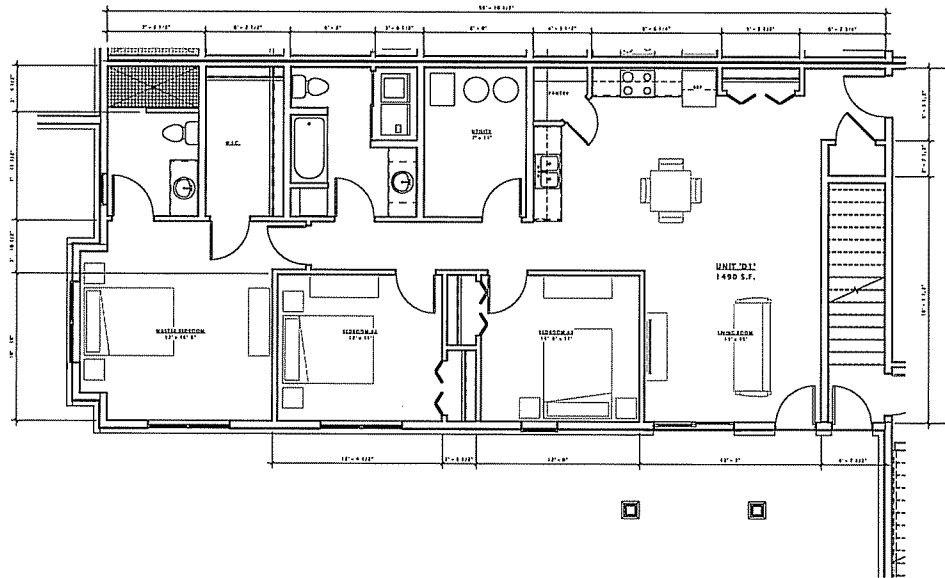
Revision Schedule	
Rev. 1	Description

SHEET TITLE

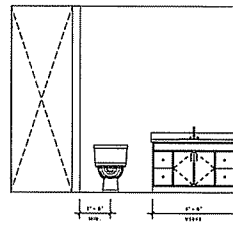
PLANS & INTERIOR
ELEVATIONS -
BUILDING TYPE 'B'

SHEET NUMBER

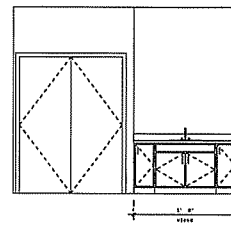
A401-B



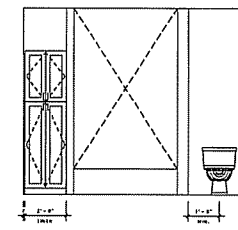
8 FIRST FLOOR PLAN - BUILDING 'C'
1/4" = 1'-0"



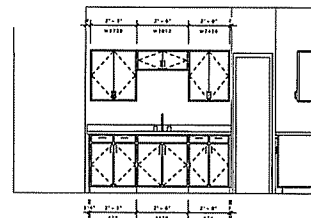
13 C1 - BATH 1
3/8" = 1'-0"



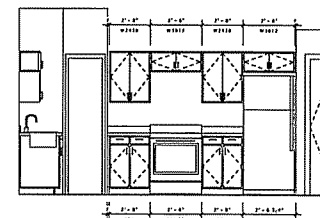
14 C1 - BATH 2
3/8" = 1'-0"



15 C1 - BATH 3
3/8" = 1'-0"



16 C1 - KITCHEN 1
3/8" = 1'-0"



17 C1 - KITCHEN 2
3/8" = 1'-0"

JLA
JOSEPH LEICHT ASSOCIATES

JOSEPH LEICHT ASSOCIATES
1400 CHERRYWOOD DRIVE • SUITE 200
MILWAUKEE, WISCONSIN 53212
PHONE: 414.761.1000
FAX: 414.761.1001
JLA PROJECT NUMBER: 14-1161

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

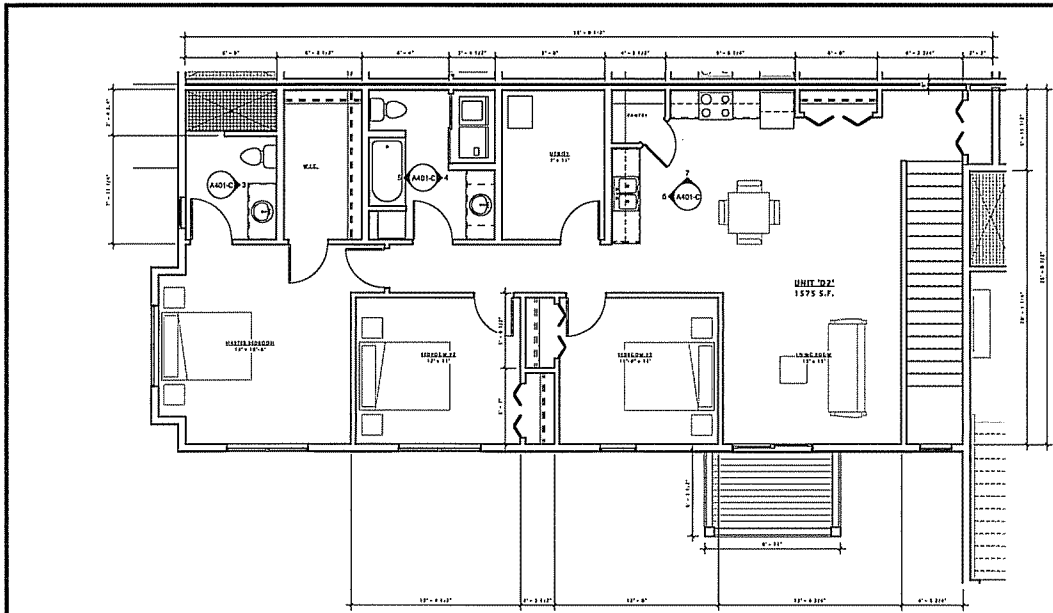
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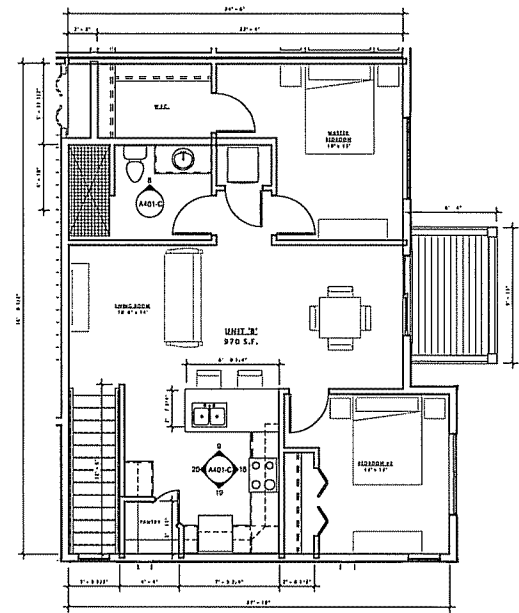
Revision Schedule	
Mat'd	Date

SHEET TITLE
**PLANS & INTERIOR
ELEVATIONS -
BUILDING TYPE 'C'**

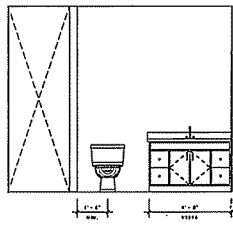
SHEET NUMBER
A400-C



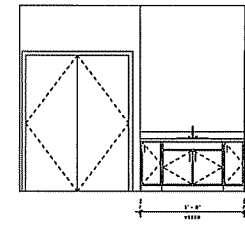
1 SECOND FLOOR PLAN - BUILDING 'C'
1/4" = 1'-0"



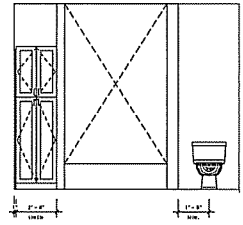
2 SECOND FLOOR PLAN - BUILDING 'C'
1/4" = 1'-0"



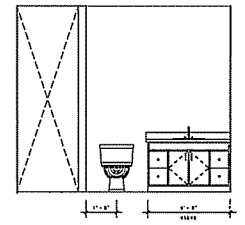
3 C2 - BATH1
3/8" = 1'-0"



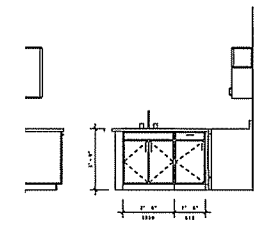
4 C2 - BATH2
3/8" = 1'-0"



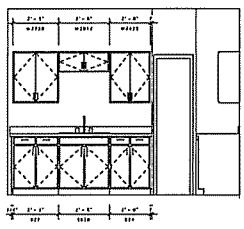
5 C2 - BATH3
3/8" = 1'-0"



