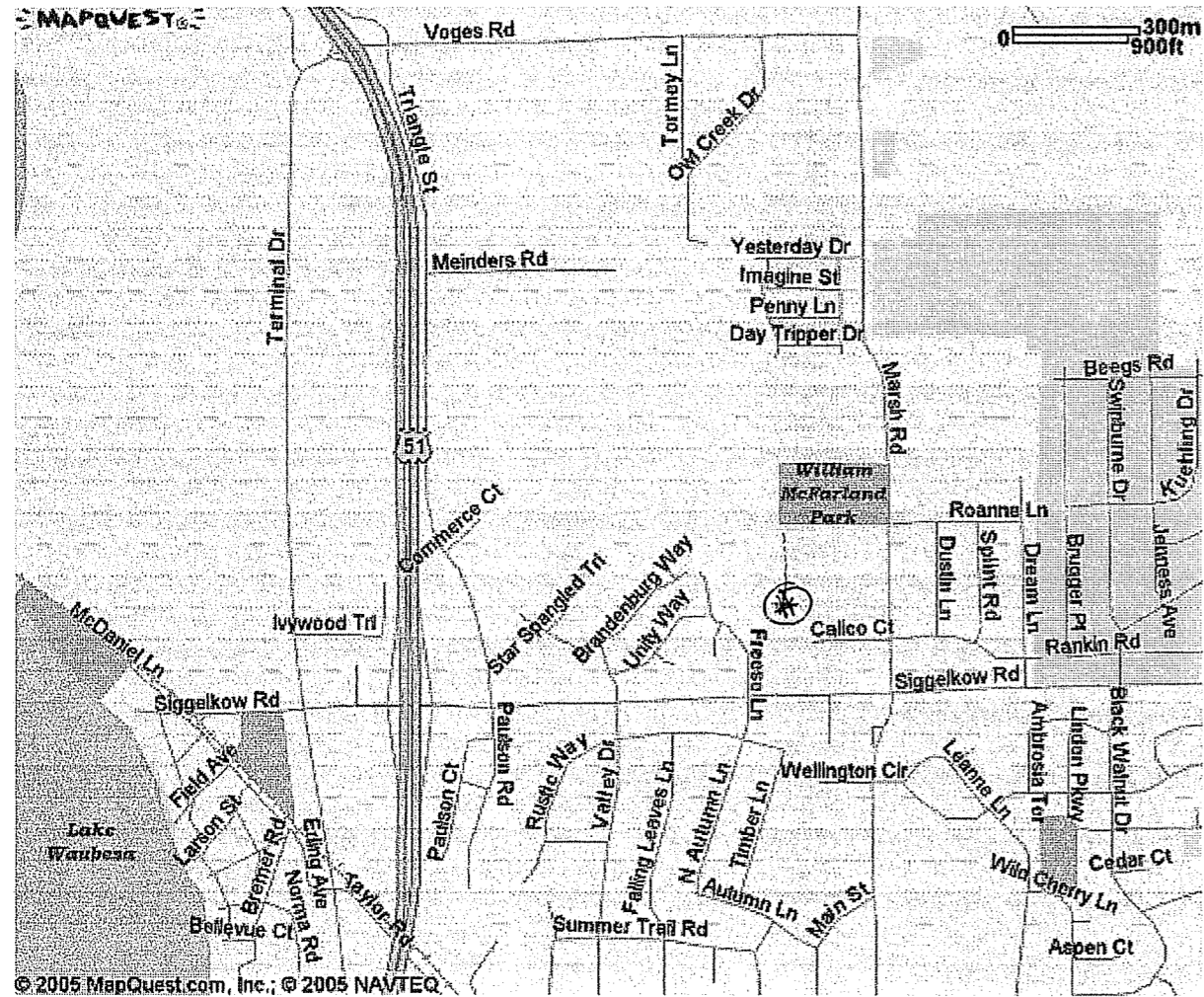


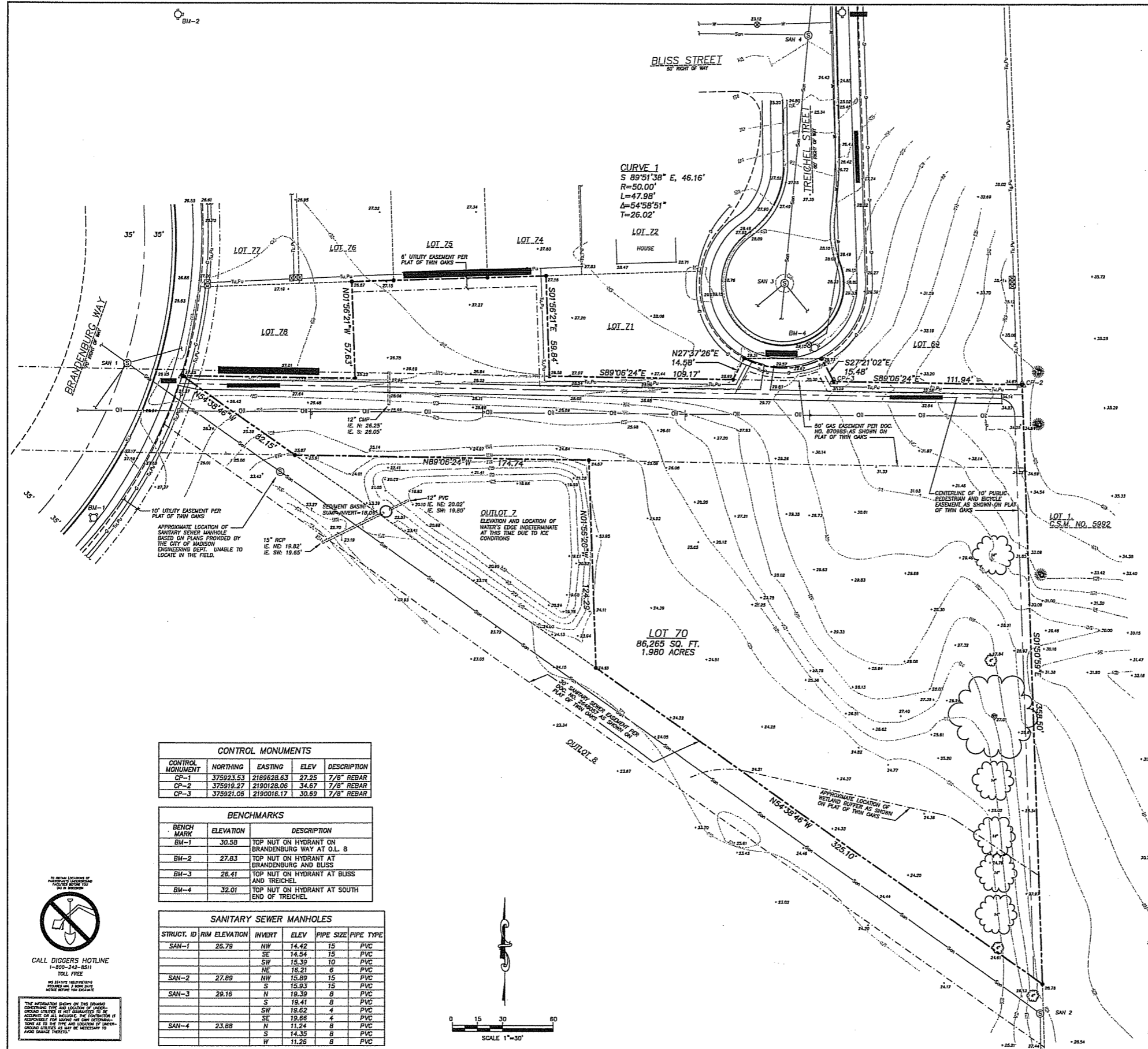
Plan Commision
Formal Submittal
Requesting Final Approvals
For PRD

4659 Treichel St.
Lot 70 Twin Oaks

Cornerstone Development & Design
The Ellefson Company
Thomas Ellefson

Lot 70 Twin Oaks Subdivision
4659 Treichel St





LEGEND

- BM-1 PROPERTY CORNER FOUND, 7/8" IR
- BM-2 BENCH MARK LOCATION & NUMBER
- ▲ CP-1 CONTROL MONUMENT LOCATION & NUMBER
- SIGN
- WATER OR GAS VALVE
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- UTILITY PEDESTAL
- ELECTRIC TRANSFORMER BOX
- DECIDUOUS TREE
- CONIFEROUS TREE
- BUILDINGS
- PROPERTY LINE
- PLATTED LINE
- SECTION LINE
- EASEMENT LINE
- WATER LINE
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND ELECTRIC, TELEPHONE AND CABLE
- GAS MAIN
- HIGH PRESSURE OIL DISTRIBUTION LINE
- CONCRETE CURB & GUTTER
- INDEX CONTOUR
- - - INTERMEDIATE CONTOUR

