



FRONT ELEVATION
1/4"=1'-0"



RIGHT ELEVATION
1/4"=1'-0"

MAIN LEVEL FLOOR PLAN=	3612 SQ. FT.
UPPER LEVEL FLOOR PLAN=	1320 SQ. FT.
LOWER LEVEL FLOOR PLAN=	1919 SQ. FT.
TOTAL FINISHED=	6849 SQ. FT.
DECK =	401 SQ. FT.
GRILLING DECK =	192 SQ. FT.
THREE SEASON PORCH=	227 SQ. FT.
COVERED ENTRY (FRONT) =	91 SQ. FT.
COVERED ENTRY (SIDE) =	25 SQ. FT.
GARAGE =	1129 SQ. FT.
ATTIC GARAGE STORAGE =	541 SQ. FT.

NEW RESIDENCE FOR:
JEFF AND SARA WIESNER
6202 NORTH HIGHLANDS AVENUE
CITY OF MADISON, DANE COUNTY, WISCONSIN

STEVEN T. WIESNER
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www.denoblebuilders.com

ELEVATIONS	
DATE	REV 2/24/2011
SCALE	1/4"=1'-0"
REVISION	SHEET
VER. 5	10



BACK ELEVATION
1/4"=1'-0"



LEFT ELEVATION
1/4"=1'-0"

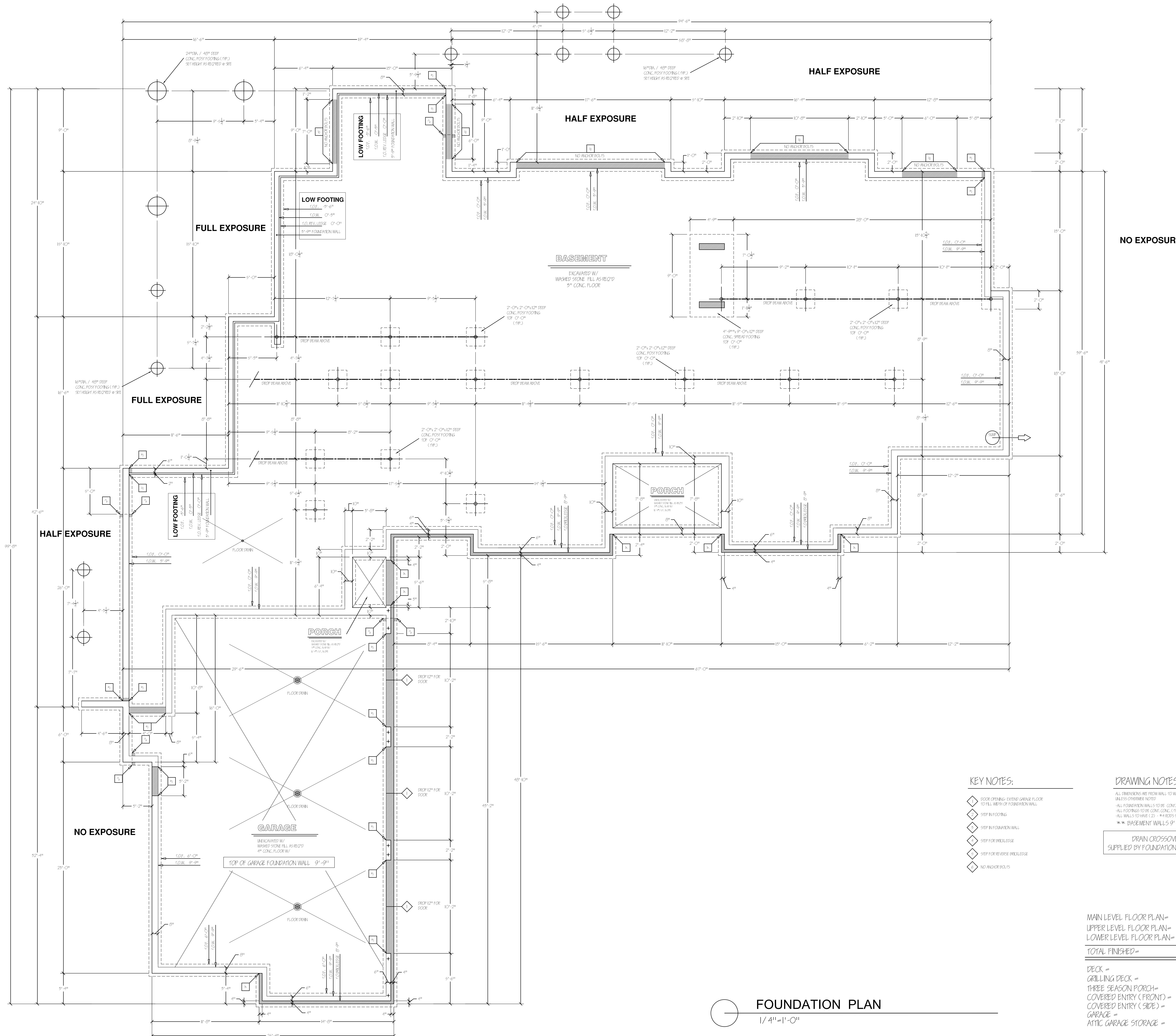
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ELEVATIONS	
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REVISION	SHEET
VER. 5	2

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KEY NOTES:

- ◇ POOR OPENING - EXTEND GARAGE FLOOR TO FULL WIDTH OF FOUNDATION WALL
- ◇ STEP IN FOOTING
- ◇ STEP IN FOUNDATION WALL
- ◇ STEP FOR PROGRESS
- ◇ STEP FOR REVERSE PROGRESS
- ◇ NO AND/OR BOLTS

DRAWING NOTES:

- ALL FOUNDATIONS ARE FROM WALL TO WALL UNLESS OTHERWISE NOTED
- ALL FOUNDATION WALLS TO BE CONG. CONC. (19P.)
- ALL FOOTINGS TO BE CONG. CONC. (19P.)
- ALL WALLS TO HAVE (2) - #4 BARS TOP & BOTTOM
- ** BASEMENT WALLS 9'-0" **

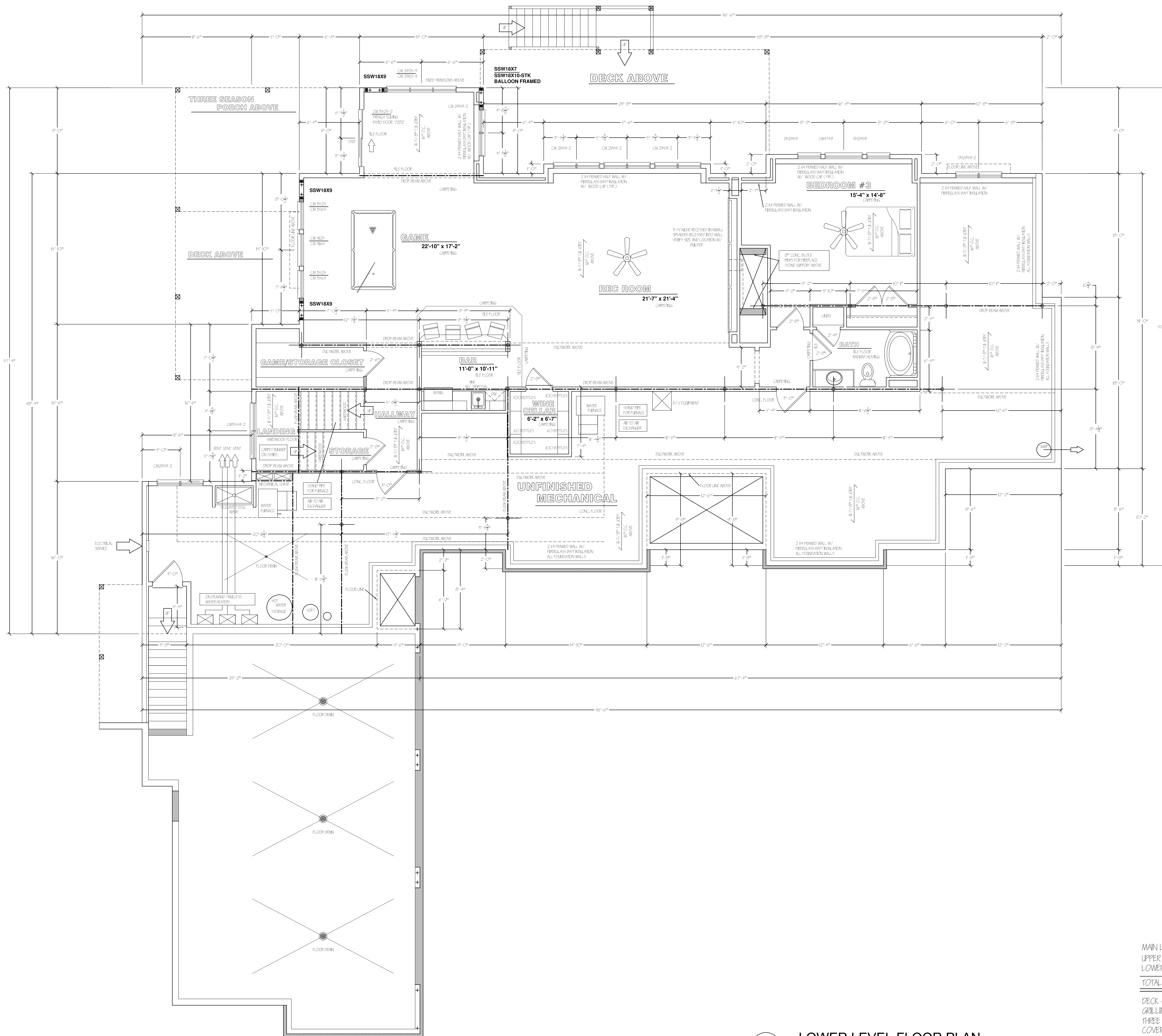
DRAIN CROSSOVERS SUPPLIED BY FOUNDATION CONTRACTOR

MAIN LEVEL FLOOR PLAN=	3612 SQ. FT.
UPPER LEVEL FLOOR PLAN=	1320 SQ. FT.
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TOTAL FINISHED=	6849 SQ. FT.