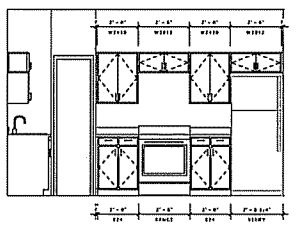
6 C3 - BATH
3/8" = 1'-0"



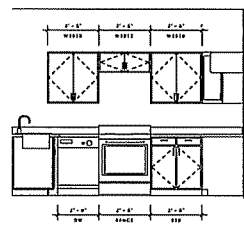
7 C3 - KITCHEN 1
3/8" = 1'-0"



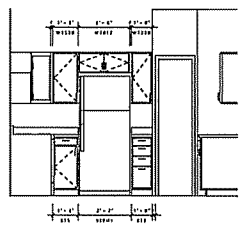
8 C2 - KITCHEN 1
3/8" = 1'-0"



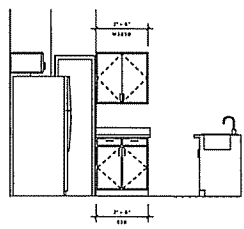
9 C2 - KITCHEN 2
3/8" = 1'-0"



10 C3 - KITCHEN 2
3/8" = 1'-0"



11 C3 - KITCHEN 3
3/8" = 1'-0"



12 C3 - KITCHEN 4
3/8" = 1'-0"

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TEL: 608.261.2100
JLA PROJECT NUMBER: 14-4101

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: 04 FEBRUARY 2015	
Revision Schedule	
Rev. 1	Date
SHEET TITLE	
PLANS & INTERIOR ELEVATIONS - BUILDING TYPE 'C'	
SHEET NUMBER	
A401-C	

DECKER PROPERTIES, INC.

CATALINA CROSSING APARTMENTS

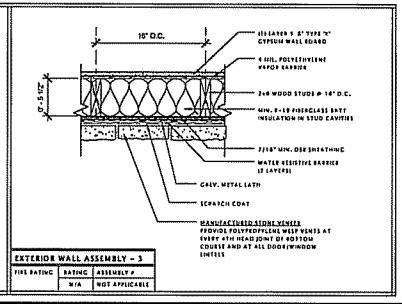
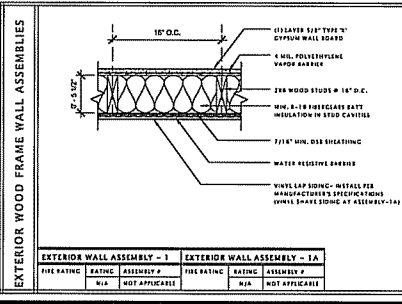
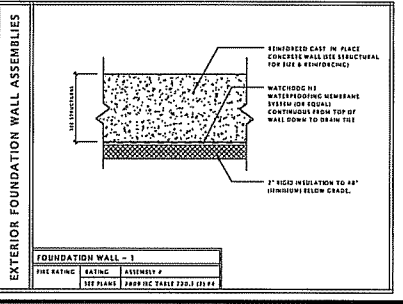
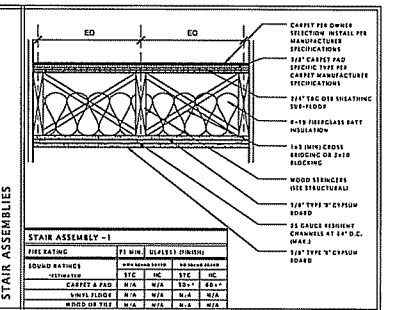
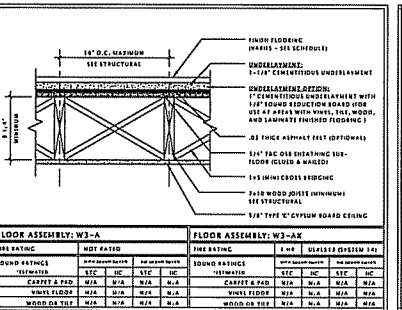
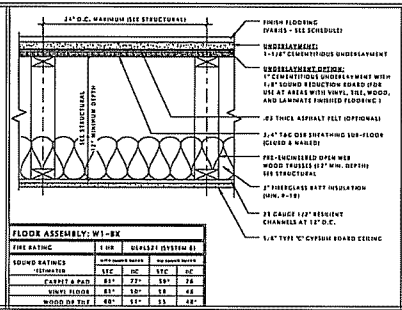
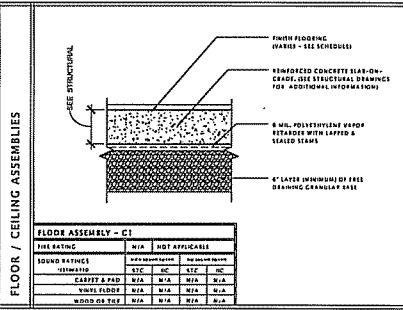
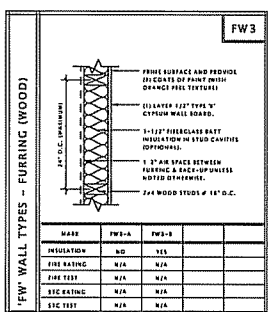
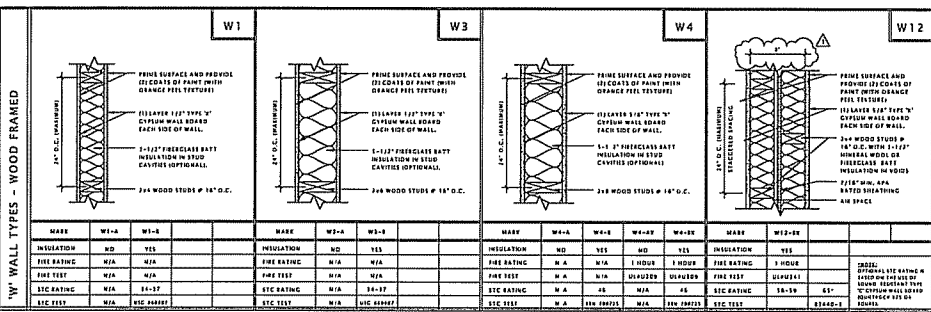
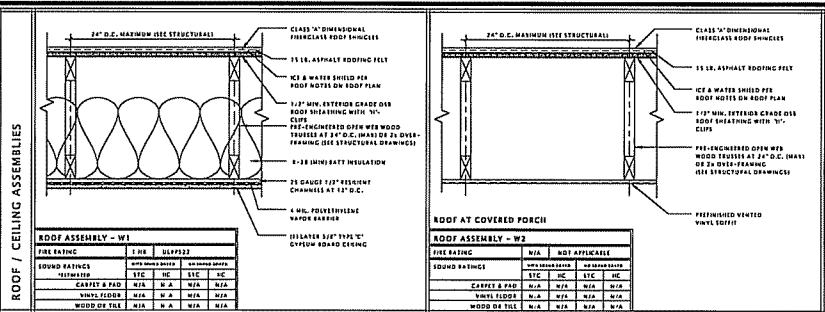
PROGRESS DOCUMENTS
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DATE OF ISSUANCE: 04 FEBRUARY 2015

Mark	Revision	Date
	01	10/23/14

SHEET TITLE: ASSEMBLY TYPES

SHEET NUMBER: A500



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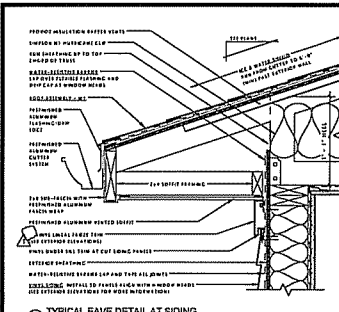
CATALINA CROSSING APARTMENTS

PROGRESS DOCUMENTS
 THESE DOCUMENTS REFLECT PROGRESS AND THEREFORE MAY BE SUBJECT TO CHANGE, INCLUDING ADDITIONAL DETAILS. THESE ARE NOT THE FINAL PROGRESS DOCUMENTS AND SHOULD NOT BE USED FOR THE BUILDING OR CONSTRUCTION-RELATED PURPOSES.