- ### NOTES
1. BEARINGS ARE REFERENCED TO THE NORTH LINE OF SECTION 34, T7N, R10E, AS SHOWN ON THE PLAT OF TWIN OAKS AND PUBLISHED BY THE CITY OF MADISON.
 2. BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED BY JENKINS SURVEY & DESIGN, INC. FEBRUARY 10 & 11, 2005.
 3. UTILITY SURVEY PERFORMED BY JENKINS SURVEY & DESIGN, INC. FEBRUARY 10 & 11, 2005.
 4. HORIZONTAL DATUM FOR THIS SURVEY IS REFERENCED TO THE STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.
 5. ELEVATIONS FOR THIS SURVEY AND MAP ARE BASED ON CITY OF MADISON DATUM. BENCHMARK IS THE TOP NUT OF HYDRANT ON BRANDENBURG WAY AT OUTLOT 8. ELEVATION=30.58 PER CITY OF MADISON ENGINEERING DEPARTMENT.
 6. CONTOUR INTERVAL IS ONE FOOT.
 7. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES AND BY REFERENCE TO UTILITY RECORDS AND MAPS.
 8. LOCATION OF ELECTRIC AND GAS FACILITIES IS BASED ON MADISON GAS AND ELECTRIC COMPANY UTILITY RECORDS.
 9. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511

UTILITY CONTACT INFORMATION

MADISON GAS & ELECTRIC COMPANY
 MR. MIKE HALCARZ
 P.O. BOX 1231
 MADISON, WI 53701
 (608) 252-5635
 (608) 252-1563 FAX
 mhalcarz@mg&e.com

MADISON METROPOLITAN SEWERAGE DISTRICT
 MR. GERALD F. SACHS, PE
 1610 MIDLAND ROAD
 MADISON, WI 53713-3398
 (608) 222-1201, EXT 265
 (608) 222-2703 FAX
 gsachs@mmsewast.org

SBC (AMERITECH)
 MR. JACK WESTMONT, RIGHT OF WAY MANAGER
 117 W4300 RIVERWOOD DRIVE, FLOOR 3
 WAUKESHA, WI 53188
 (262) 523-1516
 (262) 523-1510 FAX
 (414) 318-5702 PAGER
 jwestm@msb.ameritech.com

CHARTER COMMUNICATIONS—CCVII OPERATING, LLC (GREAT LAKES DIV.)
 MR. RON WILSON
 8413 EXCELSIOR DRIVE, SUITE 120
 MADISON, WI 53717
 (608) 828-1345
 (608) 833-0288 FAX
 rwilson@chartercom.com

SURVEYOR'S CERTIFICATE:

I, DAVE M. JENKINS, REGISTERED LAND SURVEYOR, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF WITH THE INFORMATION PROVIDED.

DAVE M. JENKINS, S-2255
 REGISTERED LAND SURVEYOR

DATE _____

PREPARED FOR:
 THE ELLEFSON COMPANIES
 1018 GAMMON LANE, SUITE 100
 MADISON, WI 53718

Drawing No. C-5

DATE: 2-11-2005
 CHECKED BY: HPJ
 APPROVED BY:
 DRAWING NO.: PROJECTS/2005/051616/051616_excen.dwg

DATE: 2-18-2005
 DATE: _____

DATE: _____

DESCRIPTION: EXISTING CONDITIONS SURVEY
 PROJECT NO: 05-1816
 FILE NO: C-17
 SURVEYED: SO
 F.B. NO./PC: 173/13-14
 SHEET NO: 1 OF 1

CONTROL MONUMENTS

CONTROL MONUMENT	NORTHING	EASTING	ELEV	DESCRIPTION
CP-1	375923.53	2189628.63	27.25	7/8" REBAR
CP-2	375919.27	2190128.06	34.67	7/8" REBAR
CP-3	375921.08	2190016.17	30.69	7/8" REBAR

BENCHMARKS

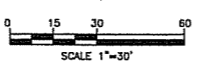
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	30.58	TOP NUT ON HYDRANT ON BRANDENBURG WAY AT O.L. 8
BM-2	27.83	TOP NUT ON HYDRANT AT BRANDENBURG AND BLISS
BM-3	26.41	TOP NUT ON HYDRANT AT BLISS AND TREICHEL
BM-4	32.01	TOP NUT ON HYDRANT AT SOUTH END OF TREICHEL

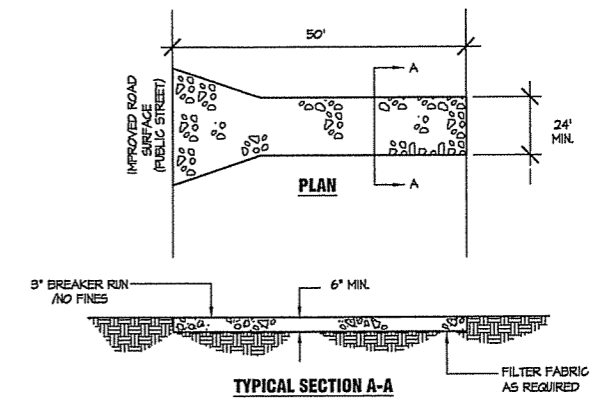
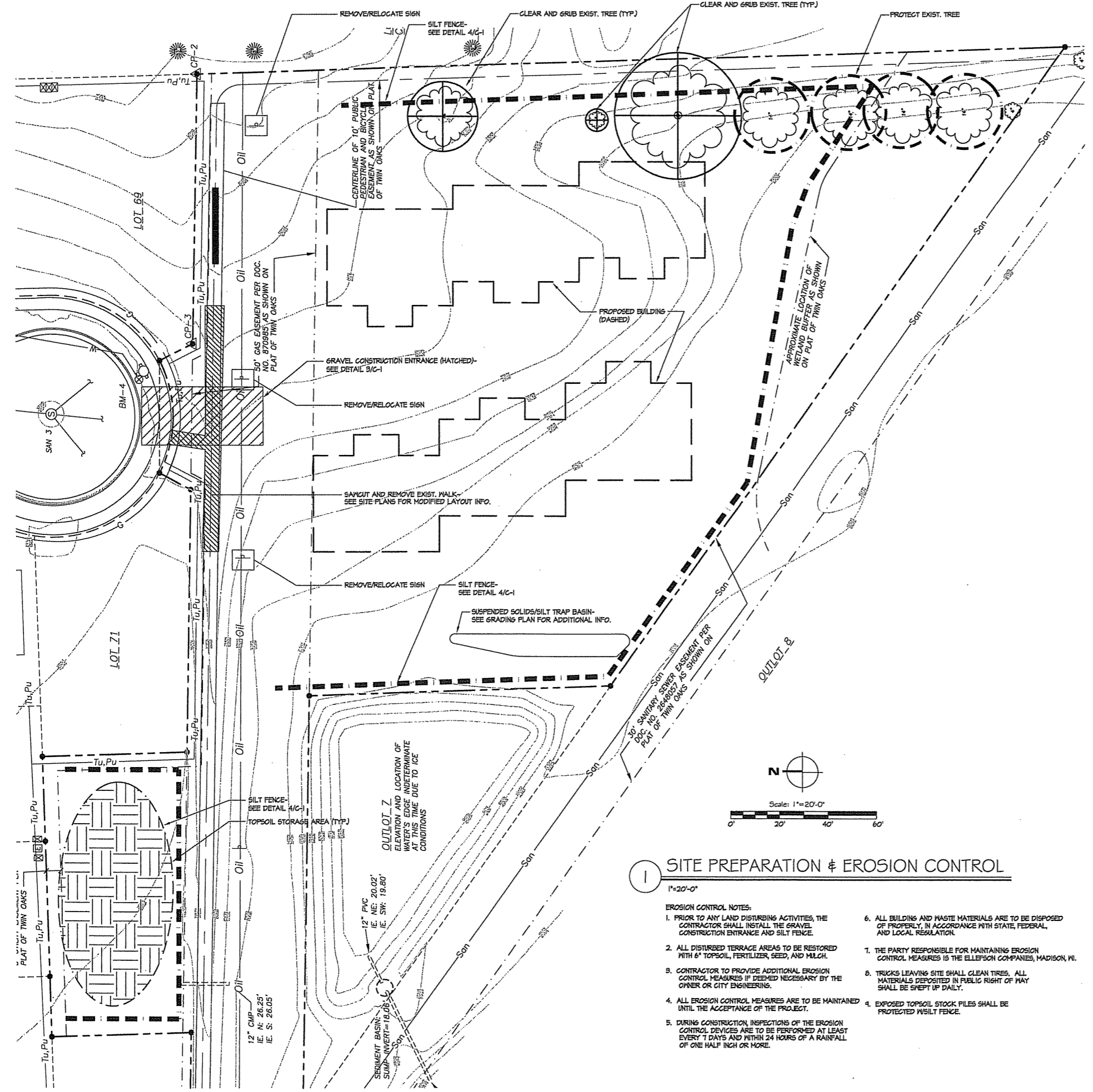
SANITARY SEWER MANHOLES

STRUCT. ID	RIM ELEVATION	INVERT	ELEV	PIPE SIZE	PIPE TYPE
SAN-1	26.79	NW	14.42	15	PVC
		SE	14.54	15	PVC
		SW	15.39	10	PVC
SAN-2	27.89	NE	16.21	6	PVC
		NW	15.89	15	PVC
SAN-3	29.15	S	15.93	15	PVC
		N	18.39	8	PVC
SAN-4	23.88	S	19.41	8	PVC
		SW	18.62	4	PVC
		SE	19.66	4	PVC
		N	11.24	8	PVC
		S	14.35	8	PVC
		W	11.28	8	PVC

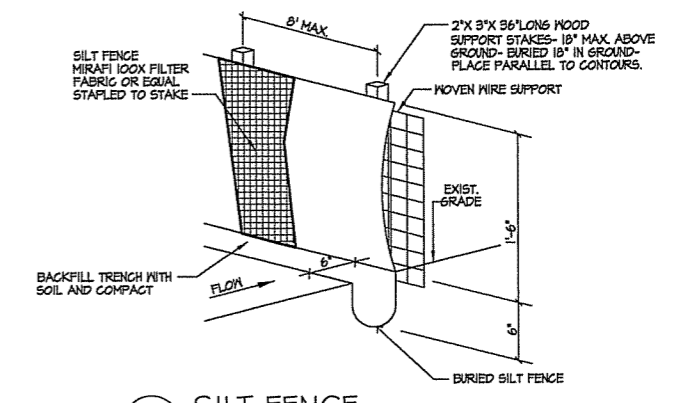


CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 WE SHOW THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING.





