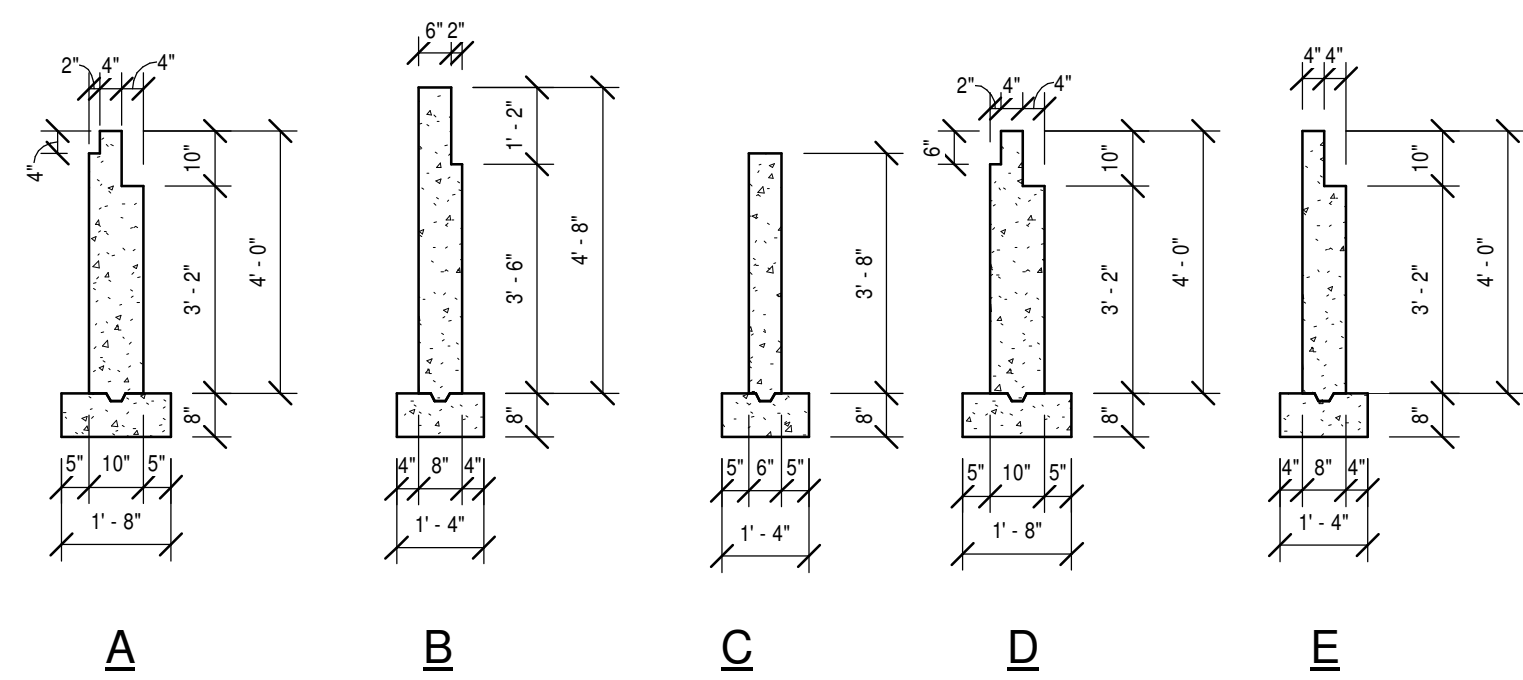
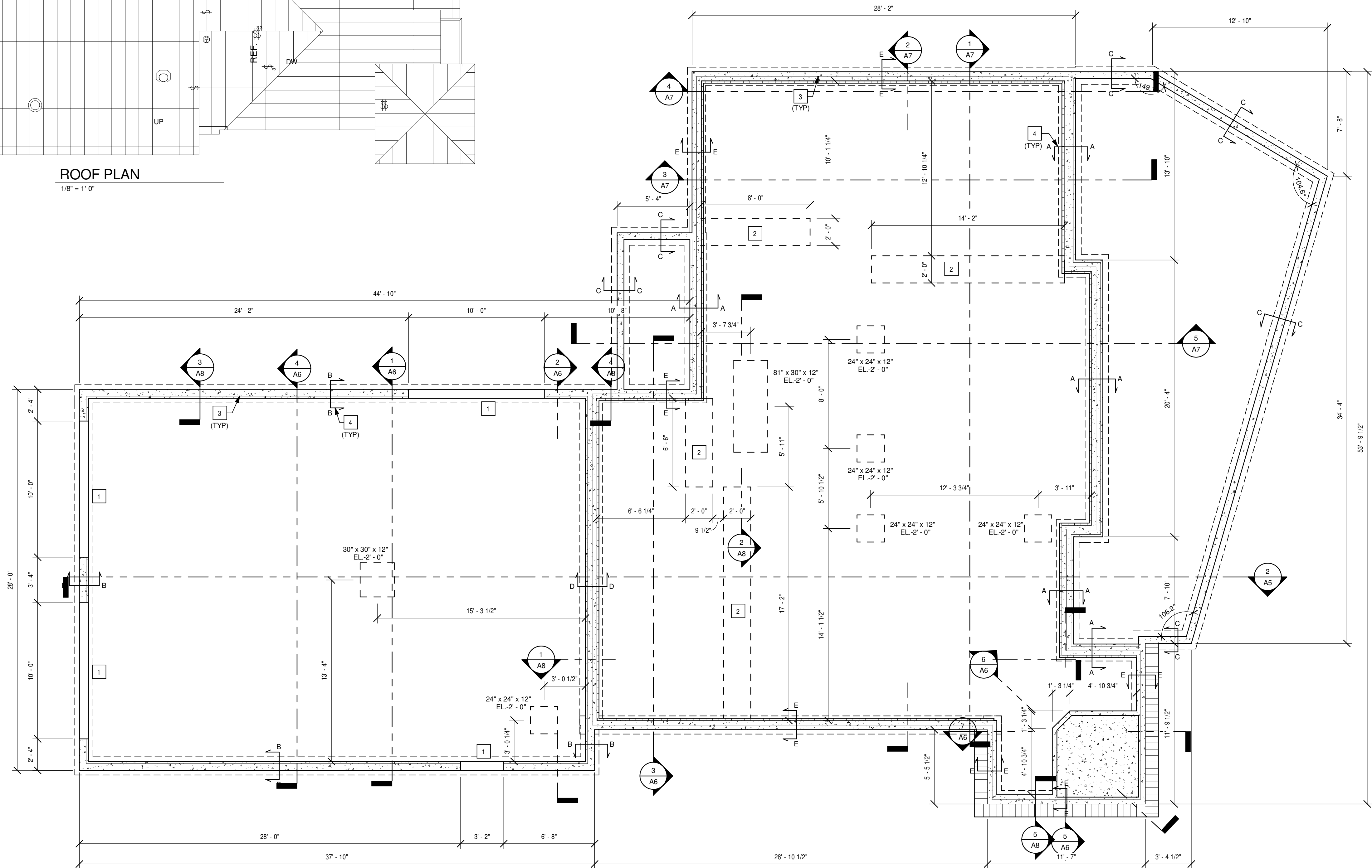


ROOF PLAN
1/8" = 1'-0"



FOUNDATION TYPES
3/8" = 1'-0"



FOUNDATION PLAN
1/4" = 1'-0"

- PLAN NOTES:**
- 1 HOLD DOWN PORTION OF FOUNDATION AS REQUIRED FOR OVERHEAD DOOR.
 - 2 12" DEEP THICKENED SLAB.
 - 3 PROVIDE LEDGE AT TOP OF FOUNDATION WALL FOR CONCRETE SLAB - SEE FOUNDATION TYPES.
 - 4 INDICATES FOUNDATION TYPES - SEE SHEET A1.

REVISIONS		
NO.	DESCRIPTION	DATE

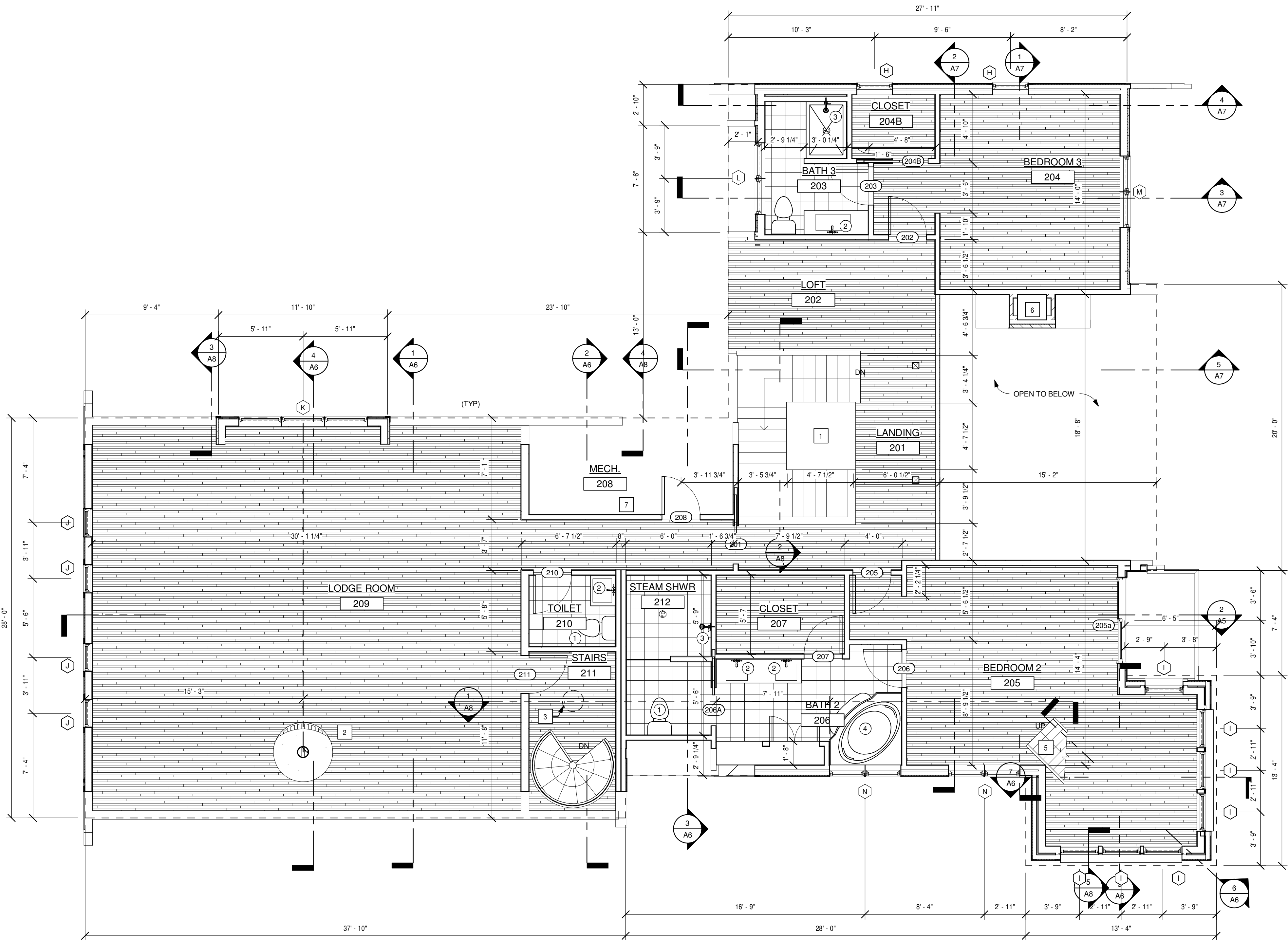

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ARCHITECTURE, INC**
 9088 LIME KILN ROAD
 STURGEON BAY, WI 54235
 920.824.5746
 920.559.0652
 www.virgetemme.com
 e-mail: virge@virgetemme.com

CLIENT
KORB-WILLS RESIDENCE
 5328 LAKE MENDOTA DRIVE, MADISON WI

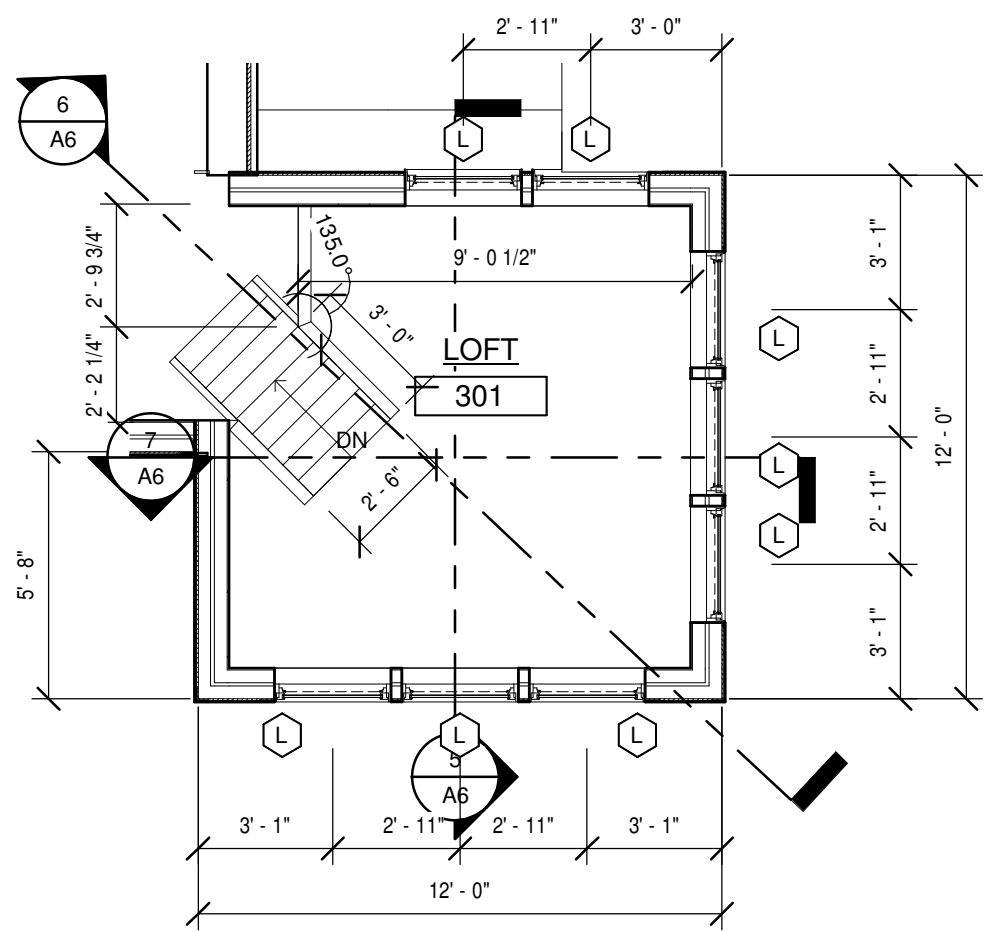
SHEET TITLE
FOUNDATION PLAN

PROJECT NUMBER Project Number	DATE JAN 2, 2013
SCALE As indicated	A1

- PLAN NOTES:
- 1 42" STORAGE CABINET.
 - 2 FREESTANDING FIREPLACE.
 - 3 18" SOLAR TUBE - SEE ROOF PLAN.
 - 4 LINE INDICATES FRAMING EDGE OF WALL BELOW.
 - 5 SHIPS LADDER TO LOFT.
 - 6 FIREPLACE CHASE AND FLUE.
 - 7 LOCATION OF STEAM ROOM EQUIPMENT.