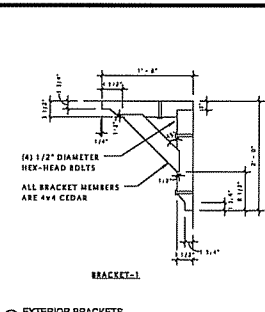
DATE OF ISSUANCE: 04 FEBRUARY 2015
 Revision 15/24/15
 Date: 02/11/2015
 Construction Division: 01

SHEET TITLE: BUILDING DETAILS

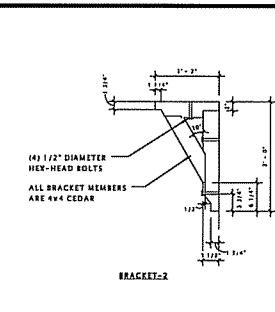
SHEET NUMBER: A501



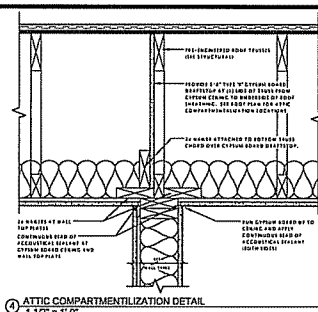
1 TYPICAL EAVE DETAIL AT SIDING
1 1/2" = 1'-0"



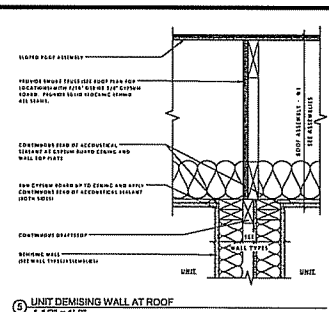
2 EXTERIOR BRACKETS
1" = 1'-0"



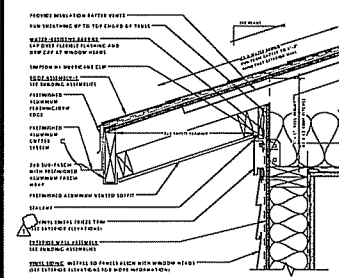
BRACKET-2
ALL BRACKET MEMBERS ARE 4x4 CEDAR



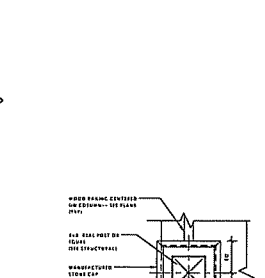
4 ATTIC COMPARTMENTALIZATION DETAIL
1 1/2" = 1'-0"



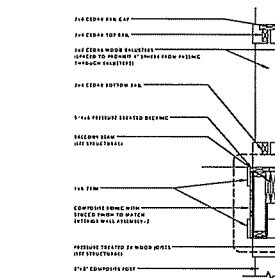
5 UNIT DEMISING WALL AT ROOF
1 1/2" = 1'-0"



6 TYPICAL CABLE END EAVE AT SIDING
1 1/2" = 1'-0"



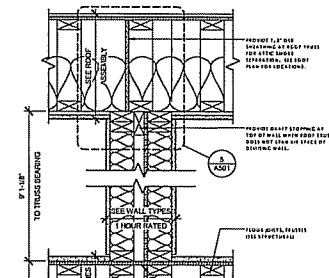
7 PORCH COLUMN ABOVE BASE



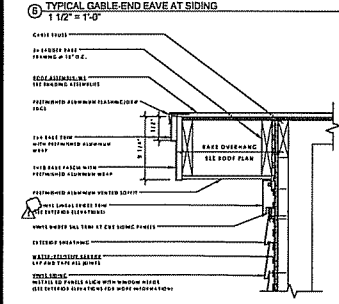
8 BALCONY/PORCH DETAIL
3/4" = 1'-0"



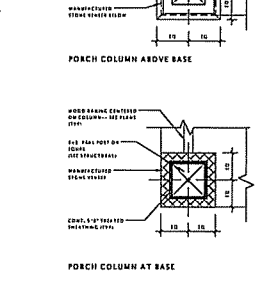
9 BALCONY BULKHEAD
3" = 1'-0"



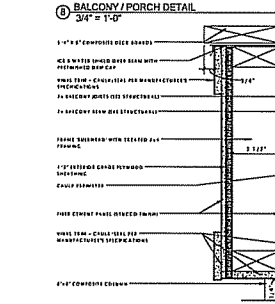
10 TYPICAL DEMISING WALL
1 1/2" = 1'-0"



11 TYPICAL RAKE DETAIL AT SIDING
1 1/2" = 1'-0"



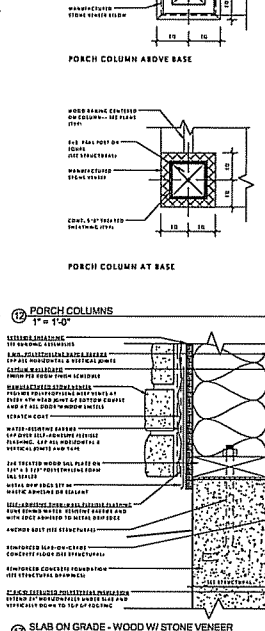
12 PORCH COLUMNS



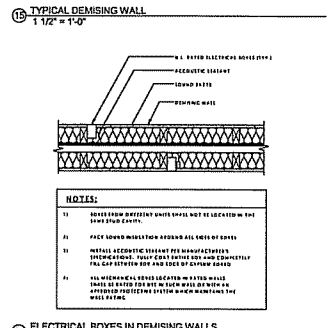
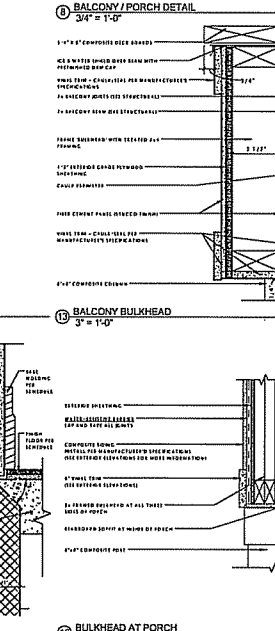
13 BULKHEAD AT PORCH
1 1/2" = 1'-0"



14 SLAB ON GRADE - WOOD W/ VINYL SIDING AND SKIRT BOARD
3" = 1'-0"

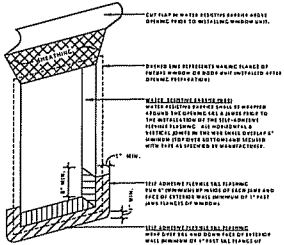


15 SLAB ON GRADE - WOOD W/ STONE VENEER
3" = 1'-0"

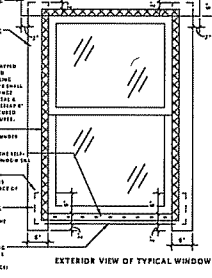


16 ELECTRICAL BOXES IN DEMISING WALLS
1" = 1'-0"

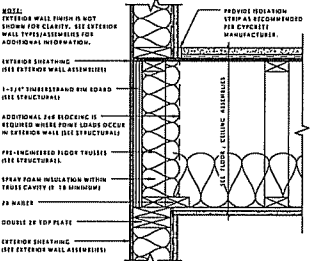
NOTES:
 1) BOXES FROM DIFFERENT UNITS SHOULD NOT BE LOCATED IN THE SAME FLOOR CAVITY.
 2) FACE TOWARD UNITS FROM APPROX ALL SIDES OF BOXES.
 3) INSTALL ACROUSTIC TREATMENT PER MANUFACTURER'S INSTRUCTIONS. TREAT CAVITY WITH 100% COMPLEXTON PFG CAP STRIPPER AND TACK BY STRIPPER STRIP.
 4) THE MANUFACTURER'S INSTRUCTIONS FOR THE WALL MOUNTED BOXES SHOULD BE FOLLOWED TO PREVENT WALL DAMAGE TO THE WALL FINISH.



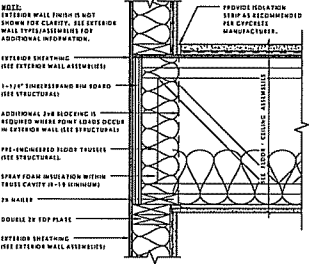
1 EXTERIOR OPENING PREPARATION
1 1/2" = 1'-0"



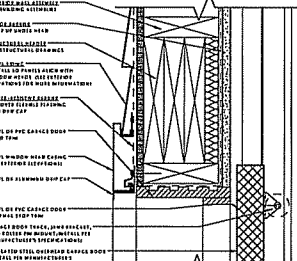
6 WINDOW/DOOR FLASHING DIAGRAM - VINYL
3/4" = 1'-0"



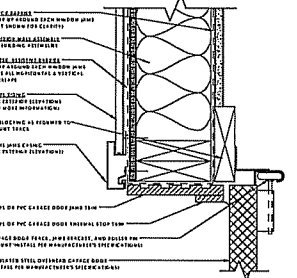
2 EXTERIOR WALL/FLOOR DETAIL - PARALLEL TO TRUSS
1 1/2" = 1'-0"



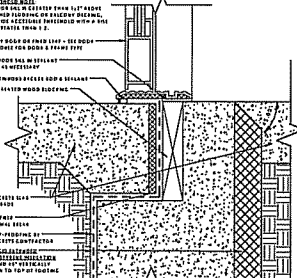
7 EXTERIOR WALL/FLOOR DETAIL - PERPENDICULAR TO TRUSS
1 1/2" = 1'-0"



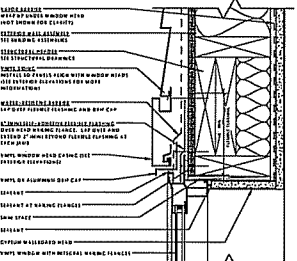
3 RESIDENTIAL GARAGE DOOR HEAD - VINYL SIDING
3" = 1'-0"