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COVERED ENTRY (SIDE) =	25 SQ. FT.
GARAGE =	1129 SQ. FT.
ATTIC GARAGE STORAGE =	541 SQ. FT.

FOUNDATION PLAN
 1/4"=1'-0"

FOUNDATION PLAN	
DATE:	REV 2/24/2011
SCALE:	1/4"=1'-0"
REVISION:	SHEET
VER. 5	3



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MAIN LEVEL FLOOR PLAN =	3612 SQ. FT.
UPPER LEVEL FLOOR PLAN =	1320 SQ. FT.
LOWER LEVEL FLOOR PLAN =	1913 SQ. FT.
TOTAL FINISHED =	6845 SQ. FT.
DECK =	401 SQ. FT.
GRILLING DECK =	192 SQ. FT.
THREE SEASON PORCH =	227 SQ. FT.
COVERED ENTRY (FRONT) =	91 SQ. FT.
COVERED ENTRY (SIDE) =	25 SQ. FT.
GARAGE =	1129 SQ. FT.
ATTIC GARAGE STORAGE =	541 SQ. FT.

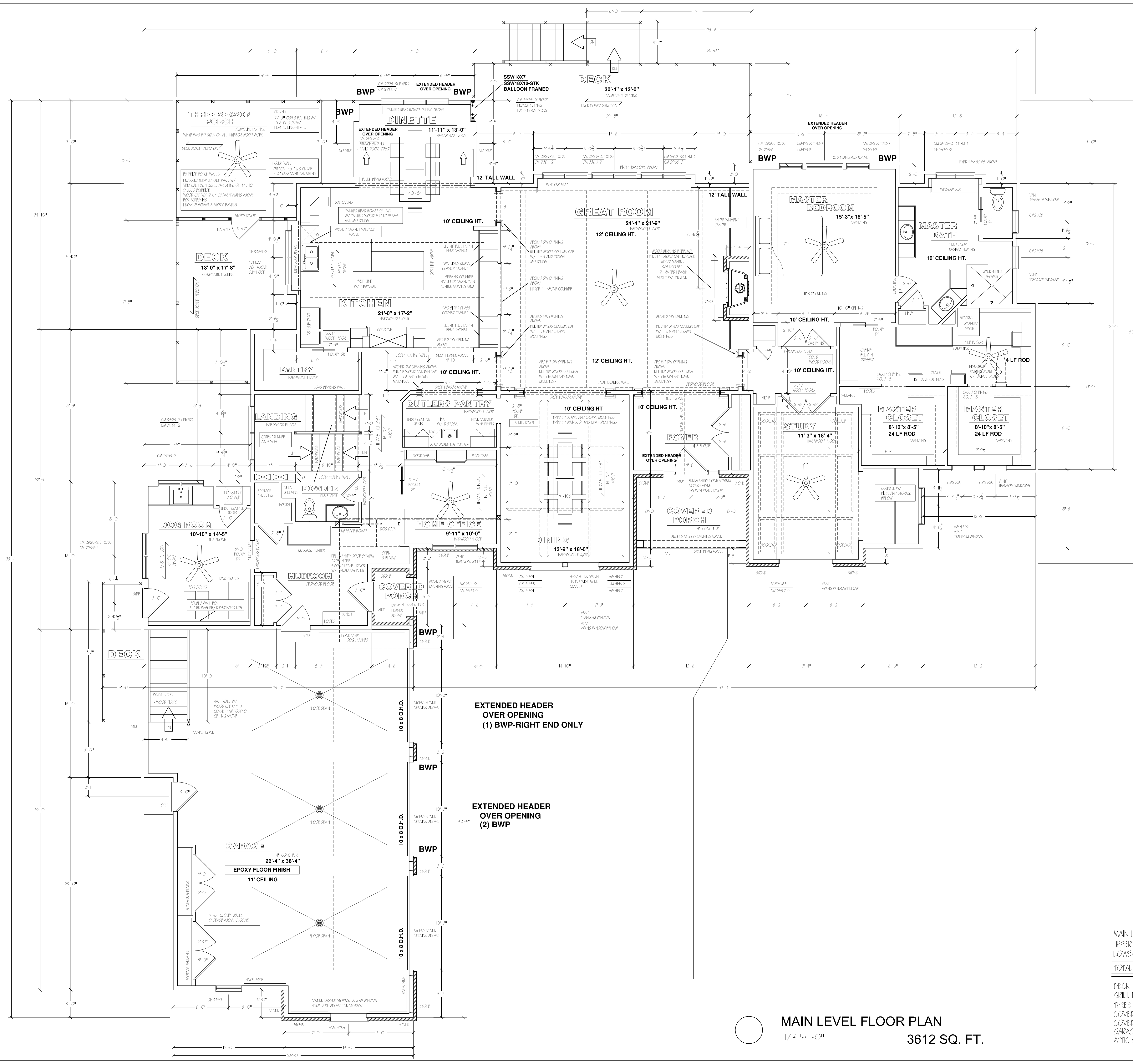
LOWER LEVEL FLOOR PLAN
 1/4" = 1'-0"
1913 SQ. FT. FINISHED

LOWER LEVEL FLOOR PLAN	
DATE:	REV 2/24/2011
SCALE:	1/4" = 1'-0"
REVISION:	SHEET
VER. 5	10
	4

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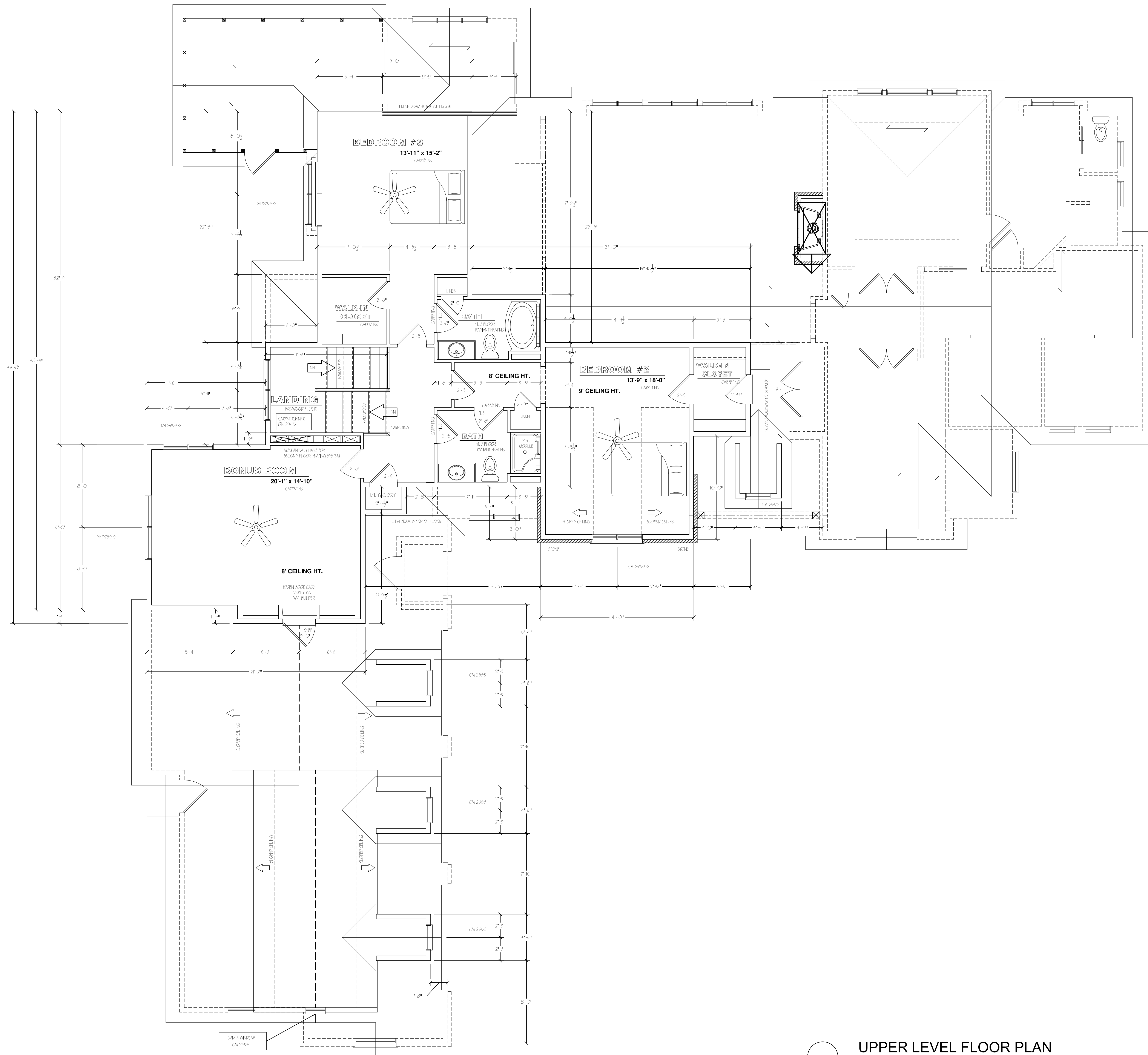
EXTENDED HEADER
 OVER OPENING
 (1) BWP-RIGHT END ONLY

EXTENDED HEADER
 OVER OPENING
 (2) BWP

MAIN LEVEL FLOOR PLAN
 1/4"=1'-0" 3612 SQ. FT.