SECOND FLOOR PLAN
1/4" = 1'-0"



LOFT FLOOR PLAN
1/4" = 1'-0"

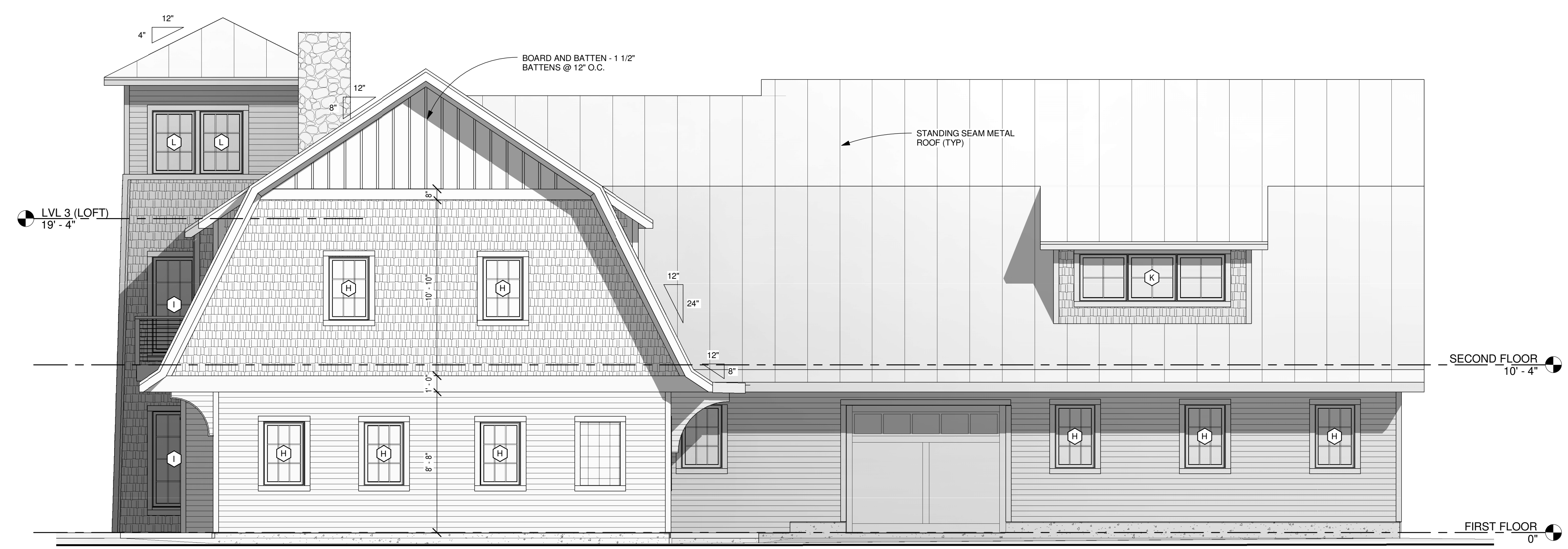
REVISIONS		
NO.	DESCRIPTION	DATE
		
VIRGE TEMME ARCHITECTURE, INC.		
9088 LIME KILN ROAD STURGEON BAY, WI 54235 920.824.5746 www.virgetemme.com e-mail: virge@virgetemme.com		
CLIENT		
KORB-WILLS RESIDENCE		
5328 LAKE MENDOTA DRIVE, MADISON WI		
SHEET TITLE		
SECOND FLOOR PLANS		
PROJECT NUMBER	DATE	
Project Number	JAN 2, 2013	
SCALE	A3	
1/4" = 1'-0"		



WEST ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	DATE



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e-mail: virge@virgetemme.com

