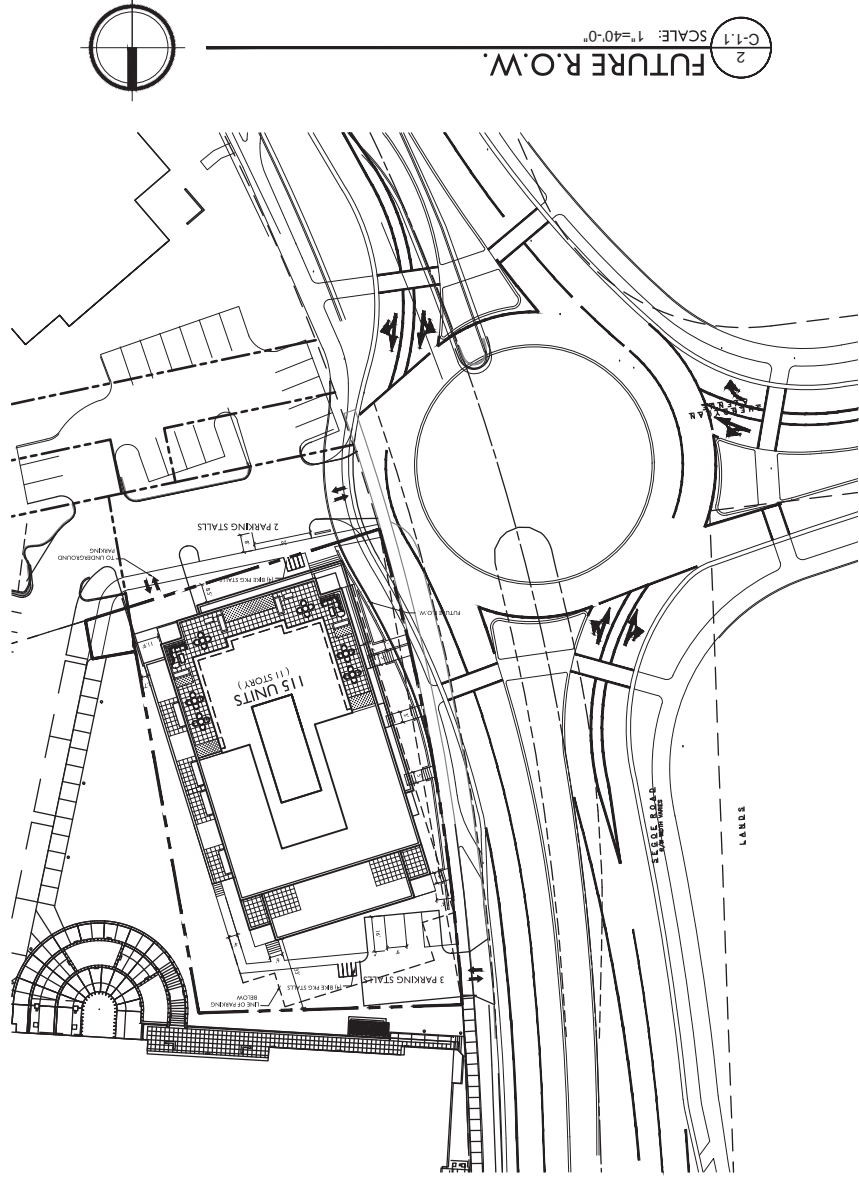
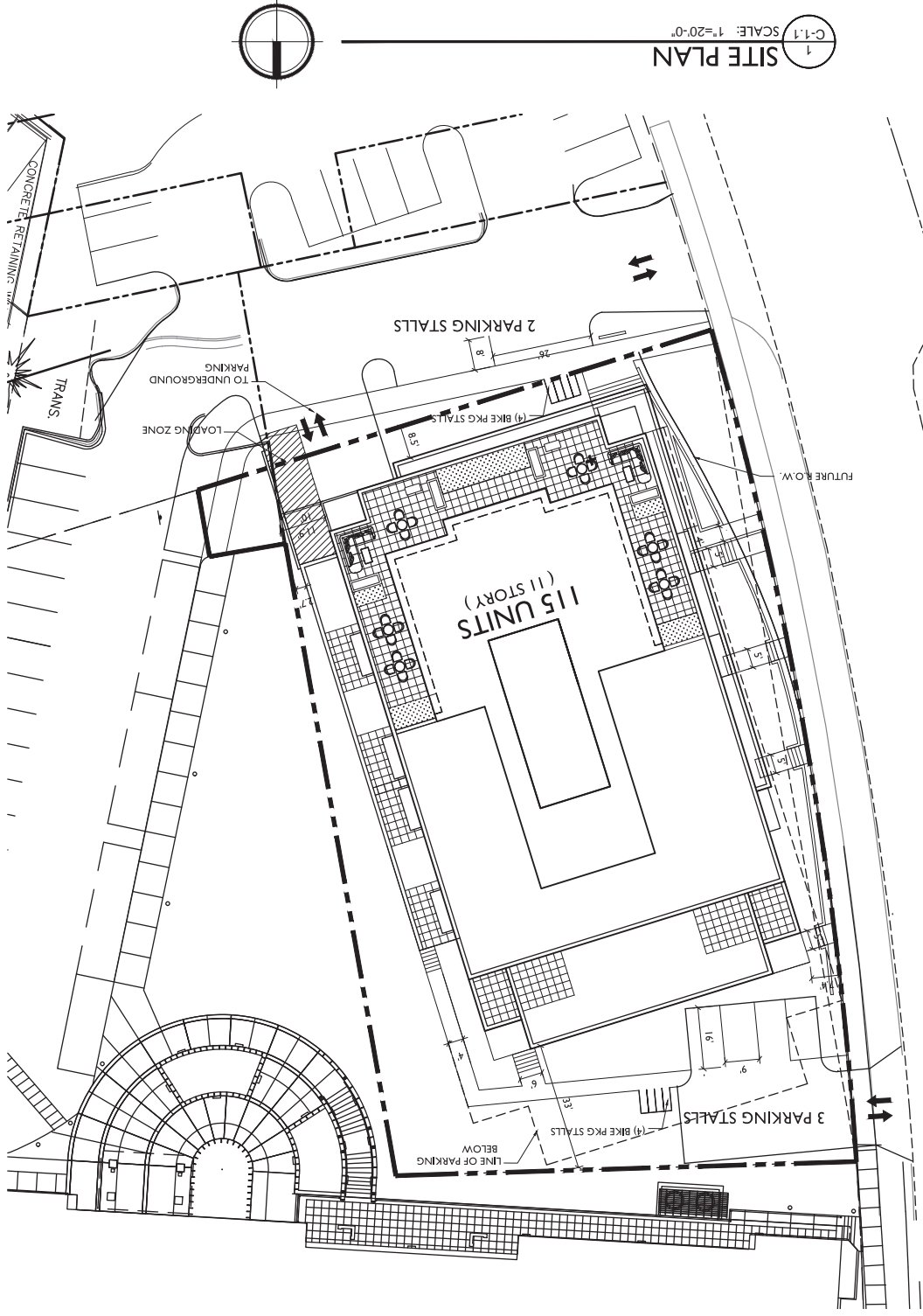
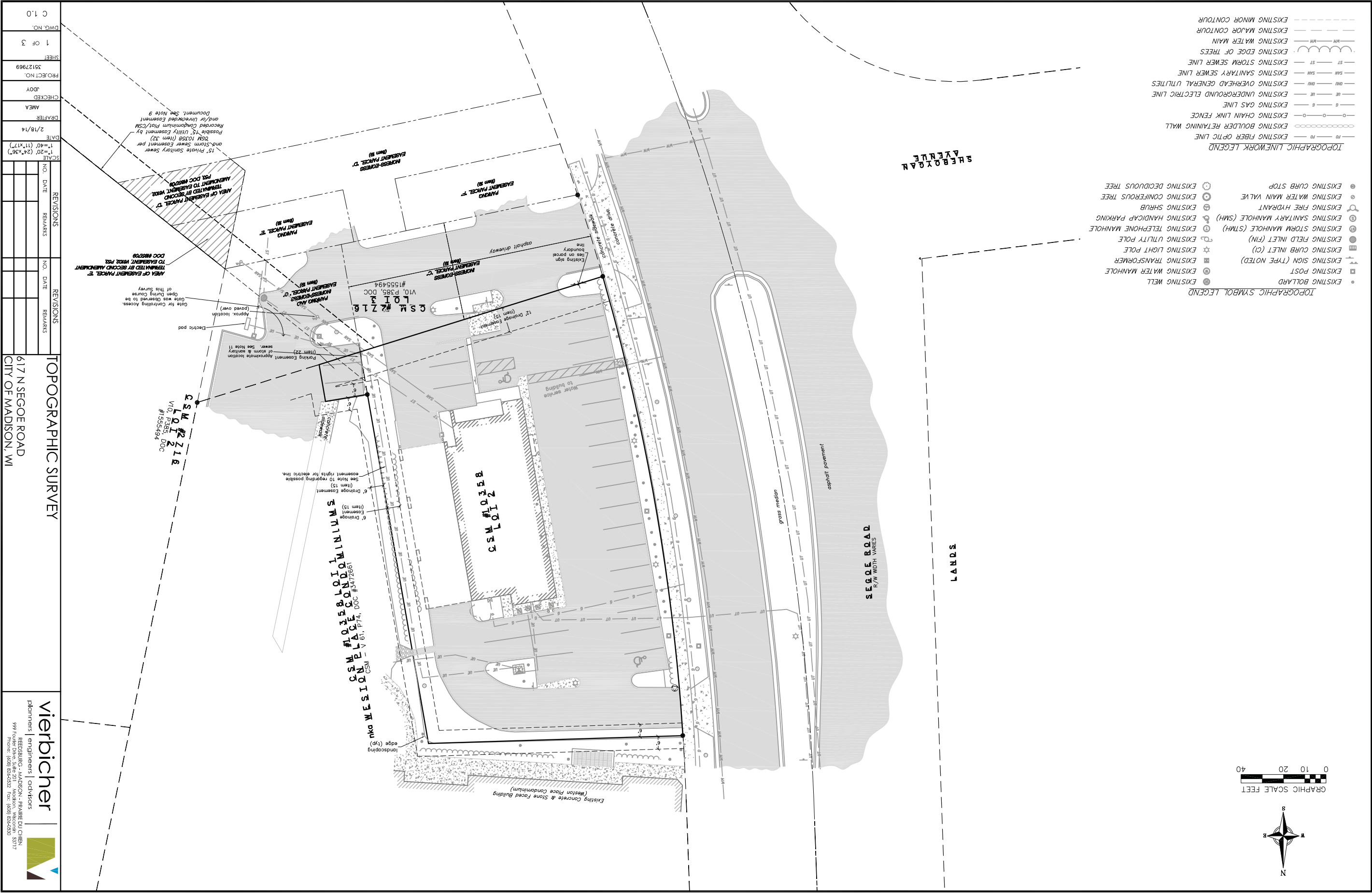
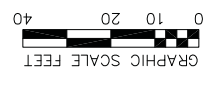