MAIN LEVEL FLOOR PLAN =	3612 SQ. FT.
UPPER LEVEL FLOOR PLAN =	1920 SQ. FT.
LOWER LEVEL FLOOR PLAN =	1919 SQ. FT.
TOTAL FINISHED =	6849 SQ. FT.
DECK =	401 SQ. FT.
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THREE SEASON PORCH =	227 SQ. FT.
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COVERED ENTRY (SIDE) =	25 SQ. FT.
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ATTIC GARAGE STORAGE =	541 SQ. FT.

MAIN LEVEL FLOOR PLAN	
DATE:	REV 2/24/2011
SCALE:	1/4"=1'-0"
REVISION:	SHEET
VER. 5	5




UPPER LEVEL FLOOR PLAN
 1/4" = 1'-0" 1320 SQ. FT.

MAIN LEVEL FLOOR PLAN =	3612 SQ. FT.
UPPER LEVEL FLOOR PLAN =	1320 SQ. FT.
LOWER LEVEL FLOOR PLAN =	1919 SQ. FT.
TOTAL FINISHED =	6849 SQ. FT.
DECK =	401 SQ. FT.
GRILLING DECK =	192 SQ. FT.
THREE SEASON PORCH =	227 SQ. FT.
COVERED ENTRY (FRONT) =	91 SQ. FT.
COVERED ENTRY (SIDE) =	25 SQ. FT.
GARAGE =	1129 SQ. FT.
ATTIC GARAGE STORAGE =	541 SQ. FT.

UPPER LEVEL FLOOR PLAN	
DATE	REV 2/24/2011
SCALE	1/4" = 1'-0"
REVISION	SHEET
VER. 5	6

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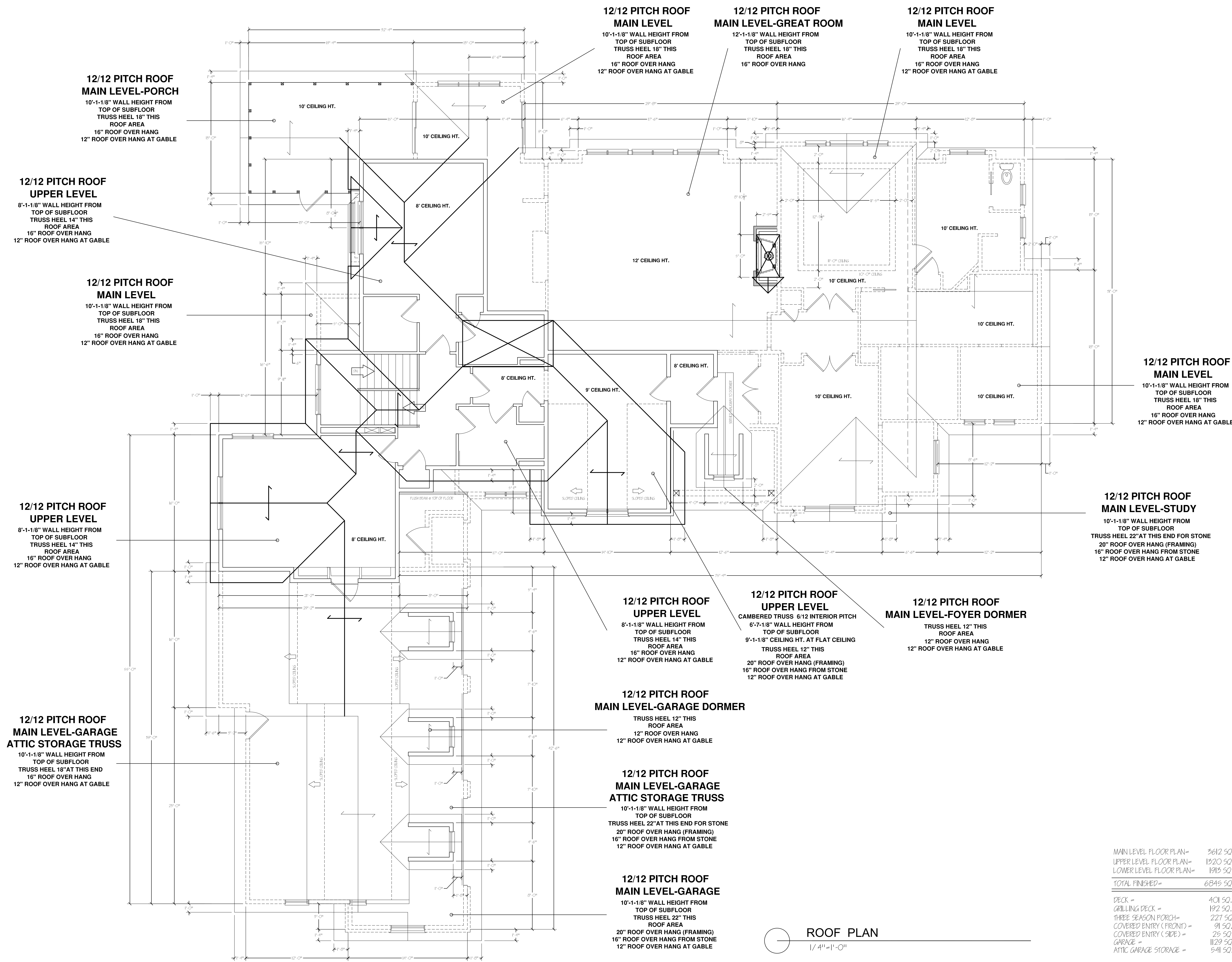
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**12/12 PITCH ROOF
 MAIN LEVEL-PORCH**
 10'-1-1/8" WALL HEIGHT FROM
 TOP OF SUBFLOOR
 TRUSS HEEL 18" THIS
 ROOF AREA
 16" ROOF OVER HANG
 12" ROOF OVER HANG AT GABLE

**12/12 PITCH ROOF
 UPPER LEVEL**
 8'-1-1/8" WALL HEIGHT FROM
 TOP OF SUBFLOOR
 TRUSS HEEL 14" THIS
 ROOF AREA
 16" ROOF OVER HANG
 12" ROOF OVER HANG AT GABLE

**12/12 PITCH ROOF
 MAIN LEVEL**
 10'-1-1/8" WALL HEIGHT FROM
 TOP OF SUBFLOOR
 TRUSS HEEL 18" THIS
 ROOF AREA
 16" ROOF OVER HANG
 12" ROOF OVER HANG AT GABLE

**12/12 PITCH ROOF
 UPPER LEVEL**
 8'-1-1/8" WALL HEIGHT FROM
 TOP OF SUBFLOOR
 TRUSS HEEL 14" THIS
 ROOF AREA
 16" ROOF OVER HANG
 12" ROOF OVER HANG AT GABLE

**12/12 PITCH ROOF
 MAIN LEVEL-GARAGE
 ATTIC STORAGE TRUSS**
 10'-1-1/8" WALL HEIGHT FROM
 TOP OF SUBFLOOR
 TRUSS HEEL 18" AT THIS END
 16" ROOF OVER HANG
 12" ROOF OVER HANG AT GABLE

**12/12 PITCH ROOF
 MAIN LEVEL**
 10'-1-1/8" WALL HEIGHT FROM
 TOP OF SUBFLOOR
 TRUSS HEEL 18" THIS
 ROOF AREA
 16" ROOF OVER HANG
 12" ROOF OVER HANG AT GABLE

**12/12 PITCH ROOF
 MAIN LEVEL-GREAT ROOM**
 12'-1-1/8" WALL HEIGHT FROM
 TOP OF SUBFLOOR
 TRUSS HEEL 18" THIS
 ROOF AREA
 16" ROOF OVER HANG

**12/12 PITCH ROOF
 MAIN LEVEL**
 10'-1-1/8" WALL HEIGHT FROM
 TOP OF SUBFLOOR
 TRUSS HEEL 18" THIS
 ROOF AREA
 16" ROOF OVER HANG
 12" ROOF OVER HANG AT GABLE

**12/12 PITCH ROOF
 MAIN LEVEL**
 10'-1-1/8" WALL HEIGHT FROM
 TOP OF SUBFLOOR
 TRUSS HEEL 18" THIS
 ROOF AREA
 16" ROOF OVER HANG
 12" ROOF OVER HANG AT GABLE

**12/12 PITCH ROOF
 MAIN LEVEL-STUDY**
 10'-1-1/8" WALL HEIGHT FROM
 TOP OF SUBFLOOR
 TRUSS HEEL 22" AT THIS END FOR STONE
 20" ROOF OVER HANG (FRAMING)
 16" ROOF OVER HANG FROM STONE
 12" ROOF OVER HANG AT GABLE