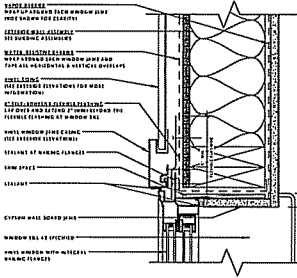
8 RESIDENTIAL GARAGE DOOR JAMB - VINYL SIDING
3" = 1'-0"



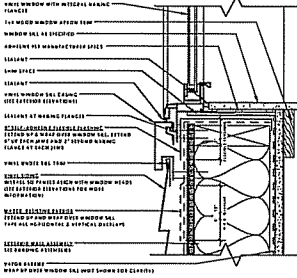
9 EXTERIOR DOOR THRESHOLD
3" = 1'-0"



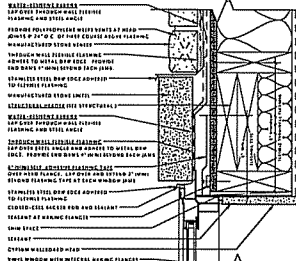
4 TYPICAL WINDOW HEAD AT SIDING
3" = 1'-0"



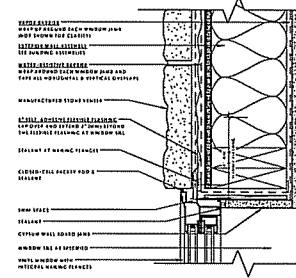
5 TYPICAL WINDOW JAMB AT SIDING
3" = 1'-0"



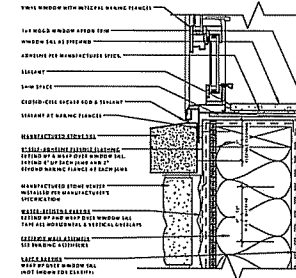
15 TYPICAL WINDOW SILL AT SIDING
3" = 1'-0"



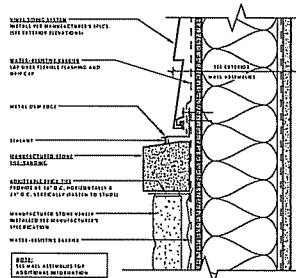
6 TYPICAL WINDOW HEAD AT STONE VENEER
3" = 1'-0"



10 TYPICAL WINDOW JAMB AT STONE VENEER
3" = 1'-0"



16 TYPICAL WINDOW SILL AT STONE VENEER
3" = 1'-0"



18 VERTICAL MATERIAL TRANSITION
3" = 1'-0"

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DATE OF ISSUANCE: 04 FEBRUARY 2015
Revision Schedule
Mark Description Date

SHEET TITLE
BUILDING DETAILS

SHEET NUMBER
A502

DECKER PROPERTIES, INC.

CATALINA CROSSING APARTMENTS

DECKER PROPERTIES, INC.

CATALINA CROSSING APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and review and may be subject to change, including additional detail. Please refer to the final construction documents and check with the architect for final building or construction-related purposes.

DATE OF ISSUANCE		04 FEBRUARY 2013	
Revision Schedule			
Mark	Description	Date	

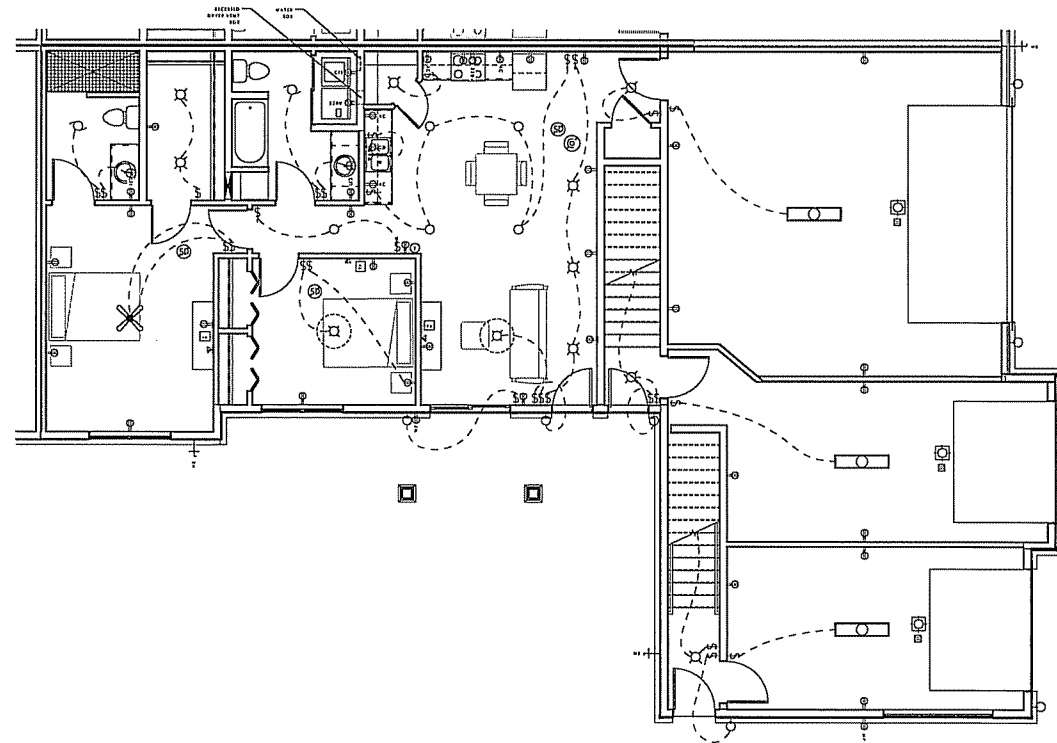
SHEET TITLE	
DEVICE PLACEMENT PLAN - FIRST FLOOR BUILDING 'A'	
SHEET NUMBER	
A900-A	

DEVICE PLACEMENT FIXTURE SYMBOLS			
	CEILING LIGHT (SURFACE MOUNTED)		ACCENT CEILING LIGHT (SURFACE MOUNTED)
	CEILING LIGHT (RECESSED MOUNTED)		ACCENT CEILING LIGHT (RECESSED MOUNTED)
	RECESSED CAN CEILING LIGHT		PENDANT LIGHT
	WALL LIGHT (SURFACE MOUNTED)		ACCENT WALL LIGHT (SURFACE MOUNTED)
	WALL LIGHT (RECESSED MOUNTED)		ACCENT WALL LIGHT (RECESSED MOUNTED)
	CHANDLIER		4' x 4' FLUORESCENT LIGHT FIXTURE (SURFACE MOUNTED)
	CEILING FAN & LIGHT (SURFACE SEPARATELY)		4' x 4' FLUORESCENT LIGHT FIXTURE (RECESSED MOUNTED)
	CEILING FAN AND LIGHT		4' x 4' FLUORESCENT ACCENT RECESSED LIGHT FIXTURE
	UNDER-CABINET LIGHTING		4' FLUORESCENT STRIP (SURFACE MOUNTED)
	EXHAUST FAN & LIGHT		GARAGE DOOR OPERATOR MOTOR LIGHT
	SMOKE DETECTOR		CARBON MONOXIDE DETECTOR
	BATTERY OPERATED EMERGENCY LIGHTING		HOT AIR RISE

DEVICE PLACEMENT POWER & DATA SYMBOLS			
ELECTRICAL - DIVISION 26			
WALL	FLOOR	RECEPTACLES	MISCELLANEOUS
OS	ES	SHREDES	SP SINGLE POLE
OS	ES	SDPDES	SP DOUBLE
OS	ES	TERMS	SP DOUBLE POLE
OS	ES	QUADAPLES	SP THREE WAY
OS	ES	TRIPLE TRIPLES	SP TRIP OVER TRIP
OS	ES	PANES OR JIBS	SP TIMER OPERATED
OS	ES	BLANK	SP LOW-VOLTAGE MASTER
OS	ES	CONTS	SP MEDIUM VOLTAGE
OS	ES	JUNCTION BOX	SP ELECTRICAL PANEL
COMMUNICATIONS - DIVISION 27			
WALL	FLOOR	RECEPTACLES	MISCELLANEOUS
M	D	DATA	DT HURD CALL
M	D	VOICE	DT TELEPHONE
M	D	VOICE & DATA	DT SECURITY CAMERA
CM	CM	VOICE, DATA, & POWER TELEPHONE	D WIRELESS ROUTER (PROVIDE POWER & DATA)
CM	CM	TELEPHONE	DL
INTERCEPT LEGEND			
AC	ABOVE COUNTER	R	RANGE
D	DEDICATED	S	SWITCHED
HT	HEIGHT (INCHES X FT)	W	WEATHER PROOF
JIB	JIB VOLT	CD	CANAL, DUCT, OR RAIL
CH	CROUCH PANEL INTERFERENCE	CS	CANAL, DUCT, OR RAIL