3 GRVEL CONSTRUCTION ENTRANCE
 NTS



4 SILT FENCE
 NTS

Notes

- SHEET INDEX:**
 C-5 EXISTING CONDITIONS SURVEY
 C-1 SITE PREP. & EROSION CONTROL
 C-2 SITE LAYOUT PLAN AND DETAILS
 C-3 SITE UTILITY & GRADING PLAN
 L-1 LANDSCAPE PLAN & DETAILS

**100%
 REVIEW**

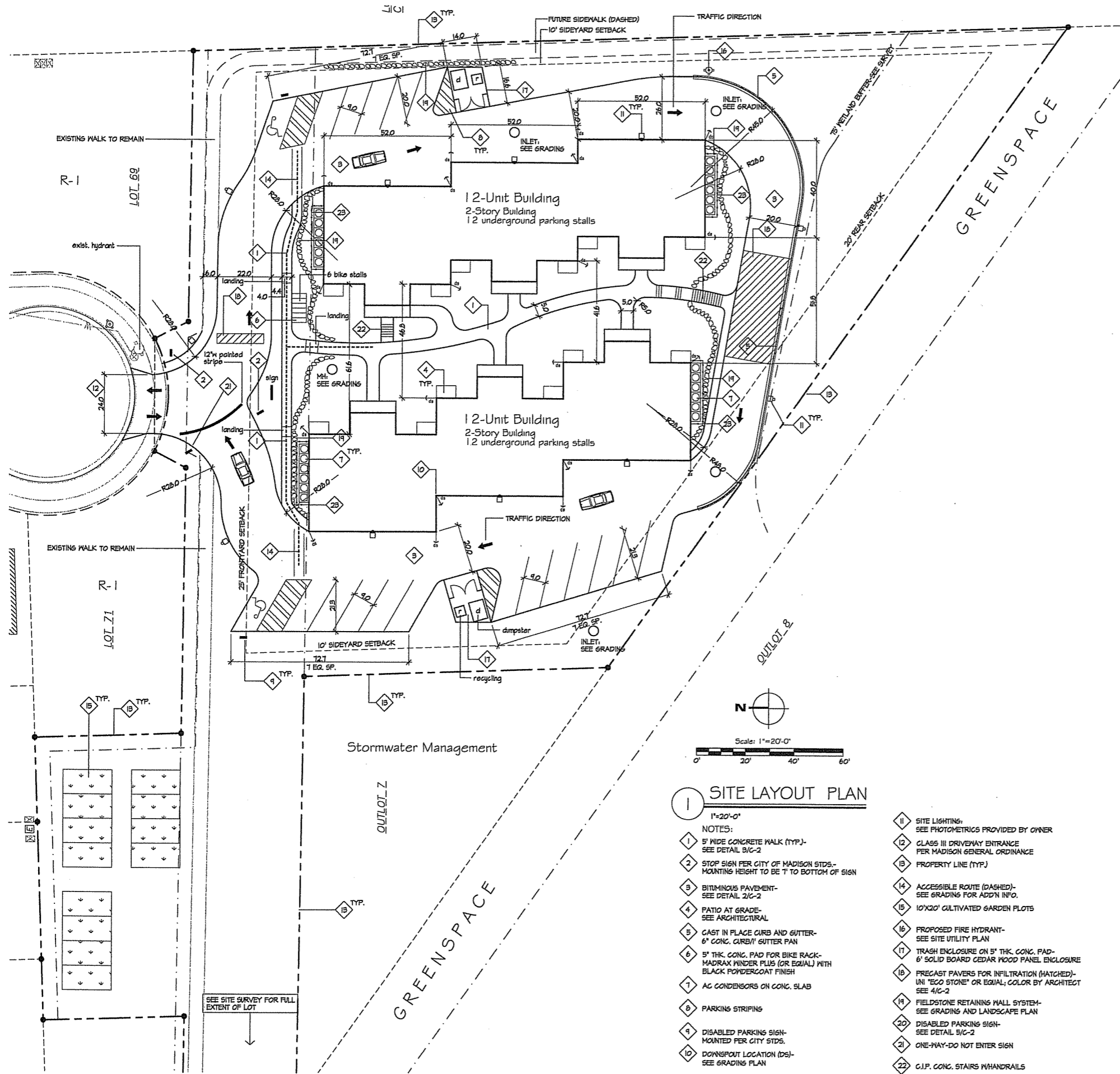
Revisions
 March 9, 2005 - ISSUED FOR ZONING (IDC)
 April 13, 2005 - ISSUED FOR ZONING (ZONING)

Project Title
**24-Unit Condominium
 Development--
 City of Madison**
 Drawing Title
**Site Preparation
 and Erosion Control**

1 SITE PREPARATION & EROSION CONTROL
 1"=20'-0"

- EROSION CONTROL NOTES:**
1. PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE GRAVEL CONSTRUCTION ENTRANCE AND SILT FENCE.
 2. ALL DISTURBED TERRACE AREAS TO BE RESTORED WITH 6" TOPSOIL, FERTILIZER, SEED, AND MULCH.
 3. CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY BY THE OWNER OR CITY ENGINEERING.
 4. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL THE ACCEPTANCE OF THE PROJECT.
 5. DURING CONSTRUCTION, INSPECTIONS OF THE EROSION CONTROL DEVICES ARE TO BE PERFORMED AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL OF ONE HALF INCH OR MORE.
 6. ALL BUILDING AND WASTE MATERIALS ARE TO BE DISPOSED OF PROPERLY, IN ACCORDANCE WITH STATE, FEDERAL, AND LOCAL REGULATION.
 7. THE PARTY RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES IS THE ELLEFSON COMPANIES, MADISON, WI.
 8. TRUCKS LEAVING SITE SHALL CLEAN TIRES. ALL MATERIALS DEPOSITED IN PUBLIC RIGHT OF WAY SHALL BE SWEEPED DAILY.
 9. EXPOSED TOPSOIL STOCK PILES SHALL BE PROTECTED WITH SILT FENCE.

SOCCKER FIELDS



Parking Lot Plan Site Information Block

Site Address: 4654 Treichel Street, Madison
 Site acreage (total): 86,254 s.f.

Number of building stories (above grade): 2 story
 Building height: 28'-6"
 DILHR type of construction: SB
 Total Square Footage of buildings: 12,480 s.f.

Use of property: FRD/R-4
 Gross square feet of office: N/A
 Gross square feet of retail area: N/A
 Number of employees in warehouse: N/A
 Number of employees in production area: N/A
 Capacity of restaurant/place of assembly: N/A

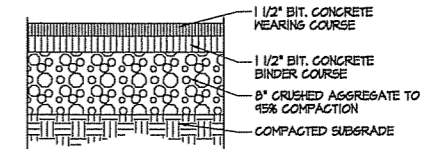
Number of bicycle stalls shown: garage 24, sto 6, Total 30
 Number of parking stalls:

Small car	-	Total
Large car	41	
Accessible	2	
Total	43	

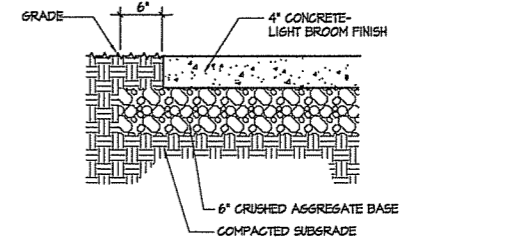
Number of trees shown: SEE LANDSCAPE PLAN L-1

Owner/Developer
Cornerstone Development & Design
 1018 Gammon Lane
 Suite 100-Madison WI 53719
 c/o Tom Ellefson
 Phone 608-274-1594
 Fax 608-276-7880