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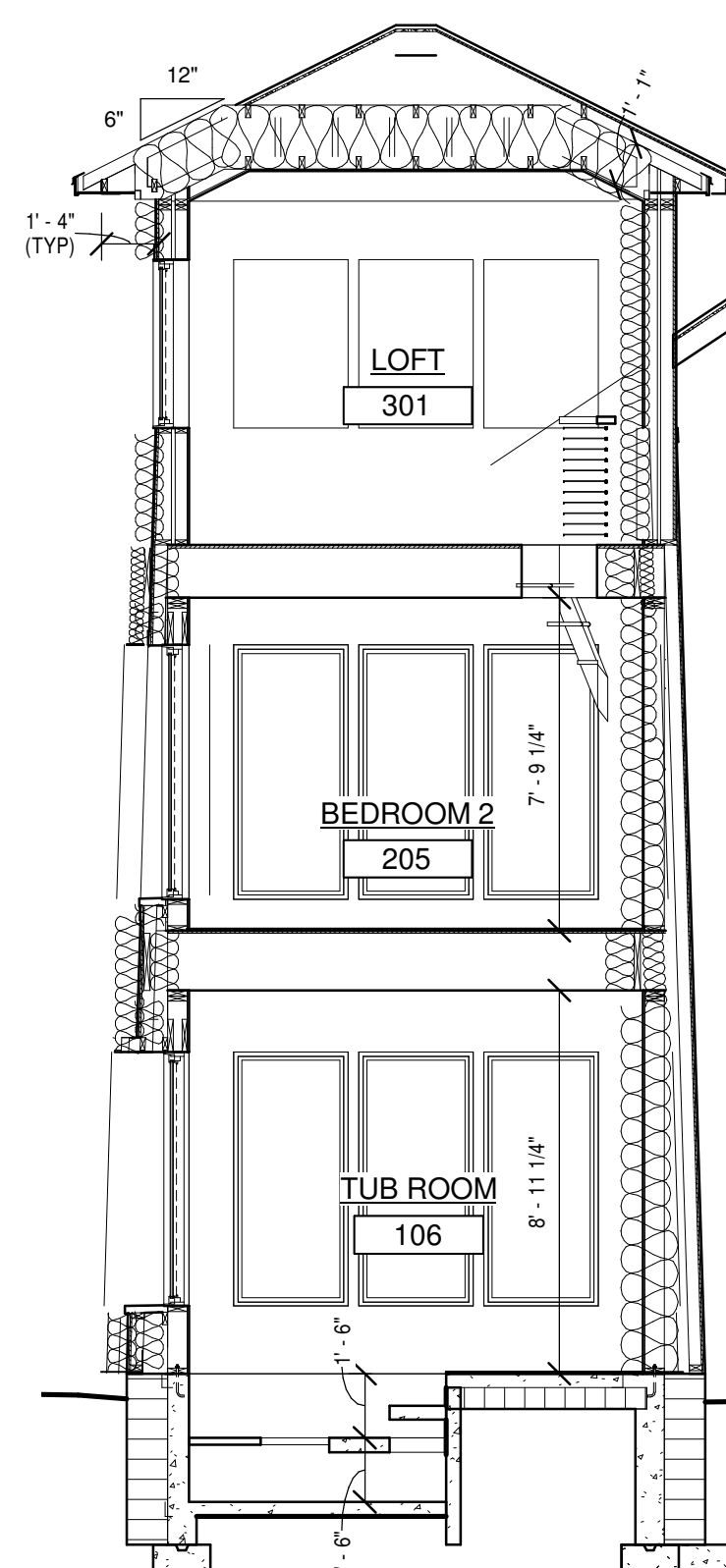
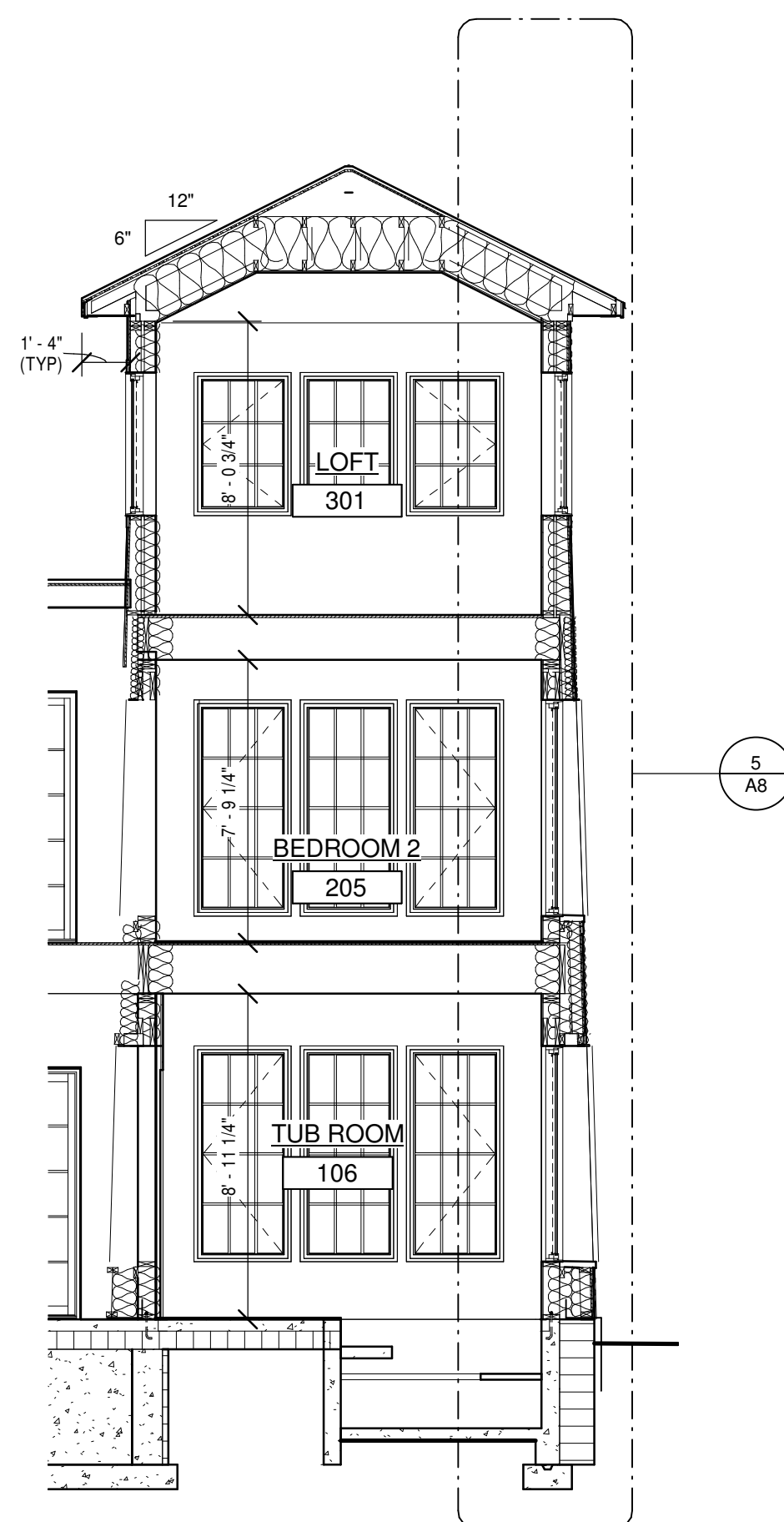
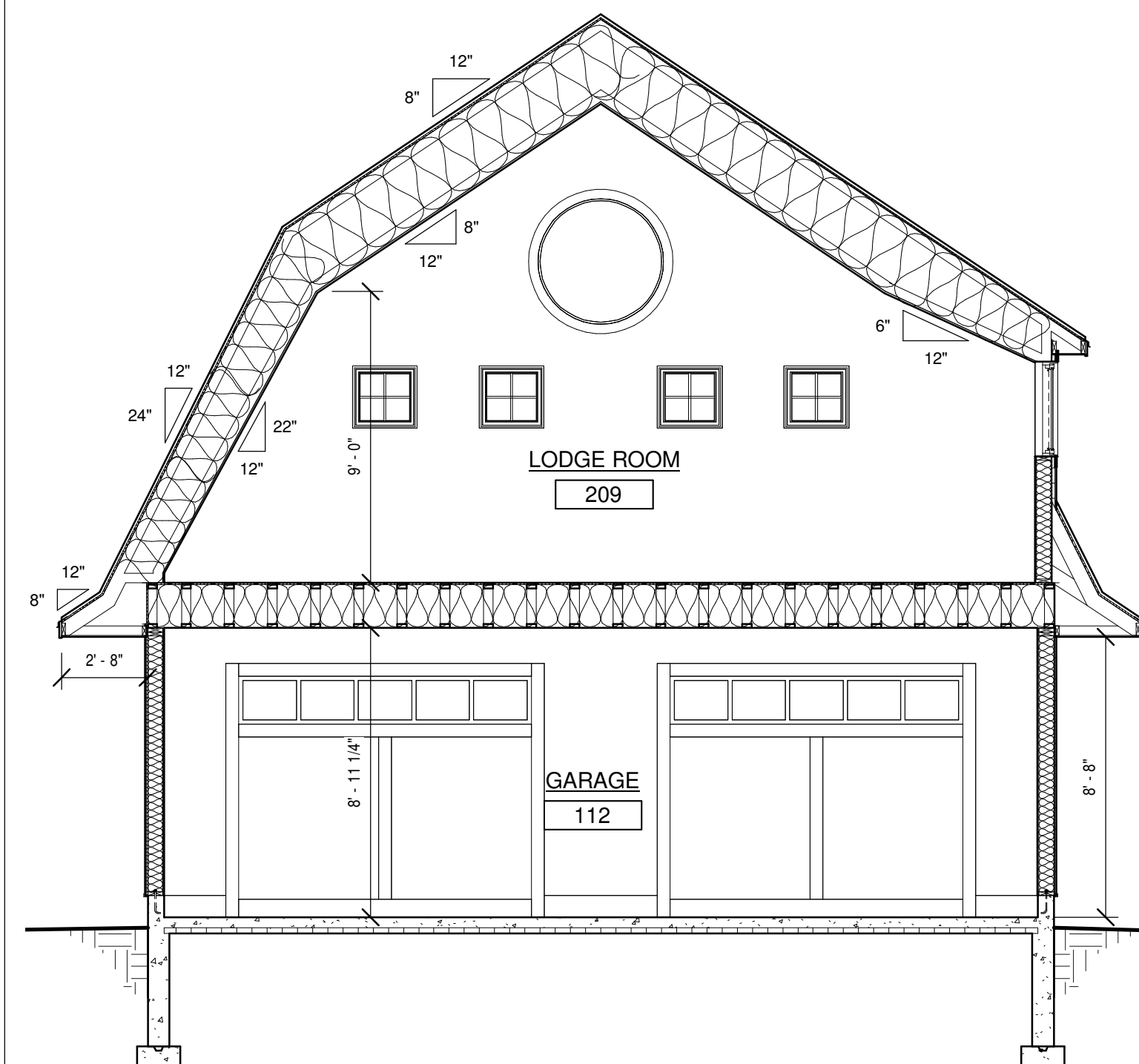
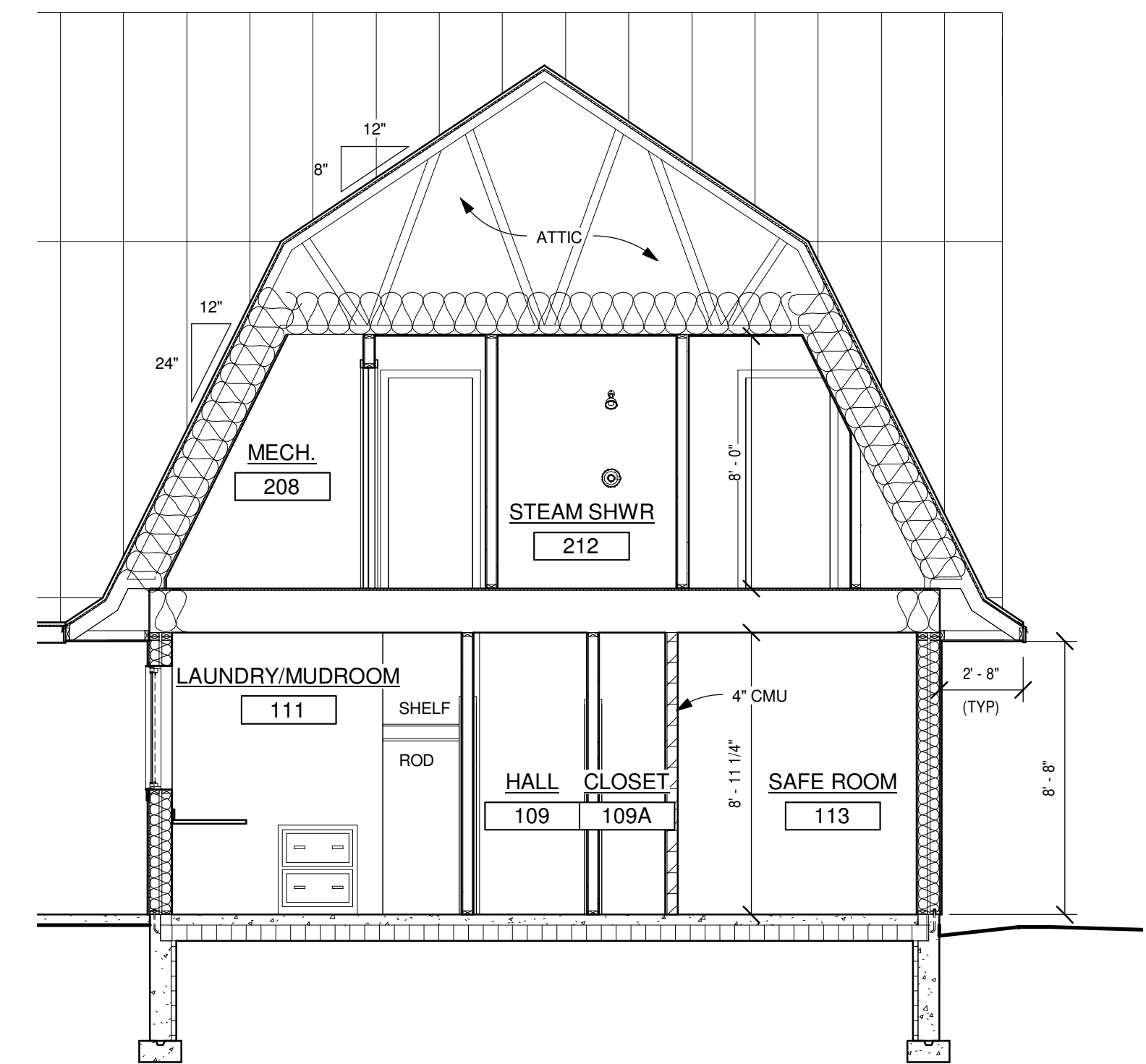
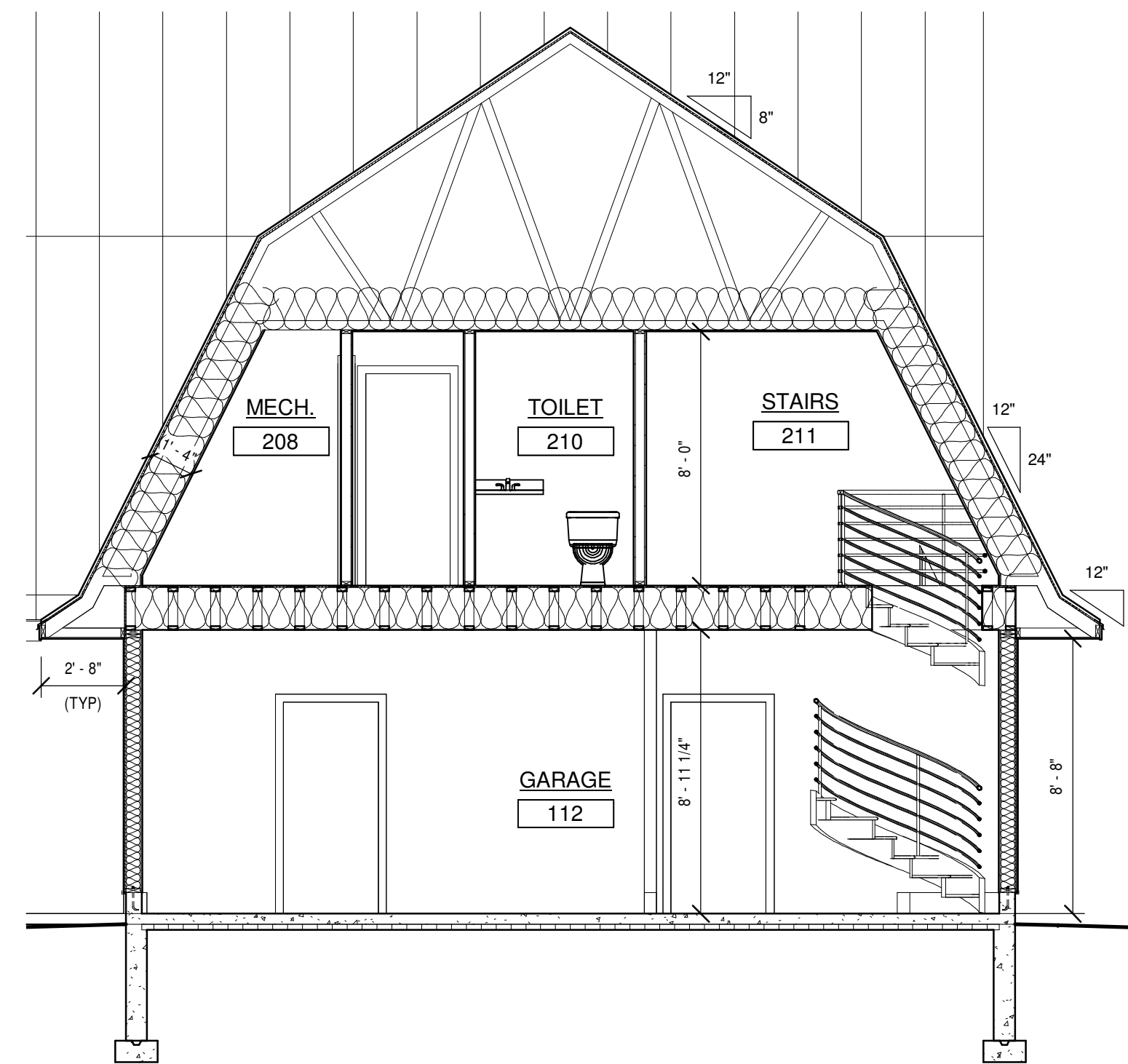
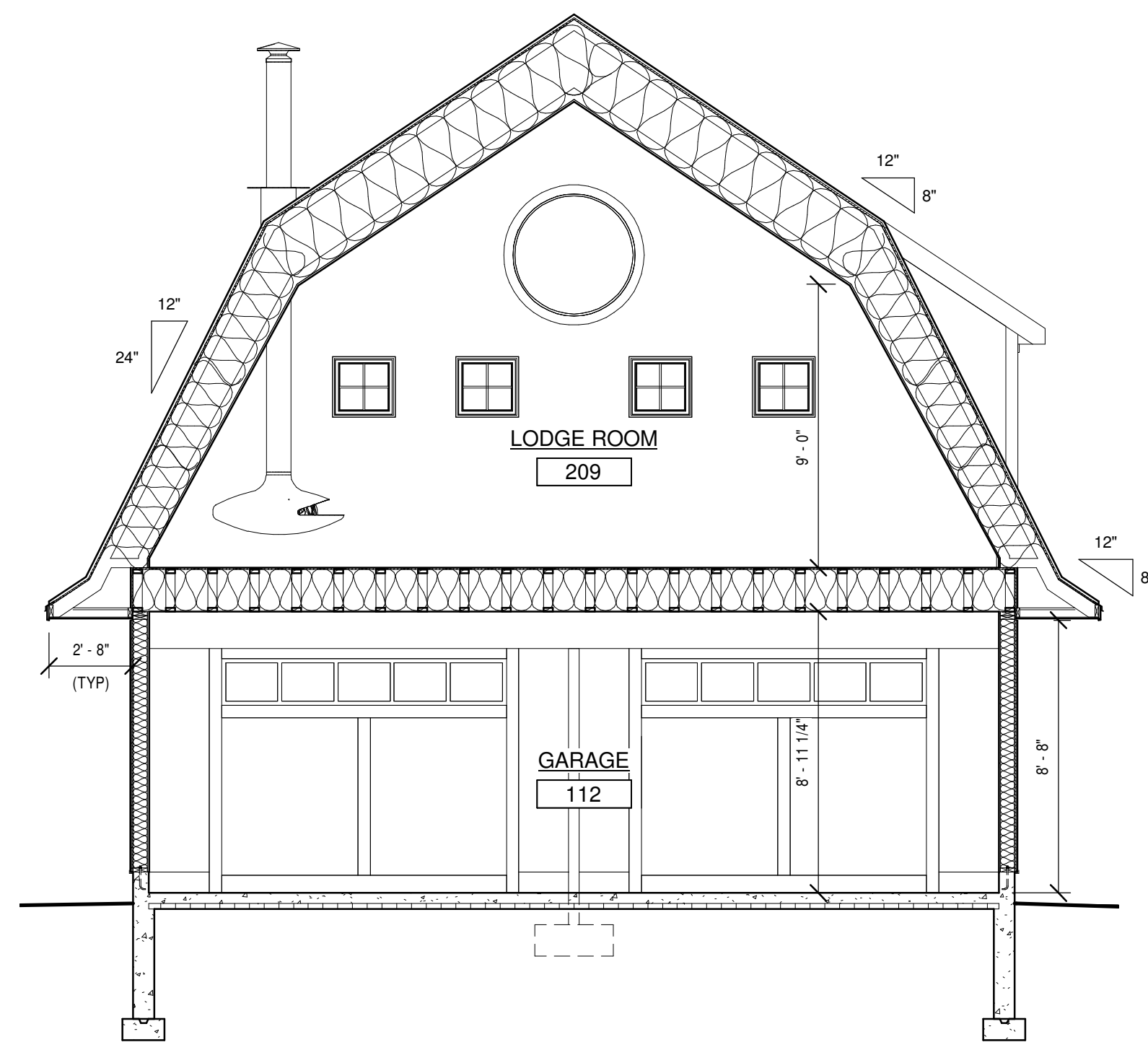
SHEET TITLE
ELEVATIONS