**12/12 PITCH ROOF
 UPPER LEVEL**
 8'-1-1/8" WALL HEIGHT FROM
 TOP OF SUBFLOOR
 TRUSS HEEL 14" THIS
 ROOF AREA
 16" ROOF OVER HANG
 12" ROOF OVER HANG AT GABLE

**12/12 PITCH ROOF
 UPPER LEVEL**
 CAMBERED TRUSS 6/12 INTERIOR PITCH
 6'-7-1/8" WALL HEIGHT FROM
 TOP OF SUBFLOOR
 9'-1-1/8" CEILING HT. AT FLAT CEILING
 TRUSS HEEL 12" THIS
 ROOF AREA
 20" ROOF OVER HANG (FRAMING)
 16" ROOF OVER HANG FROM STONE
 12" ROOF OVER HANG AT GABLE

**12/12 PITCH ROOF
 MAIN LEVEL-FOYER DORMER**
 TRUSS HEEL 12" THIS
 ROOF AREA
 12" ROOF OVER HANG
 12" ROOF OVER HANG AT GABLE

**12/12 PITCH ROOF
 MAIN LEVEL-GARAGE DORMER**
 TRUSS HEEL 12" THIS
 ROOF AREA
 12" ROOF OVER HANG
 12" ROOF OVER HANG AT GABLE

**12/12 PITCH ROOF
 MAIN LEVEL-GARAGE
 ATTIC STORAGE TRUSS**
 10'-1-1/8" WALL HEIGHT FROM
 TOP OF SUBFLOOR
 TRUSS HEEL 22" AT THIS END FOR STONE
 20" ROOF OVER HANG (FRAMING)
 16" ROOF OVER HANG FROM STONE
 12" ROOF OVER HANG AT GABLE

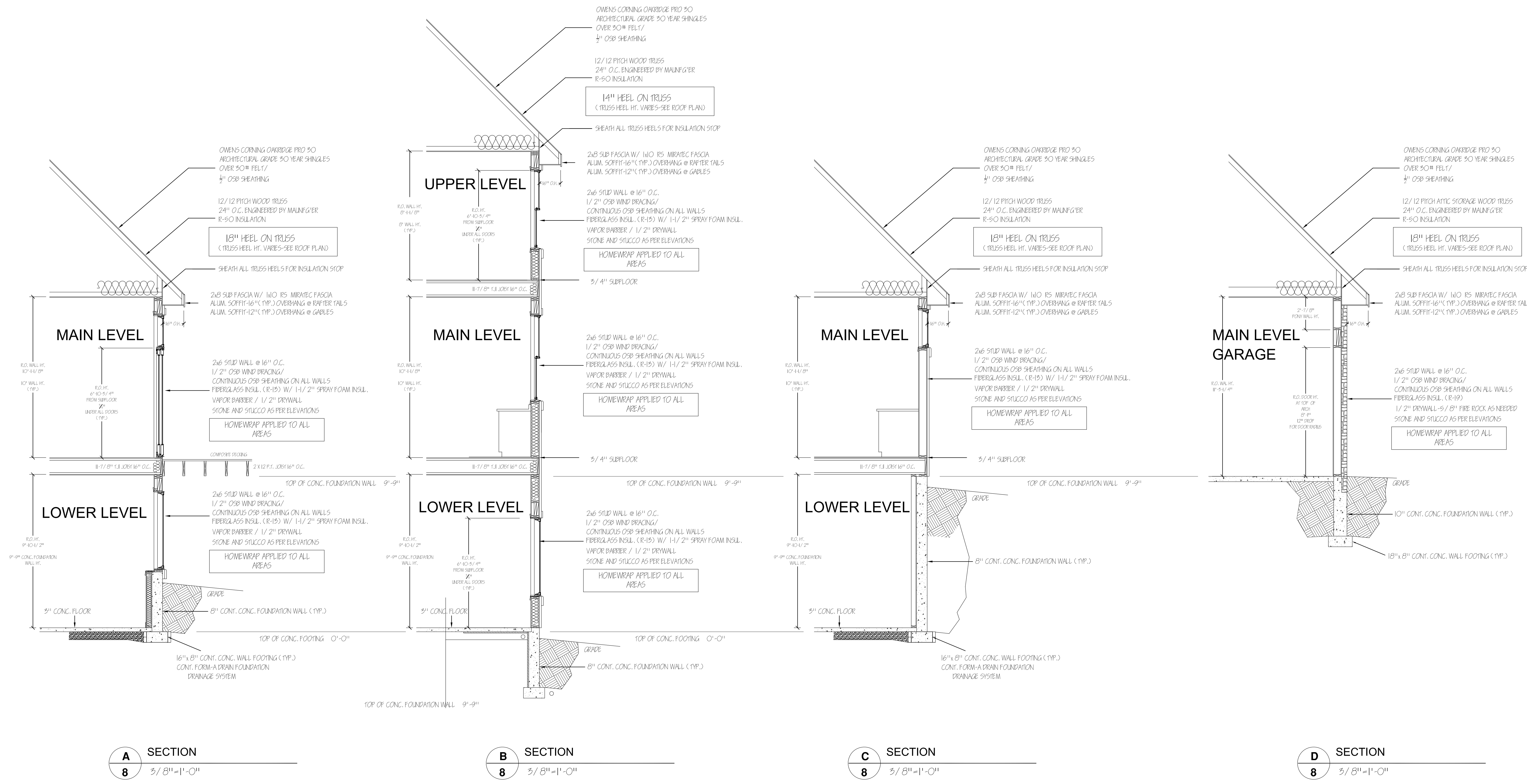
**12/12 PITCH ROOF
 MAIN LEVEL-GARAGE**
 10'-1-1/8" WALL HEIGHT FROM
 TOP OF SUBFLOOR
 TRUSS HEEL 22" THIS
 ROOF AREA
 20" ROOF OVER HANG (FRAMING)
 16" ROOF OVER HANG FROM STONE
 12" ROOF OVER HANG AT GABLE

ROOF PLAN
 1/4"=1'-0"

MAIN LEVEL FLOOR PLAN=	3612 SQ. FT.
UPPER LEVEL FLOOR PLAN=	1320 SQ. FT.
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TOTAL FINISHED=	6845 SQ. FT.

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ROOF PLAN	
DATE	REV 2/24/2011
SCALE	1/4"=1'-0"
REVISION	SHEET
VER. 5	7



A SECTION
3/8" = 1'-0"

B SECTION
3/8" = 1'-0"

C SECTION
3/8" = 1'-0"

D SECTION
3/8" = 1'-0"

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CITY OF MADISON, DANE COUNTY, WISCONSIN

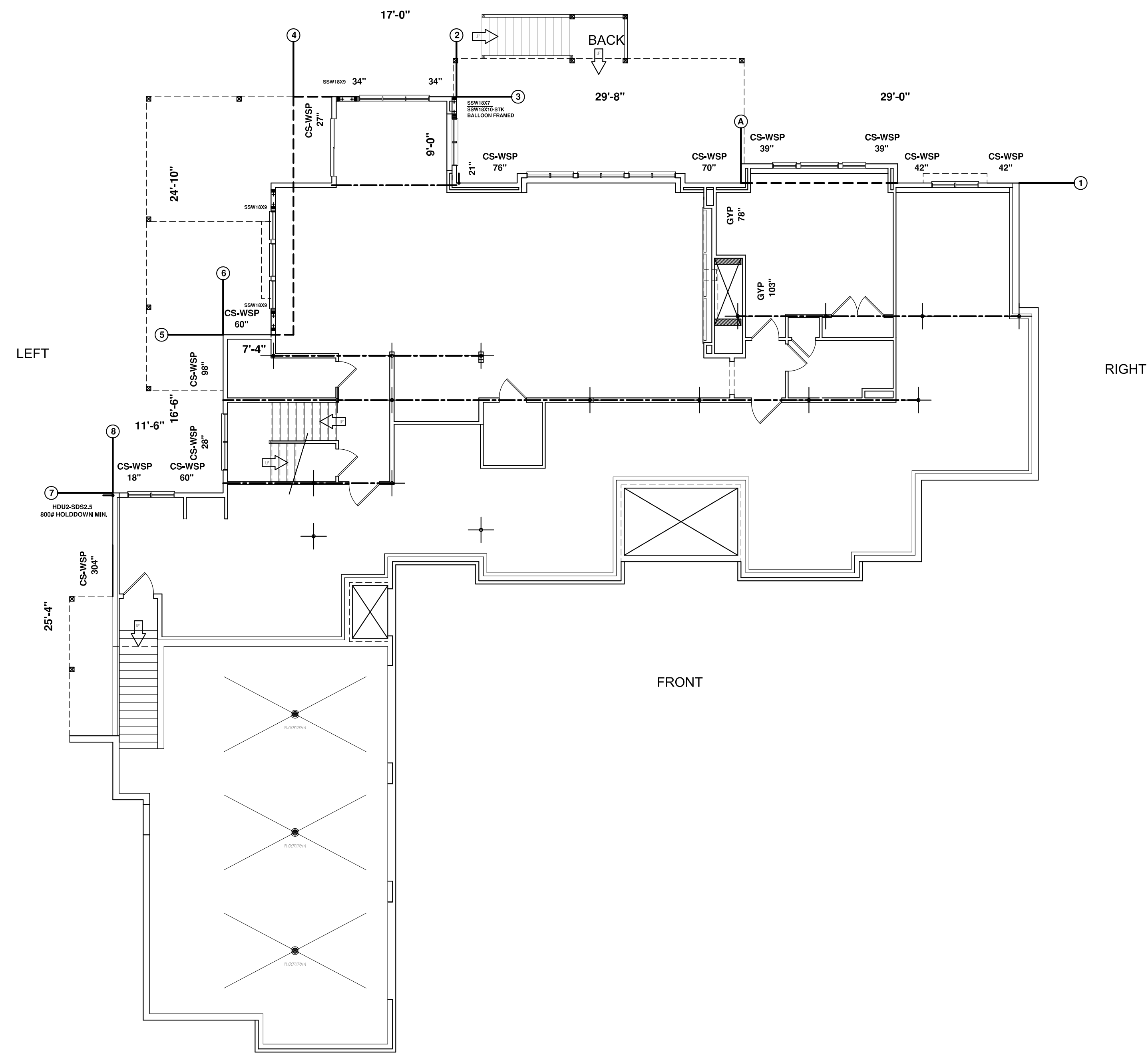
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SECTIONS	
DATE	REV 2/24/2011
SCALE	1/4" = 1'-0"
REVISION	SHEET
VER. 5	8



