

GENERAL NOTES/SPECIFICATIONS:

- All erosion control measures shall be in place prior to the start of construction. The Developer/Contractor is responsible for the implementation and maintenance of erosion control measures until the disturbed areas are stabilized.
- All erosion control measures shall be inspected after each precipitation event by the Developer/Contractor, Inspector or representative shall be made within 24 hours of inspection. Sediment control shall be removed when drainage reach one-foot of the height of the device.
- All silt fence treated area shall be inspected and repaired by the end of each workday.
- WDOE Type D silt fence shall be installed in all open areas before construction. Refer to WDOE Product Acceptance List at: <http://www.dnr.wisconsin.gov/bioretention/water/water.htm>
- Erosion control devices shall comply with all Wisconsin Department of Natural Resources and DNR standards found at <http://dnr.wisconsin.gov/water/water/water/water/water/water.htm>

TIME SCHEDULE:

November 18 - December 7, 2007	Install erosion control devices and construct detention ponds. Seed and mulch areas to be restored with compost. Do not construct bioretention basins until after all other construction is complete and disturbed areas are stable.
December 10, 2007 - March 14, 2008	Excavate for and commence construction of buildings. Spread heavily applied mulch or wood chips to all surfaces exposed to construction traffic.
March 17, 2008 - Sept. 12, 2008	Complete utility and drive areas, retaining walls, and drain grooves. Restore all disturbed areas with seed and mulch.
Sept. 15, 2008 - January 30, 2009	Complete building construction.
April 13, 2009 - May 10, 2009	Complete bioretention construction.

RESTORATION NOTES:

All disturbed areas, except street pavement, shall receive a minimum of four (4) inches of topsoil, fertilizer, seed and mulch. Restoration will occur as soon after the disturbance as practical. Seed mixture to be used on all areas. Mixtures shall be in accordance with section 630 of DNR specifications. In most cases of erosion prevention and be added to the mix.

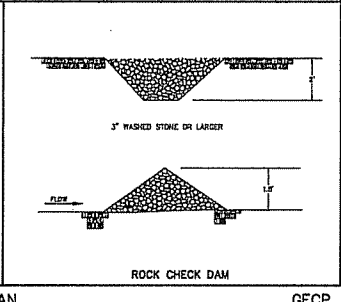
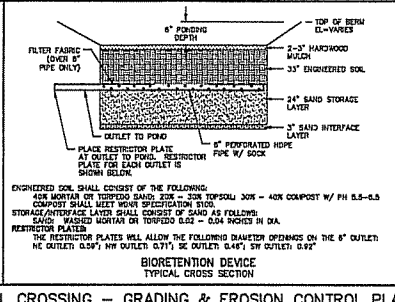
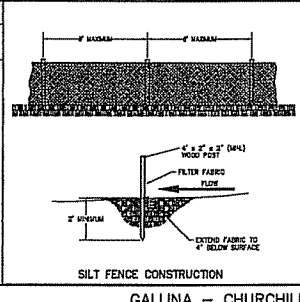
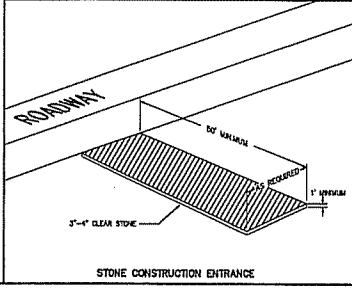
Seed mixture shall be applied at the rate of seven (7) pounds per 1,000 square feet.

Fertilizer shall be applied at the rate of seven (7) pounds per 1,000 square feet.

Mulch shall meet the minimum requirements listed below, except, not less than 100% phosphate, not less than 60% potash, not less than 5%.

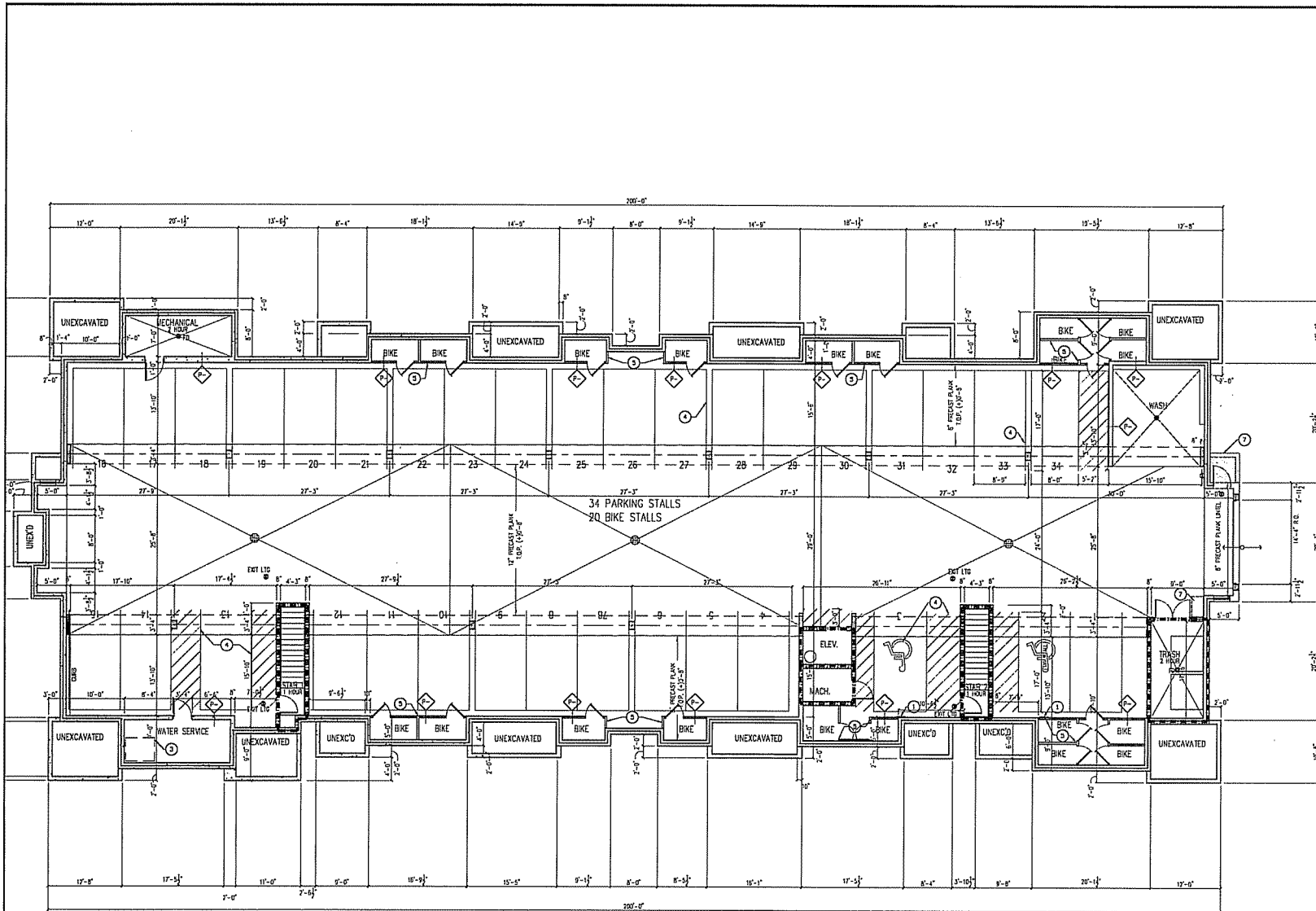
ENGINEER:
Burse Surveying and Engineering, Inc.
Allen Peter G. Forstges
1400 E. Washington Ave., Suite 150
Madison, WI 53703