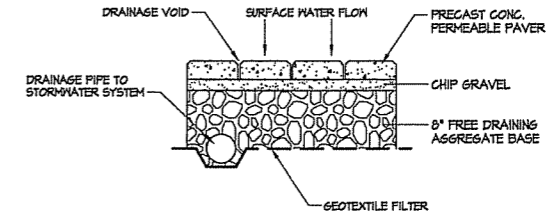
Consultants



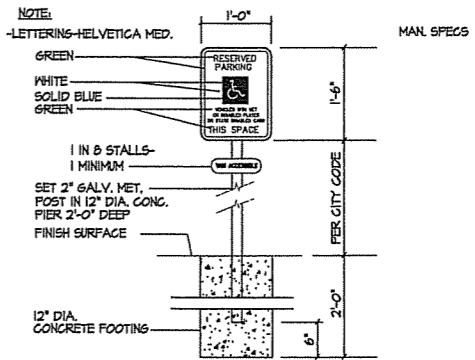
2 BITUMINOUS PAVEMENT



3 CONCRETE WALK



4 PERMEABLE PAVERS



5 DISABLED PARKING SIGN

1 SITE LAYOUT PLAN

- 1"=20'-0"
- NOTES:
- 1 5' WIDE CONCRETE WALK (TYP.) - SEE DETAIL 3/C-2
 - 2 STOP SIGN PER CITY OF MADISON STDS. - MOUNTING HEIGHT TO BE 1' TO BOTTOM OF SIGN
 - 3 BITUMINOUS PAVEMENT - SEE DETAIL 2/C-2
 - 4 PATIO AT GRADE - SEE ARCHITECTURAL
 - 5 CAST IN PLACE CURB AND GUTTER - 6" CONC. CURB/1" GUTTER PAN
 - 6 5" THK. CONC. PAD FOR BIKE RACK - MADRAX HINDER PLUS (OR EQUAL) WITH BLACK POWDERCOAT FINISH
 - 7 AC CONDENSORS ON CONC. SLAB
 - 8 PARKING STRIPING
 - 9 DISABLED PARKING SIGN - MOUNTED PER CITY STDS.
 - 10 DOWNSPOUT LOCATION (DS) - SEE GRADING PLAN
 - 11 SITE LIGHTING - SEE PHOTOMETRICS PROVIDED BY OWNER
 - 12 CLASS III DRIVENWAY ENTRANCE PER MADISON GENERAL ORDINANCE
 - 13 PROPERTY LINE (TYP.)
 - 14 ACCESSIBLE ROUTE (DASHED) - SEE GRADING FOR ADDN INFO.
 - 15 10'X20' CULTIVATED GARDEN PLOTS
 - 16 PROPOSED FIRE HYDRANT - SEE SITE UTILITY PLAN
 - 17 TRASH ENCLOSURE ON 5" THK. CONC. PAD - 6' SOLID BOARD CEDAR WOOD PANEL ENCLOSURE
 - 18 PRECAST PAVERS FOR INFILTRATION (HATCHED) - UNI "ECO STONE" OR EQUAL; COLOR BY ARCHITECT SEE 4/C-2
 - 19 FIELDSTONE RETAINING WALL SYSTEM - SEE GRADING AND LANDSCAPE PLAN
 - 20 DISABLED PARKING SIGN - SEE DETAIL 5/C-2
 - 21 ONE-WAY-DO NOT ENTER SIGN
 - 22 C.I.P. CONC. STAIRS W/HANDRAILS
 - 23 DECORATIVE FENCE ENCLOSURE FOR CONDENSORS - SEE ARCH.

Notes

PRELIMINARY SITE DEVELOPMENT DATA

Legal Description - Lot 10, Twin Oaks Plat
 City of Madison
 Address - 4654 Treichel Street
 City of Madison

Lot Area - 86,254 Sq.Ft. (1.98 Acres)
 Dwelling Units - 24 Units
 Lot Area / D.U. - 3594 Sq.Ft. / D.U.
 Density - 12.12 Units/Acre

Dwelling Unit Mix
 2 Bedroom Units 24

Parking Provided
 Garage - 24
 Surface - 19 (2 Accessible)
 Total Parking - 43 (2 Accessible)
 Parking Required - 42

Parking / D.U. 2.625 / D.U.
 Bike Parking Stalls = (8) Surface / (24) Garage

Building Coverage - 12,480 Sq. Ft. (14.4 % of site)
 Sidewalks/Patios Coverage 3,910 Sq. Ft.
 Asphalt Coverage 20,625 Sq. Ft.
 Total Pavement 23,495 Sq.Ft. (28.0 % of site)

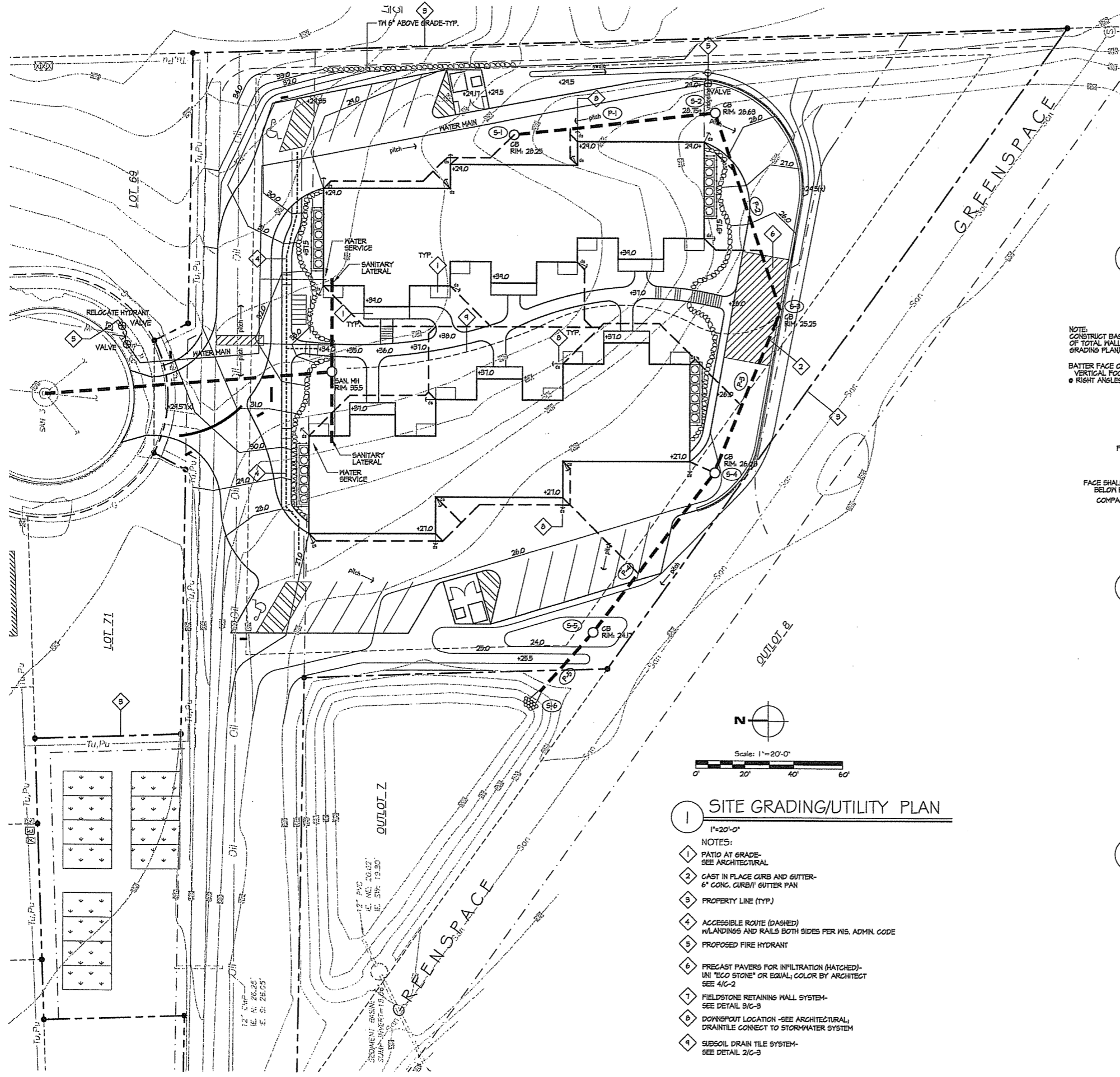
Open Space - 44,114 Sq. Ft. (51.6 % of site)

100% REVIEW

Revisions
 March 9, 2005 - ISSUED FOR ZONING (IDC)
 April 13, 2005 - ISSUED FOR ZONING (ZONING)

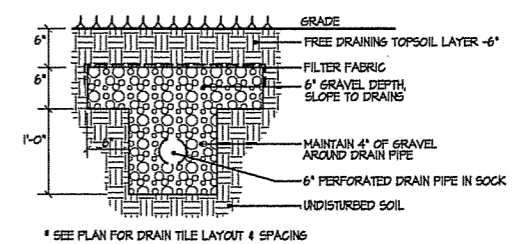
Project Title
24-Unit Condominium Development--
 City of Madison

