

John Meyer, Architect

1615 Cypress Trail
Middleton, WI 53562

Monday, April 22, 2008

City of Madison
Department of Planning and Development
215 Martin Luther King Jr. Boulevard
Madison, Wisconsin 5701-2984

Attn: Matt Tucker, Zoning Administrator

Re: 5412 Lake Mendota Drive

Dear Matt,

On behalf of the property owner, Ms Dianne Christensen, I am re-submitting an application for a Demolition Permit for the property at 5412 Lake Mendota Drive, Legal description:

***The Southeast ½ of Lot 5 and all of Lot 6, Block 7, Mendota Subdivision,
City of Madison, Dane County, Wisconsin.***

The Owner received approval of the project as presented from both the Zoning Board of Appeals and the Madison Plan Commission on January 10th and February 25th, 2008, respectively. There is now a problem with issuing the building permit due to an acknowledged difference in what I presented as what would be the extent of demolition, and what actually has been demolished.

I stated in my original application letter for Zoning Variance, that our plans entailed "*..demolition of the current two story portion down to the top of the foundation wall, gutting and removing the roof of the one story portion...*" As is obvious now, we went beyond gutting and removing the roof. The reason is simple.

At the time I made presentations to the Spring Harbor Neighborhood Association and to the Zoning Board of Appeals, I had done only schematic design work and what I stated was in fact my intention to carry out. As I later began to develop the design and focus on construction details, I realized that once we removed the portions of the exterior wall for the new cantilevers and for the new entry, there would be very little of the old walls left. (See Exhibit A, attached).

I also realized that the amount of the existing roof that could be useful in the new design was limited to the area of the screen porch. I was also concerned about the structural integrity of the patched up old walls. And, from a construction standpoint it seemed to be adding cost with no real benefit. My focus was to keep the construction drawings and the final appearance of the new house consistent with what I had presented, and has been approved.

During demolition it was discovered that the posts for the screen porch were not pressure treated lumber, were not properly anchored at their base, which was an 8" thick, 18" high masonry wall, and that the condition of the wall was not structurally sound. The walls came down during the demolition of the roof.

The final drawings are a very consistent with the approved schematics. I made a few minor adjustments with windows and trim, added a skylight over the kitchen, and we are planning to add waterproofing to the basement walls. The building plan perimeter, foundation, the building height, and the site grading remain the same as originally filed. The original application did not change the existing grading.

The decision to remove the few standing walls does not have any impact on the final appearance, but does provide for a more solid and a more thermally efficient house.

Area Summary

	Existing	Proposed	Increase
Main Floor	1435 s.f.	2062 s.f.	627 s.f.
Upper Floor	975 s.f.	1247 s.f.	272 s.f.
Garage	580 s.f.	542 s.f.	-38 s.f.
Screen Porch	245 s.f.	245 s.f.	0 s.f.
Total	3235 s.f.	4096 s.f.	861 s.f.

Recycling of demolition materials

Materials have been donated to Habit for Humanity. Their team spent two days removing cabinets, fixtures, doors, hardwood flooring, and aluminum siding, soffit and fascia. Materials like ductwork and copper piping were separated from the rest of the debris for recycling.

