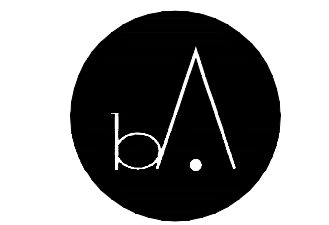


PLAT OF SURVEY

Part of Lot 1, Certified Survey Map No. 3199, formerly part of Lot 6 and Lot 7, Block 1 A. K. Fritz's Subdivision, located in the SE 1/4 of the NW 1/4 of Section 18, T7N, R9E, City of Madison, Dane County, Wisconsin

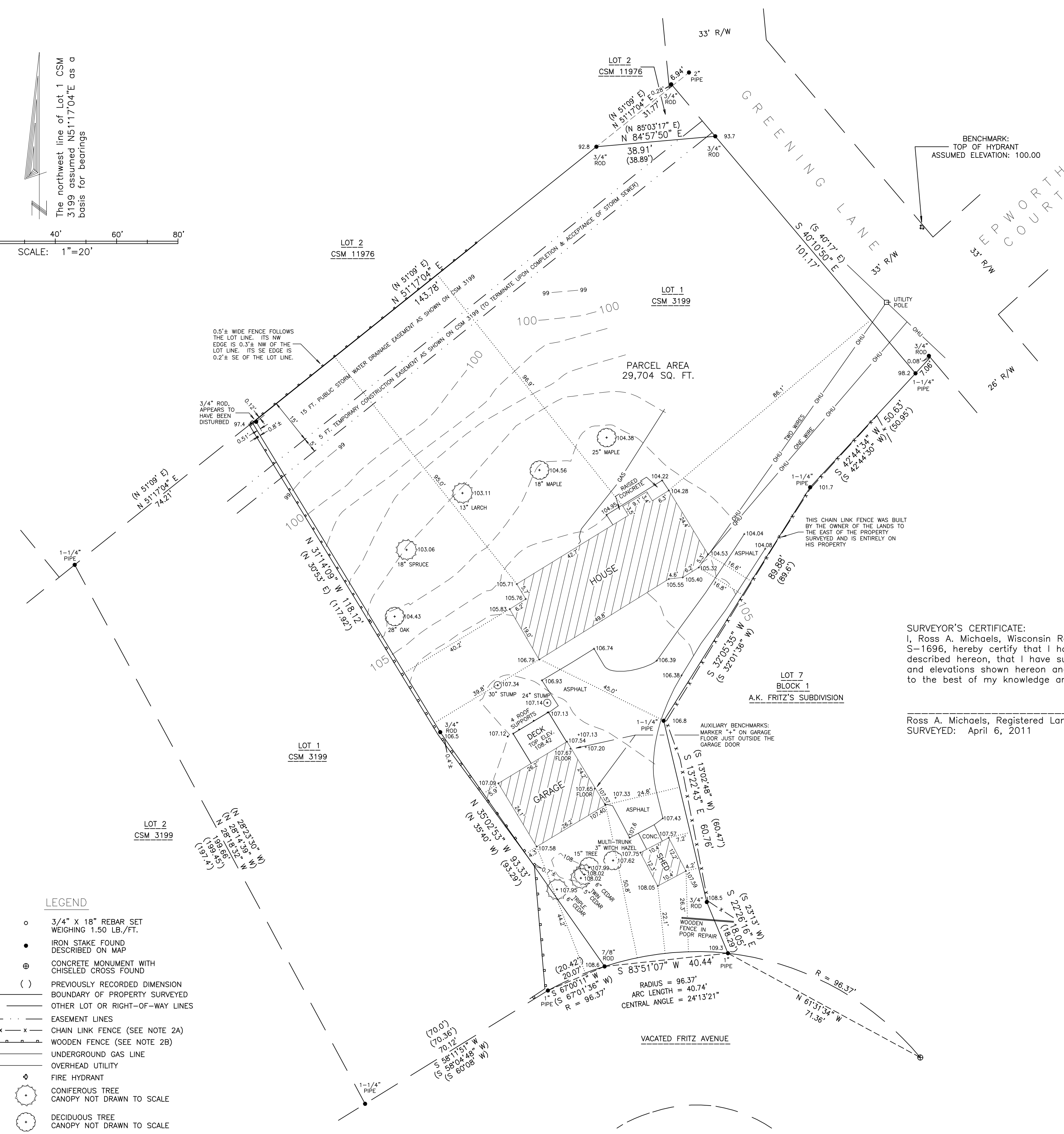
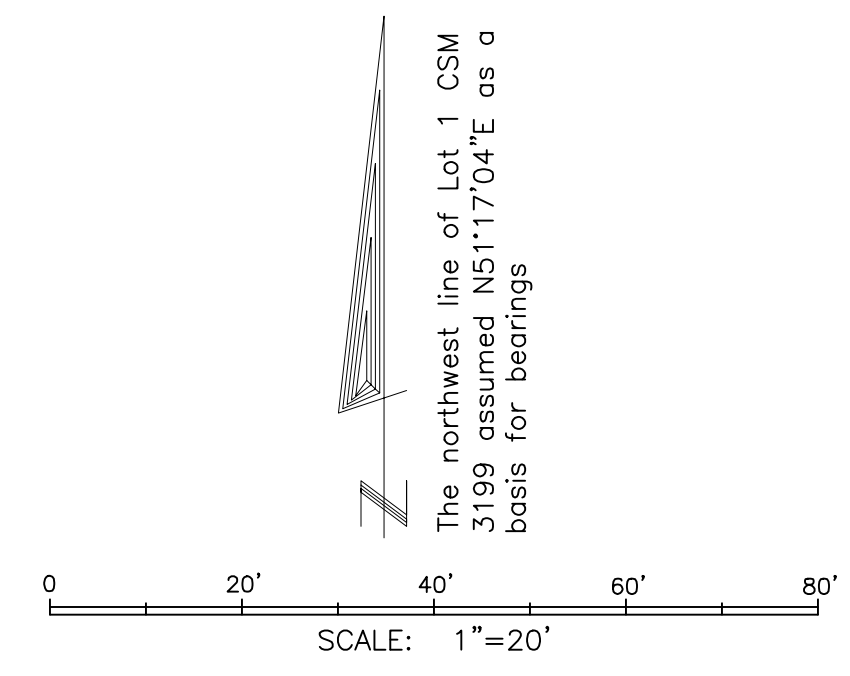