SITE INDEX SHEET	
C-11	SITE PLAN
C-10	EXISTING CONDITIONS
C-20	PRELIMINARY GRADING & EROSION CONTROL PLAN
C-30	PRELIMINARY UTILITY PLAN
C-40	FIRE DEPARTMENT ACCESS PLAN
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SITE DEVELOPMENT STATISTICS	
LOT AREA	25,357 S.F./5.8 ACRES
DWELLING UNITS	115 D.U.
LOT AREA/D.U.	220 S.F./D.U.
DENSITY	198 UNITS/ACRE
BUILDING HEIGHT	11 STORIES
GROSS FLOOR AREA	135,651 S.F.
FLOOR AREA RATIO	5.35 (excluding underground parking)
UNIT MIX	
EFFICIENCY	19
ONE BEDROOM + DEN	42
TWO BEDROOM	11
THREE BEDROOM	24
TOTAL	115
VEHICLE PARKING SURFACE	
TOTAL	5
UNDERGROUND	141
TOTAL	146
BIKE PARKING	
FLOOR STALL SURFACE	122
FLOOR STALL UNDERGROUND	8
TOTAL	130



- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING BOLLARD
  - EXISTING POST
  - ⊠ EXISTING SIGN (TYPE NOTED)
  - ⊙ EXISTING TRANSFORMER
  - ☆ EXISTING LIGHT POLE
  - EXISTING CURB INLET (CI)
  - EXISTING FIELD INLET (FIN)
  - EXISTING STORM MANHOLE (STMH)
  - EXISTING SANITARY MANHOLE (SMH)
  - EXISTING HANDICAP PARKING
  - EXISTING FIRE HYDRANT
  - EXISTING WATER MAIN VALVE
  - EXISTING CONIFEROUS TREE
  - EXISTING DECIDUOUS TREE
- TOPOGRAPHIC LINEWORK LEGEND**
- EXISTING FIBER OPTIC LINE
  - EXISTING BOLLARD RETAINING WALL
  - EXISTING CHAIN LINK FENCE
  - EXISTING GAS LINE
  - EXISTING UNDERGROUND ELECTRIC LINE
  - EXISTING OVERHEAD GENERAL UTILITIES
  - EXISTING SANITARY SEWER LINE
  - EXISTING STORM SEWER LINE
  - EXISTING EDGE OF TREES
  - EXISTING WATER MAIN
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR



SCALE: 1"=40' (24"x36") DATE: 2/18/14 DRAFTER: AMEA CHECKED: JOOY PROJECT NO.: 35127969 SHEET: 1 OF 3 DWG. NO.: C 1.0	REVISIONS: <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>REMARKS</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	REMARKS							<b>TOPOGRAPHIC SURVEY</b> 617 N SEGOE ROAD CITY OF MADISON, WI
NO.	DATE	REMARKS									

vierbicher  
 planners | engineers | architects | advisors  
 999 Foulmer Drive, Suite 201 | Madison, Wisconsin 53717  
 Phone: (608) 826-4532 Fax: (608) 826-4530

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wisconsin.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A "3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISCONSIN TECHNICAL STANDARD 1057. SEEDMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY MULCH (SOD) OR A DISTURBED AREA, INCLUDE SUMMER SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DRAINING PUMPING RATE. WATER MAY BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH MESH SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.

- GENERAL NOTES:**
1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
  2. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
  3. CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
  4. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- SEEDING RATES:**
- TEMPORARY:  
 1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.  
 2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.  
 PERMANENT:  
 1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.  
 FERTILIZING RATES:  
 TEMPORARY AND PERMANENT:  
 USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.  
 MULCHING RATES:  
 TEMPORARY AND PERMANENT:  
 USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.2.3, OR OTHER RATE AND METHOD PER SECTION 627 WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.

**ABBREVIATIONS**

⊕ 853.56	PROPOSED SPOT ELEVATIONS
⊕ 853.02	EXISTING SPOT ELEVATIONS
C	TOP OF CURB
M	TOP OF WALK
F	FINISHED FLOOR
E	EDGE OF PAVEMENT
R	RISERS

9. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREAS STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
10. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
11. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
12. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISBURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
13. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, SOD) OR A DISTURBED AREA, INCLUDE SUMMER SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DRAINING PUMPING RATE. WATER MAY BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH MESH SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.