DATE: 08.22.07
REVISED: 09.10.07



GALLINA - CHURCHILL CROSSING - GRADING & EROSION CONTROL PLAN GEP

C201
9.10.07

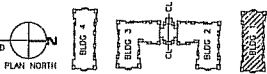


- FLOOR PLAN - SYMBOLS LEGEND**
- NEW WALL / PARTITION
 - NEW DOOR / DOOR NUMBER TAG
 - SECTION REFERENCE
 - DETAIL REFERENCE
 - INTERIOR ELEVATION
 - PLAN NOTE
 - PARTITION TYPE
 - BORROWED LITE, REFER TO DETAIL XX/XXX
 - 120 HOUR FIRE RESISTIVE CONSTRUCTION
 - 2 HOUR FIRE RESISTIVE CONSTRUCTION
 - 1 HOUR FIRE RESISTIVE CONSTRUCTION
 - REVISION NUMBER

- FLOOR PLAN - GENERAL NOTES**
- A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL. DIMENSIONS PERMITTER FRAMING FLASH VIA FACE FOUNDATION WALL OR LEDGE.
 - B. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. PORTIONS OF EXISTING CONSTRUCTION MAY DIFFER FROM DRAWINGS.
 - C. ALL FRAMING IS TO BE WOOD STUD FRAMING, AND BLOCKING.
 - D. ALL MISCELLANEOUS WOOD BLOCKING SHALL BE DIMENSIONAL LUMBER, PLYWOOD, OR OSB OF SUFFICIENT STRENGTH TO PROVIDE PROPER ANCHORAGE OR CARRY REQUIRED LOADS.
 - E. INSTALL MISCELLANEOUS WOOD BLOCKING AS INDICATED ON DRAWINGS OR AS REQUIRED FOR PROPER INSTALLATION. SUCH APPLICATIONS INCLUDE CASEWORK, FIXTURES, APPLIANCES EQUIPMENT, CABINETS, TOILET ACCESSORIES, BASE TRIM, DOOR FRAME CASINGS, MIRRORS, MISCELLANEOUS TRIMS AND APPLICATIONS.
 - F. GYPSUM BOARD SHEATHINGS FOR WALLS, CEILINGS AND OTHER MISCELLANEOUS CONSTRUCTION IS TO BE 5/8" THICK UNLESS OTHERWISE SPECIFIED.
 - G. REFER TO (A)700 DRAWING SERIES FOR ROOM FINISH SCHEDULE AND NOTES, DOOR AND FRAME TYPES, PARTITION TYPES, DETAILS.
 - H. REFER TO PROJECT MANUAL FOR DOOR AND HARDWARE SCHEDULES AND NOTES.
 - I. IN APARTMENT BATHROOMS, PROVIDE BLOCKING FOR FRAMED MIRROR. MIRRORS TO BE OWNER SUPPLIED AND CONTRACTOR INSTALLED. SEE INTERIOR ELEVATIONS FOR LOCATIONS.
 - J. PROVIDE WOOD SHELF AND ROD AT ALL APARTMENT CLOSETS, UNO.
 - K. PROVIDE ROD AND CURTAIN AT ALL TUBS AND SHOWERS, UNO.

- FLOOR PLAN NOTES**
1. WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN 8'-0" AFF. GALVANIZED PILE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN 8'-0" AFF. PER DETAIL 04/000.
 2. LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
 3. TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
 4. PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS.
 5. CONCRETE STOOD.
 6. UNIT HEATER - GAS FIRED, CEILING HUNG.