PROJECT NUMBER Project Number	DATE JAN 2, 2013
SCALE 1/4" = 1'-0"	A4

1/2/2013 8:12:22 PM

[illegible]

11/2/2013 8:12:38 PM

[illegible]

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920.559.0652

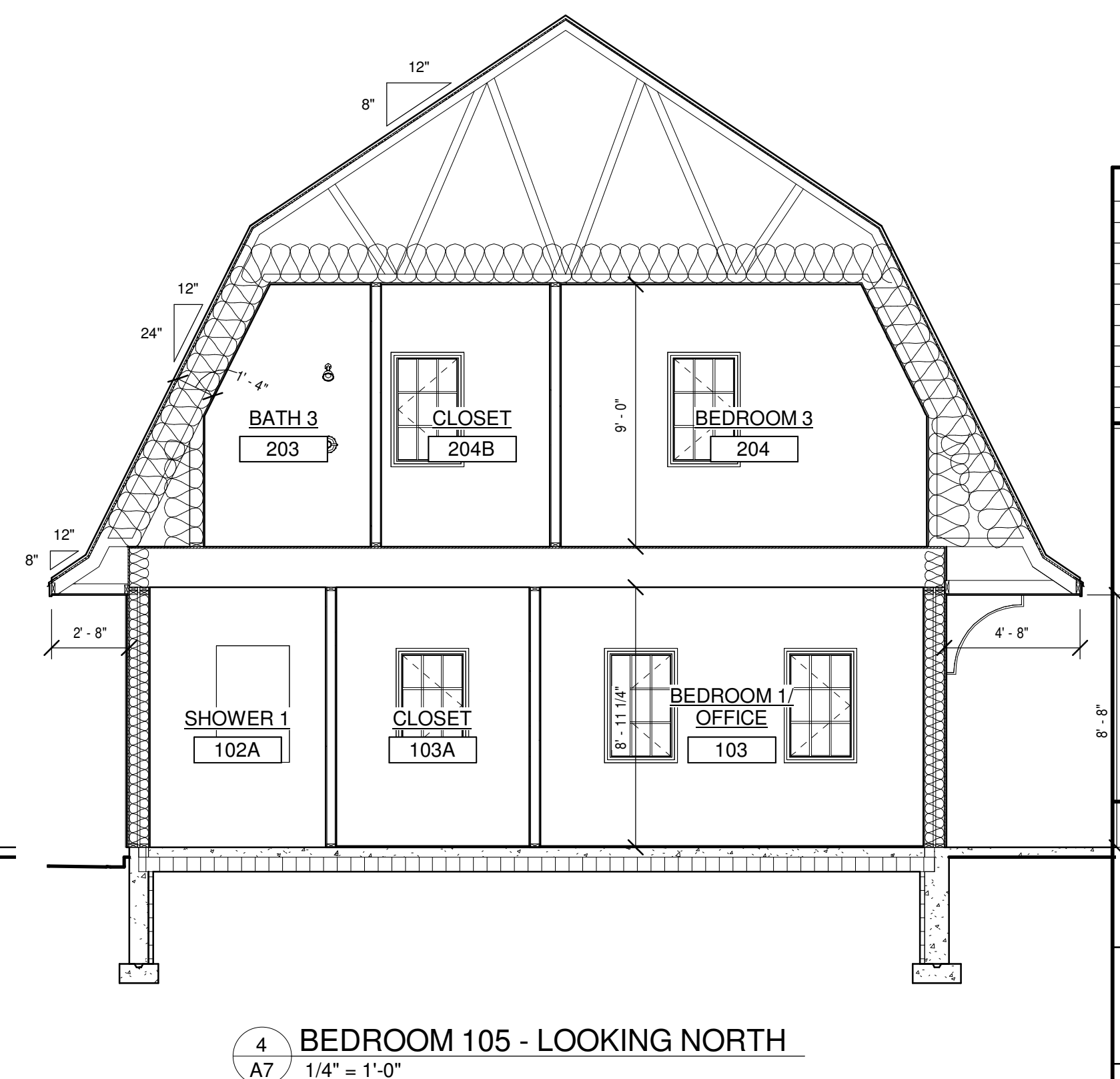
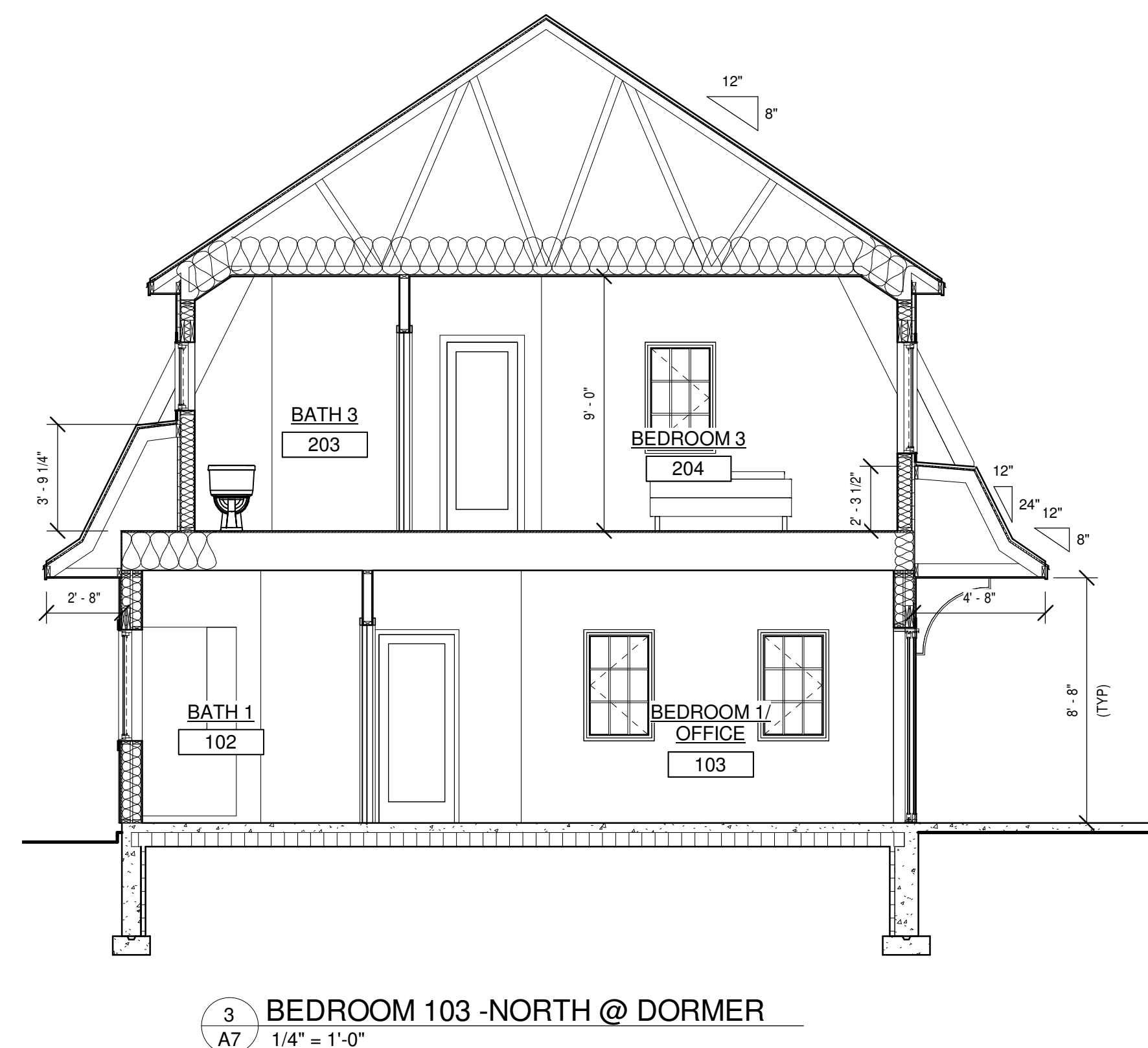
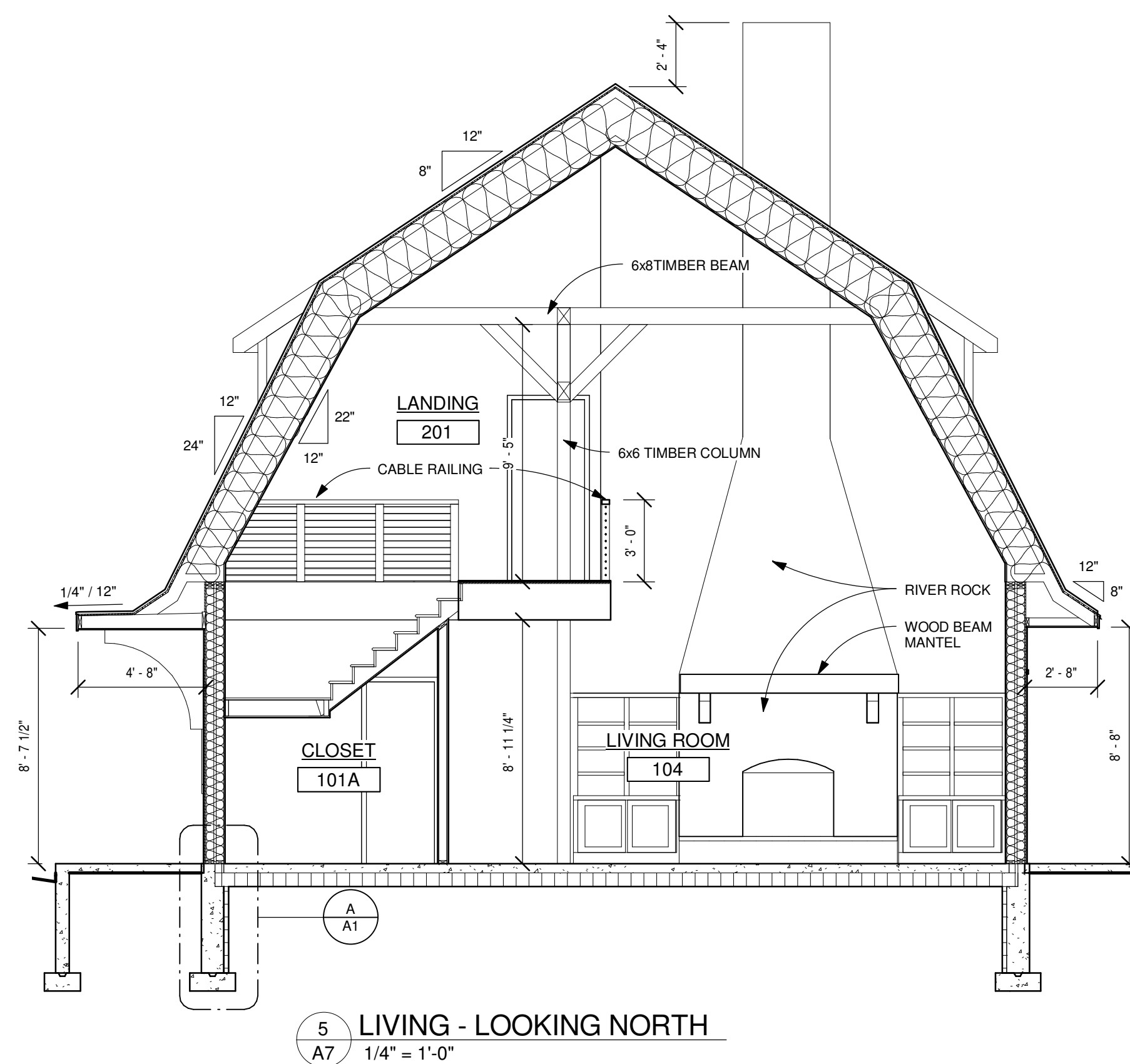
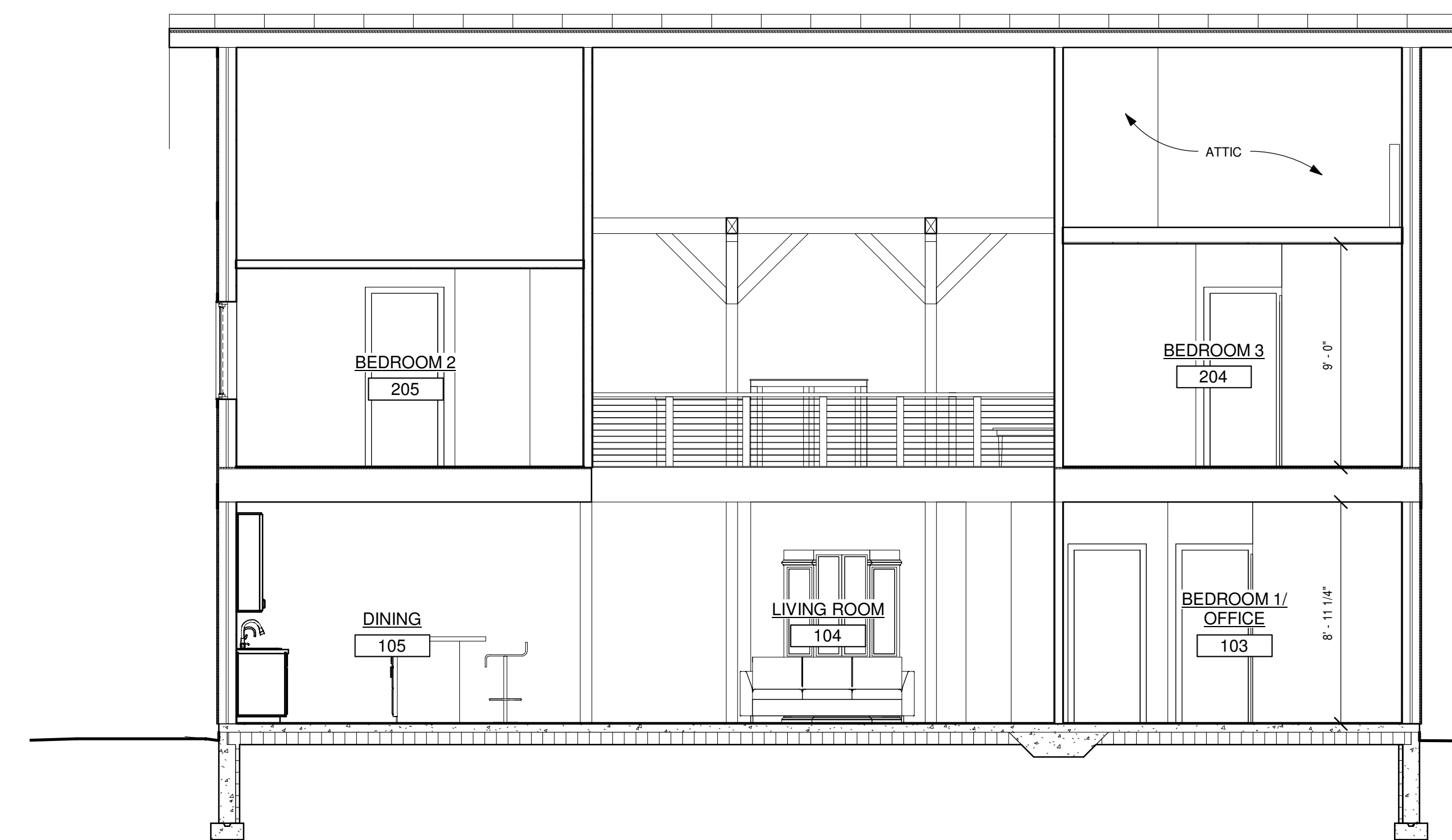
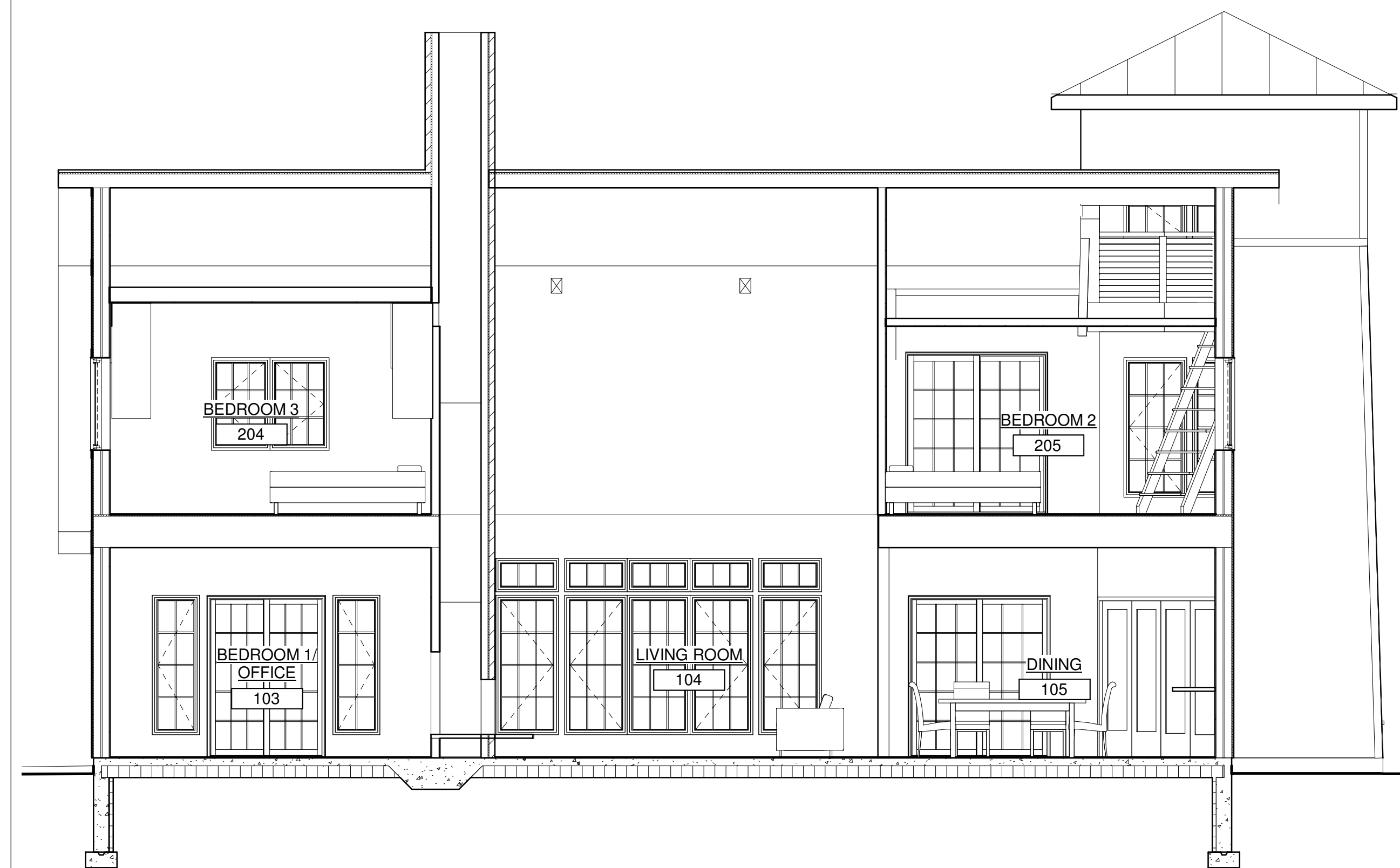
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e-mail: virge@virgetemme.com