LOWER LEVEL FLOOR PLAN
1/8"=1'-0"

WALL BRACING
ALL EXTERIOR WALLS TO BE 1/2" OSB CONTINUOUS SHEATHING
PER UDC 21.25

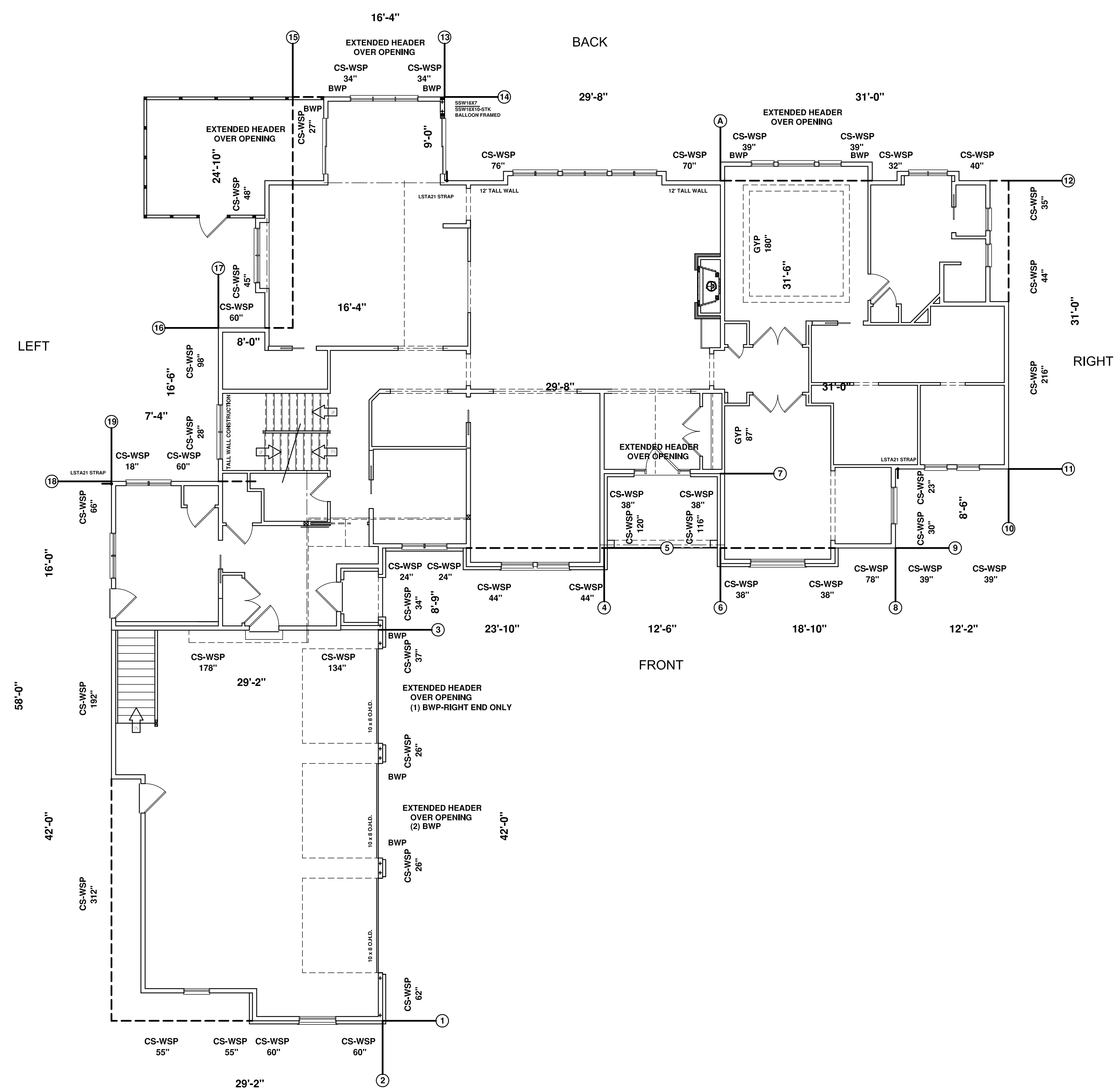
9'-0" FOUNDATION WALL HT

BRACED WALL LINE	LOCATION	BWL LENGTH	BRACING METHOD	REQUIRED PERCENTAGE	NOTES	
1	BACK WALL-RIGHT	29'-0"	CS-WSP	16%	46% WALL BRACED OMIT BLOCKING	
1	BETWEEN BWL A & 2	BACK WALL-CENTER	29'-8"	CS-WSP	16%	41% WALL BRACED OMIT BLOCKING
2	RIGHT WALL-BACK	9'-0"	SSW	16%	BALLOON FRAME AT SSW ONLY	
3	BACK WALL-LEFT	17'-0"	SSW	16%	BALLOON FRAME AT SSW ONLY	
4	LEFT WALL-BACK	24'-10"	SSW	25%	BALLOON FRAME AT SSW ONLY	
5	BACK WALL-LEFT	7'-4"	CS-WSP	25%	68% WALL BRACED OMIT BLOCKING	
6	LEFT WALL-CENTER	16'-6"	CS-WSP	25%	49.5% WALL BRACED BLOCKING REQUIRED	
7	BACK WALL-LEFT	11'-6"	CS-WSP	20%	43% WALL BRACED OMIT BLOCKING	
8	LEFT WALL-FRONT	25'-4"	CS-WSP	25%	100% WALL BRACED OMIT BLOCKING	

INTERIOR BRACED WALL

BRACED WALL LINE	LOCATION	BWL LENGTH	BRACING METHOD	REQUIRED PERCENTAGE	NOTES
A	INTERIOR WALL	31'-0"	GYP	25%	48% WALL BRACED BLOCKING REQUIRED

BWL(7) BWL=11'-6" BWL WALL MEETS COMM 21.25(9)(c)(4)
TABLE 21.25-R ADJUSTMENT BASED ON MAXIMUM WALL CLEAR OPENING HEIGHT
ADJUST TO 30% (50/15=0.33), 50%=47%, 1.5(25)=20



MAIN LEVEL FLOOR PLAN
1/8"=1'-0"

WALL BRACING
ALL EXTERIOR WALLS TO BE 1/2" OSB CONTINUOUS SHEATHING
PER UDC 21.25

10'-0" WALL HT 12'-0" WALL HT, GREAT ROOM

BRACED WALL LINE	LOCATION	BWL LENGTH	BRACING METHOD	REQUIRED PERCENTAGE	NOTES	
1	FRONT WALL-GARAGE	29'-2"	CS-WSP	19.2%	44.7% WALL BRACED OMIT BLOCKING	
2	BETWEEN BWL 1 & 3	RIGHT WALL-GARAGE	42'-0"	CS	16%	CONTINUOUS HEADER
2	BETWEEN BWL 3 & 5	RIGHT WALL-GARAGE	8'-0"	CS	16%	CONTINUOUS HEADER
3	GARAGEHOUSE WALL	29'-2"	CS-WSP	19.2%	86.6% WALL BRACED OMIT BLOCKING	
4	FRONT PORCH-LEFT	10'-0"	CS-WSP	16%	100% WALL BRACED OMIT BLOCKING	
5	FRONT WALL-LEFT	23'-10"	CS-WSP	16%	30% WALL BRACED BLOCKING REQUIRED	
6	FRONT PORCH-RIGHT	9'-8"	CS-WSP	16%	100% WALL BRACED OMIT BLOCKING	
7	FRONT WALL-PORCH	17'-4"	CS	16%	CONTINUOUS HEADER	
8	RIGHT WALL-FRONT	8'-6"	CS-WSP	16%	29% WALL BRACED BLOCKING REQUIRED	
9	FRONT WALL-RIGHT	18'-10"	CS-WSP	16%	33.6% WALL BRACED OMIT BLOCKING	
10	RIGHT WALL-BACK	31'-0"	CS-WSP	16%	79.6% WALL BRACED OMIT BLOCKING	
11	FRONT WALL-RIGHT	12'-2"	CS-WSP	16%	53.4% WALL BRACED OMIT BLOCKING	
12	BETWEEN BWL 10 & A	BACK WALL-RIGHT	31'-0"	CS	16%	CONTINUOUS HEADER
12	BETWEEN BWL A & 13	BACK WALL-CENTER	29'-8"	CS-WSP	16%	41% WALL BRACED OMIT BLOCKING
13	RIGHT WALL-BACK	9'-0"	SSW	16%	BALLOON FRAME AT SSW ONLY	
14	BACK WALL-CENTER	16'-4"	CS	16%	CONTINUOUS HEADER	
15	LEFT WALL-BACK	24'-10"	CS-WSP	16%	31% WALL BRACED BLOCKING REQUIRED	
16	BACK WALL-LEFT	8'-0"	CS-WSP	16%	62.5% WALL BRACED OMIT BLOCKING	
17	LEFT WALL-CENTER	16'-6"	CS-WSP	16%	49.5% WALL BRACED OMIT BLOCKING	
18	BACK WALL-LEFT	11'-6"	CS-WSP	16%	43.4% WALL BRACED OMIT BLOCKING	
19	BETWEEN BWL 18 & 3	LEFT WALL-FRONT	16'-0"	CS-WSP	16%	34% WALL BRACED OMIT BLOCKING
19	BETWEEN BWL 3 & 1	GARAGE WALL-LEFT	42'-0"	CS-WSP	16%	84% WALL BRACED OMIT BLOCKING