1 BASEMENT PLAN
SCALE: 1/8" = 1'-0"



brownhouse
200 West Columbia St., Madison, WI 53703 086663351 Etc

Churchill Crossing
4000 Pleasant View Road
Madison, WI

DATE STATUS DATE
UNO A/E B/ARCH
STAFF APR 18/10/09

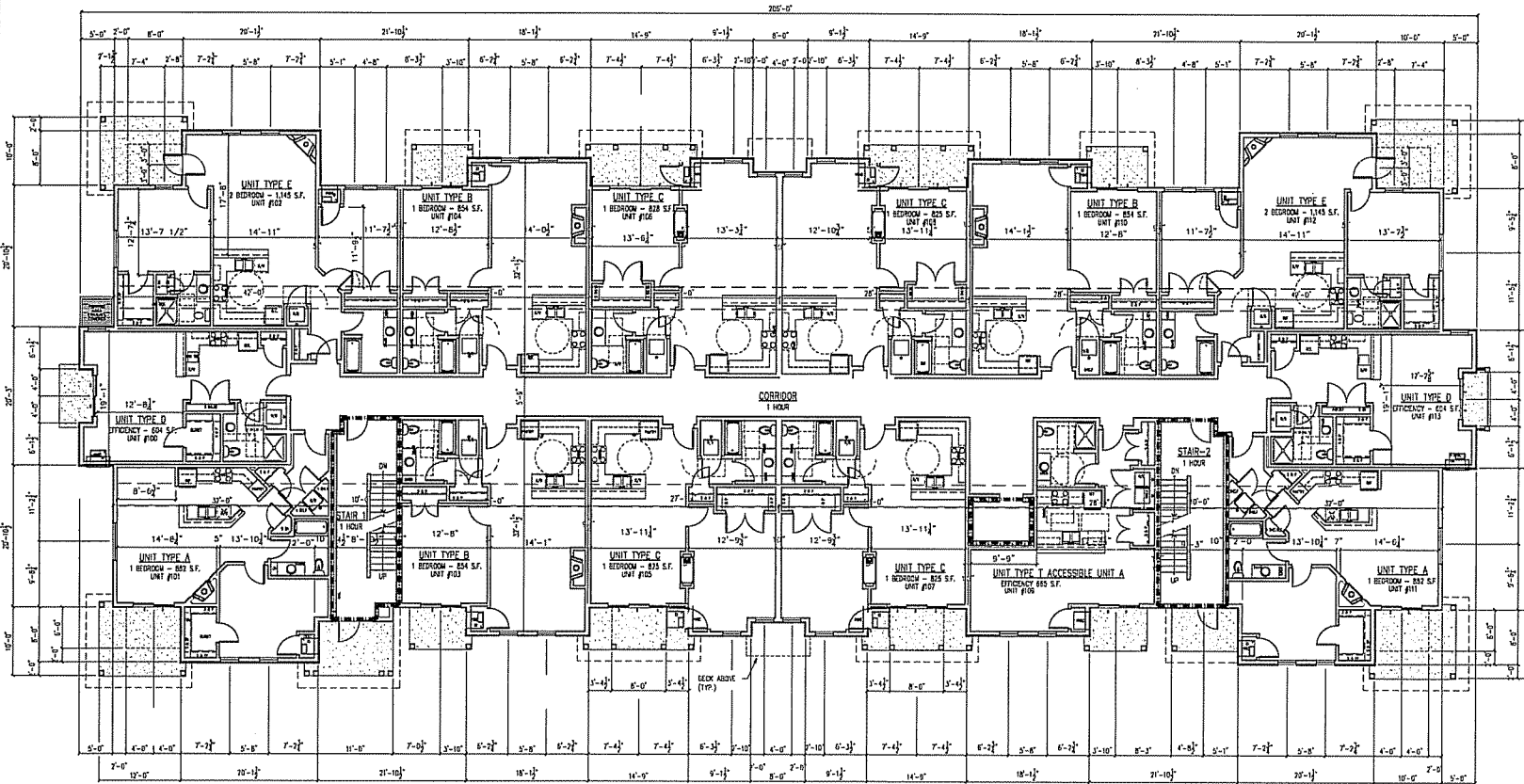
REVISION/NO. DATE

BLDG 1&4
BASEMENT

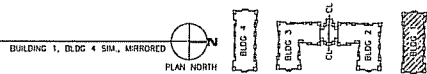
A200

- FLOOR PLAN - SYMBOLS LEGEND**
- REV WALL / PARTITION
 - REV USER / DOOR NUMBER TAG
 - SECTION REFERENCE
 - DETAIL REFERENCE
 - INTERIOR ELEVATION
 - PLAN NOTE
 - BORROWED LITE REFERS TO DETAIL XX/XXX
 - PARTITION TYPE
 - 0 HR FIRE RESISTIVE CONSTRUCTION
 - 1 HR FIRE RESISTIVE CONSTRUCTION
 - 2 HR FIRE RESISTIVE CONSTRUCTION
 - 3 HR FIRE RESISTIVE CONSTRUCTION
 - REVISION NUMBER

- FLOOR PLAN - GENERAL NOTES**
- A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL). PERIMETER FRAMING FLUSH W/ FACE FOUNDATION WALL OR LEGS.
 - B. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOINTS. PORTIONS OF EXISTING CONSTRUCTION MAY DIFFER FROM DRAWINGS.
 - C. ALL FRAMING IS TO BE WOOD, STUD FRAMING, AND BLOCKING.
 - D. ALL MISCELLANEOUS WOOD BLOCKING SHALL BE DIMENSIONAL LUMBER, PLYWOOD, OR ESS OF SUFFICIENT STRENGTH TO PROVIDE PROPER ANCHORAGE OR CARRY REQUIRED LOADS.
 - E. INSTALL MISCELLANEOUS WOOD BLOCKING AS INDICATED ON DRAWINGS OR AS REQUIRED FOR PROPER INSTALLATION. SUCH APPLICATIONS INCLUDE CASEWORK, FIXTURES, APPLIANCES, EQUIPMENT, GRAB BARS, TOILET ACCESSORIES, BASE TRIM, DOOR FRAME CASINGS, MIRRORS, MISCELLANEOUS TRIMS AND APPLICATIONS.
 - F. GYPSUM BOARD SHEATHING FOR WALLS, CEILINGS AND OTHER MISCELLANEOUS CONSTRUCTION IS TO BE 5/8" THICK, UNL. ON DRAWINGS OR SPECIFICATIONS.
 - G. REFER TO (A/F)SD DRAWING SERIES FOR FINISH SCHEDULE AND NOTES, DOOR AND FRAME TYPES, PARTITION TYPES, DETAILS.
 - H. REFER TO PROJECT MANUAL FOR DOOR AND HARDWARE SCHEDULES AND NOTES.
 - I. IN APARTMENT BATHROOMS, PROVIDE BLOCKING FOR FRAMED MIRROR. MIRROR TO BE OWNER SUPPLY, AND CONTRACTOR INSTALLER. SEE INTERIOR ELEVATIONS FOR LOCATIONS.
 - J. PROVIDE WOOD SHELF AND ROD AT ALL APARTMENT CLOSETS, UNL.
 - K. PROVIDE ROD AND CURTAIN AT ALL TUBS AND SHOWERS, UNL.
- FLOOR PLAN NOTES**
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN 8'-0" AFF
 - 2 GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN 8'-0" AFF, PER DETAIL 06/2000.
 - 3 LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT VALVES, METERS, SPRINKLER RISER, ETC.
 - 4 TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE, WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
 - 5 PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS.
 - 6 CONCRETE STOOD.
 - 7 UNIT HEATER - GAS FIRED, CEILING HUNG.