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**LANDS**

SEGOE ROAD  
R/W WIDTH VARIES

**GRAPHIC SCALE FEET**

0 10 20 40

**SEEDING RATES:**

TEMPORARY:  
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R	RISERS

**REVISIONS**

NO.	DATE	REMARKS

**GRADING & EROSION CONTROL PLAN**

617 N SEGOE ROAD  
CITY OF MADISON, WI

**veribicher**  
planners | engineers | advisors

999 Kohler Drive, Suite 201, Madison, Wisconsin 53717  
 Phone: (608) 828-5822 Fax: (608) 828-5838

**SCALE**

1"=40' (11'x17")  
1"=20' (24"x36")

**DATE**  
2/18/14

**DRAWN BY**  
AMEA

**CHECKED BY**  
JOY

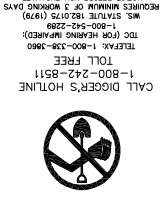
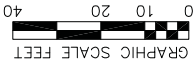
**PROJECT NO.**  
35127986

**SHEET**  
2 OF 3

**DWG. NO.**  
C 2.0

- UTILITY NOTES**
1. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICT.
  2. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS).
  3. FOR ALL SEWER AND WATER MAIN CROSSINGS, PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
  4. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
  5. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
  6. PRIVATE SANITARY SEWER LATERALS SHALL BE POLYETHYLENE TEREPHTHALATE (PET) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
  7. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(1)(h) AND SPS 382.40(8)(k).
  8. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b), 9. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.09.
  10. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
  11. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
  12. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
  13. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
  14. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND PLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
  15. EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED PER CITY REQUIREMENTS.
  16. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUMBING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
  17. THE DEVELOPER SHALL INSTALL THE 3M™ ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5' BALL MARKERS—WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
  18. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY THE MADISON WATER UTILITY TO REMOVE THE WATER METERS.
  19. EXISTING WELLS SHALL BE ABANDONED PER CITY AND STATE REGULATIONS.

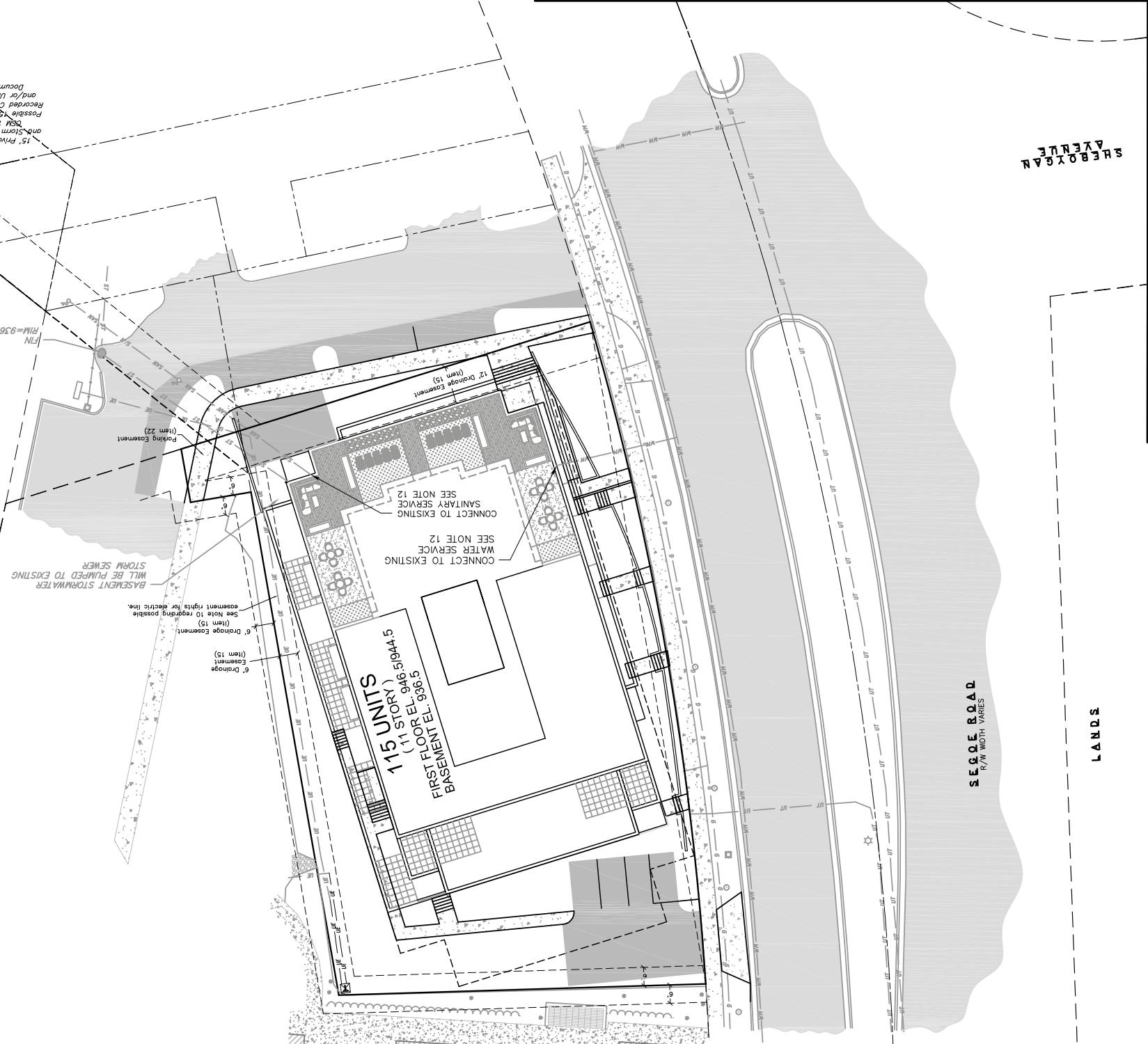
- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING WELL
  - EXISTING POST
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  - EXISTING HANDICAP PARKING
  - EXISTING FIRE HYDRANT
  - EXISTING SHRUB
  - EXISTING CONIFEROUS TREE
  - EXISTING CURB STOP
- TOPOGRAPHIC LINEWORK LEGEND**
- R0 — EXISTING FIBER OPTIC LINE
  - R1 — EXISTING BOULDER RETAINING WALL
  - R2 — EXISTING CHAIN LINK FENCE
  - R3 — EXISTING GAS LINE
  - R4 — EXISTING UNDERGROUND ELECTRIC LINE
  - R5 — EXISTING OVERHEAD GENERAL UTILITIES
  - R6 — EXISTING SANITARY SEWER LINE
  - R7 — EXISTING STORM SEWER LINE
  - R8 — EXISTING EDGE OF TREES
  - R9 — EXISTING WATER MAIN
  - R10 — EXISTING MAJOR CONTOUR
  - R11 — EXISTING MINOR CONTOUR



LANDS

SEGOE ROAD R/W WIDTH VARIES

SHEBOYGAN AVENUE



**UTILITY PLAN**

617 N SEGOE ROAD  
CITY OF MADISON, WI

REVISIONS	
NO.	DATE

planners | engineers | architects

**veribicher**

999 Frontier Drive, Suite 201 | Madison, Wisconsin 53717  
Phone: (608) 824-4527 Fax: (608) 824-5300



**knothe + bruce**  
ARCHITECTS  
7011 Technology Ave., Suite 201  
Madison, WI 53713  
Phone: 608.263.2000  
FAX: 608.263.2002