INTERIOR BRACED WALL

BRACED WALL LINE	LOCATION	BWL LENGTH	BRACING METHOD	REQUIRED PERCENTAGE	NOTES
A	INTERIOR WALL	31'-6"	GYP	16%	62% WALL BRACED OMIT BLOCKING

BWL(2) & (9) BWL=42'-0" BWL WALL MEETS COMM 21.25(9)(2)
INCREASE BWL 1 & 3 TO 17.5% (42/35+1.2x16=19.2)

UDC Comm 21.25(8)(2)
WHERE JOISTS ARE PARALLEL TO BRACED WALL LINES ABOVE OR BELOW, A RIM JOIST OR OTHER PARALLEL FRAMING MEMBER SHALL BE PROVIDED AT THE WALL TO PERMIT FASTENING OF WALL PLATES IN ACCORDANCE WITH THE FASTENER TABLE IN THE APPENDIX.

MAIN LEVEL FLOOR PLAN= 3612 SQ. FT.
UPPER LEVEL FLOOR PLAN= 1920 SQ. FT.
LOWER LEVEL FLOOR PLAN= 1919 SQ. FT.
TOTAL FINISHED= 6849 SQ. FT.

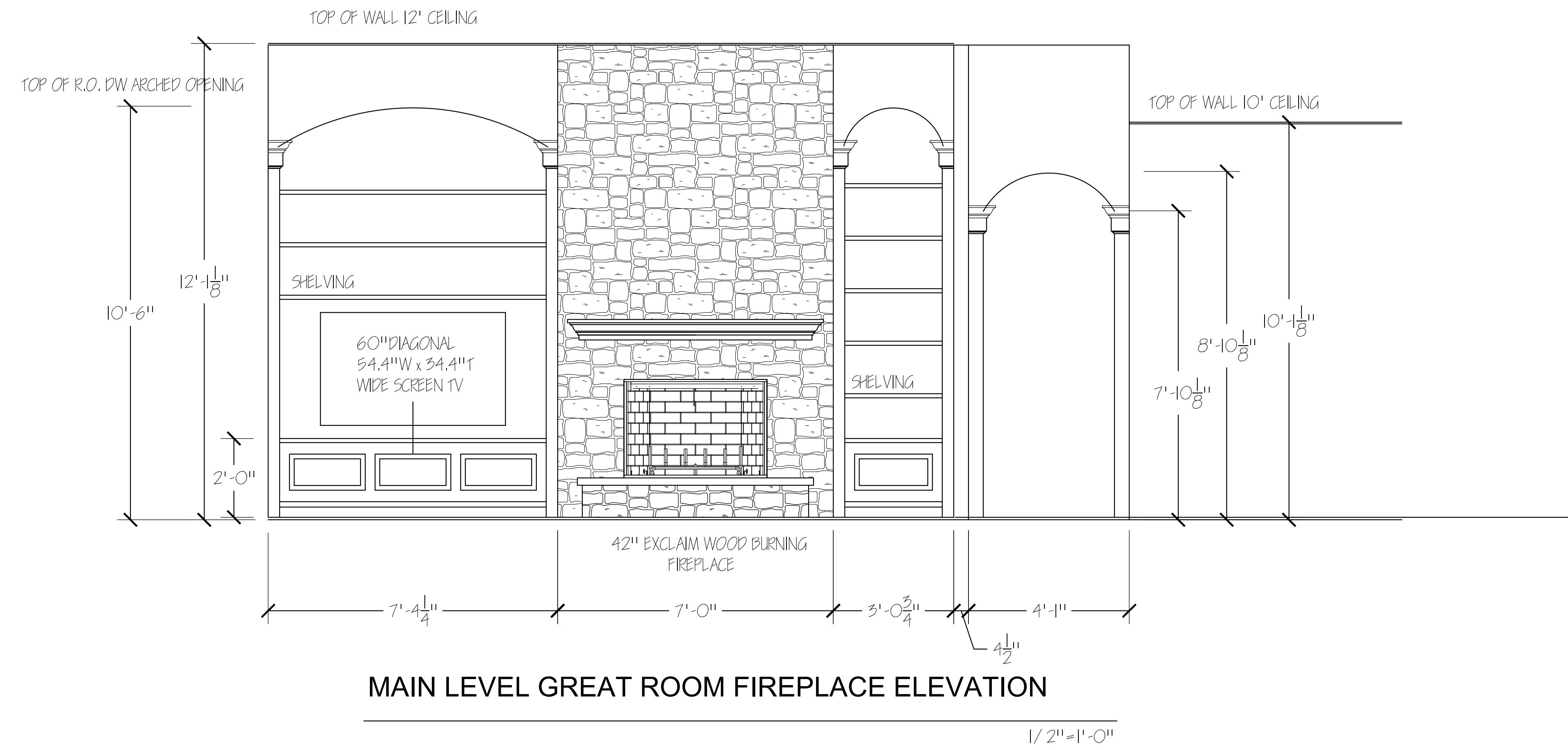
DECK = 401 SQ. FT.
GRILLING DECK = 192 SQ. FT.
THREE SEASON PORCH = 227 SQ. FT.
COVERED ENTRY (FRONT) = 91 SQ. FT.
COVERED ENTRY (SIDE) = 25 SQ. FT.
GARAGE = 1129 SQ. FT.
ATTIC GARAGE STORAGE = 541 SQ. FT.

WALL BRACING PLAN	
DATE	REV 2/24/2011
SCALE	1/8"=1'-0"
REVISION	SHEET
VER. 5	9

NEW RESIDENCE FOR:
JEFF AND SARA WIESNER
6202 NORTH HIGHLANDS AVENUE
CITY OF MADISON, DANE COUNTY, WISCONSIN

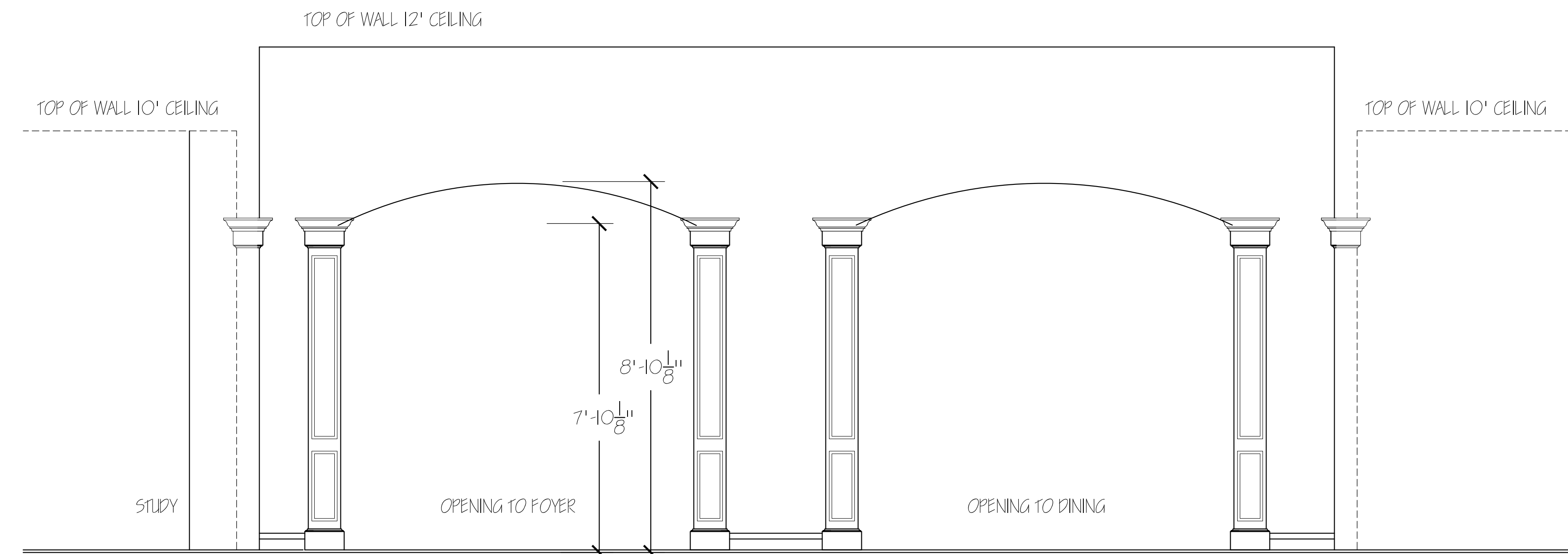
STEVENS T. HUNTER
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Hart DeNoble Builders, Inc.
1000 W. MOUNTAIN VIEW AVENUE, SUITE 200
MADISON, WI 53706
TEL: 608.833.8272 FAX: 608.833.8272
WWW.HARTDENOBLEBUILDERS.COM
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Office (608) 831-4422
7923 Airport Road
Madison, WI 53702
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www.hartdenoblebuilders.com