CLIENT
KORB-WILLS RESIDENCE
5328 LAKE MENDOTA DRIVE, MADISON WI

SHEET TITLE
BUILDING SECTIONS

<u>PROJECT NUMBER</u> Project Number	<u>DATE</u> JAN 2, 2013
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SCALE 1/4" = 1'-0"	A6
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<u>REVISIONS</u>		
NO.	DESCRIPTION	DATE



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9086 LIME KILN ROAD
STURGEON BAY, WI 54235
920.824.5746
920.559.0652

www.virgetemme.com
e-mail: virge@virgetemme.com

<u>CLIENT</u>
KORB-WILLS RESIDENCE 5328 LAKE MENDOTA DRIVE, MADISON WI

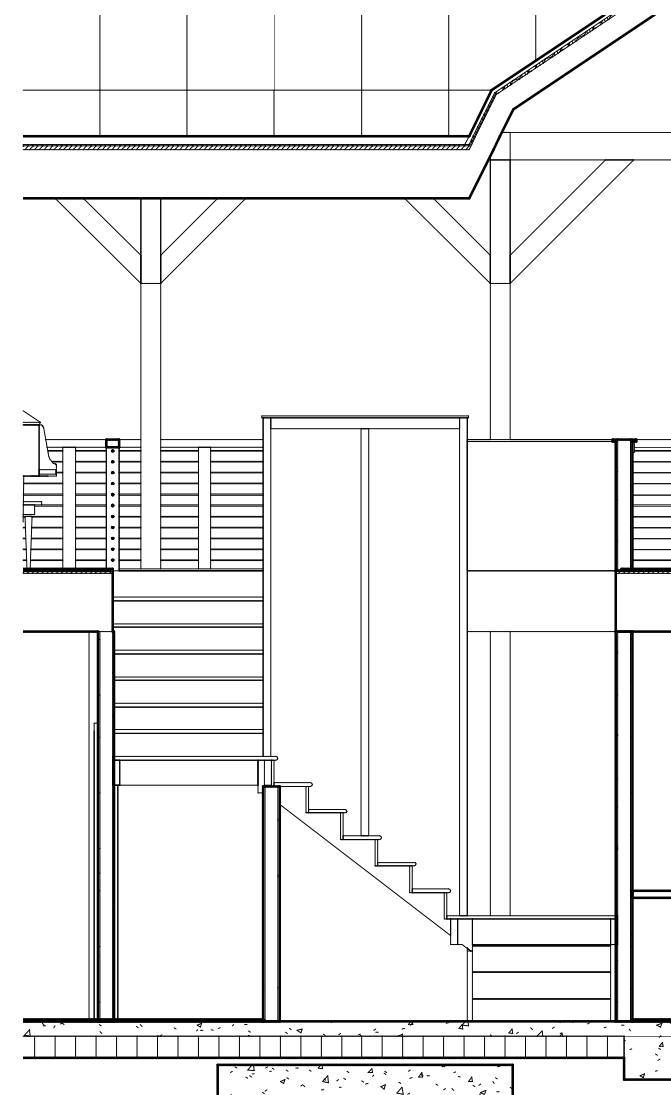
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BUILDING SECTIONS