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608.233.4538
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NEW HOME FOR:

BILL AND LISA KEENAN

5501 GREENING LANE
MADISON, WI 53705



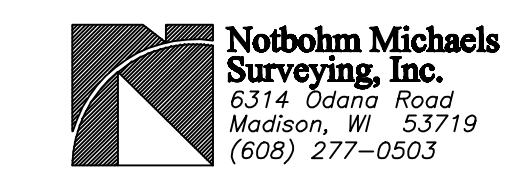
- LEGEND**
- 3/4" x 18" REBAR SET WEIGHING 1.50 LB./FT.
 - IRON STAKE FOUND DESCRIBED ON MAP
 - ⊕ CONCRETE MONUMENT WITH CHISELED CROSS FOUND
 - () PREVIOUSLY RECORDED DIMENSION BOUNDARY OF PROPERTY SURVEYED
 - OTHER LOT OR RIGHT-OF-WAY LINES
 - - - EASEMENT LINES
 - x-x-x-x-x-x-x- CHAIN LINK FENCE (SEE NOTE 2A)
 - w-w-w-w-w-w- WOODEN FENCE (SEE NOTE 2B)
 - GAS UNDERGROUND GAS LINE
 - OHU OVERHEAD UTILITY
 - ⊕ FIRE HYDRANT
 - CONIFEROUS TREE CANOPY NOT DRAWN TO SCALE
 - DECIDUOUS TREE CANOPY NOT DRAWN TO SCALE

SURVEYOR'S CERTIFICATE:
I, Ross A. Michaels, Wisconsin Registered Land Surveyor No. S-1696, hereby certify that I have surveyed the property described hereon, that I have surveyed the physical features and elevations shown hereon and that the survey is correct to the best of my knowledge and belief.

Ross A. Michaels, Registered Land Surveyor, S-1696
SURVEYED: April 6, 2011

- SURVEYOR'S NOTES:**
- The top of the hydrant in the northerly quadrant of the Greening Lane and Epworth Court intersection has an assumed elevation of 100.00 and is the basis for elevations shown on this survey. Two marker crosses on the floor of the garage just outside the garage door and near each end of the garage door as labeled hereon serve as auxiliary benchmarks.
 - Fence notes:
 - Chain link fence shown hereon is approximately 0.2' wide and is mapped at the approximate centerline of the fence. It continues to the east beyond what is shown.
 - Wooden fences are drawn hereon with lines to indicate the face of the fence and squares to indicate the side of the fence with the posts. The thickness of the fence is drawn approximately to scale from the face of the fence to the opposite side of the posts. All of the individual posts were not surveyed. The intervals between posts, as shown on the map, does not correspond to the actual intervals between posts. At the southerly end of this fence, it continues southwesterly beyond what is shown.
 - The wooden fence near the southeast corner of the property surveyed does not have large square posts as is in poor condition, leaning badly. It continues to the east and southeast beyond what is shown.
 - The building lines shown and their associated dimensions are along the exterior face of the siding as measured at the building corners, or in the case of the chimney, the exterior surface of the bricks as measured at the corners.
 - Elevations shown at lot corners are ground elevations, not stake elevations.
 - Easements shown on the property surveyed are from Certified Survey Map No. 3199. Other easement records have not been researched or mapped. There may be other easements affecting the property.

SURVEYED FOR:
William Keenan
710 Briar Hill Road
Madison, WI 53711



OFFICE MAP NO. 878-L

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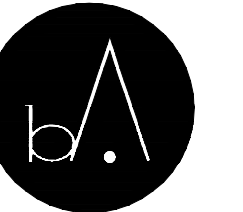
DRAWING ISSUE DATES
11-9-2011