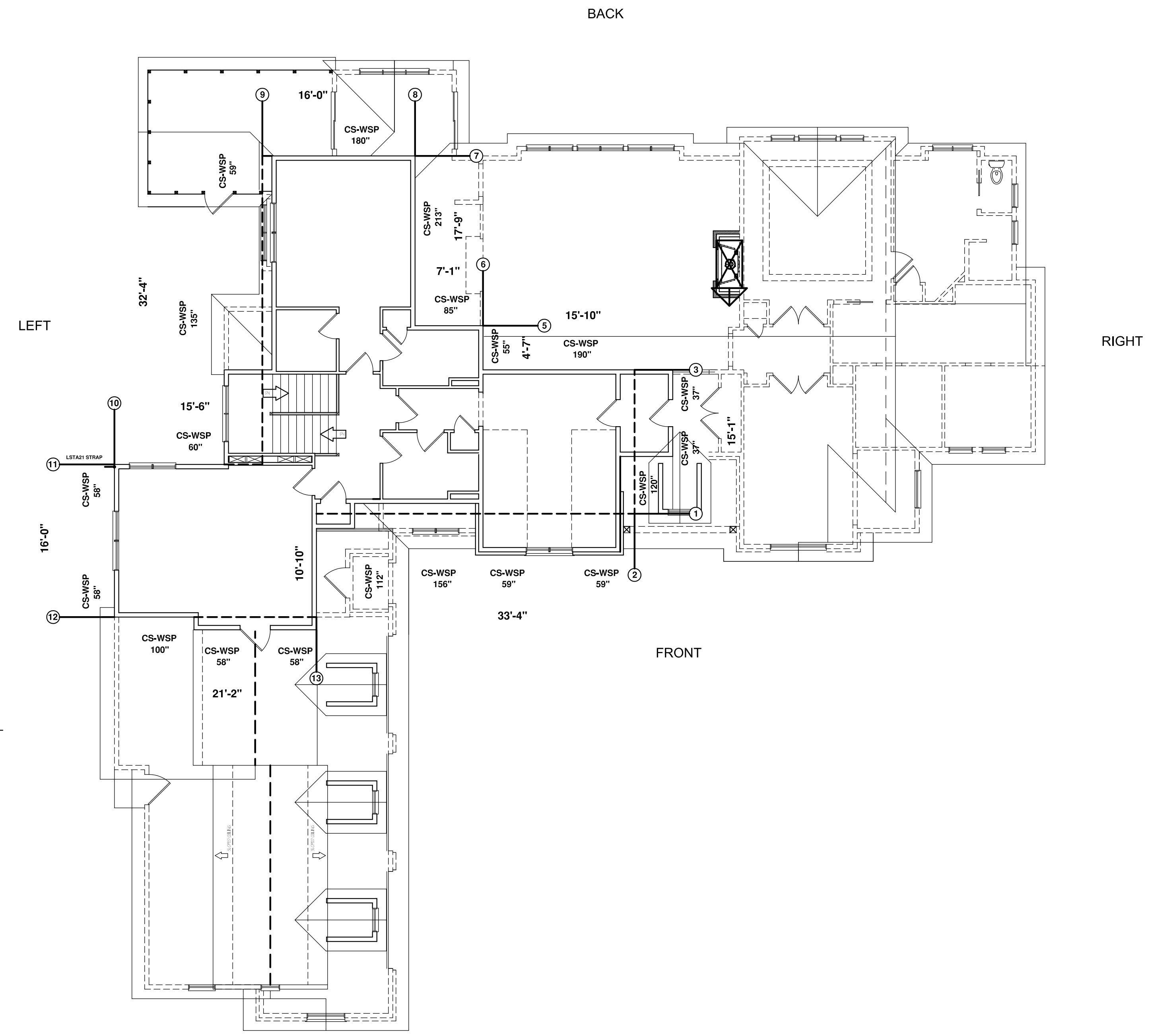
MAIN LEVEL GREAT ROOM FIREPLACE ELEVATION

1/2"=1'-0"



MAIN LEVEL GREAT ROOM VIEW TO FOYER/DINING ELEVATION

1/2"=1'-0"



UPPER LEVEL FLOOR PLAN

1/8"=1'-0"

WALL BRACING

ALL EXTERIOR WALLS TO BE 1/2" OSB CONTINUOUS SHEATHING PER UDC 21.25

8'-0" WALL HT

BRACED WALL LINE	LOCATION	BWL LENGTH	BRACING METHOD	REQUIRED PERCENTAGE	NOTES
1	FRONT WALL-RIGHT	33'-4"	CS-WSP	16%	66.5% WALL BRACED OMIT BLOCKING
2	RIGHT WALL-FRONT	15'-1"		16%	80% WALL BRACED OMIT BLOCKING
3	BACK WALL-RIGHT	15'-10"		16%	100% WALL BRACED OMIT BLOCKING
5	RIGHT WALL-CENTER	4'-3"		16%	100% WALL BRACED OMIT BLOCKING
6	BACK WALL-CENTER	7'-1"		16%	100% WALL BRACED OMIT BLOCKING
7	RIGHT WALL-BACK	17'-9"		16%	100% WALL BRACED OMIT BLOCKING
8	BACK WALL-CENTER	16'-0"		16%	100% WALL BRACED OMIT BLOCKING
9	LEFT WALL-BACK	32'-4"		16%	50% WALL BRACED OMIT BLOCKING
10	LEFT WALL-FRONT	16'-0"		16%	56% WALL BRACED OMIT BLOCKING
11	BACK WALL-LEFT	15'-6"		12.8%	32% WALL BRACED OMIT BLOCKING
12	FRONT WALL-LEFT	21'-2"		16%	75.9% WALL BRACED OMIT BLOCKING
13	RIGHT WALL-FRONT	10'-10"		16%	100% WALL BRACED OMIT BLOCKING

BRACED WALL LINE	LOCATION	BWL LENGTH	BRACING METHOD	REQUIRED PERCENTAGE	NOTES
INTERIOR BRACED WALL-NO INTERIOR BRACED WALL REQUIRED					

BWL(1) BWL=15'-6" BWL WALL MEETS COMM 21.25(9)(c)(4) TABLE 21.25-K ADJUSTMENT BASED ON MAXIMUM WALL CLEAR OPENING HEIGHT ADJUST TO 12.8% (60/97=62) 82%~87% (.8/16)=12.8

MAIN LEVEL FLOOR PLAN= 3612 SQ. FT.
 UPPER LEVEL FLOOR PLAN= 1320 SQ. FT.
 LOWER LEVEL FLOOR PLAN= 1913 SQ. FT.

TOTAL FINISHED= 6845 SQ. FT.