<u>PROJECT NUMBER</u>	<u>DATE</u>
Project Number	JAN 2, 2013

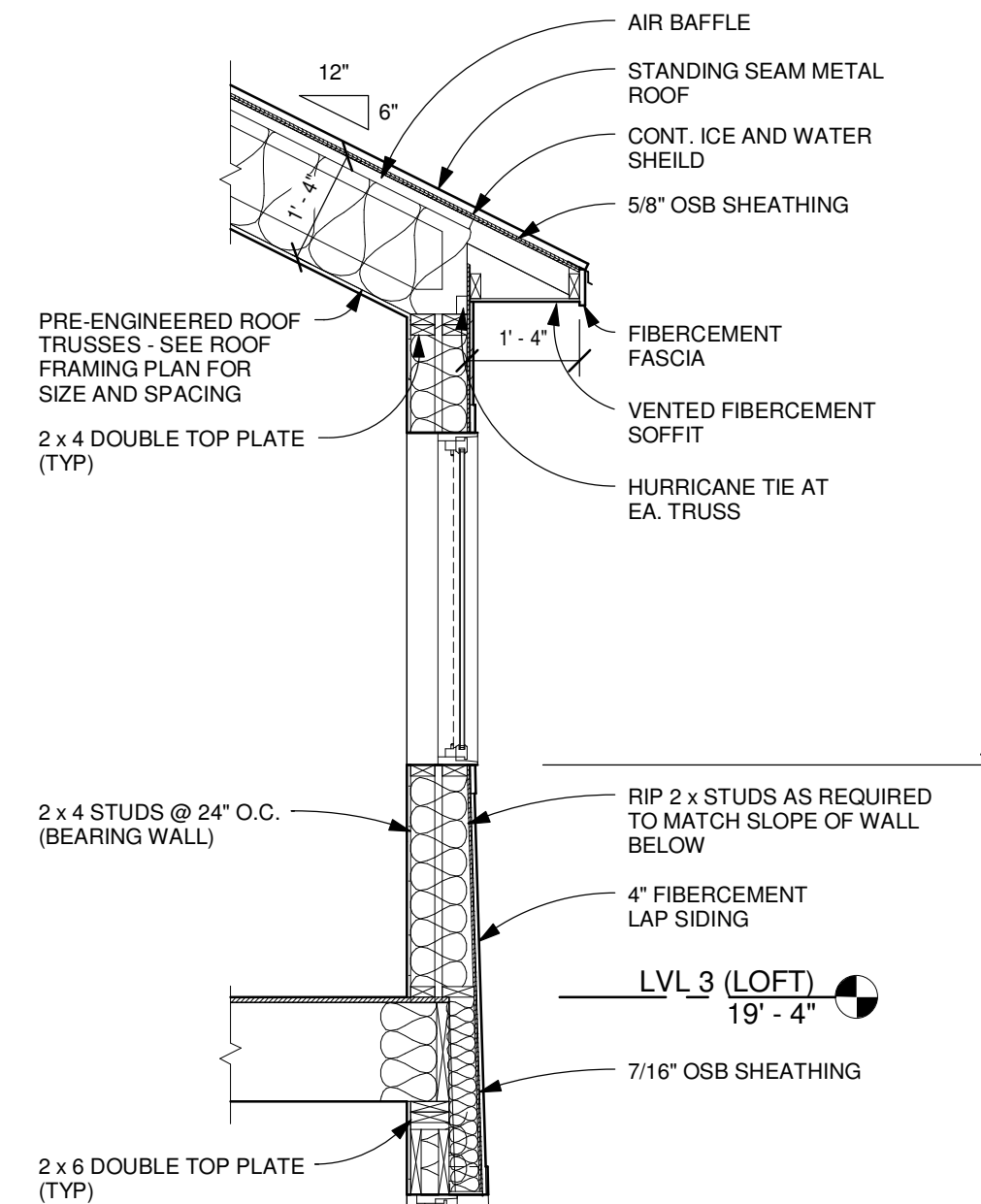
<u>SCALE</u> 1/4" = 1'-0"	A7
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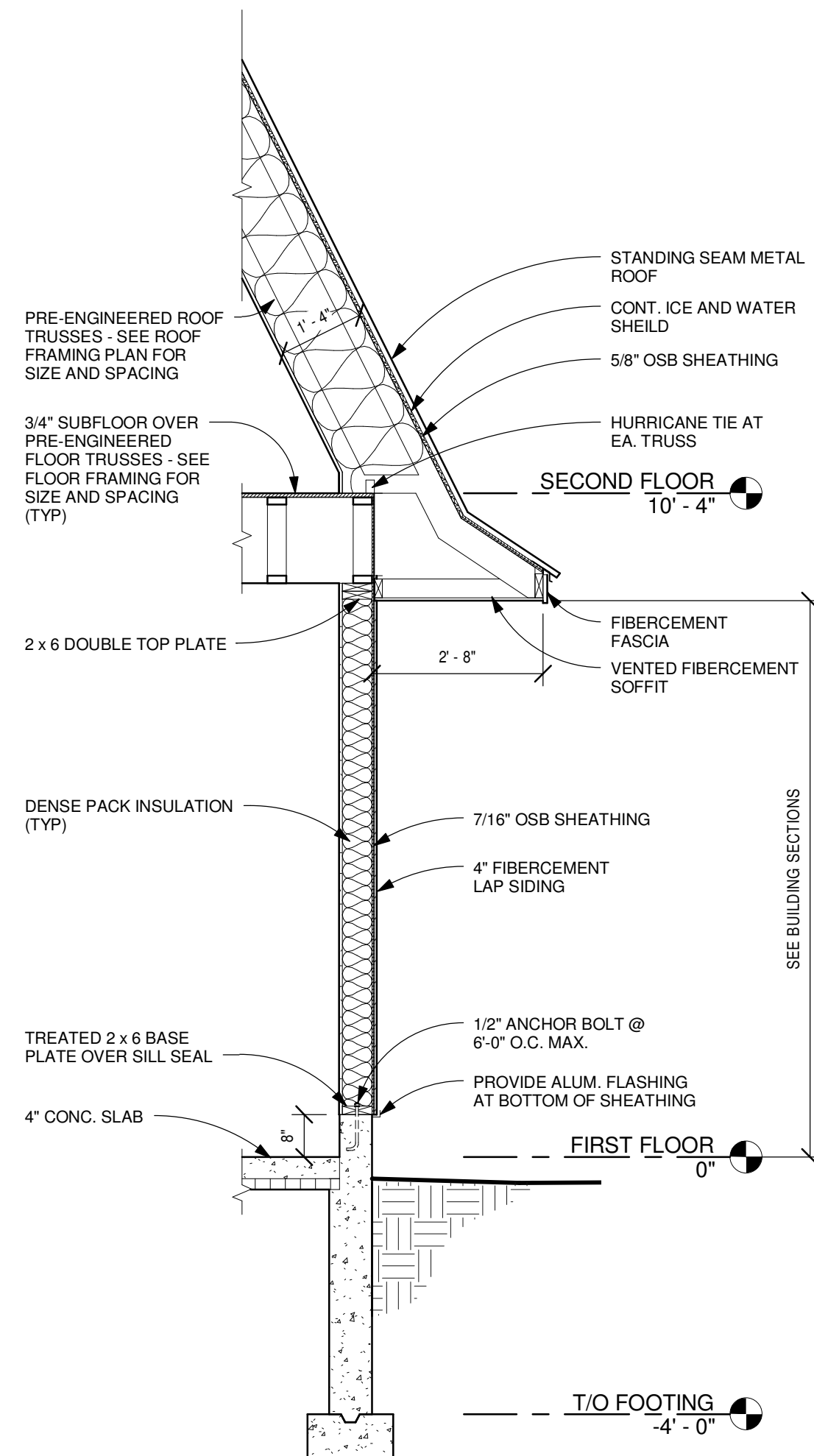
1 KITCHEN - LOOKING WEST
A8 1/4" = 1'-0"



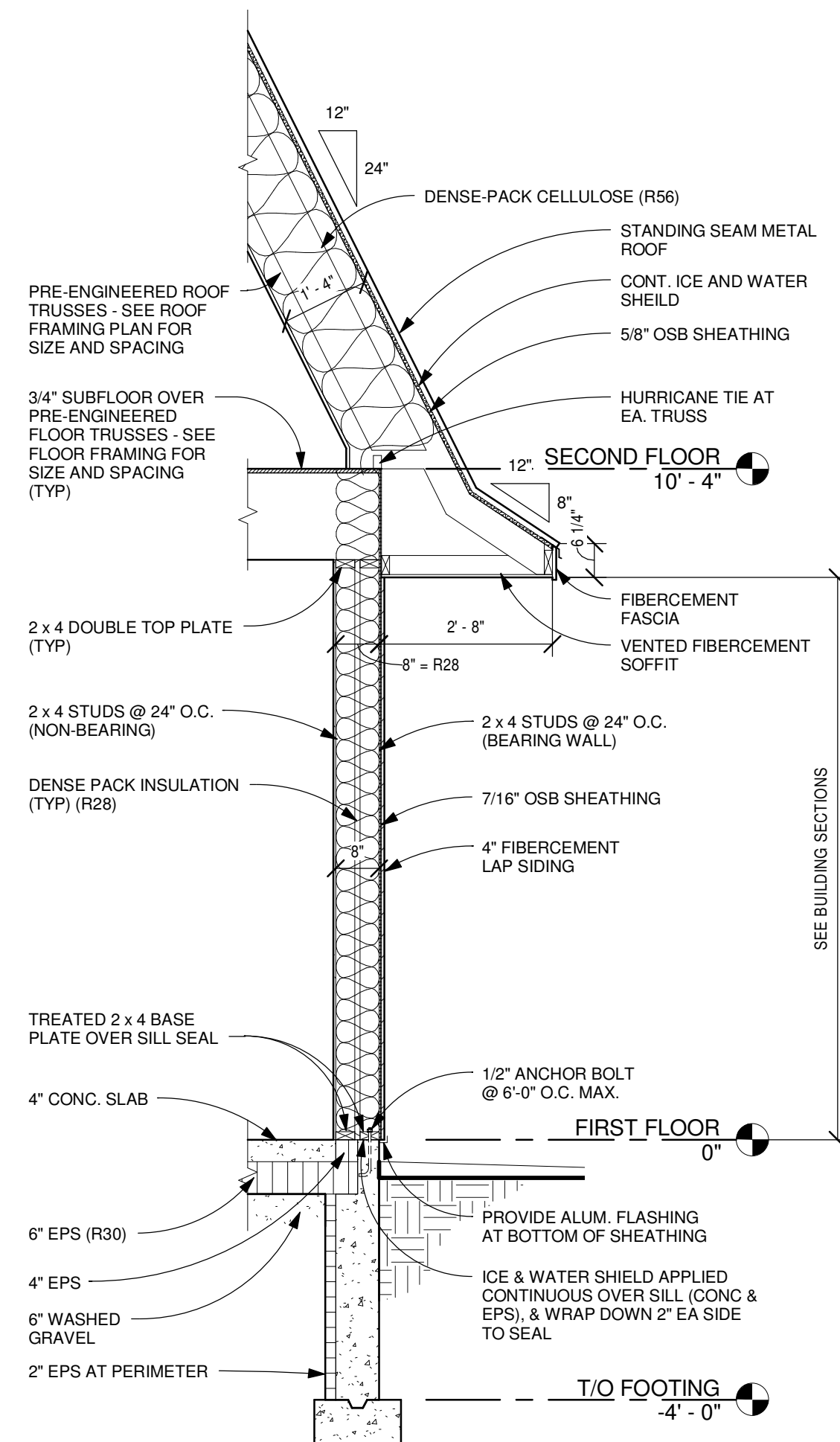
2 STAIRS - LOOKING EAST
A8 1/4" = 1'-0"



5 WALL SECTION AT TOWER
A8 1/2" = 1'-0"



3 WALL SECTION AT GARAGE
A8 1/2" = 1'-0"



4 WALL SECTION AT HOUSE
A8 1/2" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	DATE


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ARCHITECTURE, INC.**
9088 LIME KILN ROAD
STURGEON BAY, WI 54235
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920.559.0652
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e-mail: virge@virgetemme.com

CLIENT
KORB-WILLS RESIDENCE
5328 LAKE MENDOTA DRIVE, MADISON WI

SHEET TITLE
**BUILDING AND WALL
SECTIONS**

PROJECT NUMBER
Project Number

DATE
JAN 2, 2013

SCALE
As indicated

A8

FIRST FLOOR BRACING:

SECOND FLOOR & TOWER BRACING

CWP - CONTINUOUS WOOD PANEL BRACING: 7/16" MIN OSB OR PLYWOOD; FASTEN @ 6" OC @ EDGES; 12" O.C. IN CENTER

DWB - DRYWALL WIND BRACING: 1/2" GYPSUM BOARD, APPLIED TO BOTH SIDES OF WALL. FASTEN AT 6" O.C. @ EDGES & 12" O.C. IN CENTER

SPS/EH - STRUCTURAL PANEL SHEATHING WITH EXTENDED HEADER


$$\frac{3}{16}'' = 1'-0''$$

$$\frac{3}{16}'' = 1'-0''$$

$$\frac{3}{16}'' = 1'-0''$$

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920.824.5746
920.559.0652
www.virgetemme.com
e-mail: virge@virgetemme.com

SHEET TITLE

SCALE 3/16" = 1'-0"	B1
------------------------	----

1. *Journal of the American Medical Association*, 1997; 277: 1001-1005.

DIVISION 1: GENERAL REQUIREMENTS

ALL CONSTRUCTION SHALL BE COMPLIANT WITH CURRENT CODES. BID DOCUMENTS SHALL BE INSPECTED THOROUGHLY BY BIDDERS, AND ANY DEVIATION FROM CODES SHALL BE IDENTIFIED BY THEM PRIOR TO SUBMITTING BID.

BID SHALL BE SUBMITTED ELECTRONICALLY TO ARCHITECT, WITH COPY TO OWNERS.

e-mail addresses: virge@virgetemme.com
jrf@reporttagsandproducts.com
kndickma@gmail.com

SCHEDULING: WITHIN 30 DAYS OF CONTRACT AWARD, GENERAL CONTRACTOR SHALL PROVIDE A WRITTEN SCHEDULE OF COMPLETION FOR PROJECT

ANY CHANGES TO PLANS, SCOPE, MATERIALS, SHALL BE ACCOMPANIED BY PRICING CHANGE AND APPROVED BY ARCHITECT ADN OWNER PRIOR TO IMPLEMENTATION.

GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY BATHROOM FACILITIES ON-SITE.

NO CIGARETTE SMOKING WILL BE ALLOWED WITHIN 20 FEET OF HOUSE FOOTPRINT. ALL CIGARETTE BUTTS SHALL BE DISPOSED OF IN FIREPROOF RECEPTACLE PROVIDED BY GENERAL CONTRACTOR

SITE SHALL BE KEPT FREE OF DEBRIS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEPARATION AND RECYCLING OF ALL RECYCLABLE MATERIALS, AS DESCRIBED BELOW:

PAPER & CARDBOARD: RECYCLED
WOOD CUTOFFS: USED AS BLOCKING WHERE POSSIBLE;
OTHER STORED ON-SITE AND GROUND AS MULCH AT END OF PROJECT
METALS: RECYCLED
DRYWALL: STORED DRY; RECYCLED OFF-SITE
METALS: RECYCLED OFF-SITE
PLASTICS: RECYCLED OFF-SITE

NOTE: NO CONSTRUCTION SITE DUMPSTER SHALL BE REQUIRED.

STAGING AND PARKING : ALL VEHICLES AND CONSTRUCTION MATERIALS SHALL STAY WITHIN DESIGNATED STAGING AND PARKING AREAS. CARPOOLING IS ENCOURAGED WHERE POSSIBLE TO REDUCE NUMBERS OF VEHICLES ON SITE. ALL CONSTRUCTION MATERIALS SHALL BE STORED ABOVE GROUND, KEPT CLEAN, AND PROTECTED FROM DAMAGE.

TEMPORARY EROSION CONTROLS: SILT FENCING SHALL BE INSTALLED AS INDICATED ON SITE PLAN.

PROJECT ACCESS: ARCHITECT AND OWNERS SHALL BE PROVIDED WITH ACCESS CODE FOR DOOR LOCKS DURING AND AFTER CONSTRUCTION.

DIVISION 2: EXISTING CONDITIONS

GENERAL CONTRACTOR SHALL INCLUDE COST OF STAKING HOME PRIOR TO FOUNDATION WORK, TO ASSURE PROPER SETBACK COMPLIANCE FROM PROPERTY LINES AND ORDINARY HIGH WATER MARK.

TREES CLEARED FOR DRIVE AND HOUSE, UNDER SEPARATE CONTRACT BY OWNER. EXCAVATOR WILL BE RESPONSIBLE FOR REMOVAL STUMPS.