1.1

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Keenan D06.dwg

PLAT OF SURVEY

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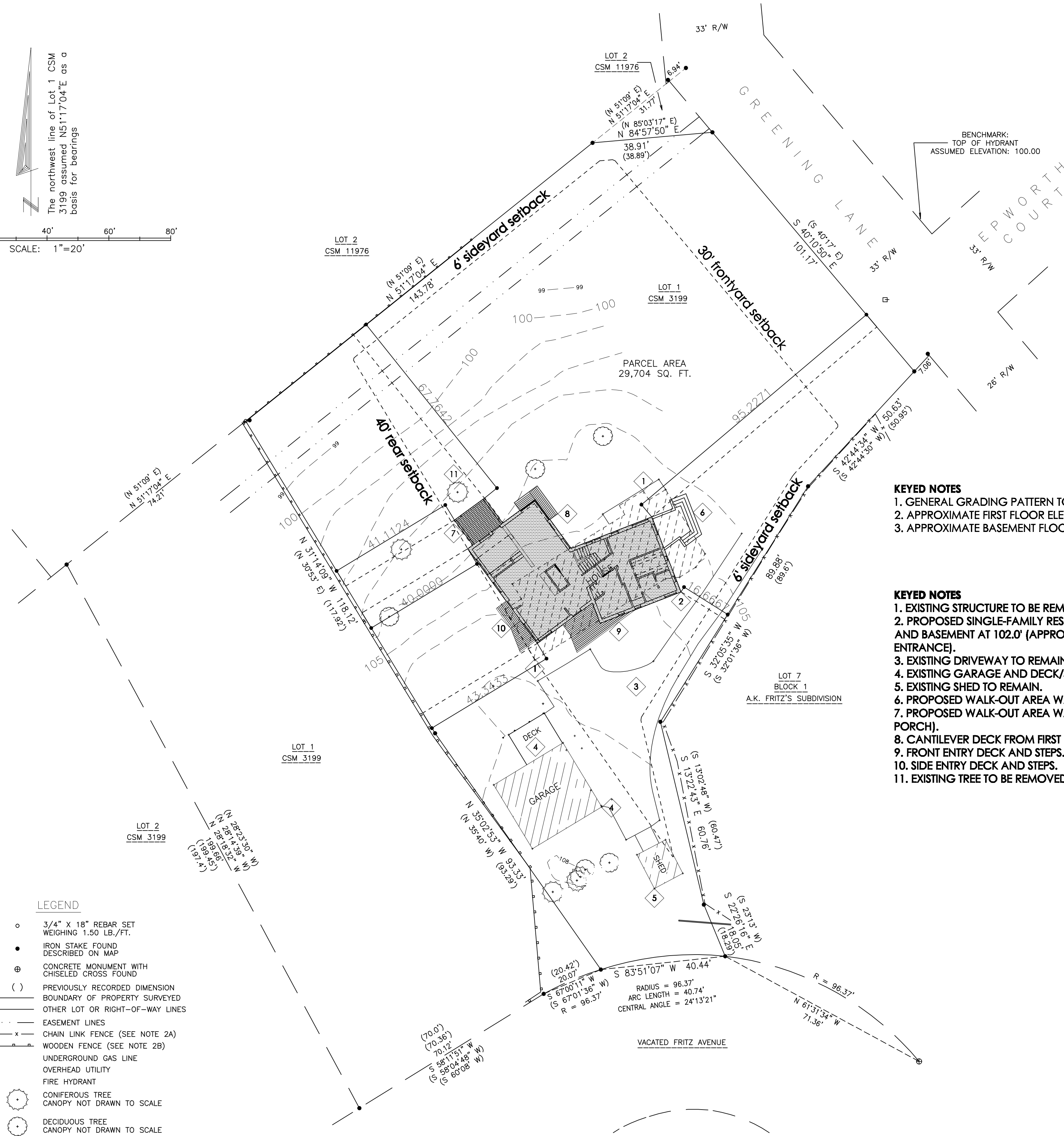
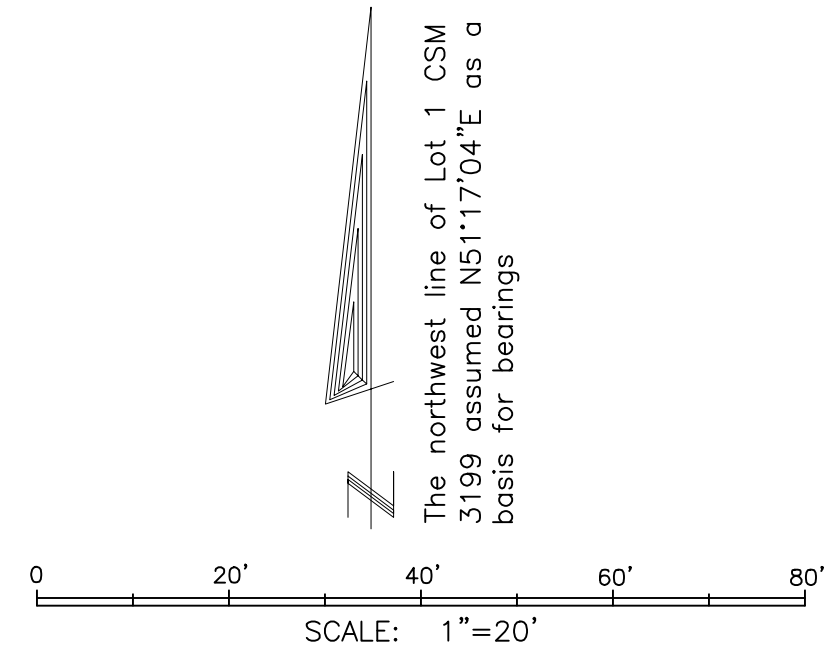


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NEW HOME FOR:

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5501 GREENING LANE
MADISON, WI 53705



KEYED NOTES

1. GENERAL GRADING PATTERN TO REMAIN AS IS.
2. APPROXIMATE FIRST FLOOR ELEVATION: 111.0'
3. APPROXIMATE BASEMENT FLOOR ELEVATION: 102.0'

KEYED NOTES

1. EXISTING STRUCTURE TO BE REMOVED - SHOWN DOTTED AND HATCHED.
2. PROPOSED SINGLE-FAMILY RESIDENCE. APPROXIMATE FIRST FLOOR ELEVATION AT 111.0' AND BASEMENT AT 102.0' (APPROXIMATELY 4' ABOVE NATURAL GRADE AT PRIMARY ENTRANCE).
3. EXISTING DRIVEWAY TO REMAIN.
4. EXISTING GARAGE AND DECK/STOOP TO REMAIN.
5. EXISTING SHED TO REMAIN.
6. PROPOSED WALK-OUT AREA WAY NO. 1 FROM BASEMENT.
7. PROPOSED WALK-OUT AREA WAY NO. 2 FROM BASEMENT (NOT VISIBLE - UNDER SCREEN PORCH).
8. CANTILEVER DECK FROM FIRST FLOOR.
9. FRONT ENTRY DECK AND STEPS.
10. SIDE ENTRY DECK AND STEPS.
11. EXISTING TREE TO BE REMOVED.