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



brownhouse
222 West Columbia St., Madison, WI 53703 608.663.5151 fax

Churchill Crossing
000 Pleasant View Road
Madison, WI

OWD STATUS: DATE: _____
UNCL. ALT: 9/15/09
STAFF: ADON: 9/15/09

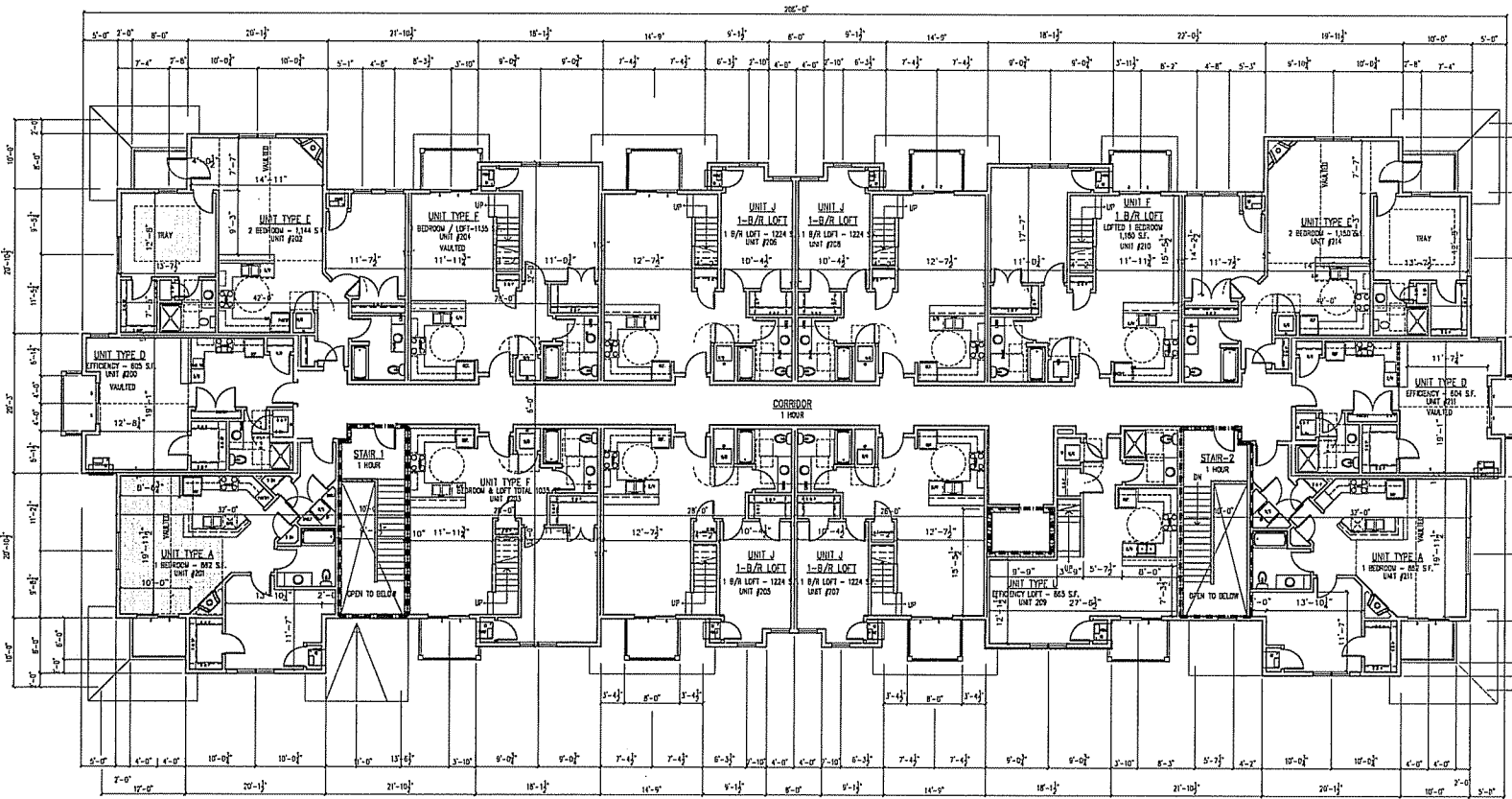
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BLDG 1&4
1ST FLOOR

A201

- FLOOR PLAN - SYMBOLS LEGEND**
- NEW WALL / PARTITION
 - NEW DOOR / DOOR MARKER TAG
 - SECTION REFERENCE
 - DETAIL REFERENCE
 - INTERIOR ELEVATION
 - PLAN NOTE
 - BORROWED LITE, REFER TO DETAIL 14/100R
 - PARTITION TYPE
 - ONE HOUR FIRE RESISTIVE CONSTRUCTION
TWO HOUR FIRE RESISTIVE CONSTRUCTION
THREE HOUR FIRE RESISTIVE CONSTRUCTION
 - REVISION NUMBER

- FLOOR PLAN - GENERAL NOTES**
- 1A DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE FINISHED WALL TO FACE OF FINISHED WALL. DIMENSIONAL PERIMETER FRAMING FLESH W/ FACE FOUNDATION WALL OR LEDGE.
 - 1B VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. PORTIONS OF EXISTING CONSTRUCTION MAY DIFFER FROM DRAWINGS.
 - 2 ALL FRAMING IS TO BE WOOD STUD FRAMING, AND BLOCKING.
 - 3 ALL MISCELLANEOUS WOOD BLOCKING SHALL BE DIMENSIONAL LUMBER, PLYWOOD, OR OSB OF SUFFICIENT STRENGTH TO PROVIDE PROPER ANCHORAGE OR CARRY REQUIRED LOADS.
 - 4 INSTALL MISCELLANEOUS WOOD BLOCKING AS INDICATED ON DRAWINGS OR AS REQUIRED FOR PROPER INSTALLATION. SUCH APPLICATIONS INCLUDE CASINGWORK, FINISHERS, APPLIANCES, EQUIPMENT, GRAB BARS, TOILET ACCESSORIES, BASE TRIM, DOOR FRAME CASINGS, MIRRORS, MISCELLANEOUS TRIMS AND APPLICATIONS.
 - 5 GYPSUM BOARD SHEATHING FOR WALLS, CEILINGS AND OTHER MISCELLANEOUS CONSTRUCTION IS TO BE 5/8" THICK UNLESS OTHERWISE SPECIFIED.
 - 6 REFER TO 04/7000 DRAWING SERIES FOR ROOM FINISH SCHEDULE AND NOTES. DOOR AND FRAME TYPES, PARTITION TYPES, DETAILS.
 - 7 REFER TO PROJECT MANUAL FOR DOOR AND HARDWARE SCHEDULES AND NOTES.
 - 8 IN APARTMENT BATHROOMS, PROVIDE BLOCKING FOR FRAMED MIRROR, MIRROR TO BE OWNER SUPPLIED AND CONTRACTOR INSTALLED. SEE INTERIOR ELEVATIONS FOR LOCATIONS.
 - 9 PROVIDE WOOD SHELF AND ROD AT ALL APARTMENT CLOSETS. UNO.
 - 10 PROVIDE ROD AND CURTAIN AT ALL TUBS AND SHOWERS. UNO.
- FLOOR PLAN NOTES**
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F.
 - 2 GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F. PER DETAIL 04/0000.
 - 3 LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT VALVES, METERS, SPRINKLER RISER, ETC.
 - 4 TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
 - 5 PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS.
 - 6 CONCRETE STOOD.
 - 7 UNIT HEATER - GAS FIRED, CEILING HUNG.