FINAL GRADE SHALL BE COORDINATED W/ LANDSCAPER; LANDSCAPER SHALL INSTALL GEO-GRID SOIL STABILIZER

DIVISION 3: CONCRETE WORK

FOUNDATIONS CONSTRUCTED PER ATTACHED DRAWINGS. FLATWORK SHALL BE COORDINATED WITH ROOM FINISH SCHEDULES TO ASSURE LEVEL SURFACE THROUGHOUT

DIVISION 4: STONE MASONRY

STONEWORK SELECTION AND LAYOUT SHALL BE APPROVED BY ARCHITECT AND OWNER PRIOR TO INSTALLATION.

DIVISION 5: METALS

DIVISION 6: WOOD

PER ATTACHED DRAWINGS.
ROUGH FRAMING: SHALL BE CONDUCTED WITH MINIMAL WASTE. ALL WOOD MATERIALS FROM RAIN FOREST MUST SHOW PROOF OF FSC (FOREST STEWARSHIP COUNCIL) CERTIFICATION

DIVISION 7: THERMAL AND MOISTURE PROTECTION

ALL WINDOWS AND DOORS SHALL BE PROPERLY FLASHED TO AVOID MOISTURE DAMAGE. INSTALL CONTINUOUS ICE & WATER SHIELD AROUND ALL WINDOW & DOOR OPENINGS.
ALL WALL AND ROOF PENETRATIONS MUST BE PROPERLY FLASHED AND SEALED/CAULKED.
ALL ROOFING MATERIALS AND HOUSEWRAP MUST BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.

DIVISION 8: WINDOWS AND DOORS

DIVISION 9: FINISHES

PLASTER: 1-COAT LIGHT SKIP-TROWEL FINISH; CONSISTENT FINISH THROUGHOUT; PROVIDE SAMPLE FOR OWNER APPROVAL PRIOR TO APPLICATION.

INTERIOR PAINTS AND STAINS SHALL BE LOW-VOC SHERWIN WILLIAMS. ASSUME SAME PAINT COLOR ON WALLS AND CEILINGS, EACH ROOM. ASSUME FIVE PAINT COLORS, FOR BID PURPOSES.

TILE: WEDI BACKER BOARD AND CONTINUOUS WATERPROOF MEMBRANE SHALL BE INSTALLED ON SHOWER WALLS AND CEILING. ALL TILE SHALL BE INSTALLED PER CERAMIC TILE INSTITUTE OF AMERICA SPECIFICATIONS.

WOOD FLOORING: SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. CONCRETE FLOOR MOISTURE CONTENT MUST BE MEASURED AND RECORDED PRIOR TO INSTALLATION OF WOOD FLOORS.

TYPICAL CLOSET SHELVLING: SHALL BE 3/4" PLYWOOD, STAINED AND SEALED, WITH HARDWOOD NOSING. SUPPORT WITH 1x LEDGER AT BACK AND ENDS.

DIVISION 10: SPECIALTIES

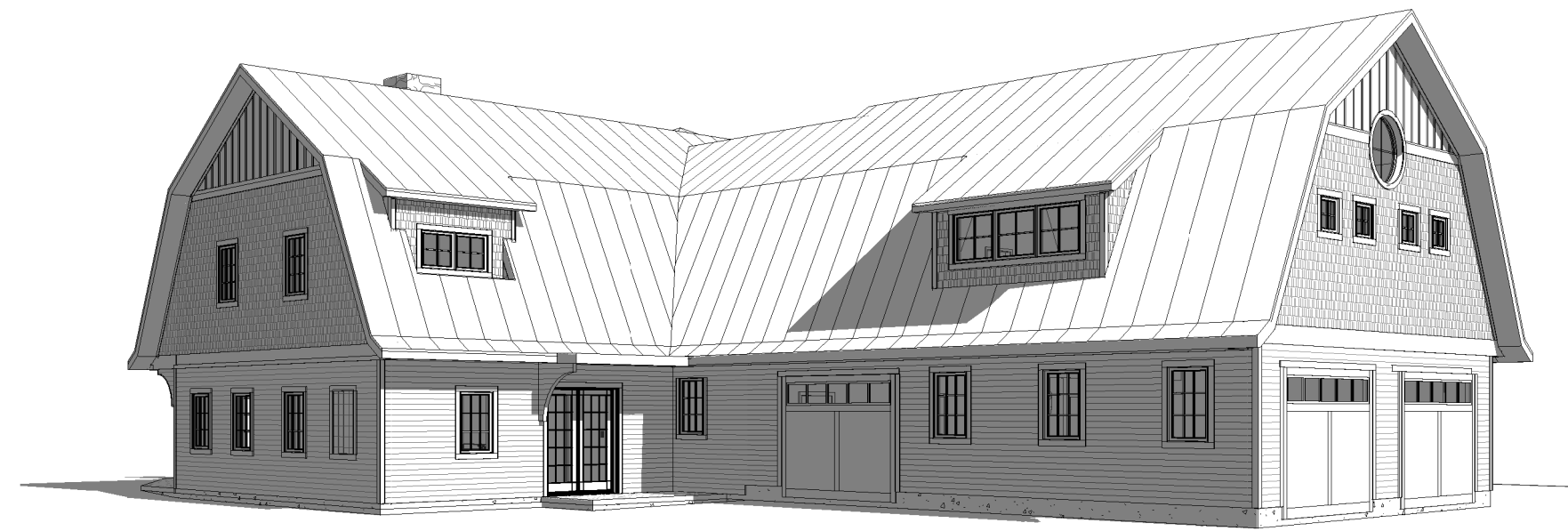
FIREPLACES: MANUFACTURER AND MODEL ARE NOTED ON PLANS. PROVIDE MAKEUP AIR AND EXHAUST VENTILATION PER MANUFACTURER SPECIFICATIONS.

CABINETRY: PER SHEETS

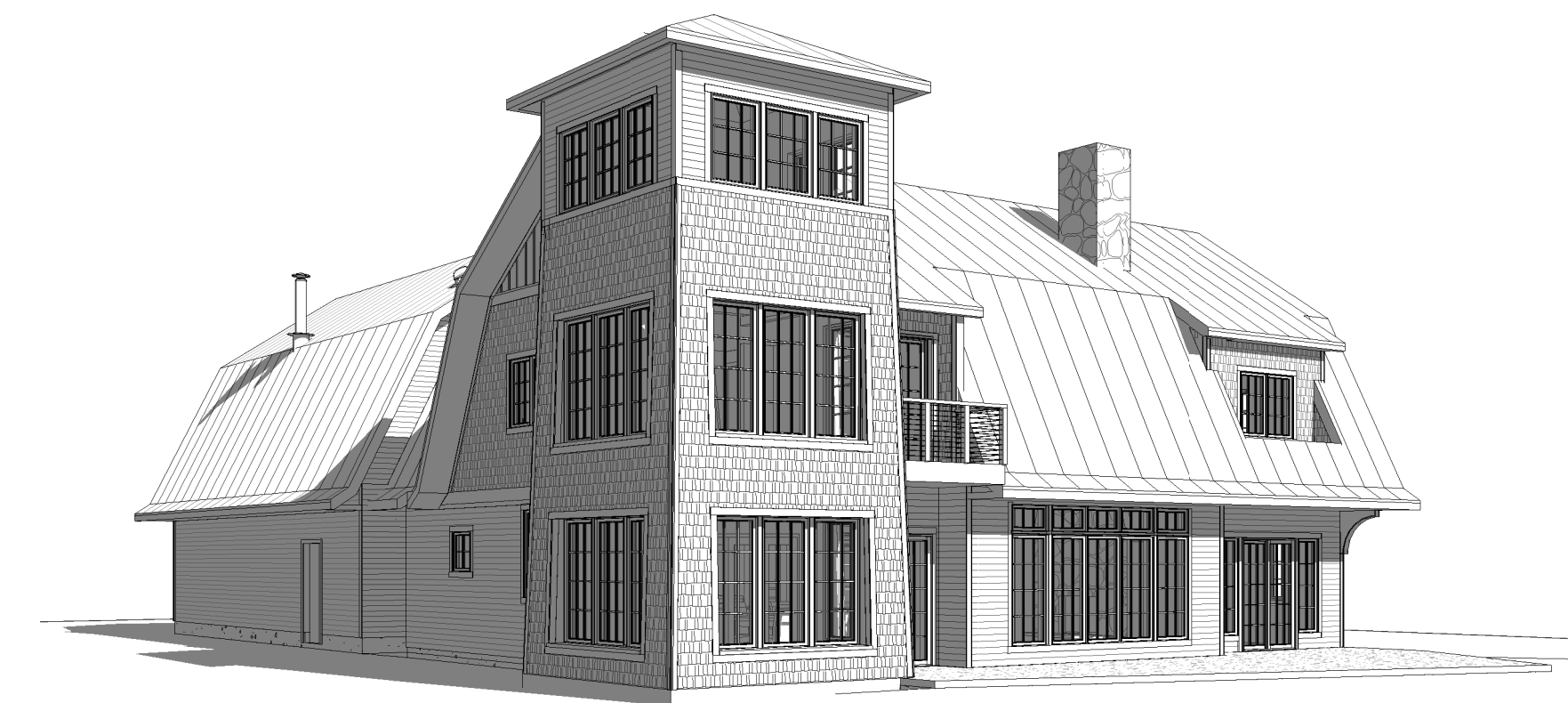
MIRRORS: 1/4" THICK, SIZED PER SHEETS: BY BUILDER

DIVISION 12: FURNISHINGS

ALL WINDOWS COVERINGS PROVIDED UNDER SEPARATE CONTRACT.
CASEWORK PER ATTACHED SHEETS



NORTHWEST



SOUTHEAST

PROJECT DESCRIPTION:

SINGLE-FAMILY SUPERINSULATED RESIDENCE WITH SOLAR ELECTRIC ENERGY. SUBSTRATE: SAND, NO GROUNDWATER, TESTED TO 10' DEPTH



SITE PLAN

1" = 20'-0"

BUILDING AREA DATA	
LEVEL	AREA
DECKS/ PATIOS	
FIRST FLOOR	585 SF
SECOND FLOOR	38 SF
	623 SF
FINISHED AREA	
FIRST FLOOR	1708 SF
SECOND FLOOR	2343 SF
	4050 SF
GARAGE	
FIRST FLOOR	1062 SF
	1062 SF
Grand total	5736 SF

SHEET INDEX	
NO.	SHEET NAME
B1	BRACED WALL PLANS
GENERAL	
C1	SITE PLAN & SPECIFICATIONS
ARCHITECTURAL	
A1	FOUNDATION PLAN
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLANS
A4	ELEVATIONS
A5	ELEVATIONS
A6	BUILDING SECTIONS
A7	BUILDING SECTIONS
A8	BUILDING AND WALL SECTIONS
A9	FIRST FLOOR INTERIOR
A10	SECOND FLOOR INTERIORS
A11	FIRST FLOOR REFLECTED CEILING PLAN
STRUCTURAL	
S1	SECOND FLOOR/ ROOF FRAMING PLANS
S2	PARTIAL ROOF FRAMING PLANS
ELECTRICAL	
E1	LIGHTING - FIRST FLOOR PLAN

REVISIONS		
NO.	DESCRIPTION	DATE



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ARCHITECTURE, INC**
9088 LIME KILN ROAD
STURGEON BAY, WI 54235
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e-mail: virge@virgetemme.com

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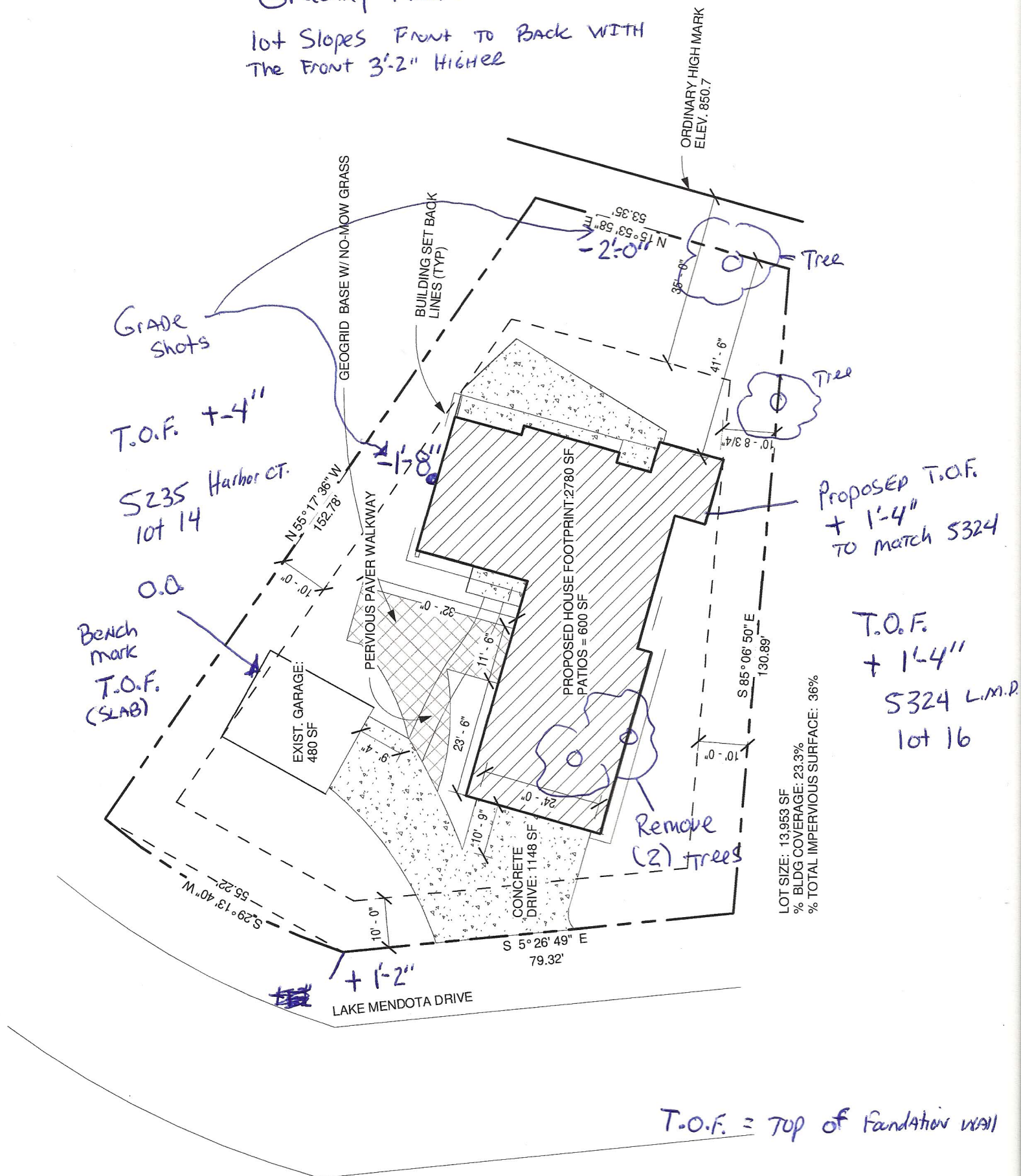
KORB-WILLS RESIDENCE
5328 LAKE MENDOTA DRIVE, MADISON WI