LEGEND

- 3/4" x 18" REBAR SET WEIGHING 1.50 LB./FT.
- IRON STAKE FOUND DESCRIBED ON MAP
- ⊕ CONCRETE MONUMENT WITH CHISELED CROSS FOUND
- () PREVIOUSLY RECORDED DIMENSION BOUNDARY OF PROPERTY SURVEYED
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- x-x-x-x-x CHAIN LINK FENCE (SEE NOTE 2A)
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- UNDERGROUND GAS LINE
- OVERHEAD UTILITY
- ⊕ FIRE HYDRANT
- CONIFEROUS TREE CANOPY NOT DRAWN TO SCALE
- DECIDUOUS TREE CANOPY NOT DRAWN TO SCALE

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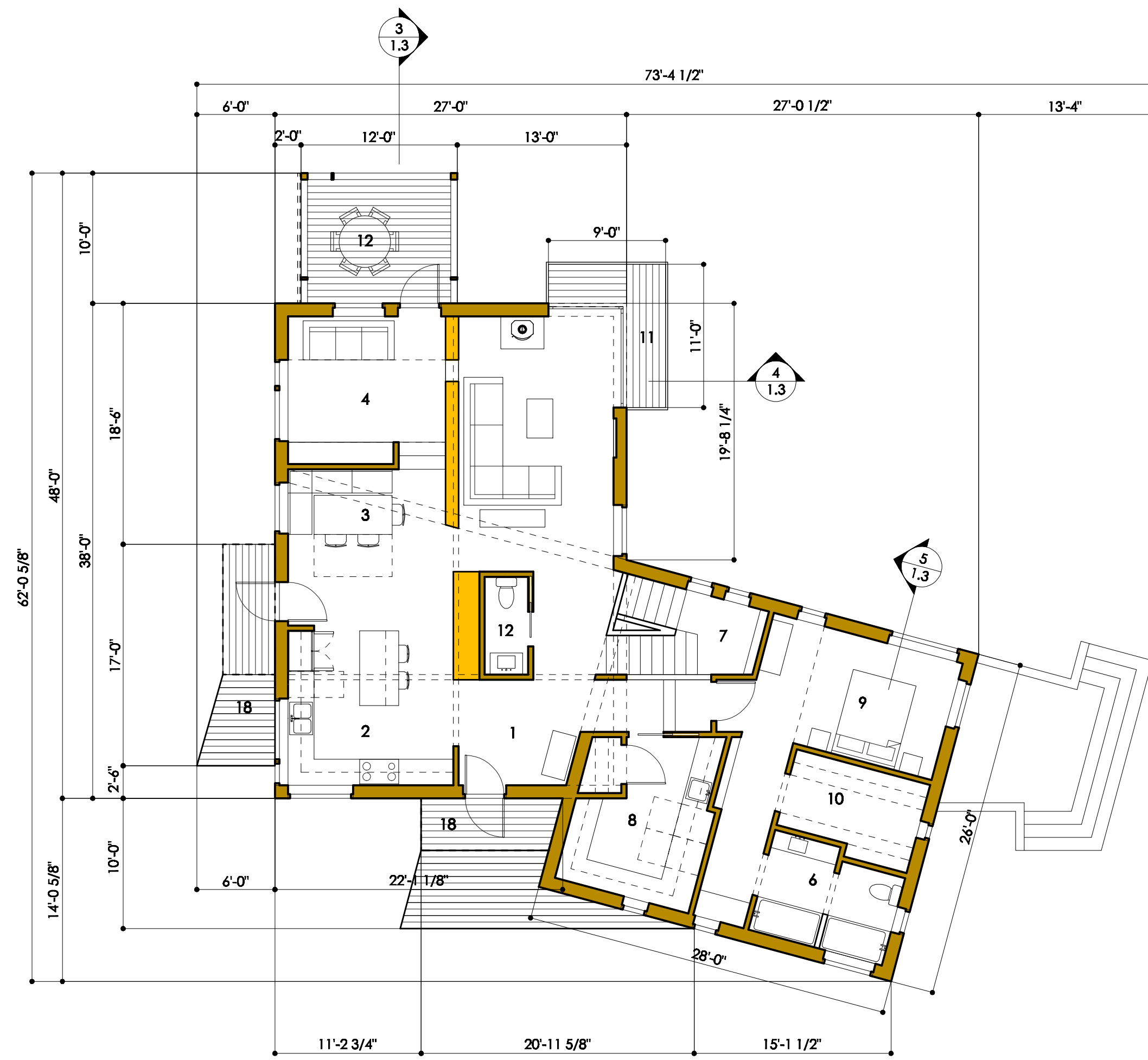


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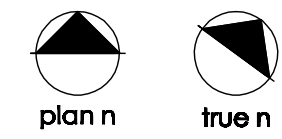
NEW HOME FOR:

**BILL AND LISA
 KEENAN**

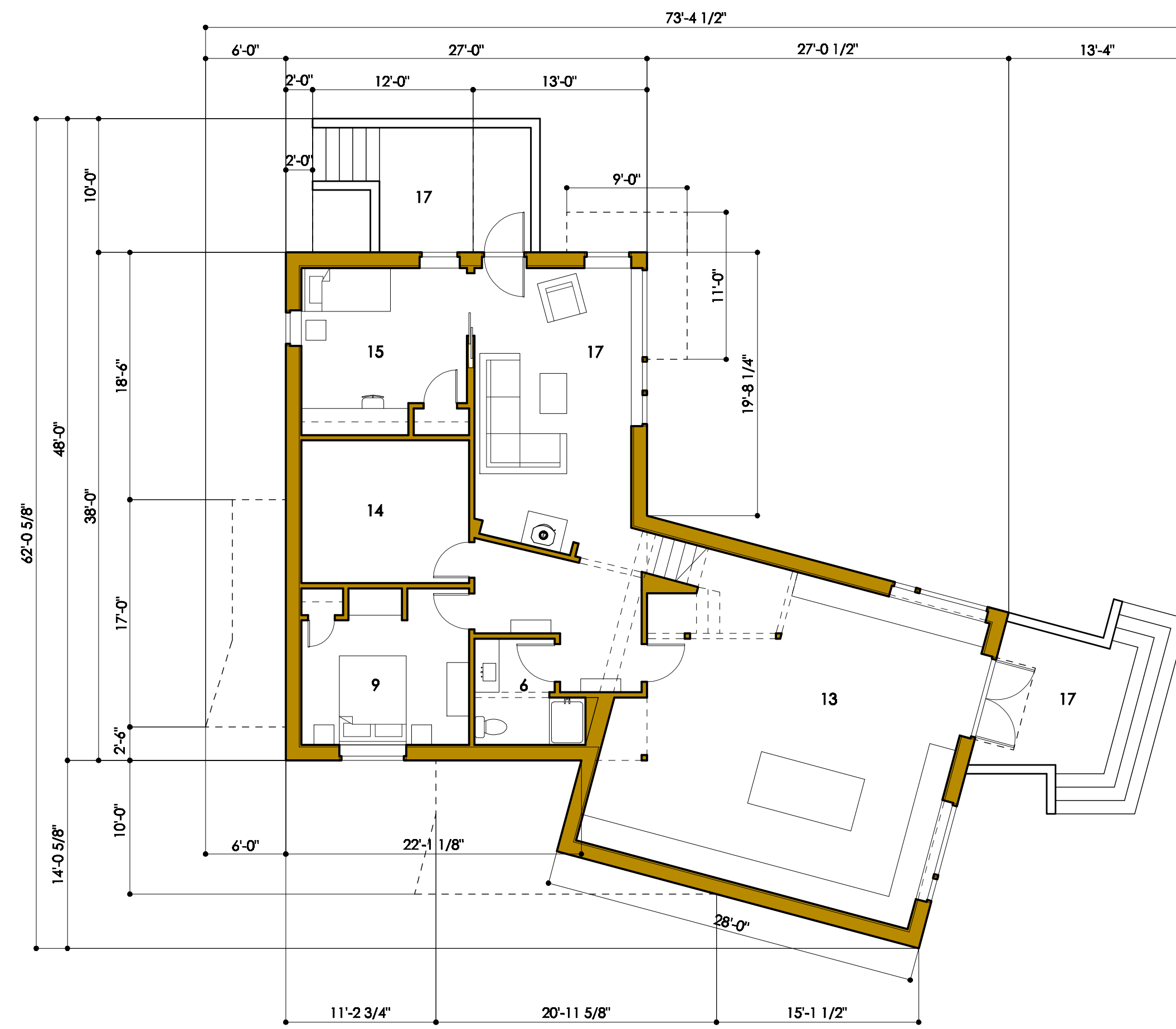
5501 GREENING LANE
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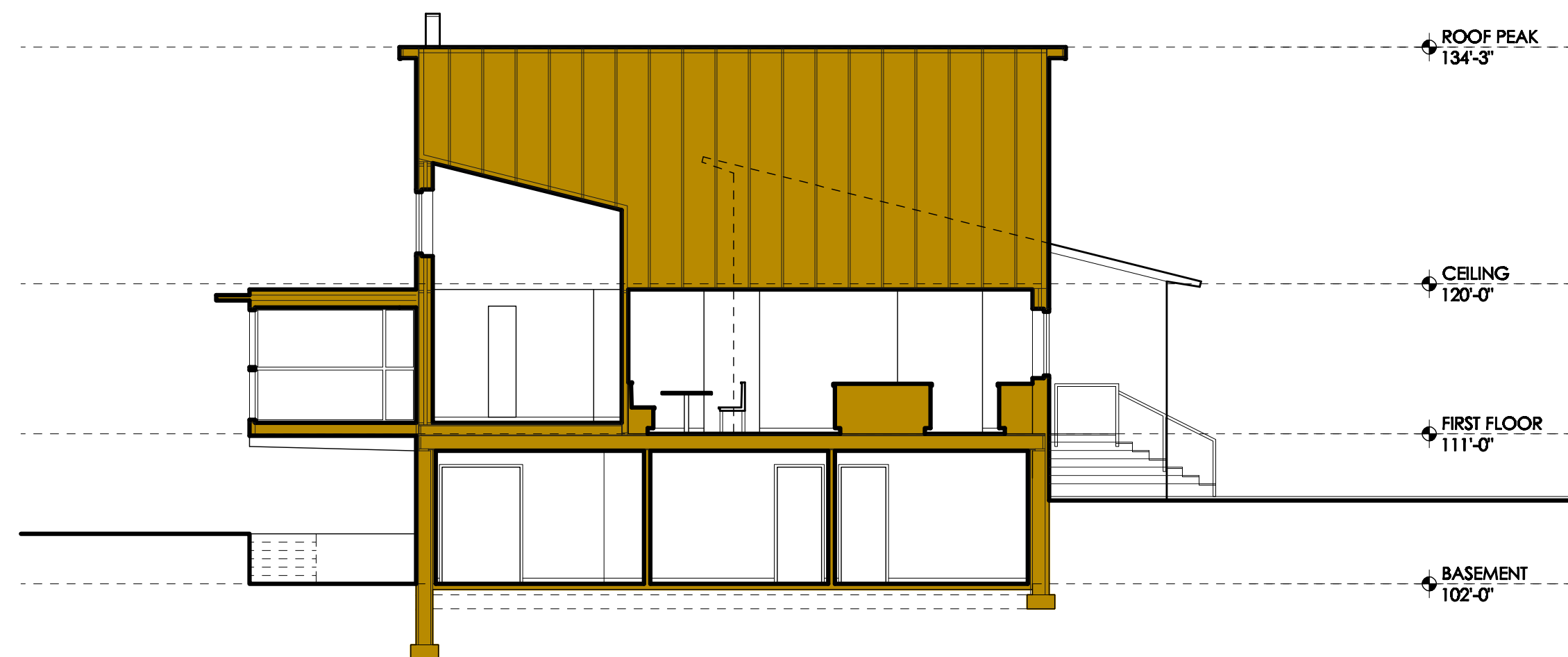
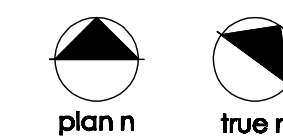
1 CONCEPT PLAN - first floor
 SCALE: 1/8" = 1'-0"