DEVICE PLACEMENT PLAN GENERAL NOTES

- ARCHITECTURAL DEVICE PLACEMENT PLANS ARE A GUIDELINE ONLY. DESIGN/BUILD CONTRACTOR SHALL MODIFY PLANS FOR OWNER APPROVAL AND CODE COMPLIANCE.
- ALL PENETRATIONS OF RATED WALL AND CEILING ASSEMBLIES SHALL BE SEALED WITH A U.S. APPROVED SYSTEM WITH AN HOUR RATING EQUAL TO THAT OF THE WALL OR CEILING TO BE PENETRATED.
- PROVIDE 110V OUTLETS 12" FROM CEILING AT REPEATER LOCATIONS. (LOCATIONS TO BE DETERMINED.)
- FIXTURES SHALL BE RECESSED AT ANY ACET CEILINGS AND SURFACE MOUNTED AT ANY GWS CEILINGS UNLESS NOTED OTHERWISE.
- LOCATE CEILING MOUNTED FIXTURES IN THE CENTER OF THE ROOM UNLESS DIMENSIONED OTHERWISE.
- WIRE SECOND BEDROOM SWITCHES IN ALL 288 UNITS FOR FUTURE CEILING FAN AS INDICATED ON DEVICE PLACEMENT PLANS.
- DEDICATE SEPARATE CIRCUIT FOR REFRIGERATOR, STOVE, AND DISHWASHER.
- COORDINATE BATHROOM SWITCHES WITH TOWEL BARS AND MIRRORS.
- ALL BEDROOM, LIVING ROOM, AND DINING ROOM BOXES SHALL BE 3-WIRE.
- UNLESS DISHWASHER DISCONNECT IS CONCEALED, PROVIDE A SPECIAL COLORED SWITCH.
- AT EACH UNIT, PROVIDE DOUBLE GANG BOX WITH BLANK COVER FOR (2) RG6 & (1) CAT5A WIRES CONNECTED TO D-HAVE TELECOM PANEL IN BASEMENT
- COORDINATE POWER REQUIREMENTS FOR HVAC EQUIPMENT WITH HVAC CONTRACTOR.
- FOR FIREPLACE ALTERNATE COORDINATE POWER & VENTILATION REQUIREMENTS WITH HVAC & ELECTRICAL CONTRACTORS PER MANUFACTURER SPECIFICATIONS.



1 FIRST FLOOR PLAN - BUILDING 'A'
 1/4" = 1'-0"

DEVICE PLACEMENT FEATURE SYMBOLS	
☒ CEILING LIGHT (SURFACE MOUNTED)	☒ ACCENT CEILING LIGHT (SURFACE MOUNTED)
○ CEILING LIGHT (RECESSED HIDDEN)	○ ACCENT CEILING LIGHT (RECESSED HIDDEN)
○ RECESSED CAN CEILING LIGHT	○ PENDANT LIGHT
○ WALL LIGHT (SURFACE MOUNTED)	○ ACCENT WALL LIGHT (SURFACE MOUNTED)
○ EFT LIGHT (CEILING MOUNTED)	○ FEE LIGHT (WALL MOUNTED)
✕ CEILING FAN & LIGHT (SWITCH SEPARATE)	☒ 2x4 FLOURESCENT LIGHT FIXTURE (SURFACE MOUNTED)
✕ CEILING FAN (NO LIGHT)	☒ 2x4 FLOURESCENT LIGHT FIXTURE (SURFACE MOUNTED)
○ FUTURE CEILING FAN (NO LIGHT)	☒ 2x4 FLOURESCENT RECESSED LIGHT FIXTURE
⊞ UNDER-CABINET LIGHTING	☒ 4" FLOURESCENT TRIP (SURFACE MOUNTED)
○ EXHAUST FAN & LIGHT	☒ CHAFFICE DOOR (OPEN WITH LIGHT)
○ SMOKE DETECTOR	○ CARBON MONOXIDE DETECTOR
☒ BATTERY OPERATED EMERGENCY LIGHTING	⊞ HOSE ROLL

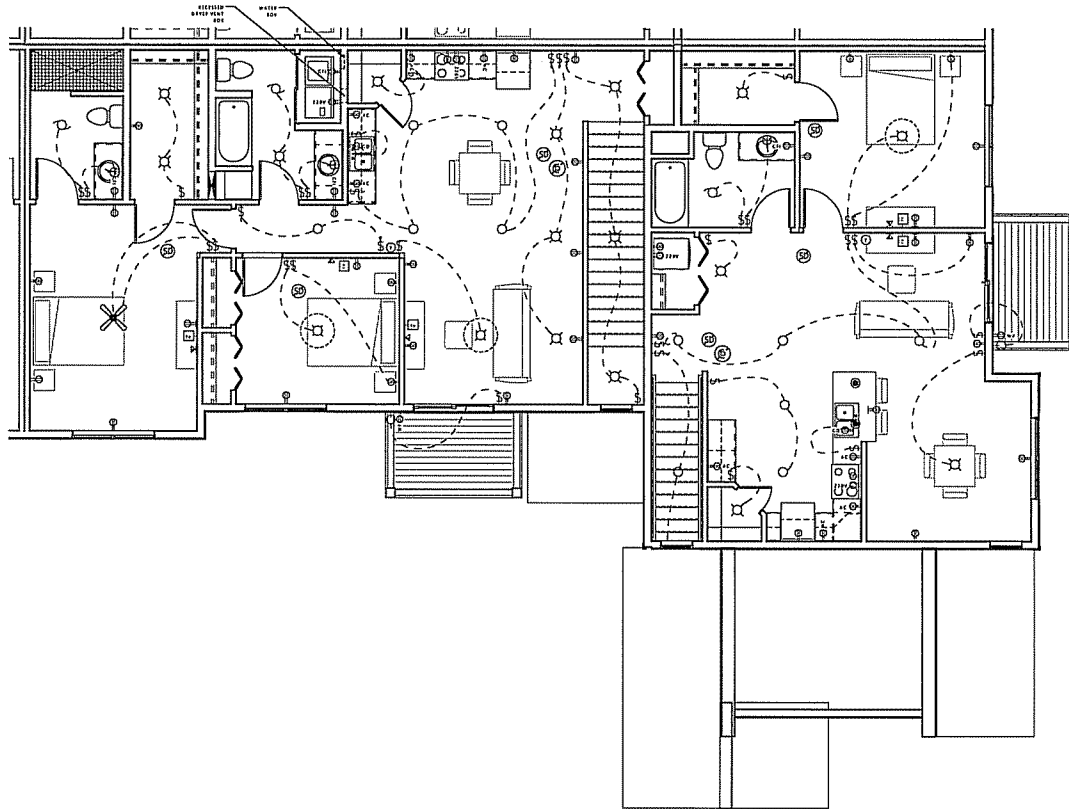
ELECTRICAL - DIVISION 26		
WALL LEADER	RECEPTACLES	SIGNALS
CH	○ SWITCH	○ GPH SINGLE POLE
CH	○ SWITCH	○ GPH DOUBLE
CH	○ SWITCH	○ GPH DOUBLE POLE
CH	○ QUADRUPLATE	○ GPH THREE WAY
CH	○ SPECIAL PURPOSE	○ GPH EXT OPERATED
CH	○ RANDED TRIP	○ GPH TIME DELAYED
CH	○ PLANK	○ GPH LOW-VOLTAGE WASTE
CH	○ COVER	○ HIDDEN DETECTOR
CH	○ JUNCTION BOX	○ ELECTRICAL PANEL

COMMUNICATIONS - DIVISION 27			
WALL LEADER	RECEPTACLES	WALL	UNUSUAL/UNUS
M	○ DATA	○ CH	○ NIGHT CALL
M	○ VOICE	○ CH	○ THERMIST
M	○ VOICE & DATA	○ CH	○ SECURITY CAMERA
CH	○ VOICE, DATA, & POWER	○ CH	○ WIRELESS ROUTER (PROVIDE POWER & DATA)
CH	○ TELEVISION	○ CH	○

SUBSYSTEM LEGEND			
A.C.	APPLY COUNTER	B	RANGE
D	DEDICATED	I	SWITCHED
H"	HOUSING HEIGHT (INCHES AFF)	I	SWITCHED
220V	220 VOLT	MP	WEATHER PROOF
ED	GROUND FAULT INTERRUPTER	ED	CANAL DISPOSAL