Project Team

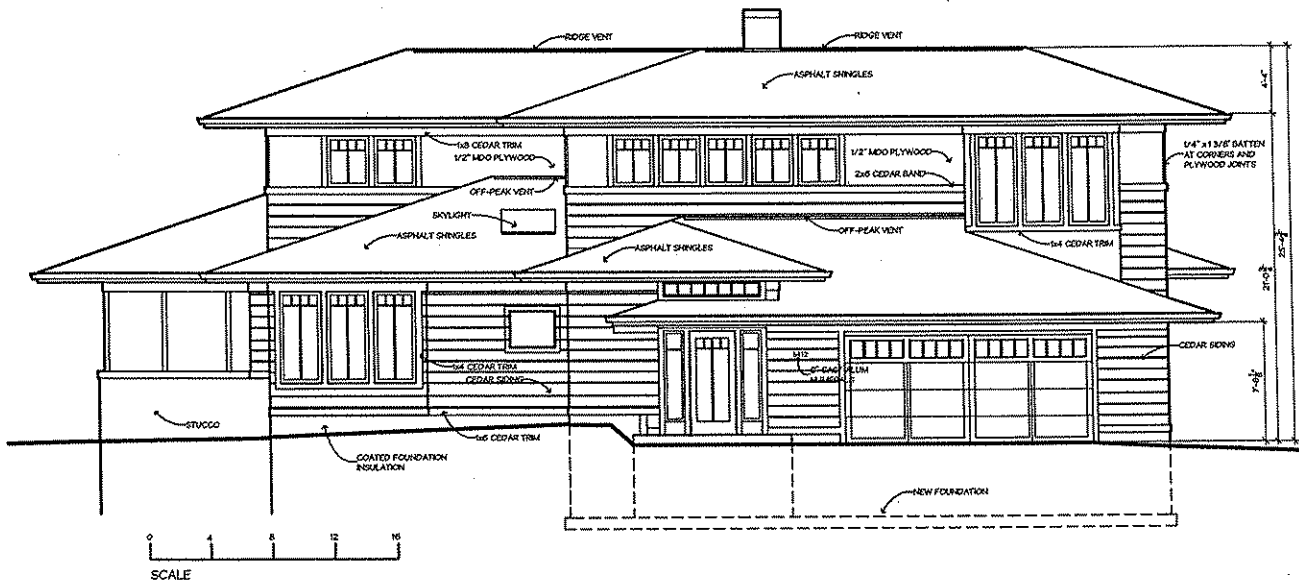
At this point only the architect and the builder have selected. The landscape architect and other subcontractors are pending.

Architect:

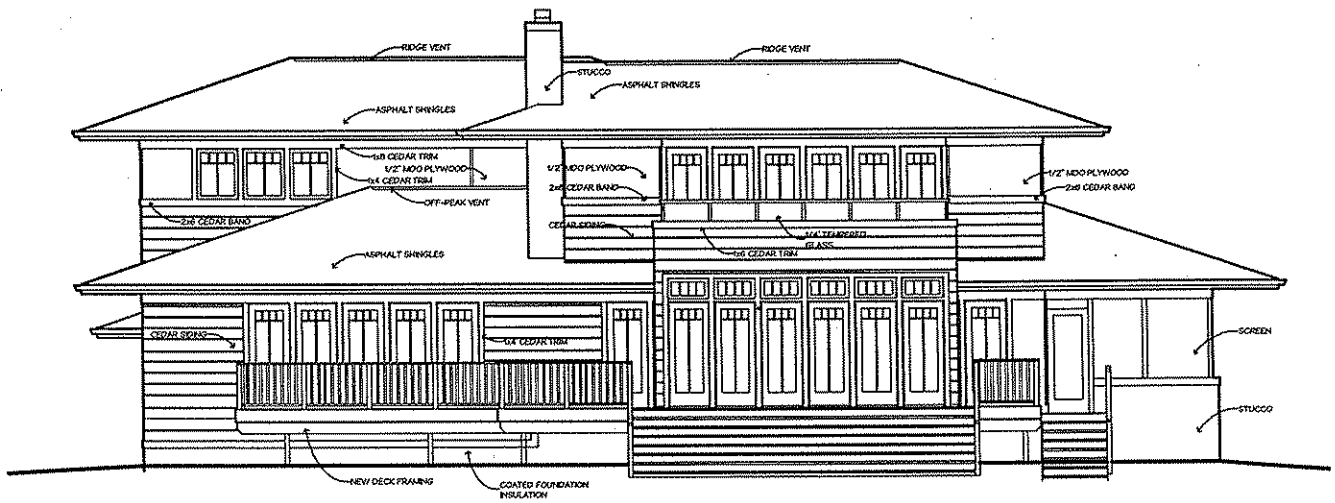
John Meyer
1615 Cypress Trail, Middleton, WI 53562