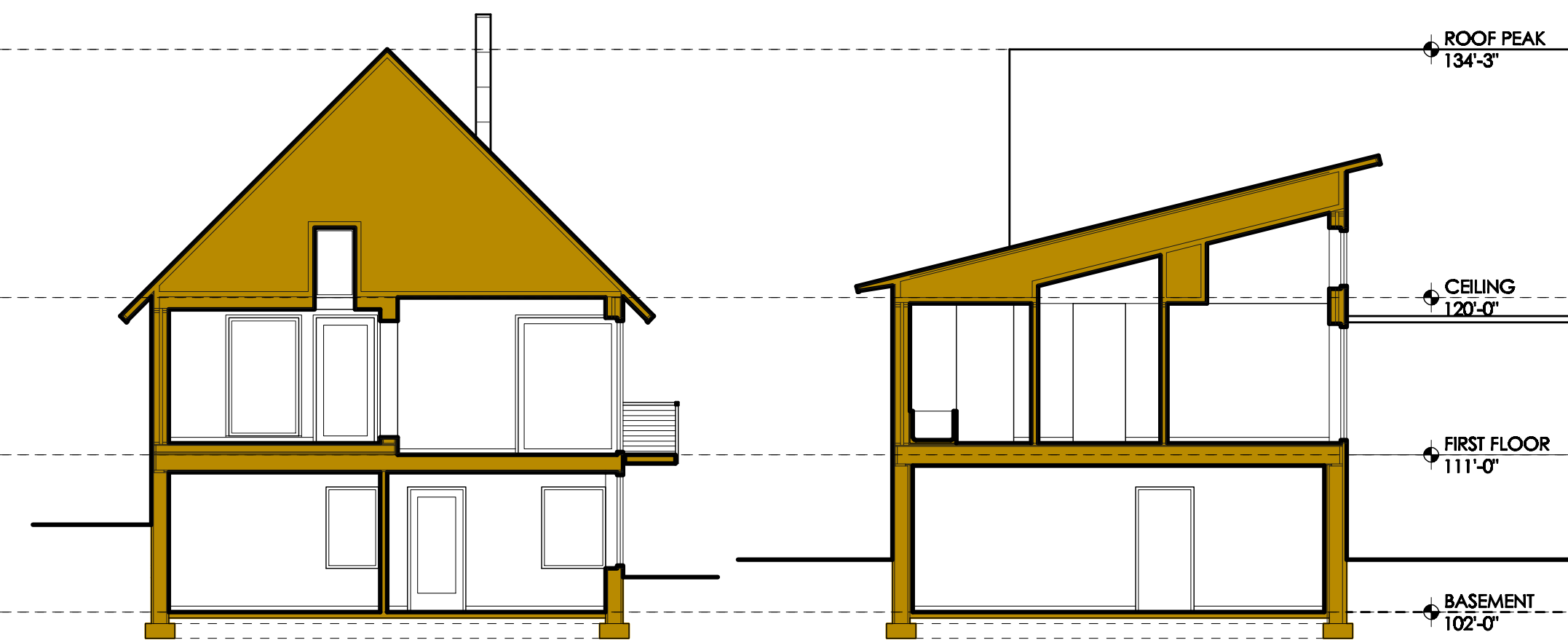
- LEGEND**
- 1 ENTRY
 - 2 KITCHEN
 - 3 DINING
 - 4 SITTING
 - 5 LIVING
 - 6 BATH
 - 7 STAIR
 - 8 LAUNDRY
 - 9 BEDROOM
 - 10 CLOSET
 - 11 BALCONY
 - 12 SCREEN PORCH
 - 13 STORAGE
 - 14 MECHANICAL
 - 15 STUDY
 - 16 FAMILY
 - 17 WALK-OUT
 - 18 ENTRY PORCH