DEVICE PLACEMENT PLAN GENERAL NOTES

- ARCHITECTURAL DEVICE PLACEMENT PLANS ARE A GUIDELINE ONLY. DESIGN/BUILD CONTRACTOR SHALL MODIFY PLANS FOR OWNER APPROVAL AND CODE COMPLIANCE.
- ALL PENETRATIONS OF RATED WALL AND CEILING ASSEMBLIES SHALL BE SEALED WITH A U.L. APPROVED SYSTEM WITH AN HOURLY RATING EQUAL TO THAT OF THE WALL OR CEILING TO BE PENETRATED.
- PROVIDE 110V OUTLETS 12" FROM CEILING AT REPEATER LOCATIONS. (LOCATIONS TO BE DETERMINED.)
- FIXTURES SHALL BE RECESSED AT ANY ACT CEILINGS AND SURFACE MOUNTED AT ANY CWB CEILINGS UNLESS NOTED OTHERWISE.
- LOCATE CEILING MOUNTED FIXTURES IN THE CENTER OF THE ROOM UNLESS DIMENSIONED OTHERWISE.
- WIRE SECOND BEDROOM SWITCHES IN ALL 2BR UNITS FOR FUTURE CEILING FAN AS INDICATED ON DEVICE PLACEMENT PLANS.
- DEDICATE SEPARATE CIRCUIT FOR REFRIGERATOR, STOVE, AND DISHWASHER.
- COORDINATE BATHROOM SWITCHES WITH TOWEL BARS AND MIRRORS.
- ALL BEDROOM, LIVING ROOM, AND DINING ROOM BOXES SHALL BE 3-WIRE.
- UNLESS DISHWASHER DISCONNECT IS CONCEALED, PROVIDE A SPECIAL COLORED SWITCH.
- AT EACH UNIT, PROVIDE DOUBLE GANG BOX WITH BLANK COVER FOR (2) RG6 & (1) CAT6 WIRES CONNECTED TO D-WARE TELECOM PANEL IN BASEMENT
- COORDINATE POWER REQUIREMENTS FOR HVAC EQUIPMENT WITH HVAC CONTRACTOR.
- FOR FIREPLACE ALTERNATE COORDINATE POWER & VENTILATION REQUIREMENTS WITH HVAC & ELECTRICAL CONTRACTORS PER MANUFACTURER SPECIFICATIONS.



① SECOND FLOOR PLAN - BUILDING 'A'
1/4" = 1'-0"

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DECKER PROPERTIES, INC.

DECKER PROPERTIES, INC.

CATALINA CROSSING APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: 04 FEBRUARY 2015

Revision Schedule	Date

SHEET TITLE

DEVICE PLACEMENT PLAN - SECOND FLOOR BUILDING 'A'

SHEET NUMBER

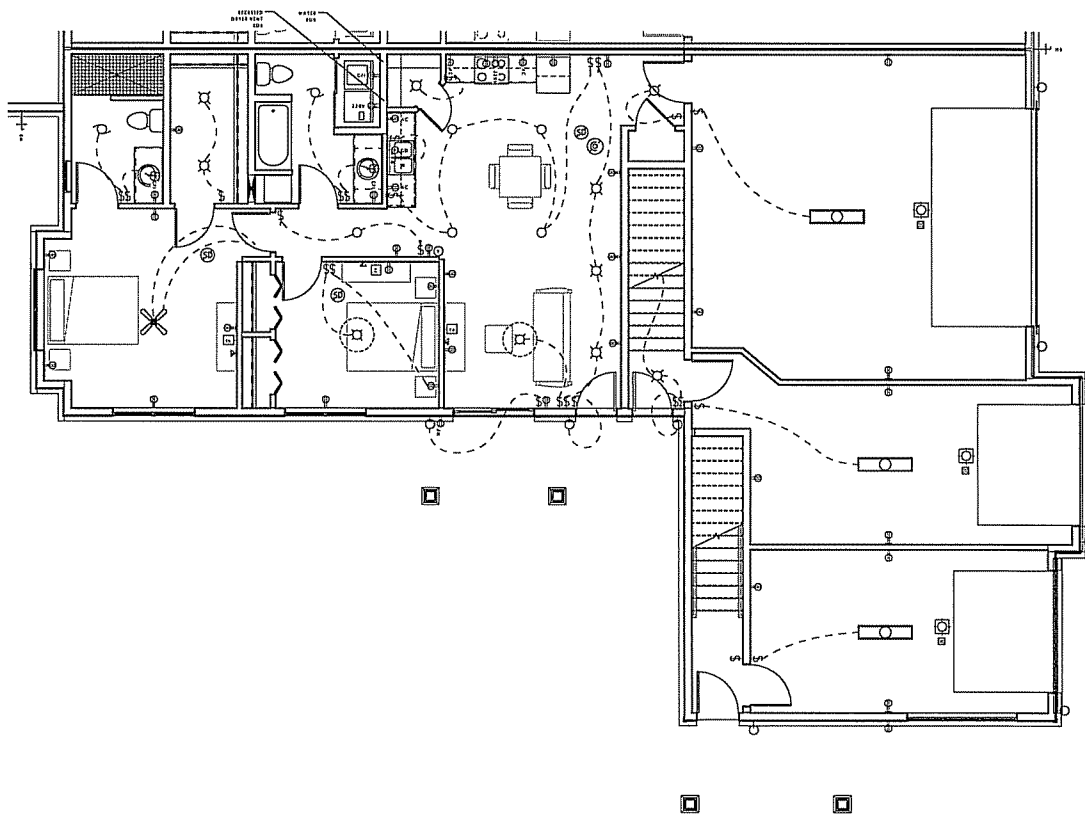
A901-A

DEVICE PLACEMENT FIXTURE SYMBOLS			
	CEILING LIGHT (SURFACE MOUNTED)		ACCENT CEILING LIGHT (SURFACE MOUNTED)
	CEILING LIGHT (RECESSED MOUNTED)		ACCENT CEILING LIGHT (RECESSED MOUNTED)
	RECESSED CAN CEILING LIGHT		PENDANT LIGHT
	WALL LIGHT (SURFACE MOUNTED)		ACCENT WALL LIGHT (SURFACE MOUNTED)
	EXIT LIGHT (SURFACE MOUNTED)		EXIT LIGHT (WALL MOUNTED)
	CEILING FAN & LIGHT (SWITCH SEPARATES)		1x1 FLUORESCENT LIGHT FIXTURE (SURFACE MOUNTED)
	CEILING FAN (NO LIGHT)		2x4 FLUORESCENT LIGHT FIXTURE (SURFACE MOUNTED)
	FUTURE CEILING FAN (NO LIGHT)		2x4 FLUORESCENT RECESSED MOUNTING LIGHT FIXTURE
	UNDER-CABINET LIGHTING (ROUGH IN ONLY)		4' FLUORESCENT STRIP (SURFACE MOUNTED)
	EXHAUST FAN & LIGHT		GARAGE DOOR OPENER WITH LIGHT
	SMOKE DETECTOR		CARBON MONOXIDE DETECTOR
	BATTERY OPERATED EMERGENCY LIGHTING		HOLE 1/8"

DEVICE PLACEMENT POWER & DATA SYMBOLS			
ELECTRICAL - DIMENSION 24			
WALL	FLOOR	RECESSED	SWITCHES
COMMUNICATIONS - DIMENSION 27			
WALL	FLOOR	RECESSED	WALL
SUBEQUIP LEGEND			
	RANGE		SWITCHED
	DISHWASHER		WEATHER PROOF
	MOUNTING HEIGHT (NICHE APP)		GARAGE DISPOSAL
	1/8" HOLE		WEATHER PROOF
	EXHAUST FAN		WEATHER PROOF

DEVICE PLACEMENT PLAN GENERAL NOTES

- ARCHITECTURAL DEVICE PLACEMENT PLANS ARE A GUIDELINE ONLY. DESIGN/BUILD CONTRACTOR SHALL MODIFY PLANS FOR OWNER APPROVAL AND CODE COMPLIANCE.
- ALL PENETRATIONS OF RATED WALL AND CEILING ASSEMBLIES SHALL BE SEALED WITH A U.S. APPROVED SYSTEM WITH AN HOURLY RATING EQUAL TO THAT OF THE WALL OR CEILING TO BE PENETRATED.
- PROVIDE 12V OUTLETS 12" FROM CEILING AT REPEATED LOCATIONS. (LOCATIONS TO BE DETERMINED.)
- FIXTURES SHALL BE RECESSED AT ANY ACT CEILINGS AND SURFACE MOUNTED AT ANY CWB CEILINGS UNLESS NOTED OTHERWISE.
- LOCATE CEILING MOUNTED FIXTURES IN THE CENTER OF THE ROOM UNLESS DIMENSIONED OTHERWISE.
- WIRE SECOND BEDROOM SWITCHES IN ALL 2BR UNITS FOR FUTURE CEILING FAN AS INDICATED ON DEVICE PLACEMENT PLANS.
- DEDICATE SEPARATE CIRCUIT FOR REFRIGERATOR, STOVE, AND DISHWASHER.
- COORDINATE BATHROOM SWITCHES WITH TOWEL BARS AND SHROODS.
- ALL BEDROOM, LIVING ROOM, AND DINING ROOM BOXES SHALL BE 3-WIRE.
- UNLESS DISHWASHER DISCONNECT IS CONCEALED, PROVIDE A SPECIAL COLORED SWITCH.
- AT EACH UNIT, PROVIDE DOUBLE GANG BOX WITH BLANK COVER FOR (2) RG & (1) CATX WIRES CONNECTED TO D-MARK TELECOM PANEL IN BASEMENT.
- COORDINATE POWER REQUIREMENTS FOR HVAC EQUIPMENT WITH HVAC CONTRACTOR.
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12 FIRST FLOOR PLAN - BUILDING 'B'
1/4" = 1'-0"

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PLA PROJECT NUMBER: 14-1128

DECKER PROPERTIES, INC.