Drawing Title
Site Layout Plan and Details



1 SITE GRADING/UTILITY PLAN
 1"=20'-0"

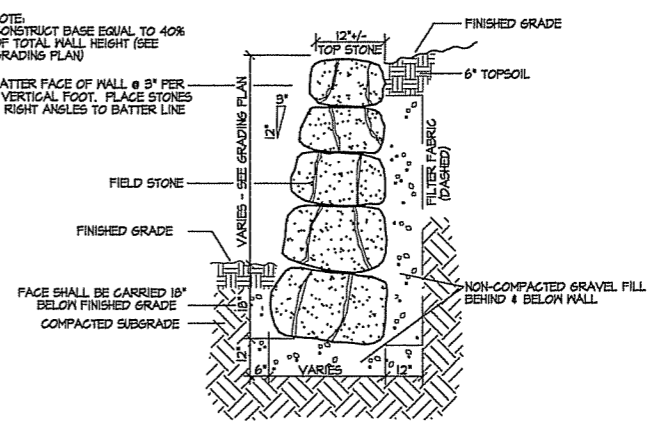
- NOTES:
- 1 PATIO AT GRADE-SEE ARCHITECTURAL
 - 2 CAST IN PLACE CURB AND GUTTER-6" CONC. CURB/1" GUTTER PAN
 - 3 PROPERTY LINE (TYP.)
 - 4 ACCESSIBLE ROUTE (DASHED) W/LANDINGS AND RAILS BOTH SIDES PER Wis. ADMIN. CODE
 - 5 PROPOSED FIRE HYDRANT
 - 6 PRECAST PAVERS FOR INFILTRATION (HATCHED)-UNI "ECO STONE" OR EQUAL, COLOR BY ARCHITECT SEE 4/C-2
 - 7 FIELDSTONE RETAINING WALL SYSTEM-SEE DETAIL 3/C-3
 - 8 DOWNSPOUT LOCATION -SEE ARCHITECTURAL, DRAINTILE CONNECT TO STORMWATER SYSTEM
 - 9 SUBSOIL DRAIN TILE SYSTEM-SEE DETAIL 2/C-3



2 SUBSOIL DRAIN TILE DETAIL
 NTS

NOTE: CONSTRUCT BASE EQUAL TO 40% OF TOTAL WALL HEIGHT (SEE GRADING PLAN)

BATTER FACE OF WALL @ 3" PER VERTICAL FOOT. PLACE STONES @ RIGHT ANGLES TO BATTER LINE



3 FIELD STONE RETAINING WALL
 NTS

STORM SEWER PIPE SCHEDULE:

PIPE NUMBER	LENGTH	SLOPE (%)	PIPE SIZE	TYPE
P-1	23.00'	1/8"/FT.	8"	PVC
P-2	25.25'	1/8"/FT.	8"	PVC
P-3	64.56'	1/8"/FT.	10"	PVC
P-4	82.18'	1/8"/FT.	10"	PVC
P-5	32.18'	1/8"/FT.	12"	PVC

STORM SEWER STRUCTURE SCHEDULE:

STRUCTURE NUMBER	TYPE	TOP OF CASTING	INLET INVERT	DISCHARGE INVERT
S-1	3' CB WINLET	22.25	24.25	24.55
S-2	3' CB WINLET	28.63	24.25	24.00
S-3	3' CB WINLET	25.25	22.95	23.10
S-4	3' CB WINLET	26.08	22.20	22.20
S-5	3' CB WINLET	24.11	21.34	21.34
S-6	OUTFALL	22.5	21.00	

4 UTILITY DATA/SCHEDULE

- Notes
- GENERAL UTILITY NOTES:
- UTILITY CONTRACTOR SHALL OBTAIN CONNECTION PERMIT AND EXCAVATION PERMIT PRIOR TO COMMENCING THE STORM SEWER CONSTRUCTION.
 - ALL SUBSURFACE GARAGE CATCH BASINS, SHALL BE DRAINED TO SANITARY SEWER AND INSTALLED PER DEPT. OF COMMERCE REQUIREMENTS.
 - THE DEVELOPERS UTILITY CONTRACTOR SHALL OBTAIN CONNECTION PERMITS AND EXCAVATION PERMITS FROM THE CITY FOR ALL PROPOSED CONNECTION WITH THE PUBLIC RIGHT-OF-WAY.
 - GENERAL CONTRACTOR AND/OR PLUMBING CONTRACTOR RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS FOR SITE AND BUILDING PLUMBING, INCLUDING SEWER, AND WATER LATERALS.
 - CONTRACTORS SHALL VERIFY IN THE FIELD SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.
 - ALL SANITARY LATERALS, WASTE SERVICES, STORM SEWER AND STORM STRUCTURES SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS OF PUBLIC WORKS CONSTRUCTION.

- GENERAL GRADING NOTES:
- MAXIMUM SLOPE AT ALL HANDICAP ACCESSIBLE WALKS 1:20. MAXIMUM SLOPE AT HANDICAP RAMPS 1:12. RAMPS OVERCOMING MORE THAN 6" CHANGE IN ELEVATION TO HAVE HANDRAILS ON BOTH SIDES AND LANDINGS PER ADA REQUIREMENTS.
 - ALL STAIRS OF MORE THAN (3) RISERS TO HAVE HANDRAILS ON BOTH SIDES PER I.B.C. SECT. 1009.5.3.1, AND GUARDRAILS PER I.B.C. SECT. 1009.2.12
 - EXISTING TOPOGRAPHY OBTAINED FROM JENKINS SURVEYING.

100% REVIEW

Revisions
 March 9, 2005 - ISSUED FOR ZONING (UDC)
 April 19, 2005 - ISSUED FOR ZONING (ZONING)

Project Title
24-Unit Condominium Development--
 City of Madison

Drawing Title
Site Grading/Utility Plan and Details

Consultants

LANDSCAPE REQUIREMENT CHART

I. NUMBER OF TREES REQUIRED:
 The number of trees required for a parking lot is based on the number of parking stalls.
 Using the Schedule for Required Trees on the worksheet, determine the number of trees required.

Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (500) square feet. This converts area to stalls. (Example: 10000 square feet is equivalent to (20) stalls or (3) trees and (160) points).

NUMBER OF PARKING STALLS	15
TOTAL SQUARE FOOTAGE OF THE STORAGE AREA	0
DIVIDED BY THREE HUNDRED (300) SQUARE FEET	1
NUMBER OF CANOPY SHADE TREES REQUIRED (2'-2 1/2' CALIPER) (60% of requirement above)	0

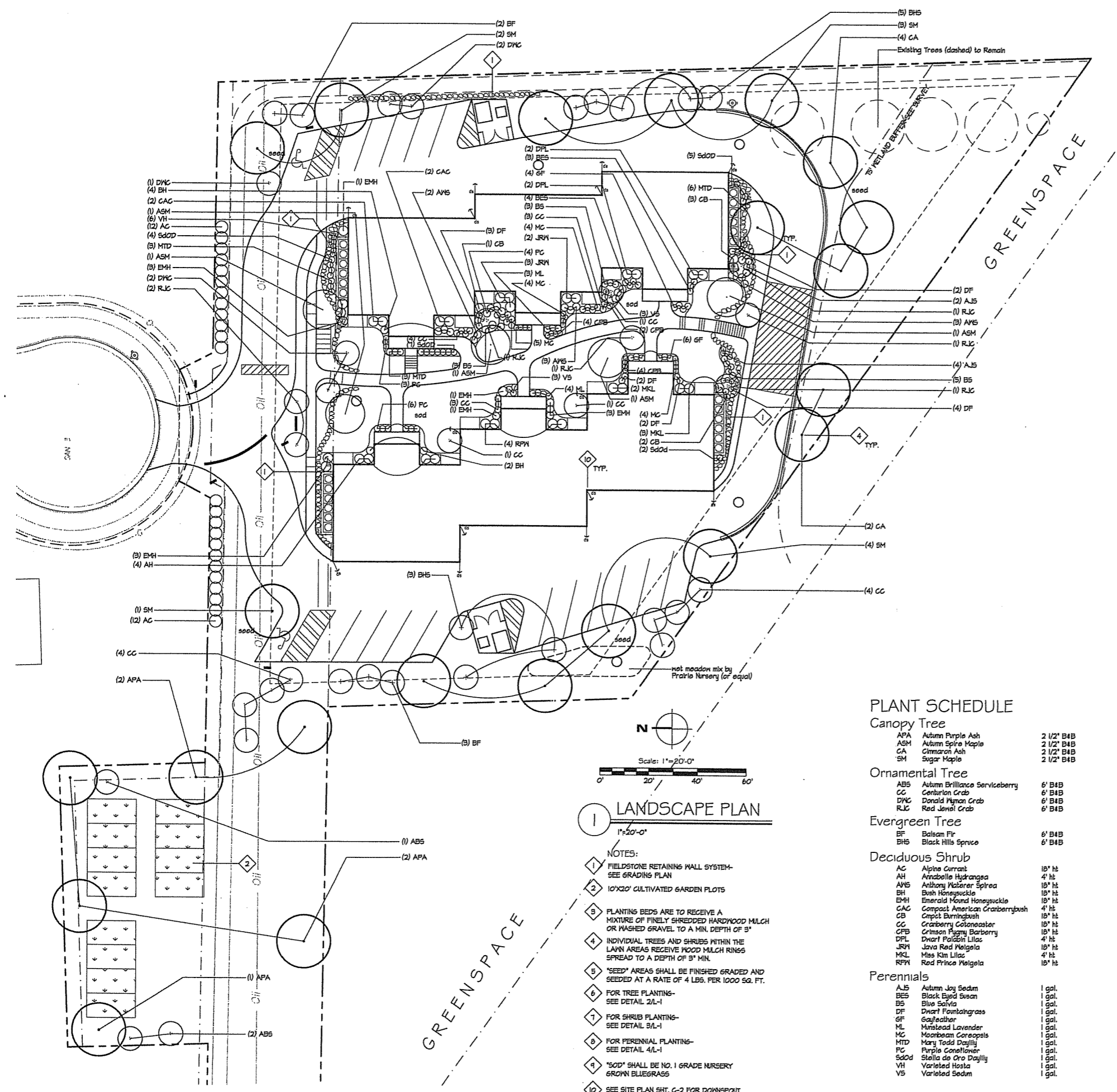
II. NUMBER OF TREES REQUIRED:
 The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the worksheet, determine the number of points required. (Example: 415 points are required for 10 stalls). A point fraction of (1/3) or less may be disregarded, while a fraction in excess of (1/3) must be counted as one point. Thus: 415 points would be rounded down to 410 points required. The number of points required for loading areas is (75) points for each loading berth.