2 CONCEPT PLAN - lower level
 SCALE: 1/8" = 1'-0"



3 CONCEPT SECTION - Porch + Sitting + Dining + Kitchen



4 CONCEPT SECTION - Sitting + Living
 SCALE: 1/8" = 1'-0"

5 CONCEPT SECTION - Bedroom
 SCALE: 1/8" = 1'-0"

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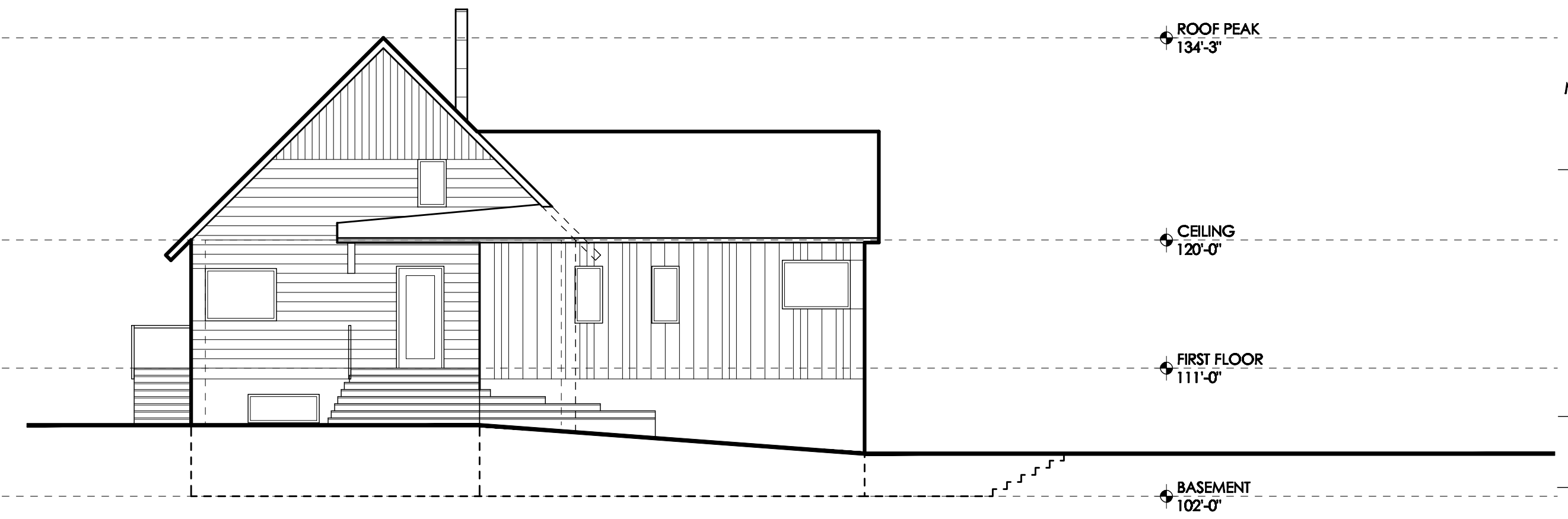
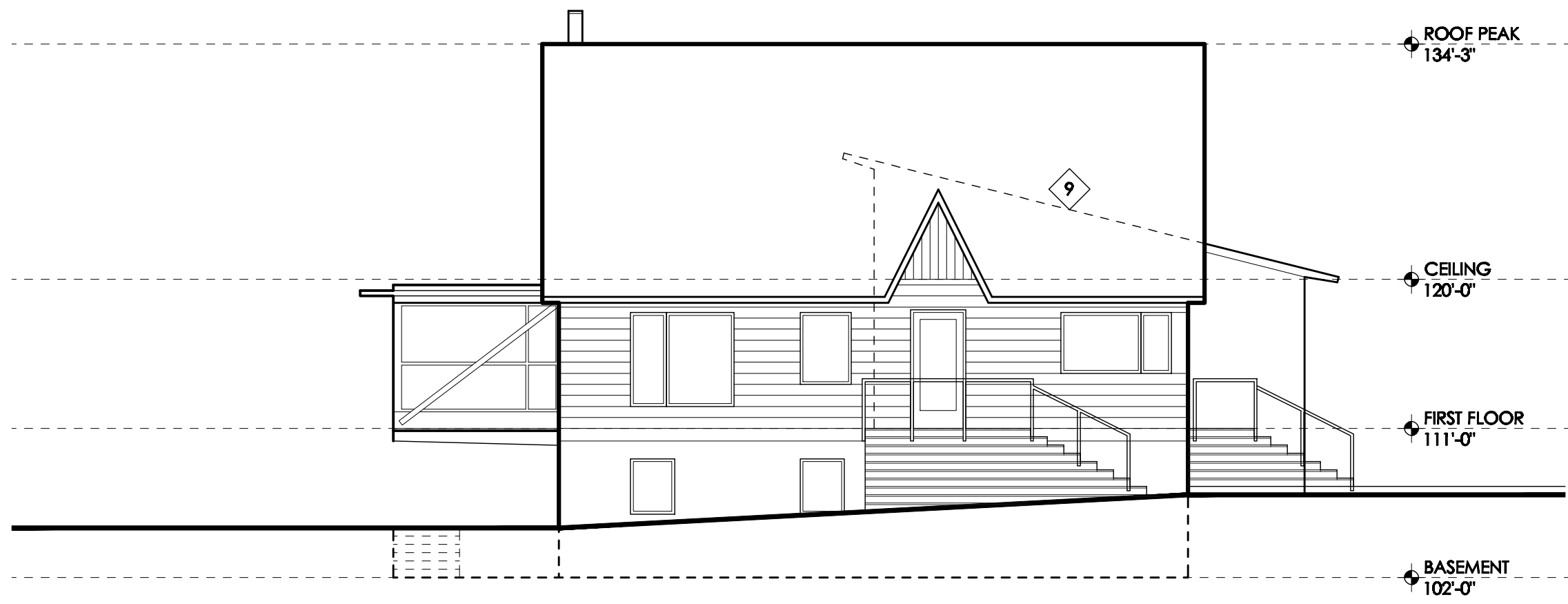