CATALINA CROSSING APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE 04 FEBRUARY 2015

Revised By/Date	By/Date
Mark /	Debra /

SHEET TITLE

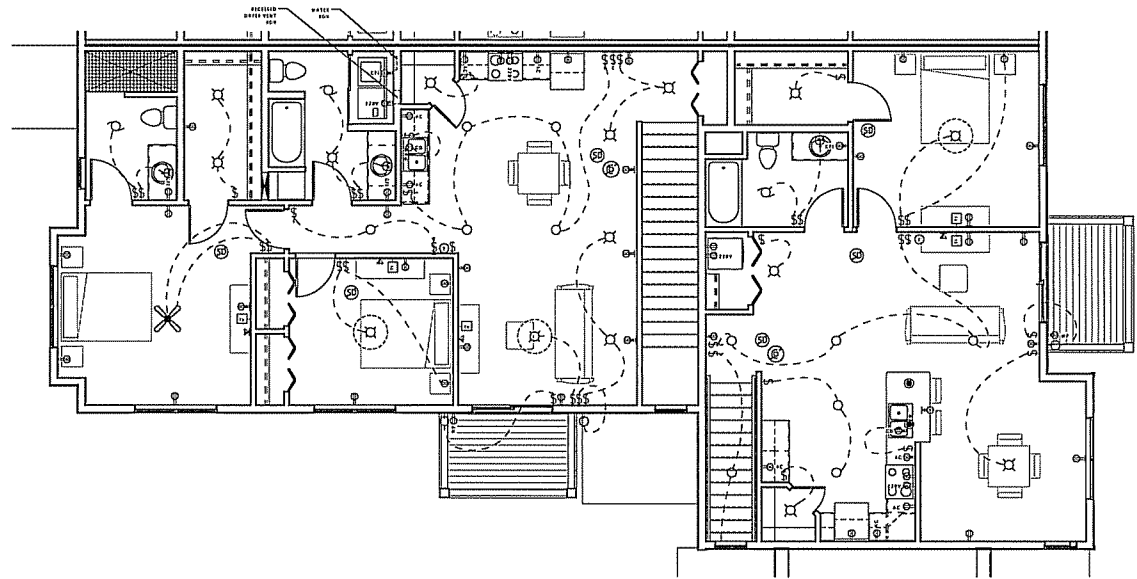
DEVICE PLACEMENT PLAN - FIRST FLOOR BUILDING 'B'

SHEET NUMBER

A900-B

DEVICE PLACEMENT FIXTURE SYMBOLS			
	CEILING LIGHT (SURFACE MOUNTED)		ACCENT CEILING LIGHT (SURFACE MOUNTED)
	CEILING LIGHT (RECESSED MOUNTED)		ACCENT CEILING LIGHT (RECESSED MOUNTED)
	RECESSED CAN CEILING LIGHT		PENDANT LIGHT
	WALL MOUNT (SURFACE MOUNTED)		ACCENT WALL LIGHT (SURFACE MOUNTED)
	EXIT LIGHT (CEILING MOUNTED)		EXIT LIGHT (WALL MOUNTED)
	CEILING FAN & LIGHT (SWITCH SEPARATELY)		1x4 FLUORESCENT LIGHT FIXTURE (SURFACE MOUNTED)
	CEILING FAN (NO LIGHT)		2x4 FLUORESCENT LIGHT FIXTURE (SURFACE MOUNTED)
	FUTURE CEILING FAN (DOUGH-IN ONLY)		2x4 FLUORESCENT RECESSED TROFFER LIGHT FIXTURE
	UNDER-CABINET LIGHTING		4' FLUORESCENT STRIP LIGHT FIXTURE (SURFACE MOUNTED)
	EXHAUST FAN & LIGHT		CABINET DOOR OPENER WITH LIGHT
	SMOKE DETECTOR		CARBON MONOXIDE DETECTORS
	BATTERY OPERATED EMERGENCY LIGHTING		HOSE BIBB

DEVICE PLACEMENT POWER & DATA SYMBOLS			
ELECTRICAL - DIVISION 26			
WALL	RECEPTACLES	SWITCHES	
EW	WALL RECEPTACLES	SW	SINGLE POLE
EW	DUPLEX	DW	2-WIRE
EW	TAPPLET	TDW	DOUBLE POLE
EW	RECEPTACLES	TDW	THREE WIRE
EW	SPECIAL PURPOSE	SPW	KEY OPERATED
EW	RANGE OR STOVE	RW	THREE OPERATED
EW	SWITCH	SW	LOW-VOLTAGE MASTER
EW	SWITCH	SW	WIRELESS DEFLECTOR
EW	JUNCTION BOX	JB	ELECTRICAL PANEL
COMMUNICATIONS - DIVISION 27			
WALL	RECEPTACLES	WALL	INSTALLATIONS
W	DATA	WC	WIRELESS CALLS
W	VOICE	VO	THERMOSTAT
W	VOICE & DATA	WDC	SECURITY CAMERA
W	VOICE, DATA, & POWER	WDW	WIRELESS ROUTER
W	TELEVISION	WT	PROVIDE POWER & DATA
SCHEDULE LEGEND			
AC	APPLY COUNTERTOP	R	RANGE
D	DISCONNECT	S	SWITCHED
JT	MOUNTING HEIGHT (INCHES/APFT)	I	INTERIOR
ZR	ZEN ZONE	WT	WATERPROOF
ED	CEILING FANLY INTERRUPTER	CD	CABINETS DISPOSAL



7 SECOND FLOOR PLAN - BUILDING 'B'
1/4" = 1'-0"

- DEVICE PLACEMENT PLAN GENERAL NOTES**
- ARCHITECTURAL DEVICE PLACEMENT PLANS ARE A GUIDELINE ONLY. DESIGN/BUILD CONTRACTOR SHALL MODIFY PLANS FOR OWNER APPROVAL AND CODE COMPLIANCE.
 - ALL PENETRATIONS OF RATED WALL AND CEILING ASSEMBLIES SHALL BE SEALED WITH A U.L. APPROVED SYSTEM WITH AN HOURLY RATING EQUAL TO THAT OF THE WALL OR CEILING TO BE PENETRATED.
 - PROVIDE 100V OUTLETS 12" FROM CEILING AT REPEATER LOCATIONS. (LOCATIONS TO BE DETERMINED.)
 - FIXTURES SHALL BE RECESSED AT ANY ACCT CEILING AND SURFACE MOUNTED AT ANY GWS CEILING UNLESS NOTED OTHERWISE.
 - LOCATE CEILING MOUNTED FIXTURES IN THE CENTER OF THE ROOM UNLESS DIMENSIONED OTHERWISE.
 - WIRE SECOND BEDROOM SWITCHES IN ALL 2BR UNITS FOR FUTURE CEILING FAN AS INDICATED ON DEVICE PLACEMENT PLANS.
 - DEDICATE SEPARATE CIRCUIT FOR REFRIGERATOR, STOVE, AND DISHWASHER.
 - COORDINATE BATHROOM SWITCHES WITH TOWEL BARS AND MIRRORS.
 - ALL BEDROOM, LIVING ROOM, AND DINING ROOM BOXES SHALL BE 3-WIRE.
 - UNLESS DISHWASHER DISCONNECT IS CONCEALED, PROVIDE A SPECIAL COLORED SWITCH.
 - AT EACH UNIT, PROVIDE DOUBLE GANG BOX WITH BLANK COVER FOR (2) RGS & (1) CAT5e WIRES CONNECTED TO D-MARK TELECOM PANEL IN BASEMENT
 - COORDINATE POWER REQUIREMENTS FOR HVAC EQUIPMENT WITH HVAC CONTRACTOR.
 - FOR FIREPLACE ALTERNATE COORDINATE POWER & VENTILATION REQUIREMENTS WITH HVAC & ELECTRICAL CONTRACTORS PER MANUFACTURER SPECIFICATIONS.