1 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0" BUILDING 1, BLDG 4 SW, MIRRORED
 PLAN NORTH

brownhouse
 200 West Chestnut St., Madison, WI 53703 608.663.5131 fax

Churchill Crossing
 000 Pleasant View Road
 Madison, WI

DATE: 04/15/09
 REVISION: 04/15/09
 DRAWN: J. J. J.
 CHECKED: J. J. J.
 DATE: APR 15/09

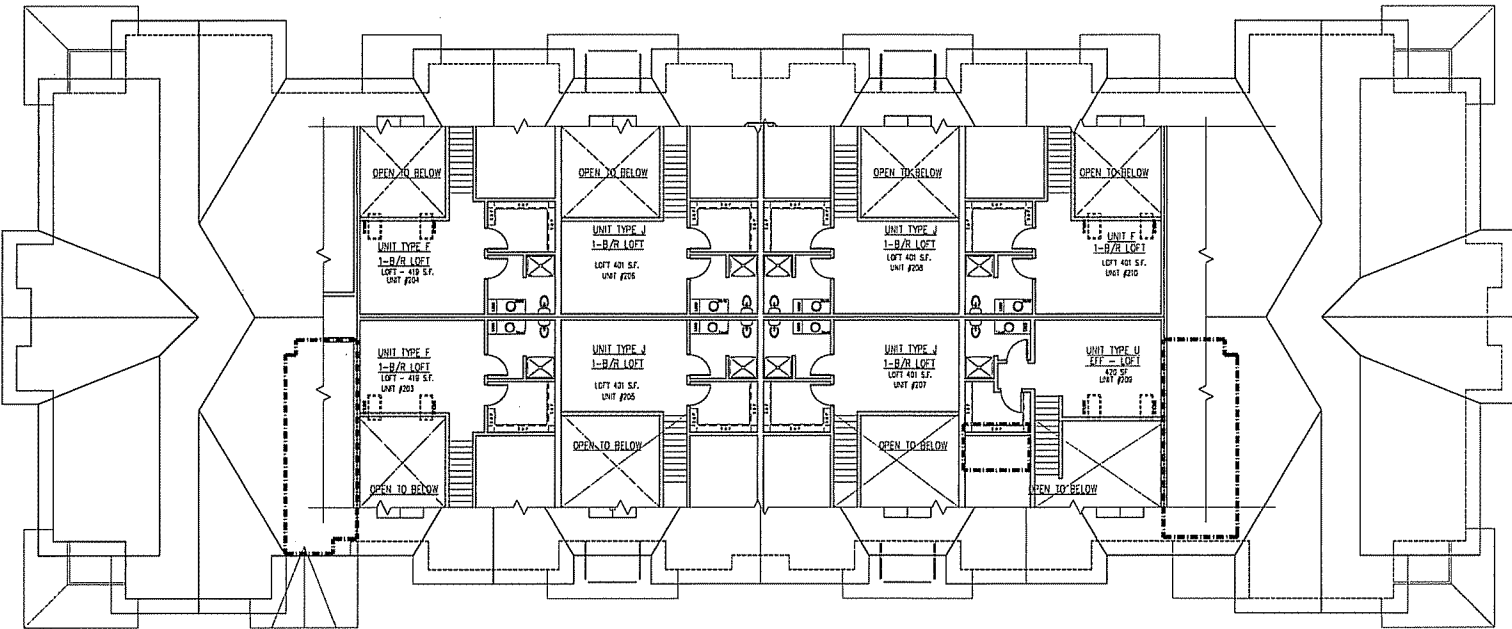
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BLDG 1&4
 2nd FLOOR

A202

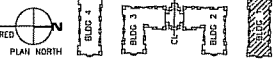
- FLOOR PLAN - SYMBOLS LEGEND**
- NEW WALL / PARTITION
 - NEW DOOR / DOOR NUMBER TAG
 - SECTION REFERENCE
 - DETAIL REFERENCE
 - INTERIOR ELEVATION
 - PLAN NOTE
 - BORROWED LITE, REFER TO DETAIL, XXXXX
 - ONE HOUR FIRE RESISTIVE CONSTRUCTION
 - TWO HOUR FIRE RESISTIVE CONSTRUCTION
 - THREE HOUR FIRE RESISTIVE CONSTRUCTION
 - REVISION NUMBER

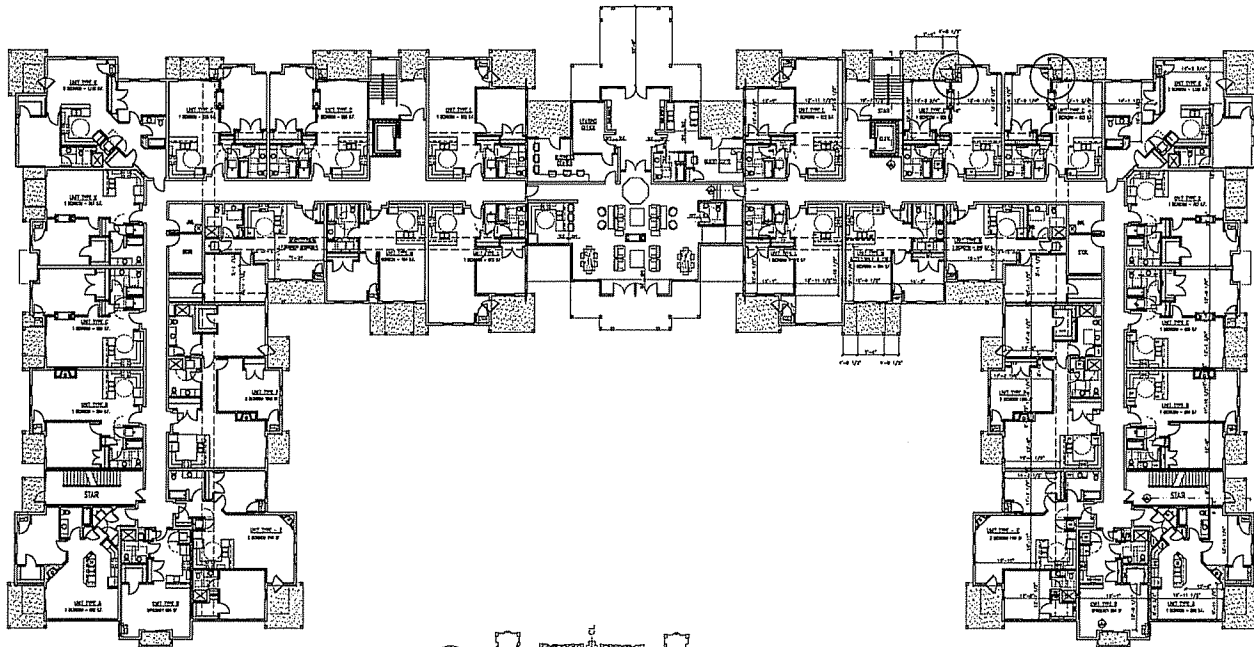
- FLOOR PLAN - GENERAL NOTES**
- A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL UNLESS OTHERWISE NOTED. PERIMETER FRAMING FLUSH W/ FACE FOUNDATION WALL OR LEGGE.
 - B. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. PORTIONS OF EXISTING CONSTRUCTION MAY DIFFER FROM DRAWINGS.
 - C. ALL FRAMING IS TO BE WOOD STUD FRAMING, AND BLOCKING.
 - D. ALL MISCELLANEOUS WOOD BLOCKING SHALL BE DIMENSIONAL LUMBER, PLYWOOD, OR USE OF SUFFICIENT STRENGTH TO PROVIDE PROPER ANCHORAGE OR CARRY REQUIRED LOADS.
 - E. INSTALL MISCELLANEOUS WOOD BLOCKING AS INDICATED ON DRAWINGS OR AS REQUIRED FOR PROPER INSTALLATION. SUCH APPLICATIONS INCLUDE CASEWORK, PARTICES, APPLIANCES, EQUIPMENT, GRAB BARS, TOILET ACCESSORIES, BASE TRIM, DOOR FRAME CASINGS, MIRRORS, MISCELLANEOUS TRIMS AND APPLICATIONS.
 - F. GYPSUM BOARD SHEATHING FOR WALLS, CEILINGS AND OTHER MISCELLANEOUS CONSTRUCTION IS TO BE 5/8" THICK, UNLESS OTHERWISE SPECIFIED.
 - G. REFER TO (A/F) DRAWING SERIES FOR ROOM FINISH SCHEDULE AND NOTES, DOOR AND FRAME TYPES, PARTITION TYPES, DETAILS.
 - H. REFER TO PROJECT MANUAL FOR DOOR AND HARDWARE SCHEDULES AND NOTES.
 - I. IN APARTMENT BATHROOMS, PROVIDE BLOCKING FOR FRAMED MIRROR. MIRROR TO BE OWNER SUPPLIED, AND CONTRACTOR INSTALLED. SEE INTERIOR ELEVATIONS FOR LOCATIONS.
 - J. PROVIDE WOOD SHELF AND ROD AT ALL APARTMENT CLOSETS, UNID.
 - K. PROVIDE ROD AND CURTAIN AT ALL TUBS AND SHOWERS, UNID.
- FLOOR PLAN NOTES**
1. WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" AFF.
 2. GALVANIZED FOLE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" AFF. PER DETAIL 02070.
 3. LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT VALVES, METERS, SPRINKLER RISER, ETC.)
 4. TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE, WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
 5. PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS.
 6. CONCRETE STOPP.
 7. UNIT HEATER - GAS FIRED, CEILING MOUNT.