SHEET TITLE
SITE PLAN & SPECIFICATIONS

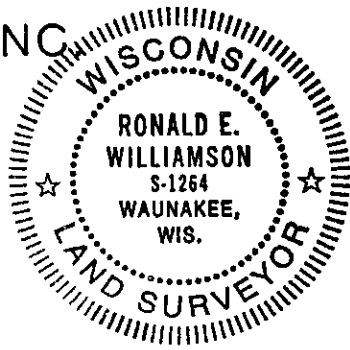
PROJECT NUMBER	DATE
Project Number	JAN 2, 2013
SCALE	C1
1" = 20'-0"	



lot Slopes Front To Back WITH
The Front 3'-2" Higher



WILLIAMSON SURVEYING CO., INC
104A WEST MAIN STREET
WAUNAKEE WISCONSIN 53597

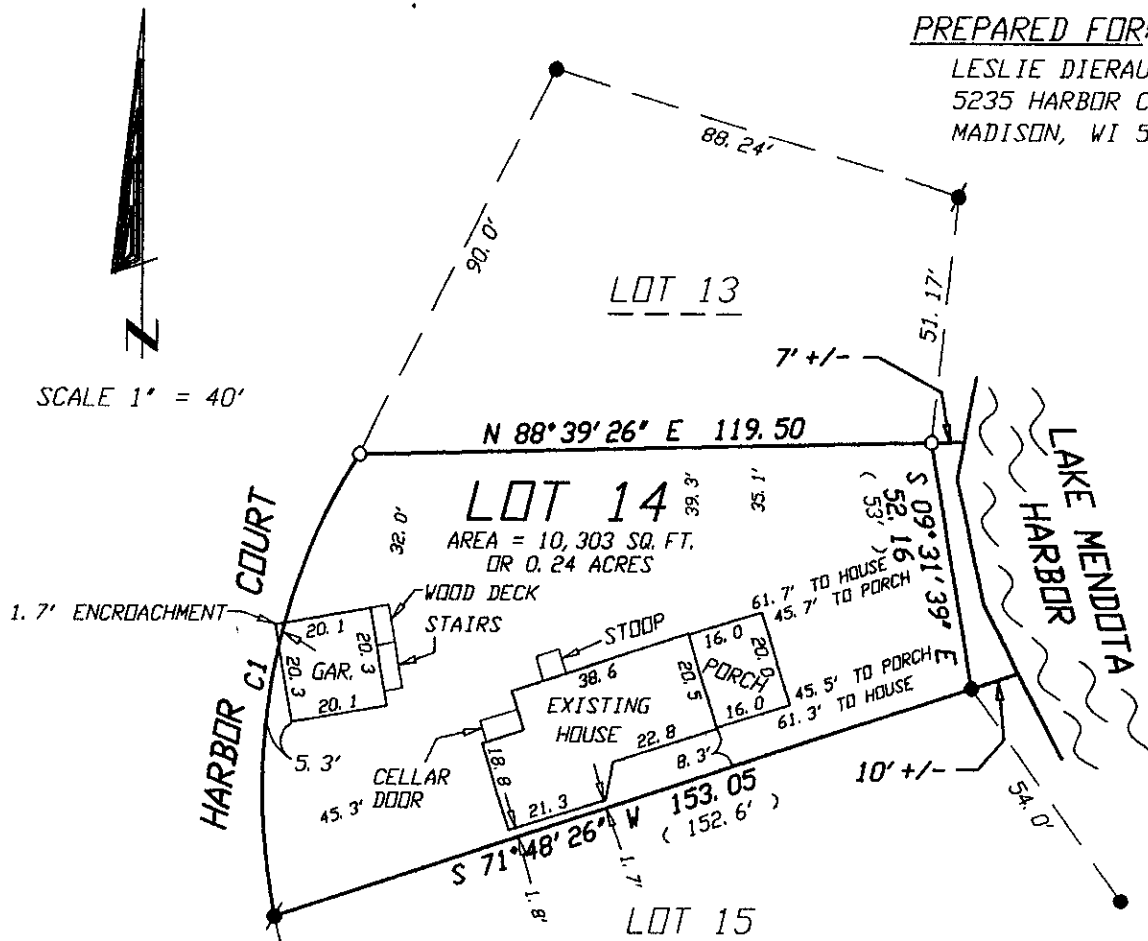


DESCRIPTION:

LOT 14, BLOCK 1, SPRING HARBOR, CITY OF MADISON, DANE COUNTY, WISCONSIN.

PREPARED FOR:

LESLIE DIERAUF
5235 HARBOR CT
MADISON, WI 53705



NOTE:

THIS PARCEL IS SUBJECT TO ANY AND ALL EASEMENTS AND AGREEMENTS RECORDED AND UNRECORDED.

LEGEND:

- = SET 3/4"x24" REBAR WT 1.5 LB PER LIN FT
- = FOUND 1" PINCH TOP PIPE
- ⬤ = FOUND 3/4" PINCH TOP PIPE
- (##) = RECORDED AS

CURVE	ARC	RADIUS	CHORD LENGTH	CHORD BEARING
C1	100.37	131.93	97.97	N 10°10'13" E

SURVEYOR'S CERTIFICATE

(100')

This plat and survey were performed under my supervision, and was surveyed, divided, and mapped according to the official records of the property described and pictured hereon. This plat is a true scaled and dimensioned representation of the boundaries, buildings, improvements and all visible encroachments if any.

Williamson Surveying Co. Inc
by Ronald E. Williamson

Date August 6, 2004

Ronald E. Williamson
Ronald E. Williamson S-1264
President

FOUNDATION LOCATION MAP

THE NORTH ONE-HALF (½) OF LOT 16, BLOCK ONE, SPRING HARBOR, AS RECORDED IN VOLUME 4 OF PLATS, ON PAGES 51-51A, AS DOCUMENT NUMBER 306247, DANE COUNTY REGISTRY, LOCATED IN THE NW ¼ OF THE SE ¼ OF SECTION 18, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

NOTES:

1. Date of field work: September 16, 2009.
2. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
3. Except as specifically stated or shown on this survey, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements, restrictive covenants, subdivision restrictions, zoning or other land use regulations, and any other facts that a current and accurate title search may disclose.
4. Only the existing concrete foundation was located as a part of this survey. No other structures, improvements, utilities, ground cover, or other improvements were located as a part of this survey.

DESCRIPTION PROVIDED:

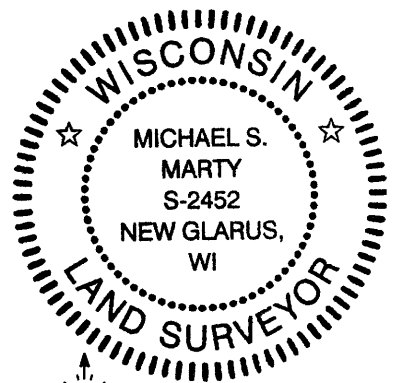
The northerly one-half of Lot 16, Block 1, Spring Harbor Plat, recorded on the 4th day of November, 1910 in Volume 4 of Plats, on pages 51-51A in the office of the Register of Deeds of Dane County, Wisconsin.

SURVEYOR'S CERTIFICATE:

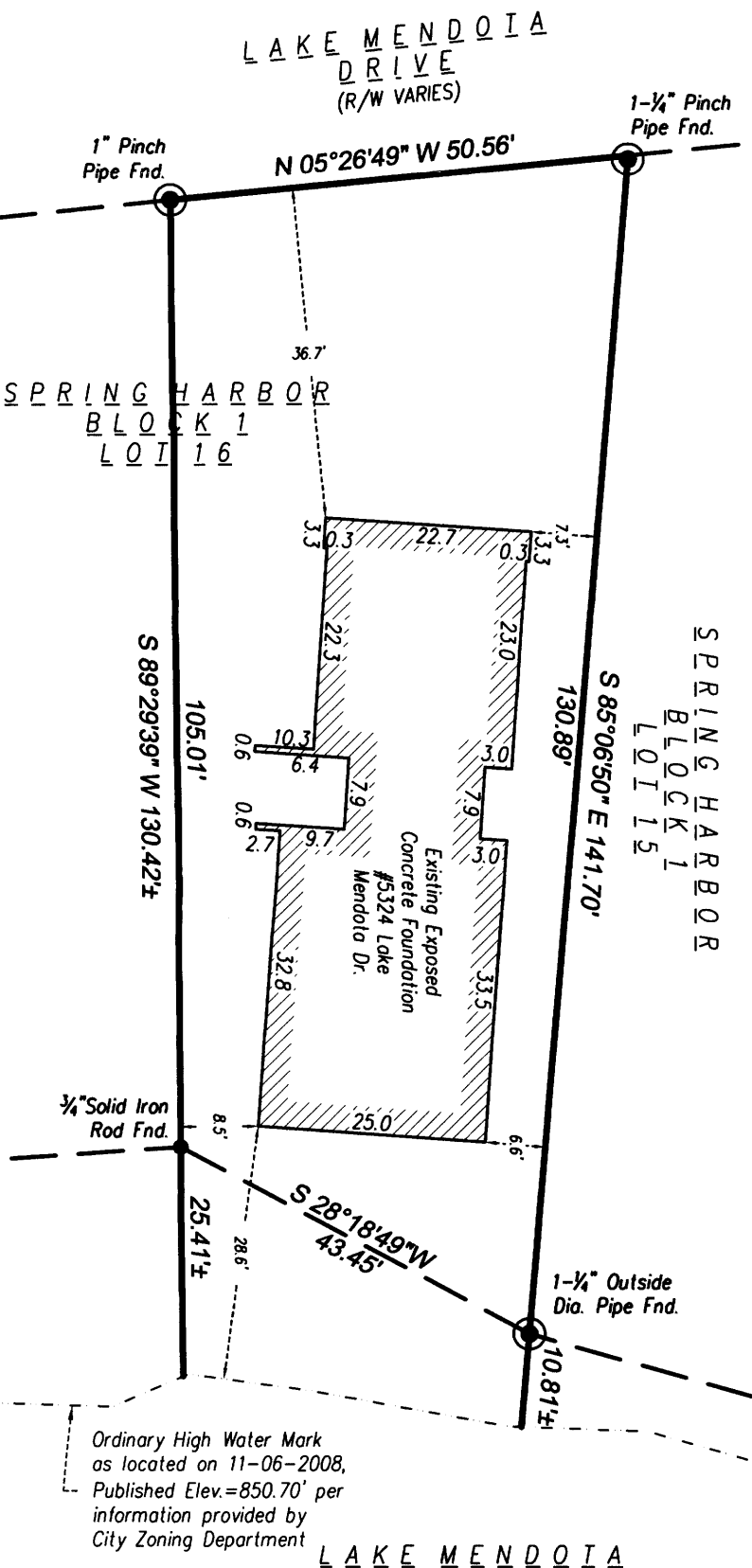
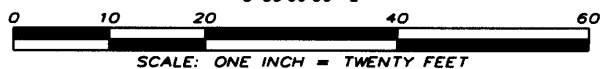
I, Michael S. Marty, P.L.S. No. 2452, hereby certify that the foregoing survey was executed under my direction and control, and that said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7), and the map hereon is correct to the best of my knowledge and belief.

Dated this 25th day of September, 2009

Signed: Michael S. Marty
Michael S. Marty, P.L.S. No. 2452



BEARINGS ARE BASED UPON THE
NORTHERLY LINE OF THE LOT 16,
ASSUMED TO BEAR
S 85°06'50" E



SURVEYED FOR:

Building Concepts Inc.
1795 Koshkonong Road
Stoughton, WI 53589



ARCHITECTS • ENGINEERS • PLANNERS • LAND SURVEYORS • SCIENTISTS

Madison Office
2690 Research Park Drive, Suite H
Madison, WI 53711
Ph: 608-442-9500
Fx: 608-442-9501

Faribault, Minnesota: 507-331-1500
Mankato, Minnesota: 507-387-6651
Web: www.is-grp.com

FN: 12246
DATE: 09/25/2009

REVISIONS:

SHEET
1 of 1

2009-00749