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DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS
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DATE OF ISSUANCE		04 FEBRUARY 2015	
Revision Schedule			
Rev.	Description	Date	

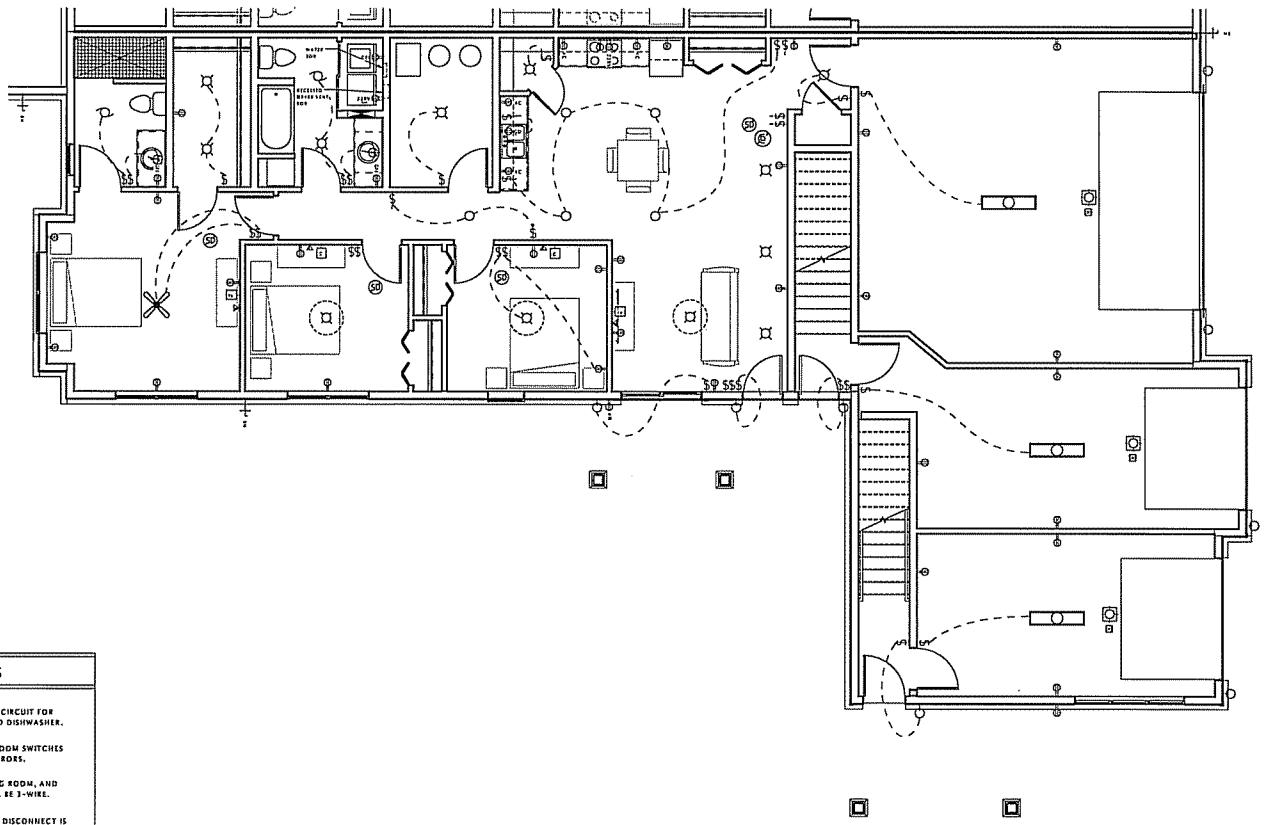
SHEET TITLE
DEVICE PLACEMENT
PLAN - SECOND
FLOOR BUILDING 'B'

SHEET NUMBER
A901-B

DEVICE PLACEMENT FUTURE SYMBOLS			
CEILING LIGHT (SURFACE MOUNTED)	ACCENT CEILING LIGHT (SURFACE MOUNTED)	RECESSED CEILING LIGHT (RECESSED MOUNTED)	ACCENT CEILING LIGHT (RECESSED MOUNTED)
WALL LIGHT (SURFACE MOUNTED)	ACCENT WALL LIGHT (SURFACE MOUNTED)	PENDANT LIGHT	
WALL LIGHT (RECESSED MOUNTED)	ACCENT WALL LIGHT (RECESSED MOUNTED)	KEY LIGHT (WALL MOUNTED)	KEY LIGHT (WALL MOUNTED)
CEILING FAN & LIGHT (SWITCH SEPARATELY)	3x4 FLUORESCENT LIGHT FIXTURE (SURFACE MOUNTED)	CEILING FAN (NO LIGHT)	3x4 FLUORESCENT LIGHT FIXTURE (SURFACE MOUNTED)
FUTURE CEILING FAN (ROUGH-IN ONLY)	3x4 FLUORESCENT RECESSED INDIRECT LIGHT FIXTURE	UNDER-CABINET LIGHTING	4" FLUORESCENT STRIP (SURFACE MOUNTED)
EMERGENCY FAN & LIGHT	GARAGE DOOR OPERATOR WITH LIGHT	SHOULDER DETECTOR	CARBON MONOXIDE DETECTOR
BATTERY OPERATED EMERGENCY LIGHTING	NOISE BELL		

DEVICE PLACEMENT POWER & DATA SYMBOLS			
ELECTRICAL - DIVISION 26			
WALL FLOOR RECEPTACLES	SWITCHES		
15 AMP	15 AMP	SINGLE PHASE	
20 AMP	20 AMP	DIMMER	
20 AMP	20 AMP	GROUND FAULT	
20 AMP	20 AMP	THREE WAY	
20 AMP	20 AMP	RECYCLED	
20 AMP	20 AMP	KEY OPERATED	
20 AMP	20 AMP	TIME OPERATED	
20 AMP	20 AMP	LOW-VOLTAGE WALTER	
20 AMP	20 AMP	WIDEN DETECTOR	
20 AMP	20 AMP	ELECTRICAL PANEL	
COMMUNICATIONS - DIVISION 27			
WALL FLOOR RECEPTACLES	WALL MISCellaneous		
DATA	WALL CALL		
VOICE	TELEPHONE		
VOICE & DATA	SECURITY CAMERA		
VOICE, DATA, & POWER	WIRELESS ROUTER		
TELEVISION	PROVIDE POWER & DATA		
ROBERTS LIGHTING			
AC	ACROSS CORNER	3	BLANK
D	DEDICATED	1	SWITCHED
120V	DOWNWIRE MOUNT (WIRELESS AP)	1	
220V	220V ONLY	1	WEATHER PROOF
CFI	GROUND FAULT INTERRUPTER	CD	GARAGE DISPOSAL

- DEVICE PLACEMENT PLAN GENERAL NOTES**
- ARCHITECTURAL DEVICE PLACEMENT PLANS ARE A GUIDELINE ONLY. DESIGN/FIELD CONTRACTOR SHALL MODIFY PLANS FOR OWNER APPROVAL AND CODE COMPLIANCE.
 - ALL PENETRATIONS OF RATED WALL AND CEILING ASSEMBLIES SHALL BE SEALED WITH A U.L. APPROVED SYSTEM WITH AN EQUAL RATING EQUAL TO THAT OF THE WALL OR CEILING TO BE PENETRATED.
 - PROVIDE 120V OUTLETS 12" FROM CEILING AT RECEPTER LOCATIONS. (LOCATIONS TO BE DETERMINED.)
 - FIXTURES SHALL BE RECESSED AT ANY ACET CEILING AND SURFACE MOUNTED AT ANY GWR CEILING UNLESS NOTED OTHERWISE.
 - LOCATE CEILING MOUNTED FIXTURES IN THE CENTER OF THE ROOM UNLESS DIMENSIONED OTHERWISE.
 - WIRE SECOND BEDROOM SWITCHES IN ALL 2BR UNITS FOR FUTURE CEILING FAN AS INDICATED ON DEVICE PLACEMENT PLANS.
 - DEDICATE SEPARATE CIRCUIT FOR REFRIGERATOR, STOVE, AND DISHWASHER.
 - COORDINATE BATHROOM SWITCHES WITH TOWEL BARS AND MIRRORS.
 - ALL BEDROOM, LIVING ROOM, AND DINING ROOM BOXES SHALL BE 3-WIRE.
 - UNLESS DISHWASHER DISCONNECT IS CONCEALED, PROVIDE A SPECIAL COLORED SWITCH.
 - AT EACH UNIT, PROVIDE DOUBLE GANG BOX WITH BLANK COVER FOR (2) RGC & (1) CAT5 WIRES CONNECTED TO D-MARK TELECOM PANEL IN BASEMENT.
 - COORDINATE POWER REQUIREMENTS FOR HVAC EQUIPMENT WITH HVAC CONTRACTOR.
 - FOR FIREPLACE ALTERNATE COORDINATE POWER & VENTILATION REQUIREMENTS WITH HVAC & ELECTRICAL CONTRACTORS PER MANUFACTURER SPECIFICATIONS.



1/4" = 1'-0"
FIRST FLOOR PLAN - BUILDING 'C'

JLA
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PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for field building or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015		
Revision Schedule		
Mark	Description	Date

SHEET TITLE
DEVICE PLACEMENT PLAN - FIRST FLOOR BUILDING 'C'

SHEET NUMBER
A900-C