CONSULTANT

REVISIONS

REZONING APPLICATION - FEBRUARY 19  
2014

PROJECT TITLE  
617 SEGOE RD

MADISON, WI

SHEET TITLE

FIRE

DEPARTMENT  
ACCESS PLAN

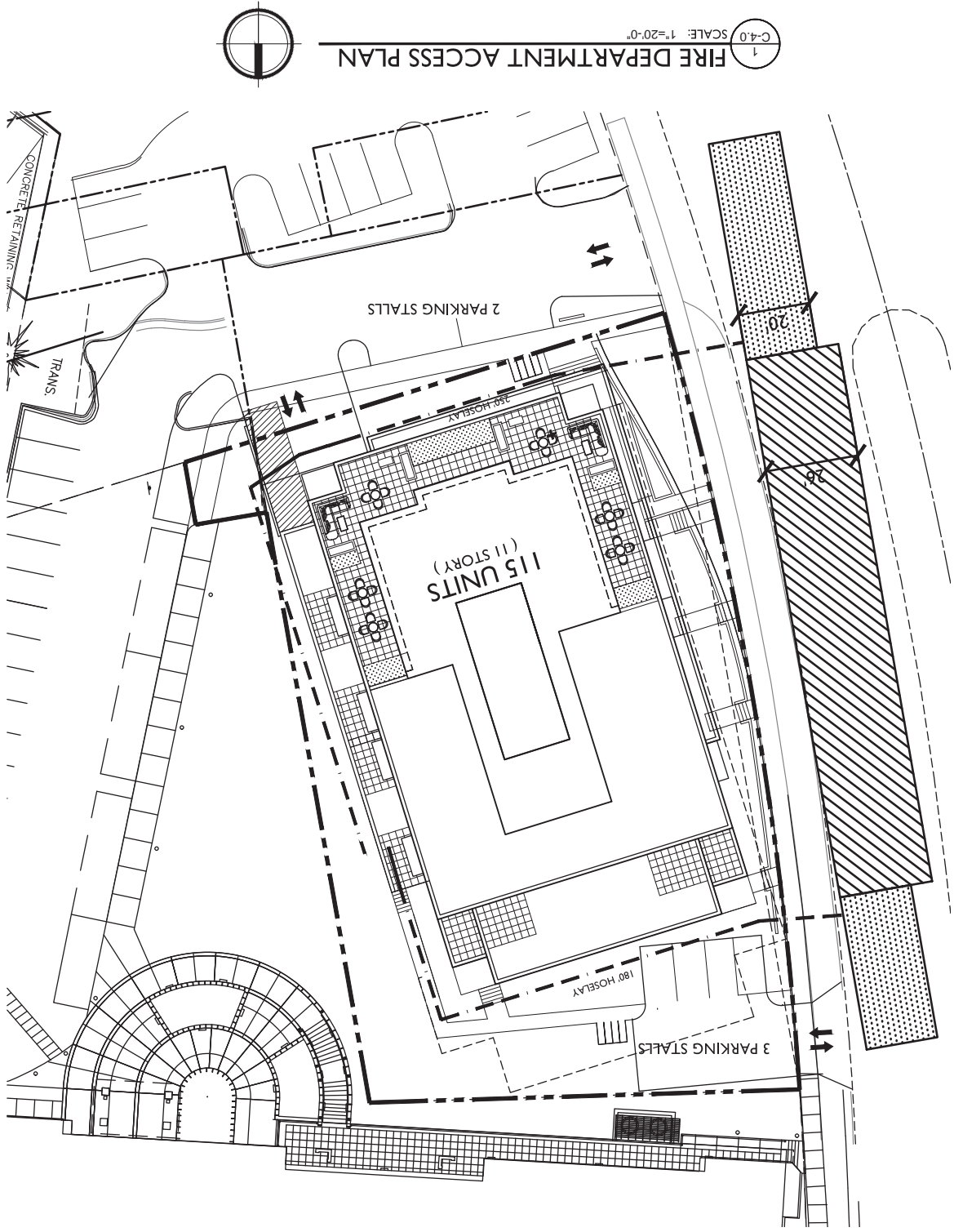
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C-4.0

PROJECT NO.

1012

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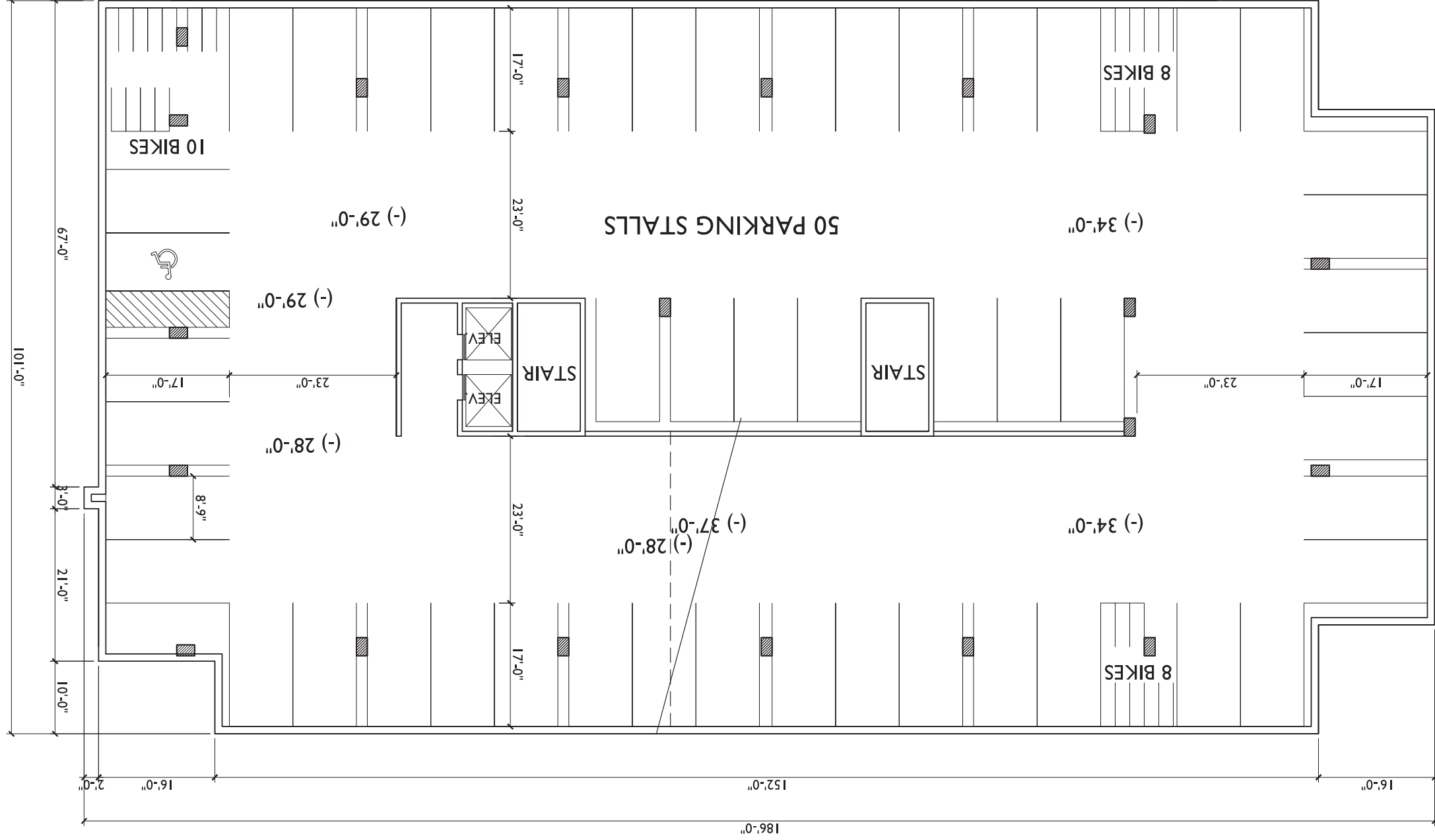
1 FIRE DEPARTMENT ACCESS PLAN

SCALE: 1"=20'-0"