NUMBER OF POINTS REQUIRED	75.0
Manufacturing / Industrial (60% of requirement above)	0

III. TABULATION OF POINTS AND CREDITS
 Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	CREDITS	QUANT.	POINTS
Canopy Tree - 2' - 2 1/2"	35	16	560			
Deciduous Shrub	2					
Evergreen Shrub	3					
Decorative Wall or Fence (per 10 L.F.)	5					
Earth Berm (per 10 L.F.)	5					
Ave. Height 30"						
Ave. Height 15"						
Evergreen Trees 3' - 11' height min.	15	14	210			
Canopy Tree or Small tree 1 1/2" - 2" Cal.	15	10	150			
TOTAL			920			

Notes

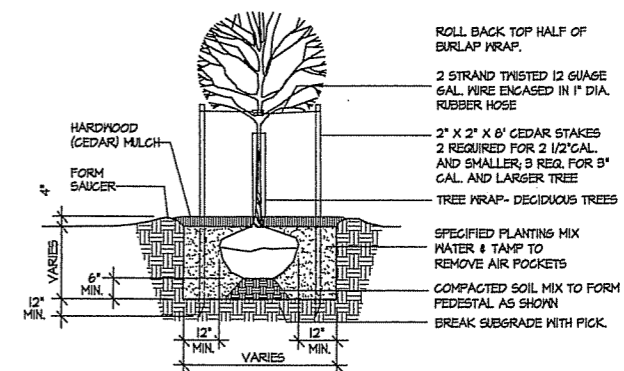


LANDSCAPE PLAN
 1"=20'-0"

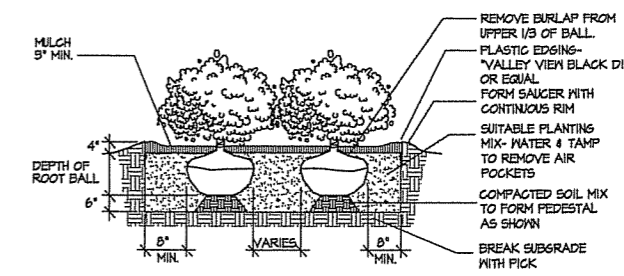
- NOTES:
- FIELDSTONE RETAINING WALL SYSTEM-SEE GRADING PLAN
 - 10'X20' CULTIVATED GARDEN PLOTS
 - PLANTING BEDS ARE TO RECEIVE A MIXTURE OF FINELY SHREDDED HARDWOOD MULCH OR WASHED GRAVEL TO A MIN. DEPTH OF 3"
 - INDIVIDUAL TREES AND SHRUBS WITHIN THE LAWN AREAS RECEIVE WOOD MULCH RINGS SPREAD TO A DEPTH OF 3" MIN.
 - "SEED" AREAS SHALL BE FINISHED GRADED AND SEEDED AT A RATE OF 4 LBS. PER 1000 SQ. FT.
 - FOR TREE PLANTING-SEE DETAIL 2/L-1
 - FOR SHRUB PLANTING-SEE DETAIL 3/L-1
 - FOR PERENNIAL PLANTING-SEE DETAIL 4/L-1
 - "SOD" SHALL BE NO. 1 GRADE NURSERY GROWN BLUEGRASS
 - SEE SITE PLAN SHT. C-2 FOR DOWNPOUT LOCATIONS

PLANT SCHEDULE

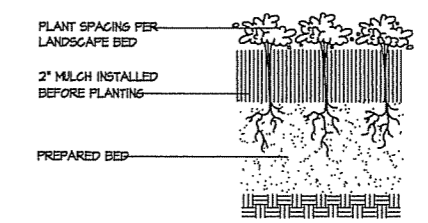
Canopy Tree		
APA Autumn Purple Ash	2 1/2" B4B	
ASM Autumn Spire Maple	2 1/2" B4B	
CA Cinnamon Ash	2 1/2" B4B	
SM Sugar Maple	2 1/2" B4B	
Ornamental Tree		
ABS Autumn Brilliance Serviceberry	6' B4B	
CC Centurion Crab	6' B4B	
DMC Donald Wyman Crab	6' B4B	
RJC Red Jewel Crab	6' B4B	
Evergreen Tree		
BF Balsam Fir	6' B4B	
BHS Black Hills Spruce	6' B4B	
Deciduous Shrub		
AC Alpine Currant	18" ht	
AH Arizabella Hydrangea	4' ht	
AHS Anthony Waterer Spirea	18" ht	
BH Bush Honeysuckle	18" ht	
EMH Emerald Mound Honeysuckle	18" ht	
CAC Compact American Cranberrybush	4' ht	
CB Compact Burningbush	18" ht	
CC Cranberry Colonaster	18" ht	
CFB Crimson Flame Barberry	18" ht	
DPL Dwarf Pigeon Lilac	4' ht	
JRM Java Red Weigela	18" ht	
MKL Miss Kim Lilac	4' ht	
RPM Red Prince Weigela	18" ht	
Perennials		
AJS Autumn Joy Sedum	1 gal.	
BES Black Eyed Susan	1 gal.	
BS Blue Salvia	1 gal.	
DF Dwarf Fountaingrass	1 gal.	
GF Gayfeather	1 gal.	
ML Mistleed Lavender	1 gal.	
MC Moroccan Coreopsis	1 gal.	
MTD Mary Todd Daylily	1 gal.	
PC Purple Coneflower	1 gal.	
Sdod Stella de Oro Daylily	1 gal.	
VH Varieled Hosta	1 gal.	
VS Varieled Sedum	1 gal.	



2 TREE PLANTING
 NTS



3 SHRUB PLANTING
 NTS



4 PERENNIAL PLANTING
 NTS

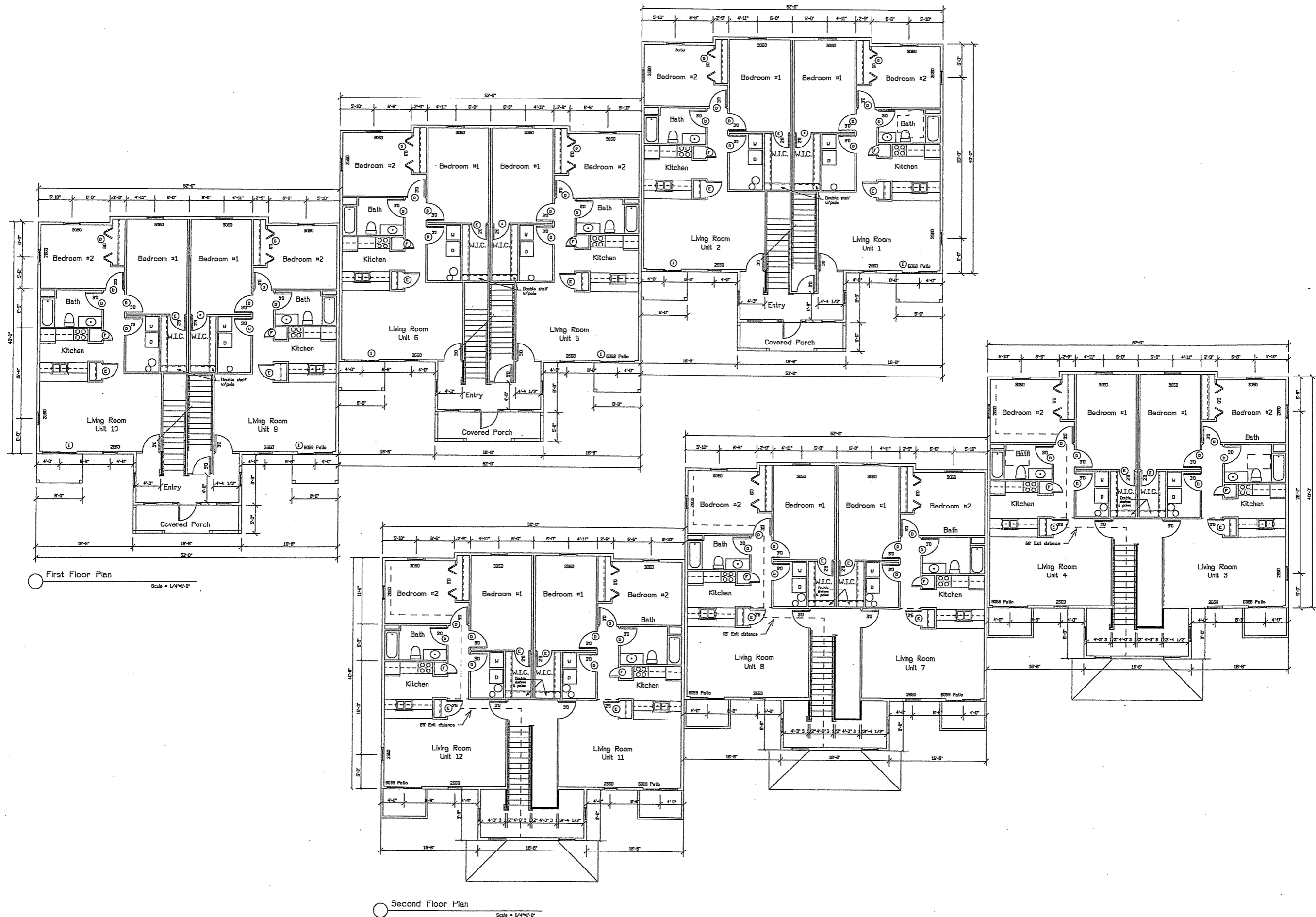
100% REVIEW

Revisions
 March 9, 2005 - ISSUED FOR ZONING (UDC)
 April 13, 2005 - ISSUED FOR ZONING (ZONING)

Project Title
24-Unit Condominium Development--
 City of Madison
 Drawing Title
Landscape Plan and Details

Drawing No.