Builder:

Princeton Custom Homes
2985 Triverton Pike Dr., Suite 102,
Madison, WI 53711
James Roloff, Project Manager



PROPOSED SOUTH ELEVATION



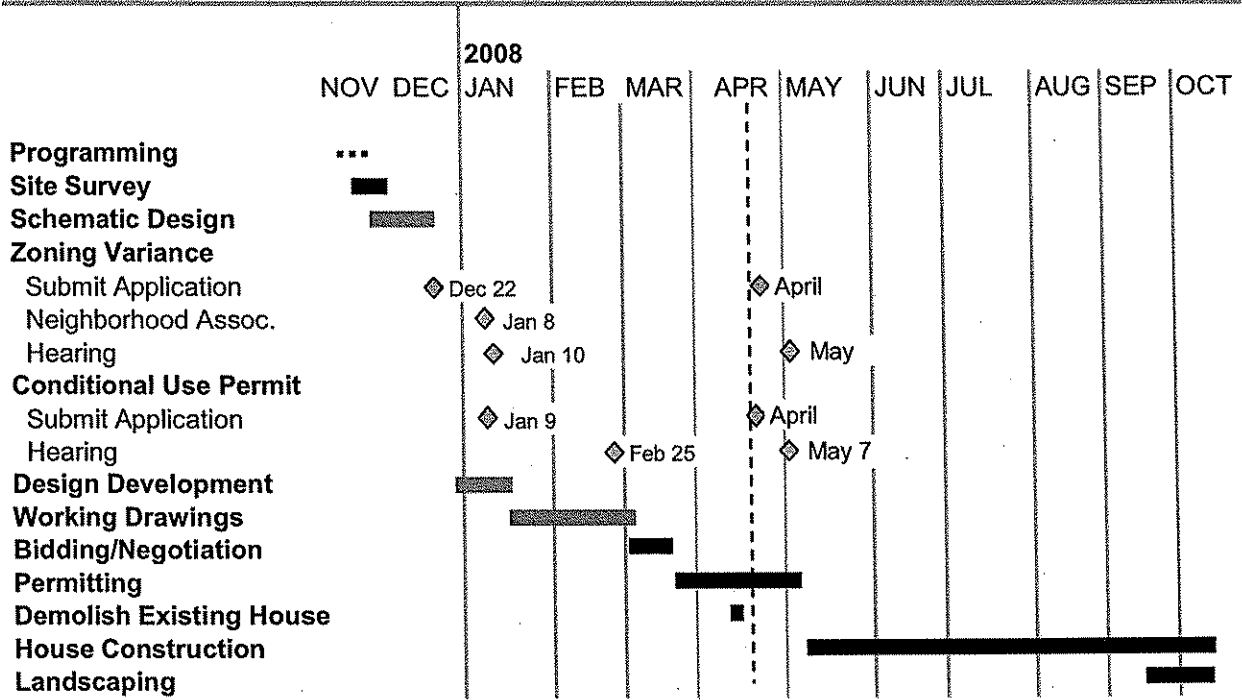
PROPOSED NORTH ELEVATION

APRIL 22, 2008

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 1615 Cypress Trail
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 (608) 238-0275

**RESIDENCE REMODELING AND ADDITION
 FOR DIANNE CHRISTENSEN
 5412 LAKE MENDOTA DRIVE
 MADISON, WI**

Project Schedule



Attachments:

1. Conditional Use Permit Application Form
2. Exhibit A
3. Drawings:
3 copies of plans reduced to 8.5"x11"

Sincerely,

John Meyer, Architect

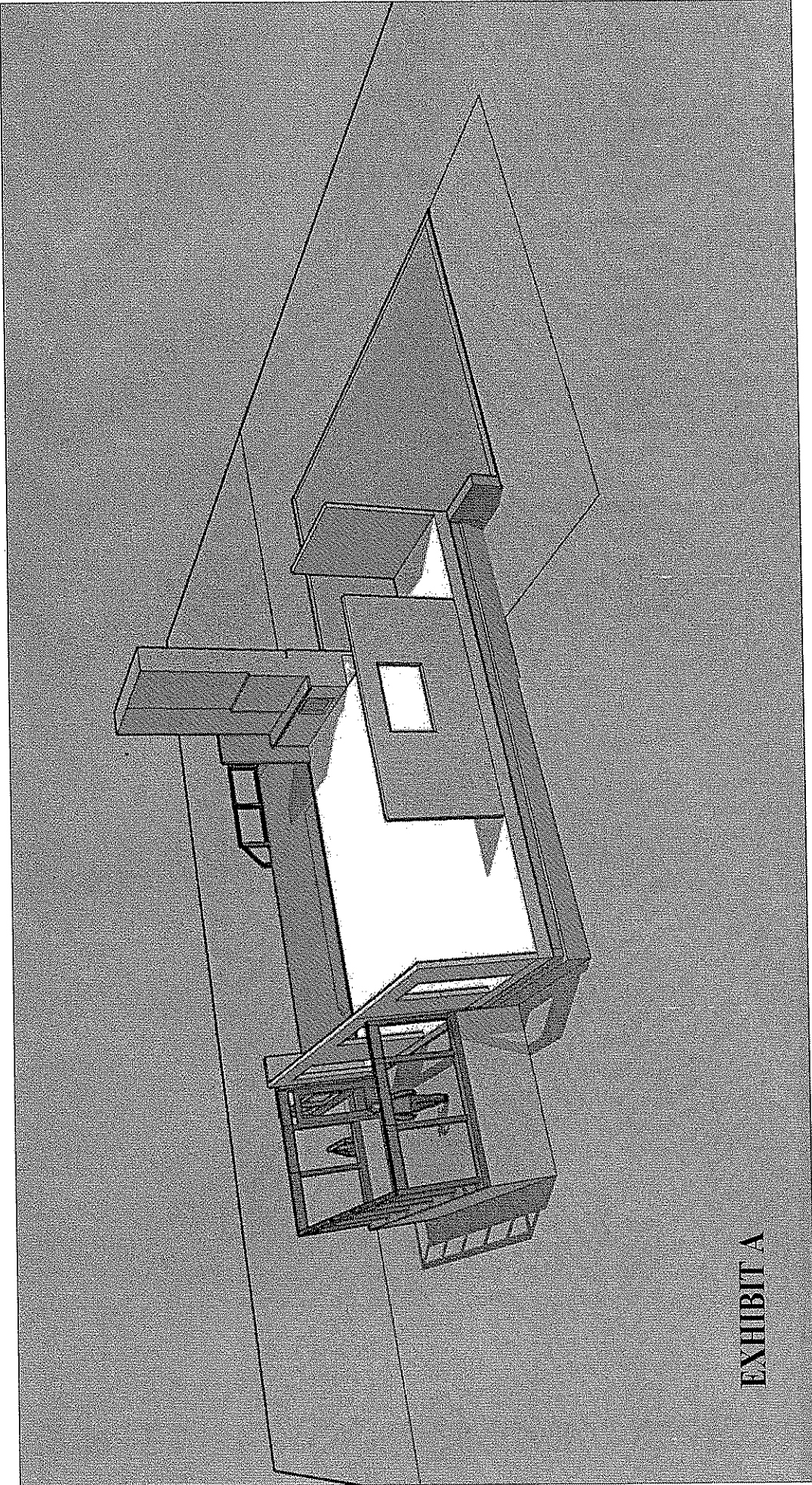


EXHIBIT A

**DIAGRAM OF EXISTING WALLS LEFT STANDING
AFTER GUTTING INTERIOR AND CREATING NEW OPENINGS**

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