1 SECOND FLOOR LOFT FLOOR PLAN

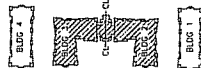
SCALE: 1/8" = 1'-0" BUILDING 1, BLDG 4 5M, MIRROR





1 OVERALL FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

BUILDING 2, 3, CLUBHOUSE
PLAN NORTH



FLOOR PLAN - SYMBOLS LEGEND

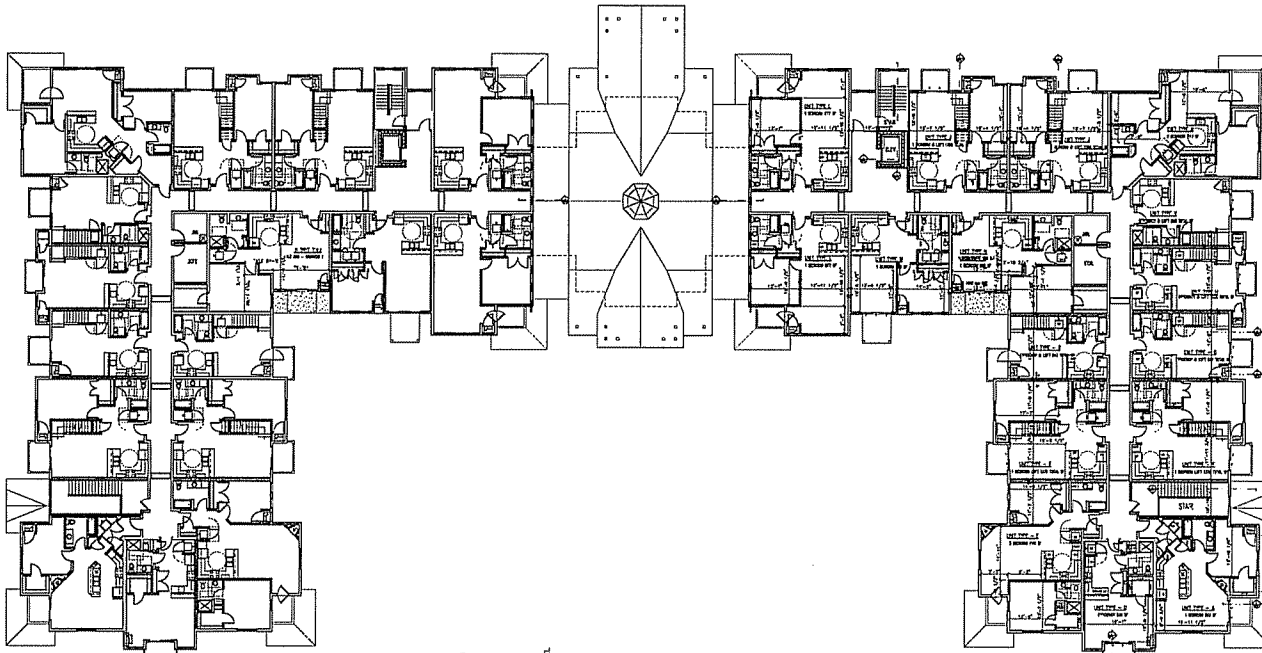
- NEW WALL / PARTITION
- NEW DOOR / DOOR NUMBER TAG
- SECTION REFERENCE
- DETAIL REFERENCE
- INTERIOR ELEVATION
- PLAN NOTE
- PARTITION TYPE
- BORROWED LITE, REFER TO DETAIL XX/XXX
- ONE HOUR FIRE RESISTIVE CONSTRUCTION
- TWO HOUR FIRE RESISTIVE CONSTRUCTION
- THREE HOUR FIRE RESISTIVE CONSTRUCTION
- REVISION NUMBER