C-4.0







1  
 A-P1.3 SCALE: 1/8"=1'-0"  
 PARKING LEVEL 3



**knothe | bruce**  
ARCHITECTS  
7001 Watkinson Ave., Ste. 201  
Madison, WI 53706  
608.258.3590

ISSUED  
Issued For Reopening - February 19, 2014

PROJECT TITLE  
**617 SEGOE RD**

Madison, WI  
SHEET TITLE  
**PARKING**  
LEVEL 2

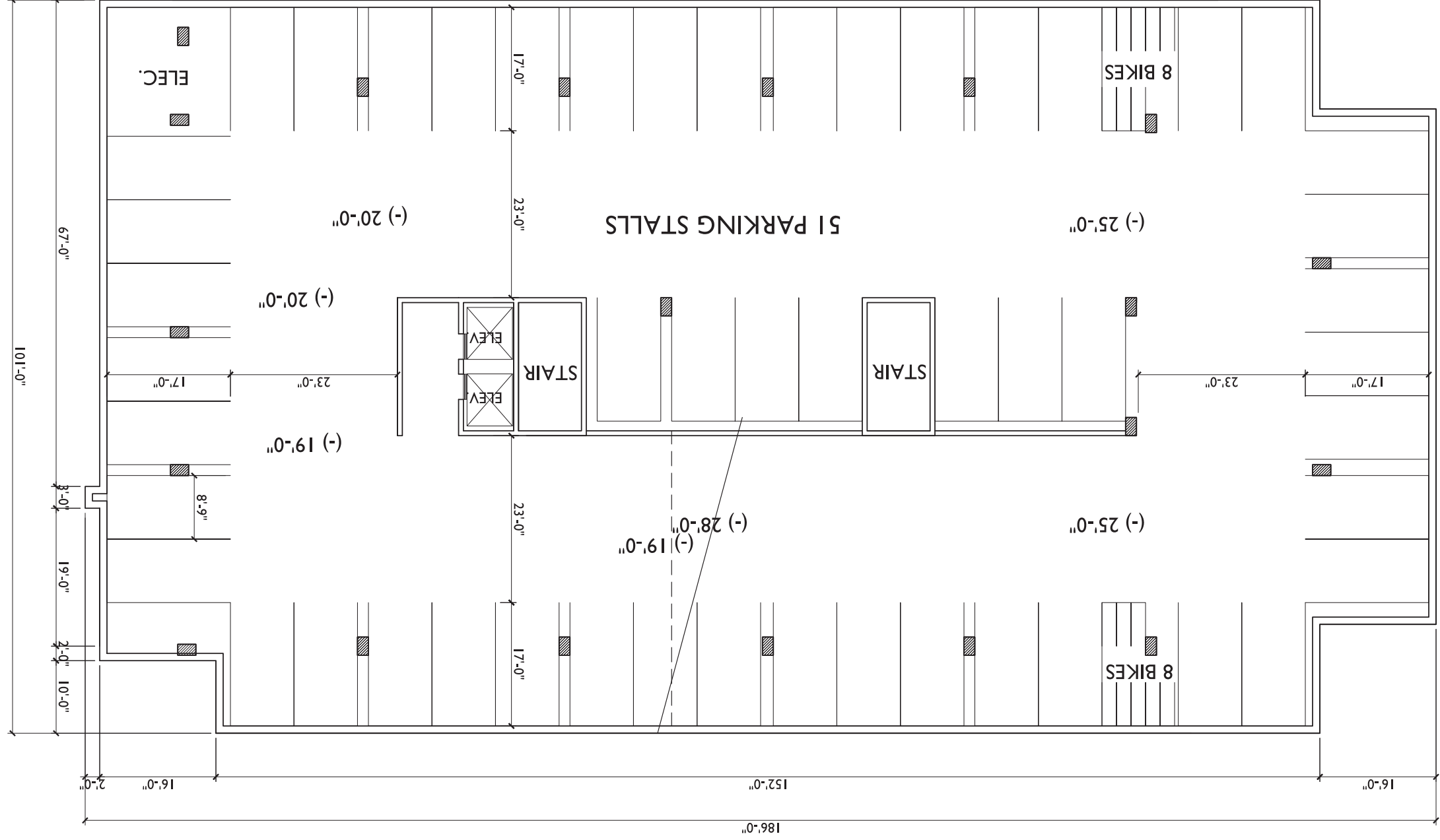
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**A-P1.2**

PROJECT NO.

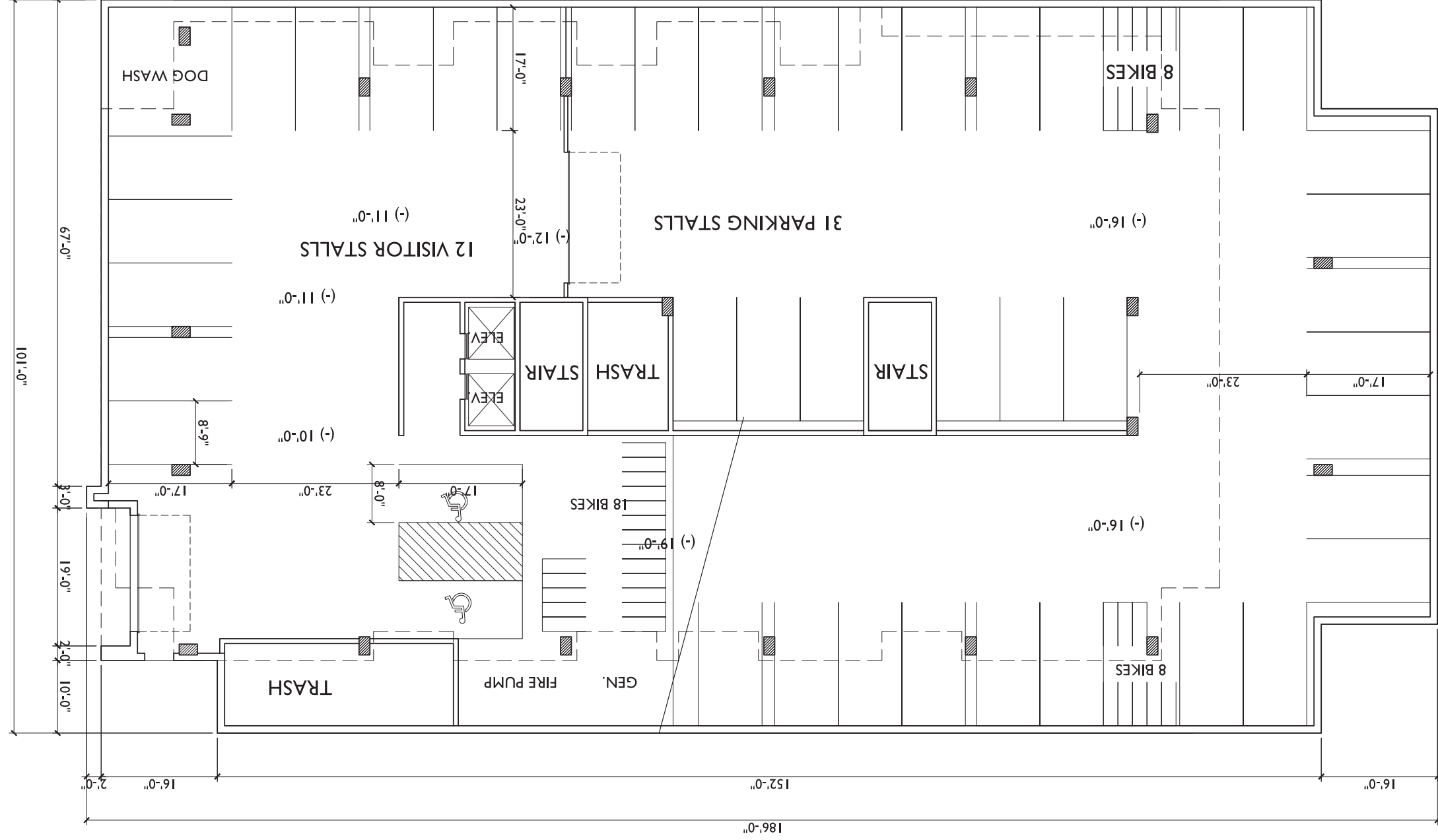
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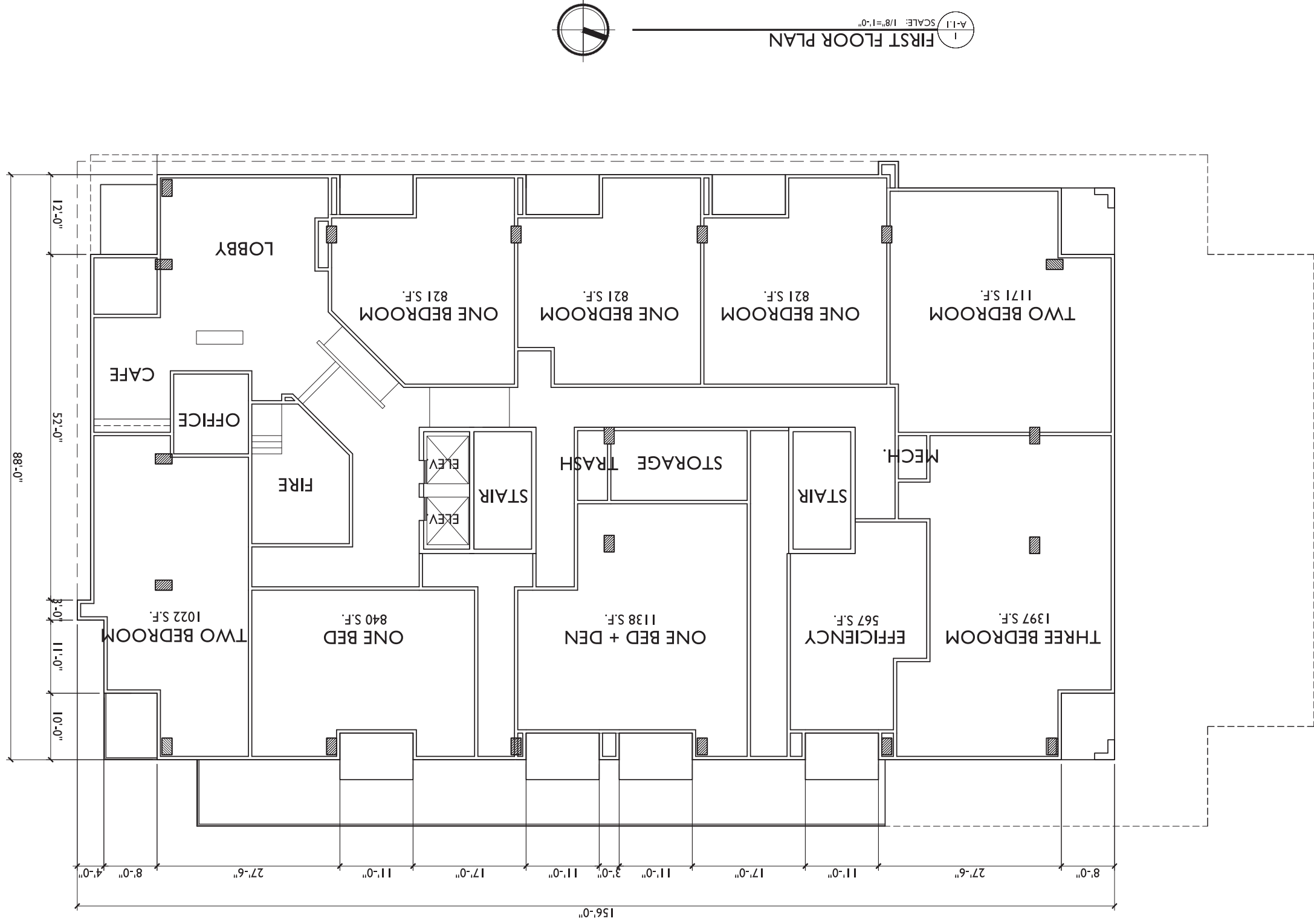