L-1



Jeffery Groenier, Architect
 830 S. Main Street
 Oregon, WI 53575
 608-835-3196

This document contains confidential or proprietary information of Concepts in Architecture, LLC. Neither this document nor the information herein is to be reproduced, distributed, used, or disclosed without authorization.

Concepts in Architecture, LLC

Proposed for:
Ellefson Construction Company
 1018 Gammon Lane, Suite 100
 Madison, WI 53719
 608-274-1494

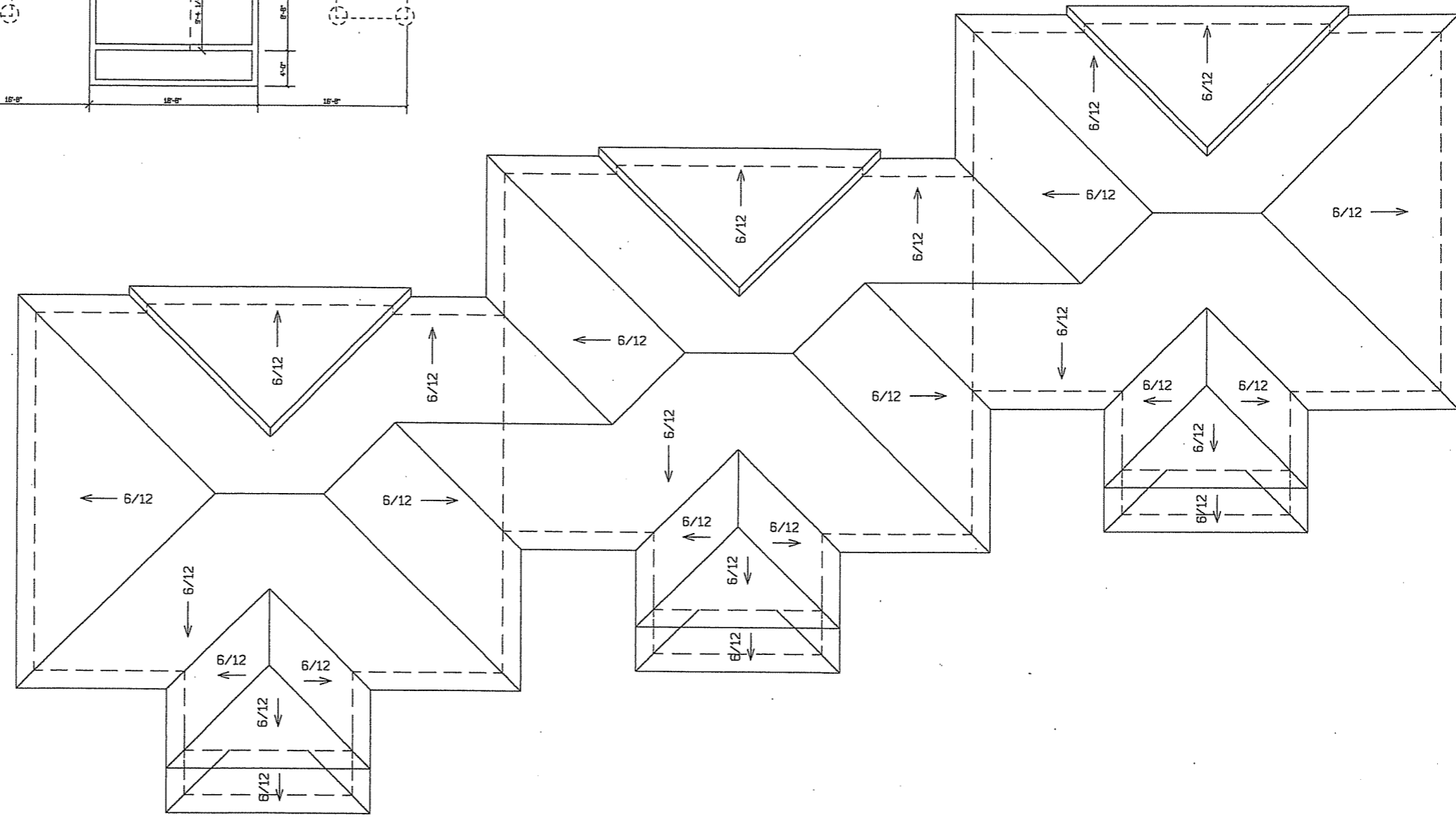
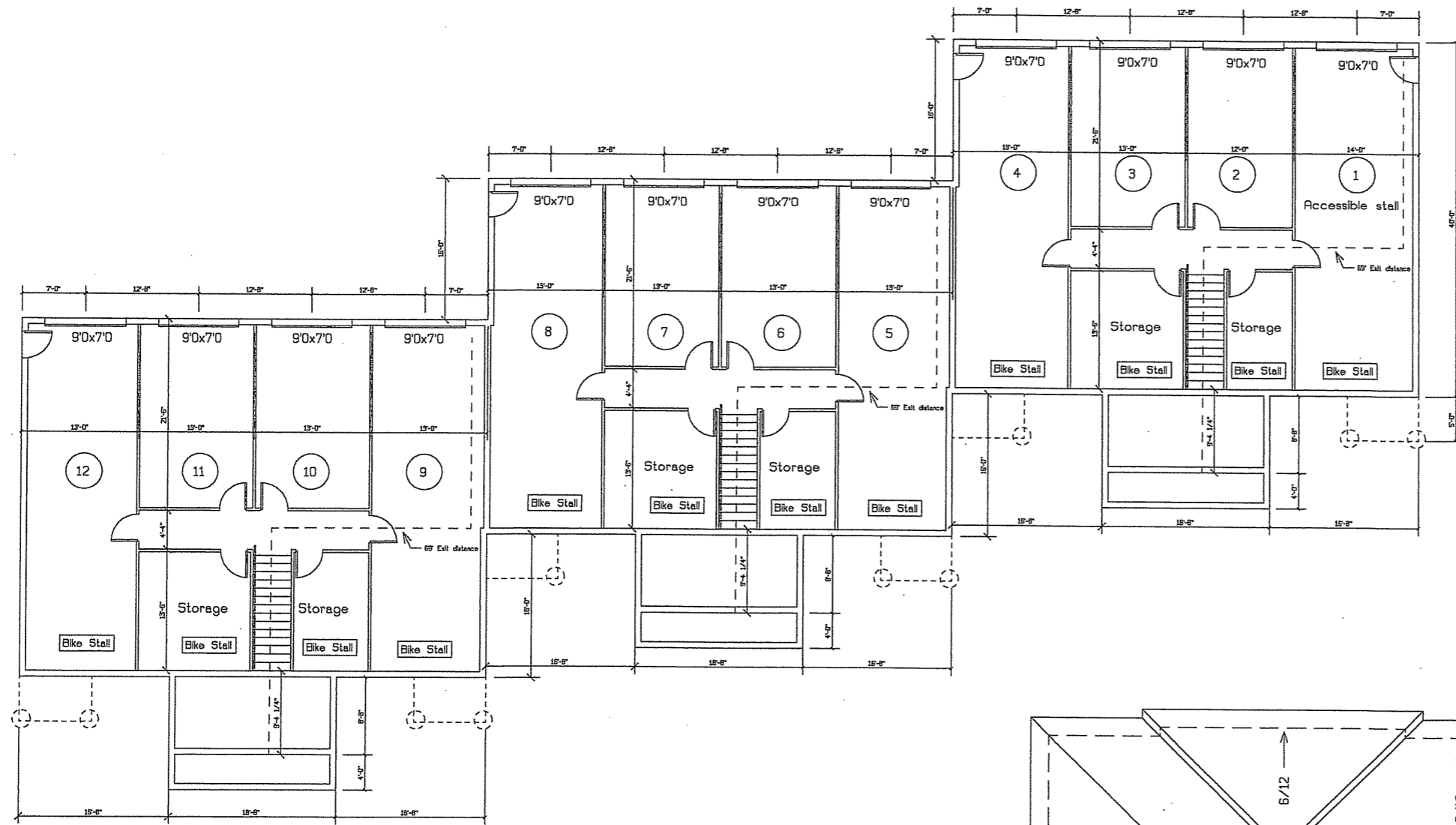
Address:

Project: **12 Unit**
 Address: Madison, WI

Sheet Title: **Floor Plans**

Date: 01-12-05
 Scale: As Noted
 Job #: 05-01

SHEET
1



Jeffery Groenier, Architect
 830 S. Main Street
 Oregon, WI 53575
 608-835-3196

This document contains confidential or proprietary information of Concepts in Architecture, LLC. Neither this document nor the information herein is to be reproduced, distributed, used, or disclosed without authorization.