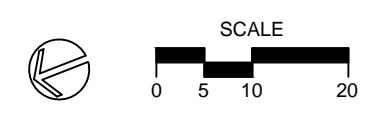
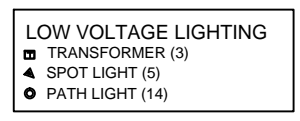
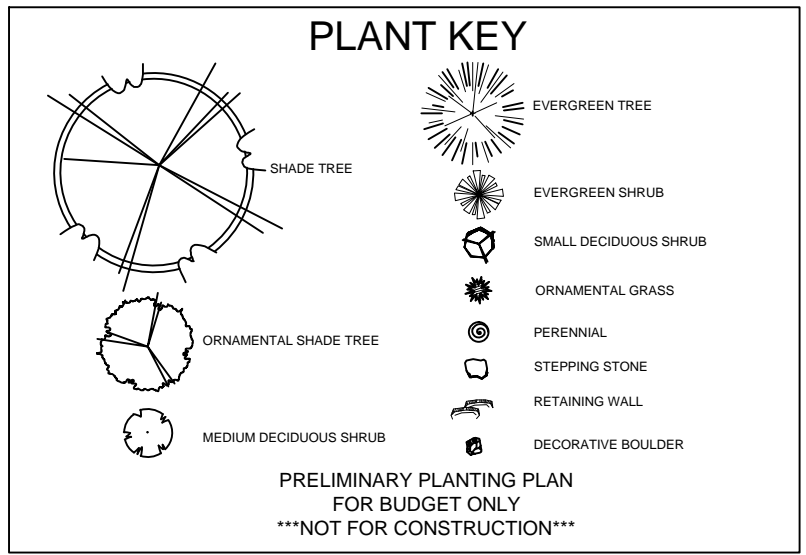
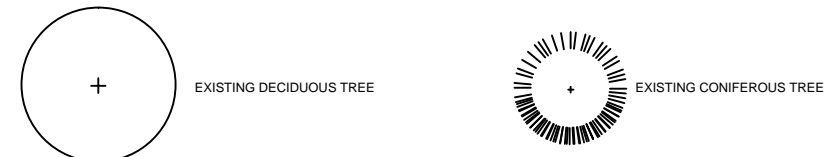
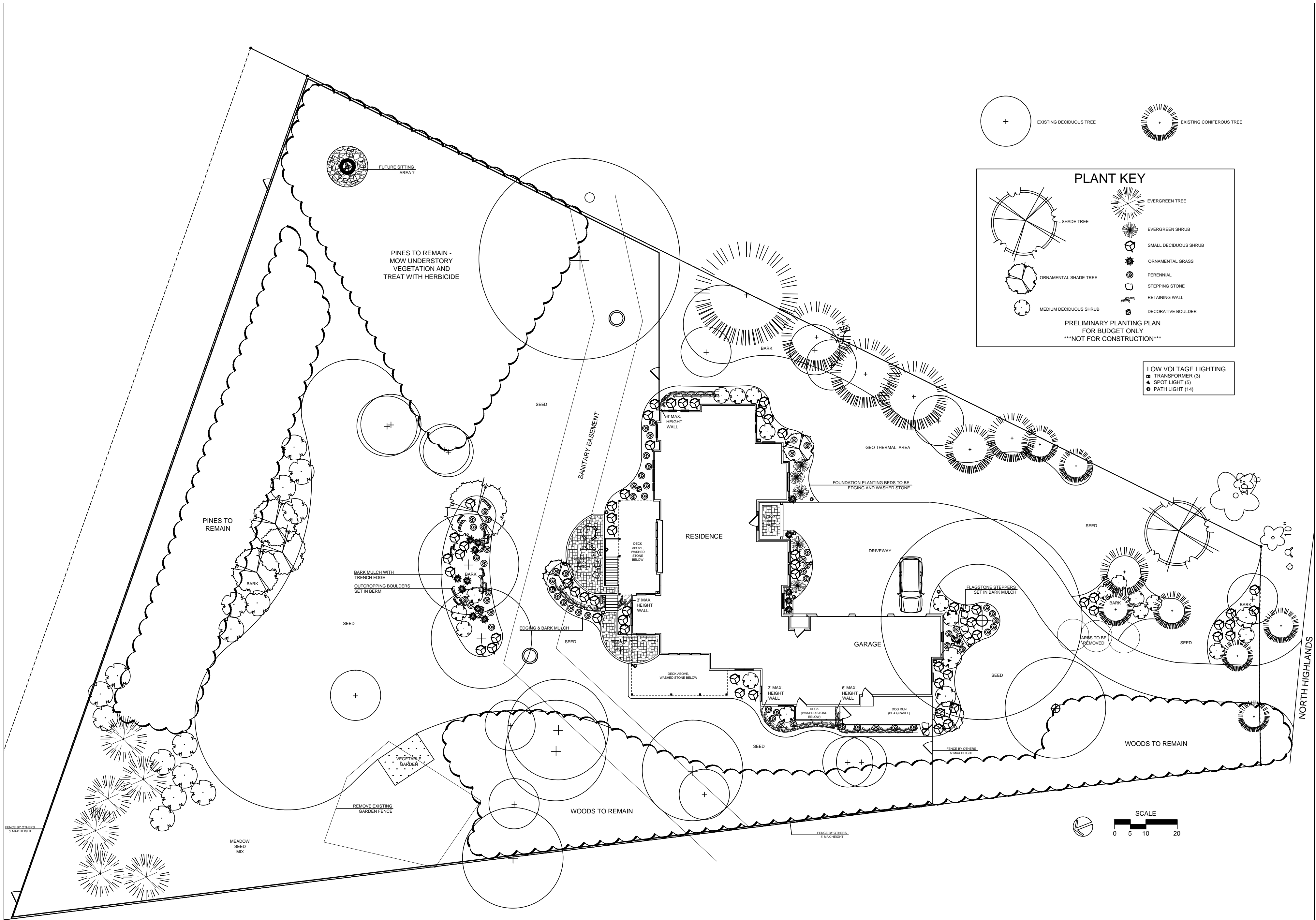
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NEW RESIDENCE FOR:
JEFF AND SARA WIESNER
 6202 NORTH HIGHLANDS AVENUE
 CITY OF MADISON, DANE COUNTY, WISCONSIN

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 Middleton, WI 53592
 www.hartdenoblebuilders.com

WALL BRACING PLAN / DESTAL3	
DATE:	REV 2/24/2011
SCALE:	NOTED
REVISION:	SHEET 10
VER. 5	10



The WIESNER Residence
6202 N. Highlands
Madison, WI

NORTH HIGHLANDS

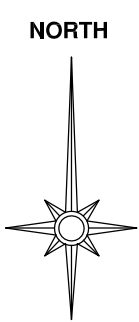
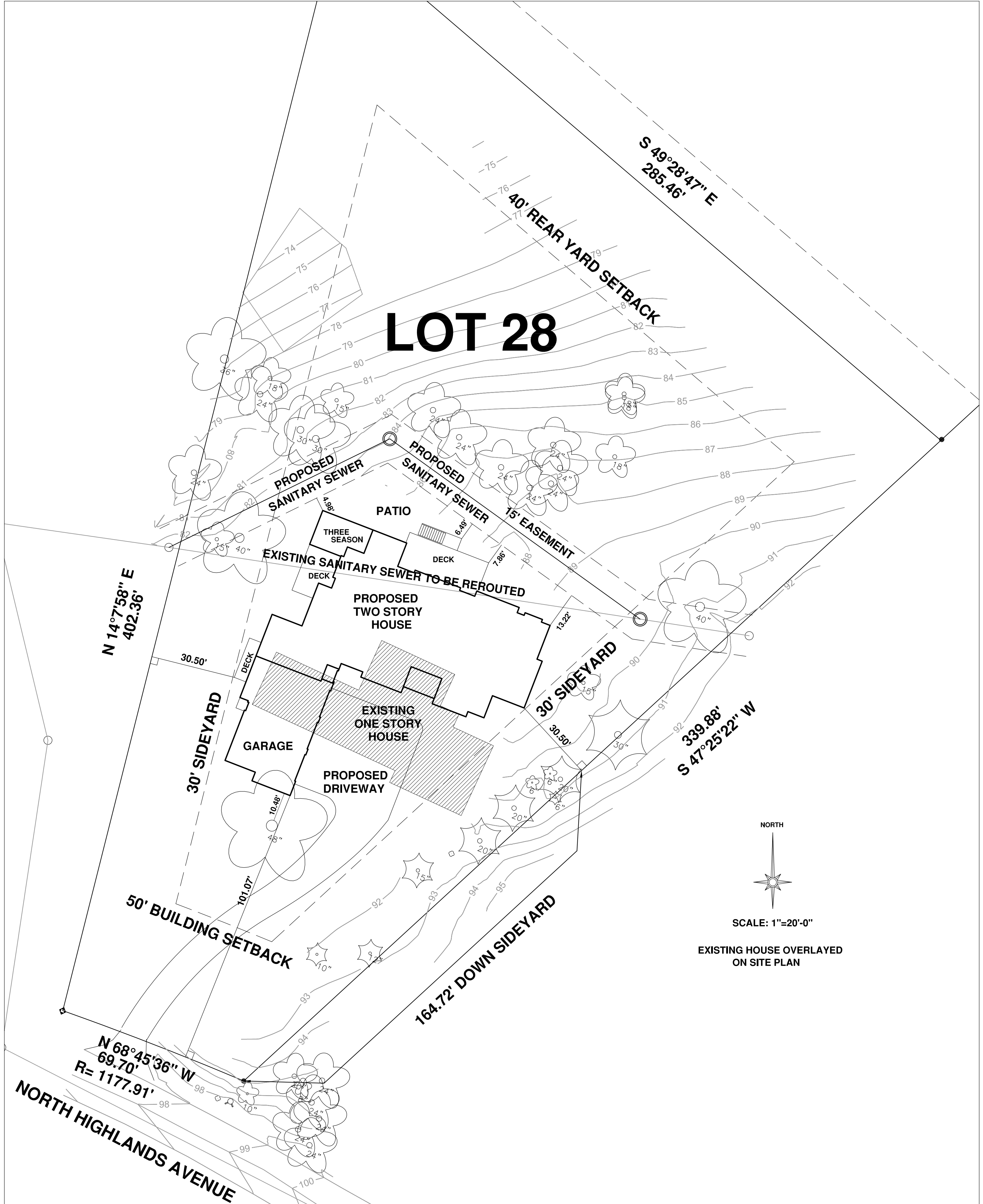
Date: 2-22-11
Scale: 1"=20'-0"
Designer: BNF
Job # 3429

Seal:
To protect against legal liability,
the plans presented herein are
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outsourced as "biddable" or
"construction documents" unless
approved by the Landscape
Designer. This is not an original
document unless stamped in
red, as ORIGINAL.

Revisions:

Reference Name:
Denoble/Wiesner

LOT 28



SCALE: 1"=20'-0"

EXISTING HOUSE OVERLAYED ON SITE PLAN

SITE PLAN	
DATE:	REV 2/24/2011
SCALE:	1"=20'-0"
REVISION	SHEET 1
VER. 5	1

Property Of:
HART DENOBLE
 7923 Airport Road, Middleton, WI 53562
 Office: (608) 831-4422 Fax: (608) 831-8272
 www.denoblebuilders.com

PLANS DRAWN BY:
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