1  
**PARKING LEVEL 2**  
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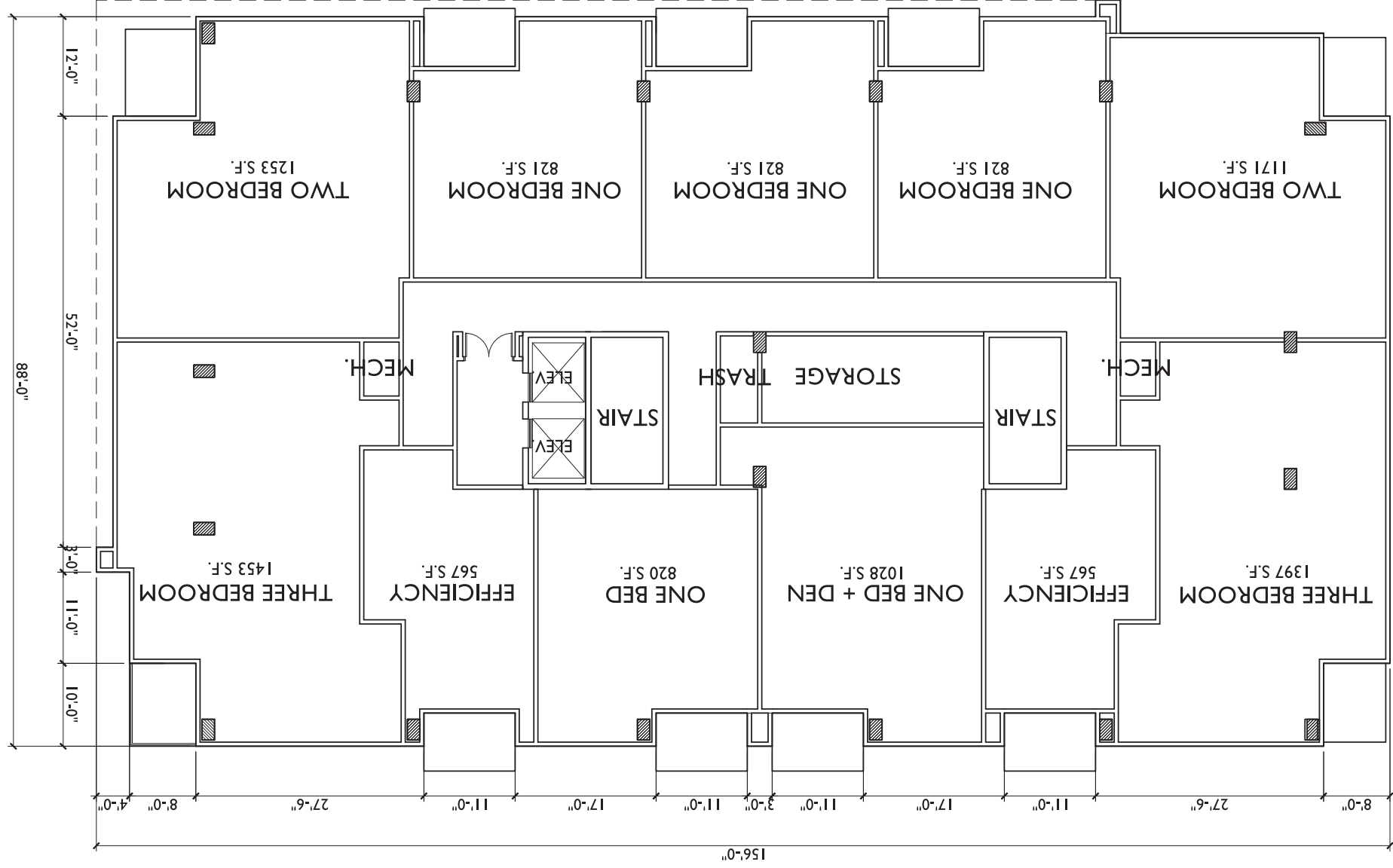