FLOOR PLAN - GENERAL NOTES

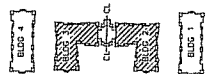
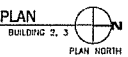
- A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (DIMENSION), PERIMETER FRAMING FINISH W/ FACE FOUNDATION WALL OR LEDGE.
- B. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. PORTIONS OF EXISTING CONSTRUCTION MAY DIFFER FROM DRAWINGS.
- C. ALL FRAMING IS TO BE WOOD, STUD FRAMING, AND BLOCKING.
- D. ALL MISCELLANEOUS WOOD BLOCKING SHALL BE DIMENSIONAL LUMBER, PLYWOOD, OR OSB OF SUFFICIENT STRENGTH TO PROVIDE PROPER ANCHORAGE OR CARRY REQUIRED LOADS.
- E. INSTALL MISCELLANEOUS WOOD BLOCKING AS INDICATED IN DRAWINGS OR AS REQUIRED FOR PROPER INSTALLATION. SUCH APPLICATIONS INCLUDE CASEWORK, FIXTURES, APPLIANCES, EQUIPMENT, GRAB BARS, TOILET ACCESSORIES, BASE TRIM, DOOR FRAME CASINGS, MIRRORS, MISCELLANEOUS TRIMS AND APPLICATIONS.
- F. GYPSUM BOARD SHEATHING FOR WALLS, CEILING AND OTHER MISCELLANEOUS CONSTRUCTION IS TO BE 5/8" THICK, UNLESS DRAWINGS OR SPECIFICATIONS.
- G. REFER TO (A/700) DRAWING SERIES FOR ROOM FINISH SCHEDULE AND NOTES, DOOR AND FRAME TYPES, PARTITION TYPES, DETAILS.
- H. REFER TO PROJECT MANUAL FOR DOOR AND HARDWARE SCHEDULES AND NOTES.
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- J. PROVIDE WOOD SHELF AND ROD AT ALL APARTMENT CLOSETS, UNITS.
- K. PROVIDE ROD AND CURTAIN AT ALL TUBS AND SHOWERS, UNITS.

FLOOR PLAN NOTES

1. WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN 8'-3"-0" A.F.F.
2. GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN 8'-3"-0" A.F.F., PER DETAIL (A/400).
3. LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
4. TYPICAL PARKING AND TRAFFIC STRIPING, 4" VIOLET WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
5. PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS.
6. CONCRETE STOOD
7. UNIT HEATER - GAS FIRED, CEILING MOUNT



1 OVERALL SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



- FLOOR PLAN - SYMBOLS LEGEND**
- NEW WALL / PARTITION
 - NEW DOOR / DOOR NUMBER TAG
 - SECTION REFERENCE
 - DETAIL REFERENCE
 - INTERIOR ELEVATION
 - PLAN NOTE
 - PARTITION TYPE
 - BORROWED LIT., REFER TO DETAIL #A/A&X
 - ONE HOUR FIRE RESISTIVE CONSTRUCTION
 - TWO HOUR FIRE RESISTIVE CONSTRUCTION
 - THREE HOUR FIRE RESISTIVE CONSTRUCTION
 - REVISION NUMBER

- FLOOR PLAN - GENERAL NOTES**
- A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL, OR FINISH FLOOR TO FINISH FLOOR, PERIMETER FRAMING FLOOR W/ FACE FOUNDATION WALL OR LEDGE.
 - B. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. PORTIONS OF EXISTING CONSTRUCTION MAY DIFFER FROM DRAWINGS.
 - C. ALL FRAMING IS TO BE WOOD STUD FRAMING, AND BLOCKING.
 - D. ALL MISCELLANEOUS WOOD BLOCKING SHALL BE DIMENSIONAL LUMBER, PLYWOOD, OR OSB OF SUFFICIENT STRENGTH TO PROVIDE PROPER ANCHORAGE OR CARRY REQUIRED LOADS.
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 - G. REFER TO (A700) DRAWING SERIES FOR ROOM FINISH SCHEDULE AND NOTES, DOOR AND FRAME TYPES, PARTITION TYPES, DETAILS.
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 - K. PROVIDE ROD AND CURTAIN AT ALL TUBS AND SHOWERS, UNITS.
- FLOOR PLAN NOTES**
1. WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 2'-0" AFF.
 2. GALVANIZED POLY-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 2'-0" AFF. PER DETAIL 05/2000.
 3. LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
 4. TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4' LINE.
 5. PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS.
 6. CONCRETE STOOD.
 7. UNIT HEATER - GAS FIRED, CEILING HUNG.

brownhouse
200 West Chestnut St., Madison, WI 53703 608.662.5151

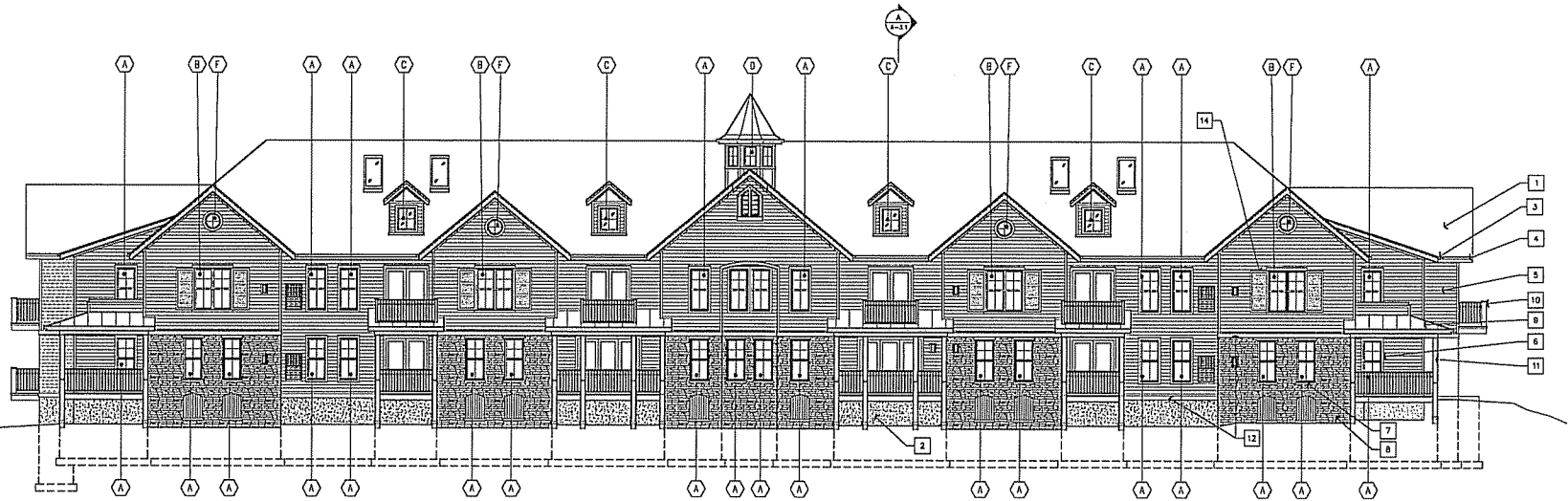
Churchill Crossing
000 Pleasant View Road
Madison, WI