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NEW HOME FOR:

**BILL AND LISA
 KEENAN**

5501 GREENING LANE
 MADISON, WI 53705



1 CONCEPT ELEVATION - West

SCALE: 1/8" = 1'-0"

GENERAL NOTES

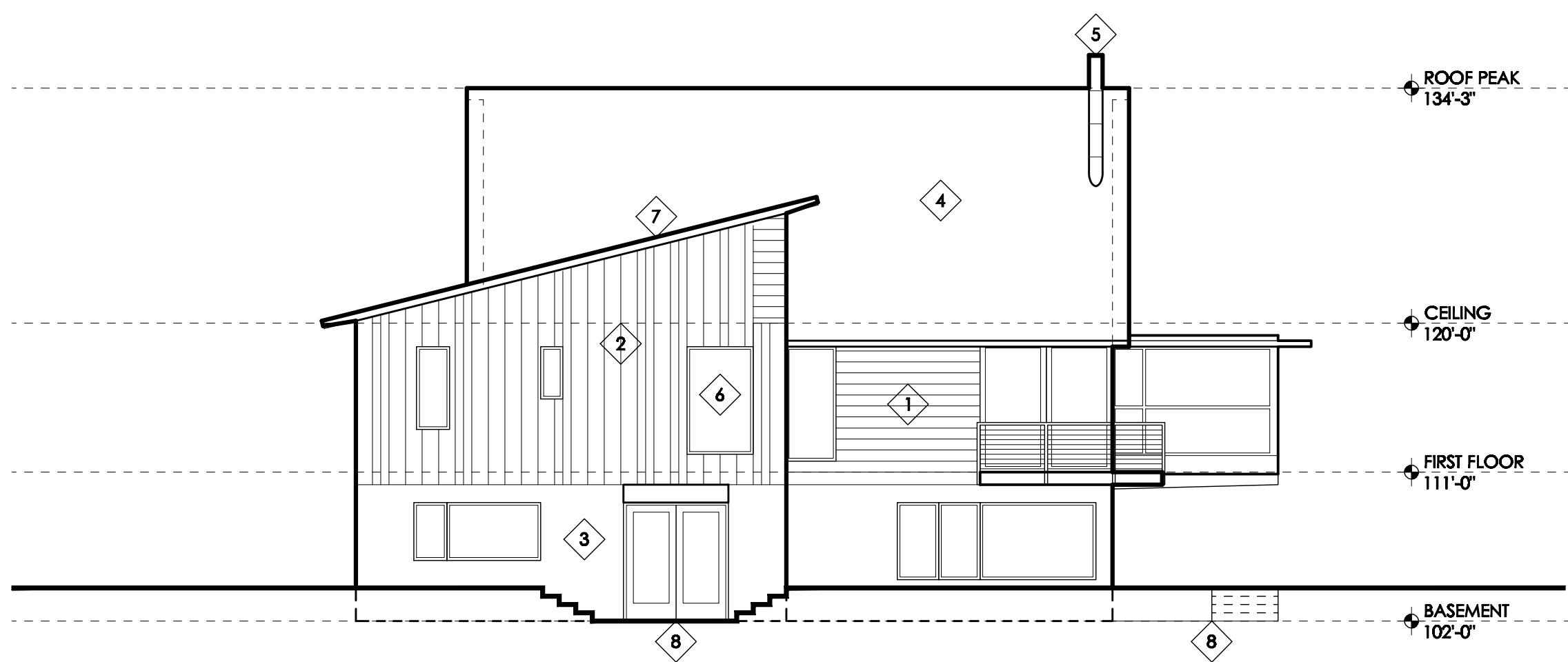
1. ELEVATIONS ARE SHOWN IN TRUE DIMENSION - NOT FORESHORTENED.

KEYED NOTES

1. HORIZONTAL SIDING.
2. VERTICAL SIDING.
3. SYNTHETIC STUCCO FINISH OVER FOUNDATION WALL.
4. FG COMPOSITION SHINGLES.
5. CANTILEVER DECK.
6. STAINLESS STEEL CLASS "A" CHIMNEY.
7. FACTORY MADE CLAD WINDOWS.
8. SOLID FASCIA.
9. WALK-OUT FROM BASEMENT
9. WALL PROFILE BEYOND.

1 CONCEPT ELEVATION - South

SCALE: 1/8" = 1'-0"



1 CONCEPT ELEVATION - East

SCALE: 1/8" = 1'-0"

1 CONCEPT ELEVATION - North

SCALE: 1/8" = 1'-0"

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