A-P1.1 SCALE: 1/8"=1'-0"  
 1 PARKING LEVEL I



1  
 A-1.1  
 SCALE: 1/8"=1'-0"  
 FIRST FLOOR PLAN



Madison, WI  
 SHEET TITLE  
 SECOND-EIGHTH  
 FLOOR PLAN

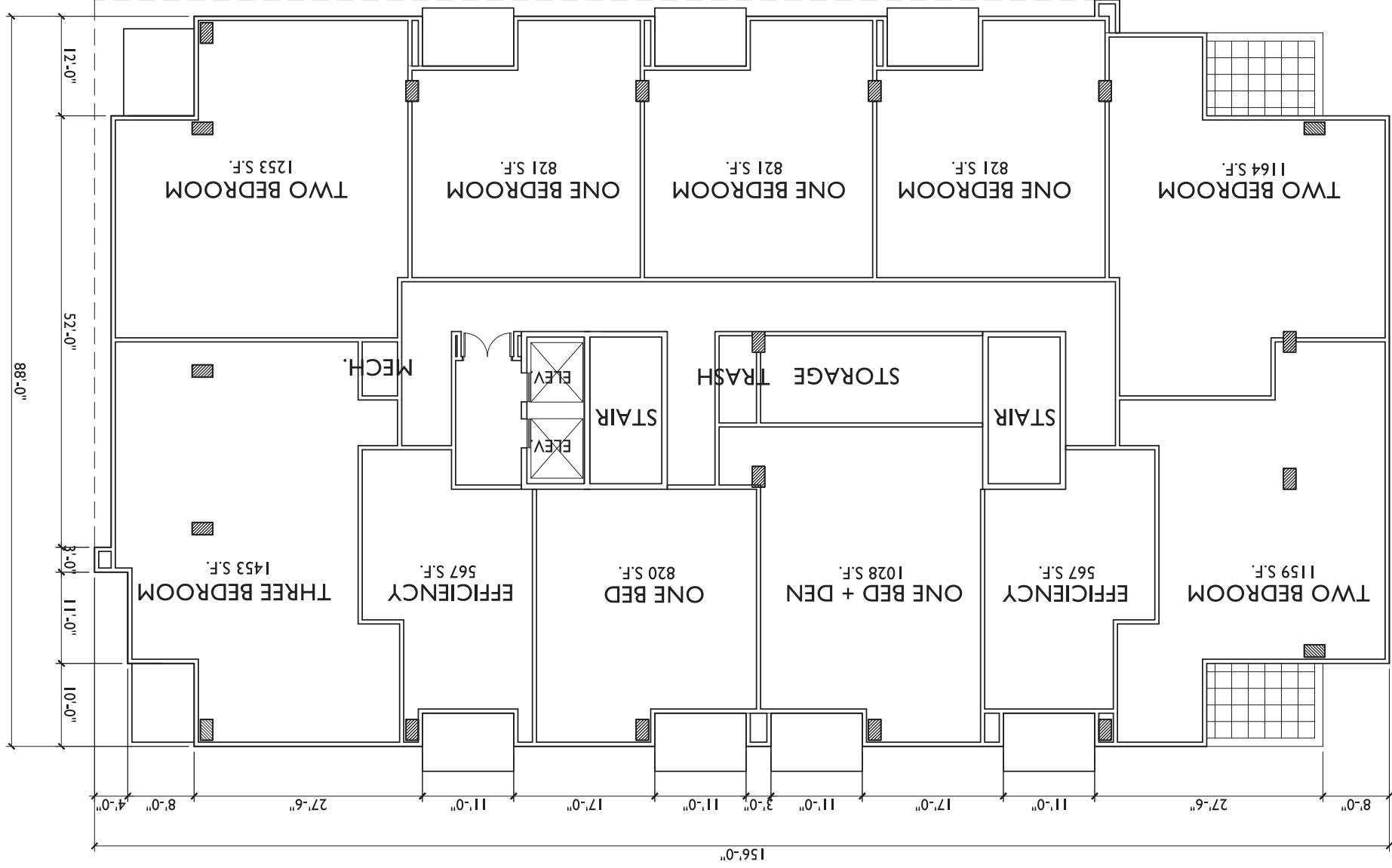
PROJECT TITLE  
 617 SEGOE RD

ISSUED  
 Issued For Rezoning - February 19, 2014



PROJECT NO.  
 1012  
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SHEET NUMBER  
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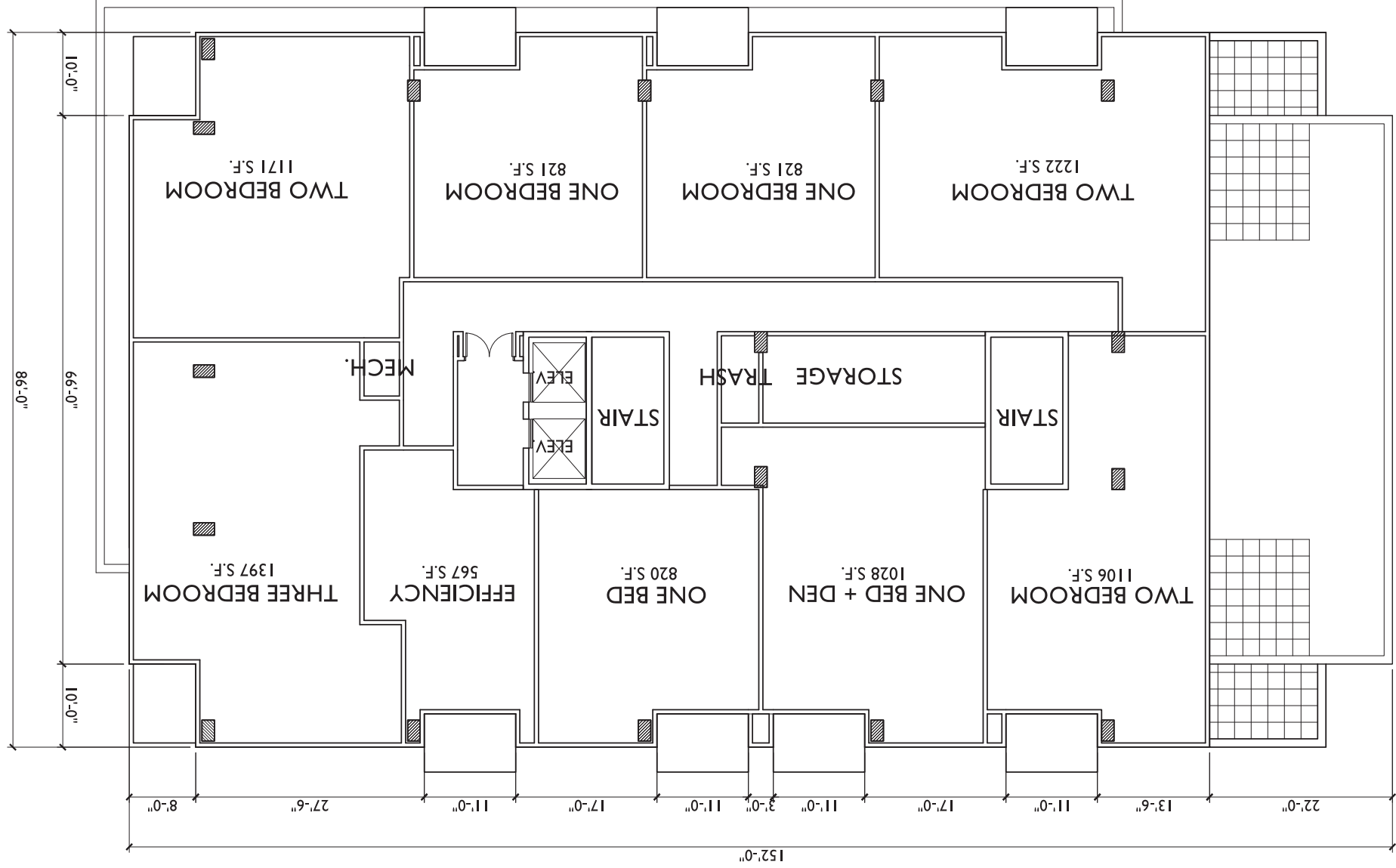


A-1.3  
NINTH FLOOR PLAN  
SCALE: 1/8"=1'-0"

Madison, WI  
SHEET TITLE  
NINTH FLOOR  
PLAN

PROJECT TITLE  
617 SEGOE RD

ISSUED  
Issued For Reasoning - February 19, 2014



TENTH & ELEVENTH FLOOR PLAN  
 1  
 SCALE: 1/8"=1'-0"