Concepts
in
Architecture, LLC

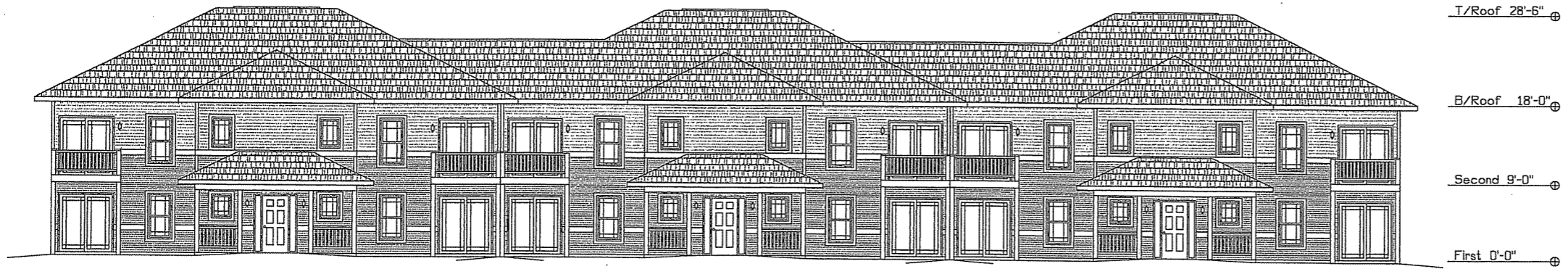
Proposed for:
Ellefson Construction Company
 1018 Cammon Lane, Suite 100
 Madison, WI 53719
 608-274-1494

Project: **12 Unit**
 Address: Madison, WI

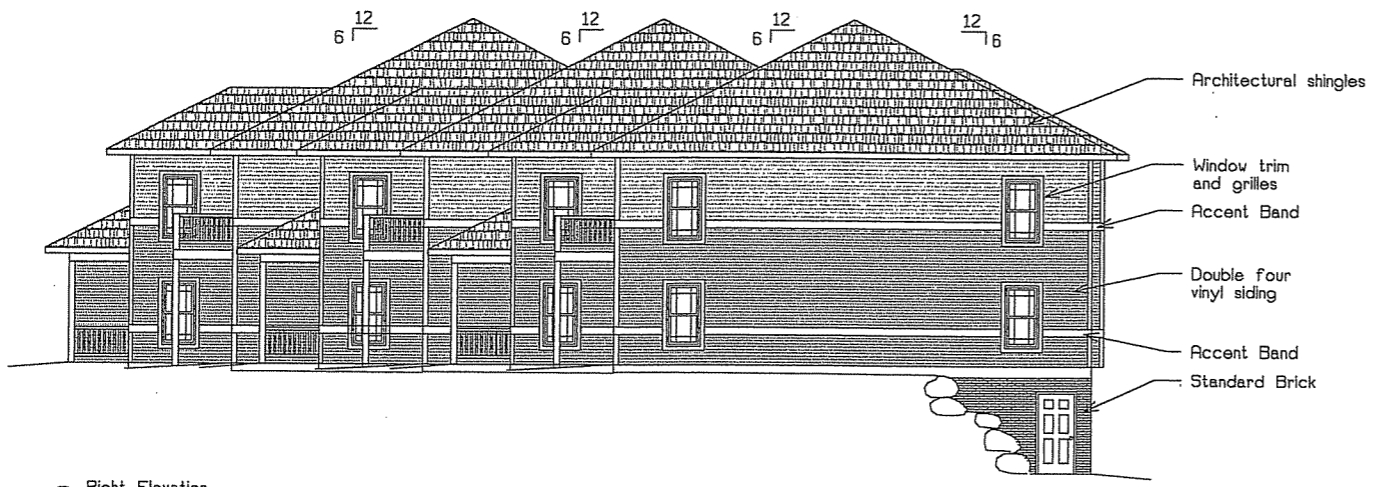
Sheet Title: **Floor Plans**

Date: 01-12-05
 Scale: As Noted
 Job #: 05-01

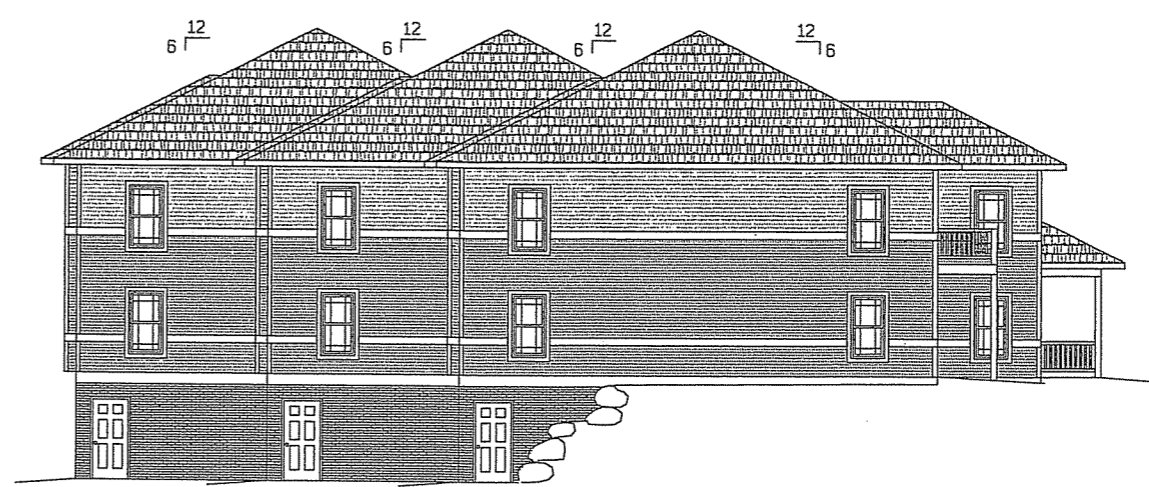
SHEET
2



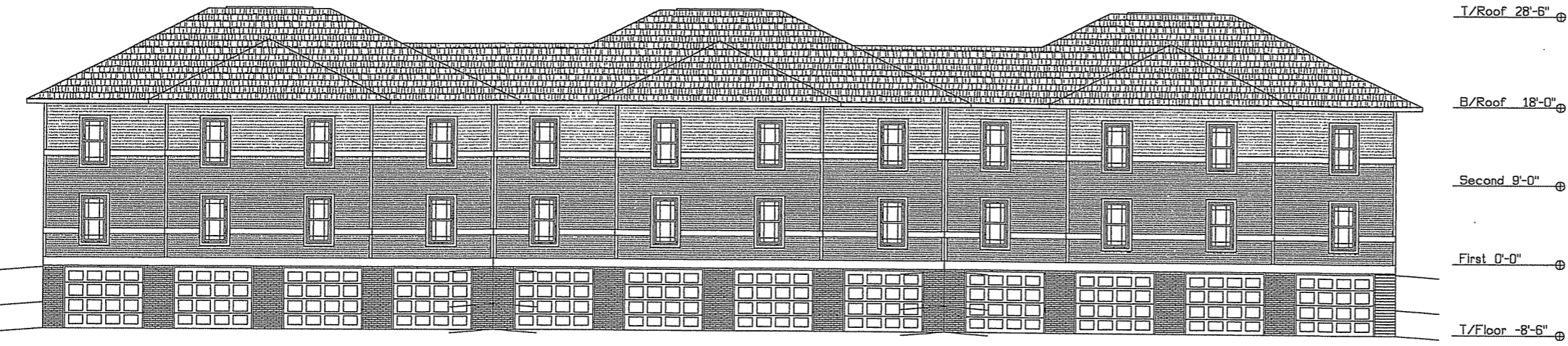
Front Elevation
Scale = 1/4"=1'-0"



Right Elevation
Scale = 1/4"=1'-0"



Left Elevation
Scale = 1/4"=1'-0"



Rear Elevation
Scale = 1/4"=1'-0"

Jeffery Groenier, Architect
830 S. Main Street
Oregon, WI 53575
608-835-3196
This document contains confidential or proprietary information of Concepts in Architecture, LLC. Neither this document nor the information herein is to be reproduced, distributed, used, or disclosed without authorization.

Concepts
Architecture, LLC

Proposed for:
Ellefson Construction Company
1018 Gammon Lane, Suite 100
Madison, WI 53719
608-274-1494
Address:

Project: **12 Unit**
Address: Madison, WI
Sheet Title: **Elevations**

Date: 01-12-05
Scale: As Noted
Job #: 05-01

SHEET
3