PROJECT NO. 1012  
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A-1.4

SHEET NUMBER

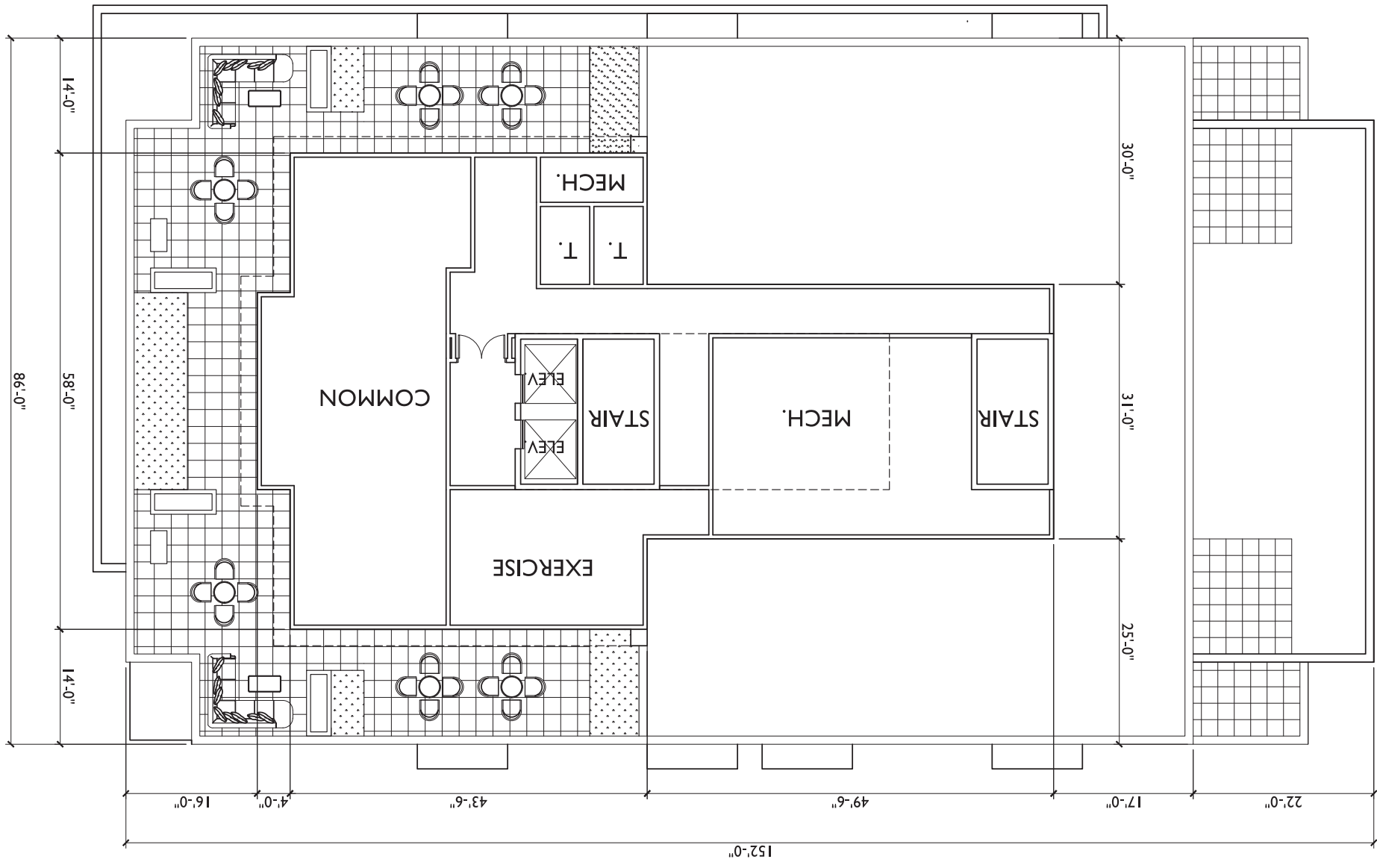
MADISON, WI  
 SHEET TITLE  
 TENTH &  
 ELEVENTH  
 FLOOR PLAN

PROJECT TITLE  
 617 SEGOE RD

ISSUED  
 Issued For Reopening - February 19, 2014



7001 Watkinson Ave., Ste. 201  
 Madison, WI 53705  
 608.261.3000



1  
PENTHOUSE PLAN  
SCALE: 1/8"=1'-0"



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A-1.5

SHEET NUMBER

Madison, WI  
SHEET TITLE  
PENTHOUSE  
PLAN

PROJECT TITLE  
617 SEGOE RD

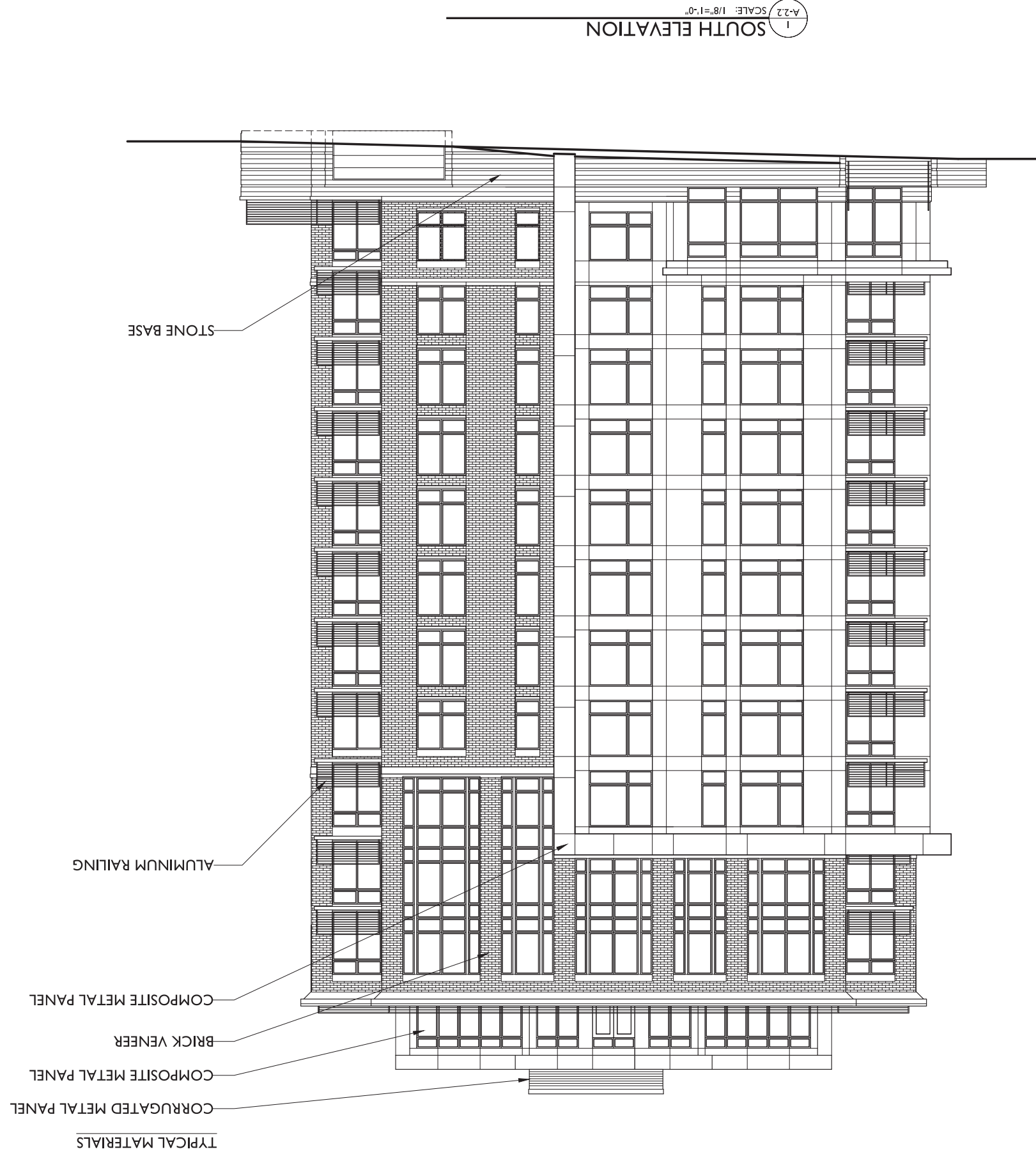
ISSUED  
Issued For Rezoning - February 19, 2014

**knothe & bruce** ARCHITECTS  
 7001 Watkinson Ave., Ste 204  
 Madison, WI 53706  
 608.332.3590

1  
 SEGOE ROAD ELEVATION  
 SCALE: 1/8"=1'-0"



TYPICAL MATERIALS







1 EAST ELEVATION  
SCALE: 1/8"=1'-0"

Madison, WI  
SHEET TITLE  
EAST  
ELEVATION

PROJECT TITLE  
617 SEGOE RD

ISSUED  
Issued For Reopening - February 19, 2014

Project: 7001 Watkinson Ave., Ste. 201  
Madison, WI 53705  
608.252.3590

knøthe ■ bruce  
ARCHITECTS



A-2.3

SHEET NUMBER

PROJECT NO.  
1012

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1  
 NORTH ELEVATION  
 SCALE: 1/8"=1'-0"