DATE: APR 12/10
DRAWN BY: JLD
CHECKED BY: JLD
START DATE: APR 12/10

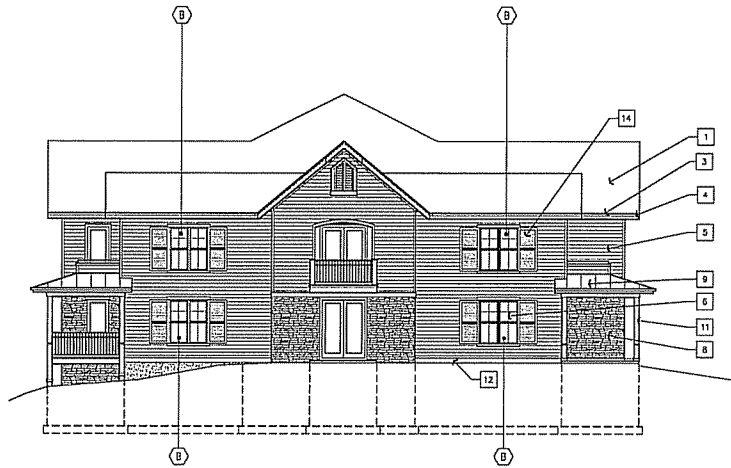
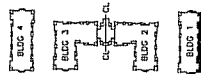
REVISION NO.	DATE

BLDG 2&3
2nd FLOOR

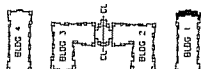
A209



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

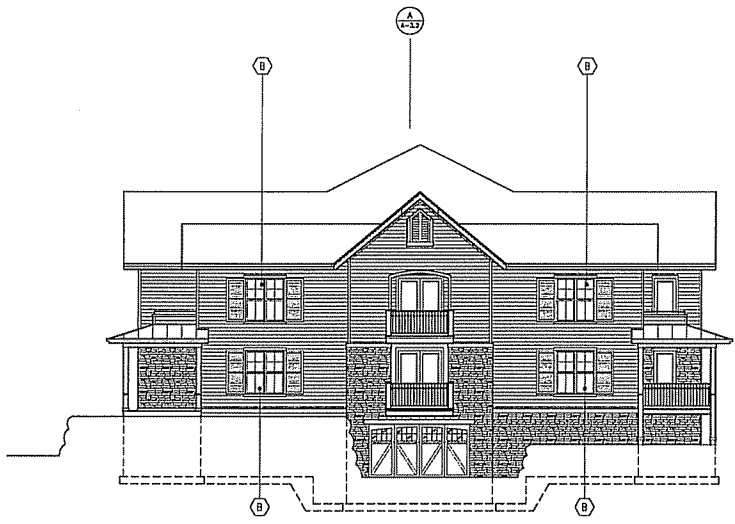
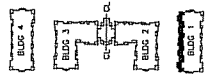


- TYPICAL MATERIALS:**
- 1 ASPHALT SHINGLES: GAF, TIMBERLINE SELECT 40. COLOR: WEATHERED WOOD BLEND
 - 2 STUCCO FINISH ON CONCRETE FOUNDATION WALL
 - 3 ALUMINUM GUTTERS & DOWNSPOUTS. COLOR TO MATCH ALCOA PERFORMANCE METALS. COLOR: MONTANA SUEDE - WHERE GUTTERS DO NOT OCCUR, PROVIDE ALUMINUM WRAPPED 1x4 GABLE TRIM. COLOR: MONTANA SUEDE.
 - 4 ALUMINUM WRAPPED FASCIA. ALCOA, PERFORMANCE METALS. COLOR: MONTANA SUEDE
 - 5 VINYL SIDING, ALCOA, MASTIC PREMIUM SIDING, QUEST 3 SERIES. COLOR: PEBBLESTONE CLAY.
 - 6 WINDOWS - VINYL WINDOWS & TRIM - COLOR: EDGE (GREEN) ROUND WINDOWS
 - 7 PRECAST SILL & HEAD
 - 8 OWENS CORNING CULTURED STONE, COLOR: CHARBONNAY SOUTHERN LEDGESTONE (CSV-2054)
 - 9 STANDING SEAM METAL ROOF. COLOR = PAC-CLAD AEGED COPPER
 - 10 BALCONY TRIM, POSTS, AND RAILING - PAINTED HARDPLANK, COLOR = SAND
 - 11 PAINTED WOOD COLUMNS - PAINTED HARDPLANK OR CEDAR, COLOR = SAND
 - 12 VINYL TRIM. COLOR: PEBBLESTONE CLAY
 - 13 PRECAST LINTEL
 - 14 CUSTOM SHUTTER AS APPROVED BY OWNER. COLOR: BLACK.

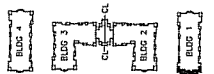
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05/10/20	5	05/10/20
05/10/20	6	05/10/20
05/10/20	7	05/10/20
05/10/20	8	05/10/20
05/10/20	9	05/10/20
05/10/20	10	05/10/20
05/10/20	11	05/10/20
05/10/20	12	05/10/20
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05/10/20	14	05/10/20



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

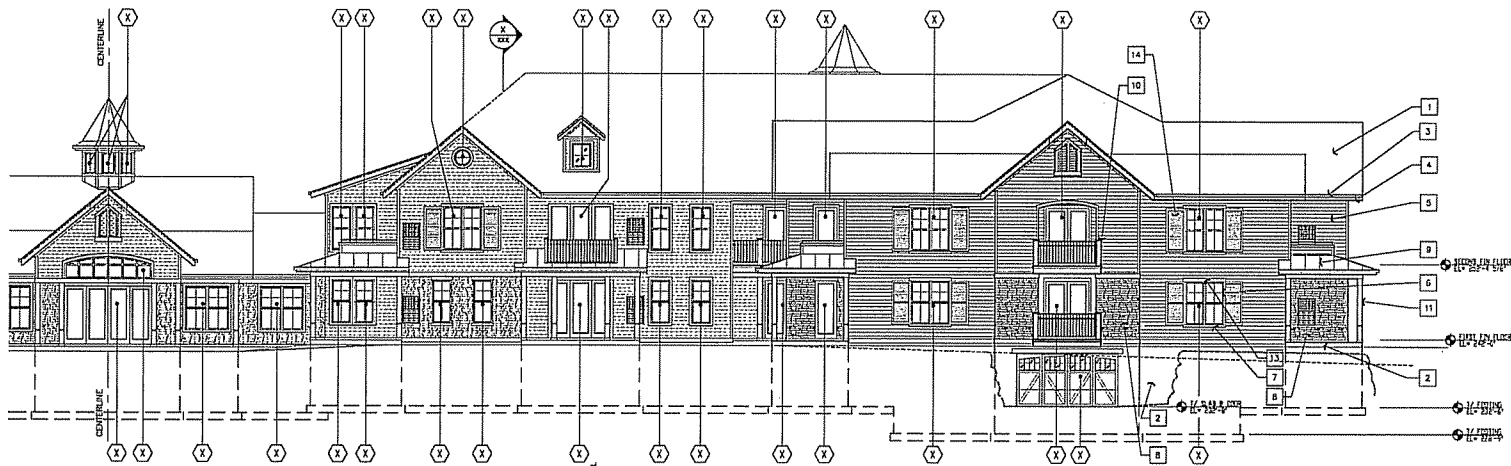


2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

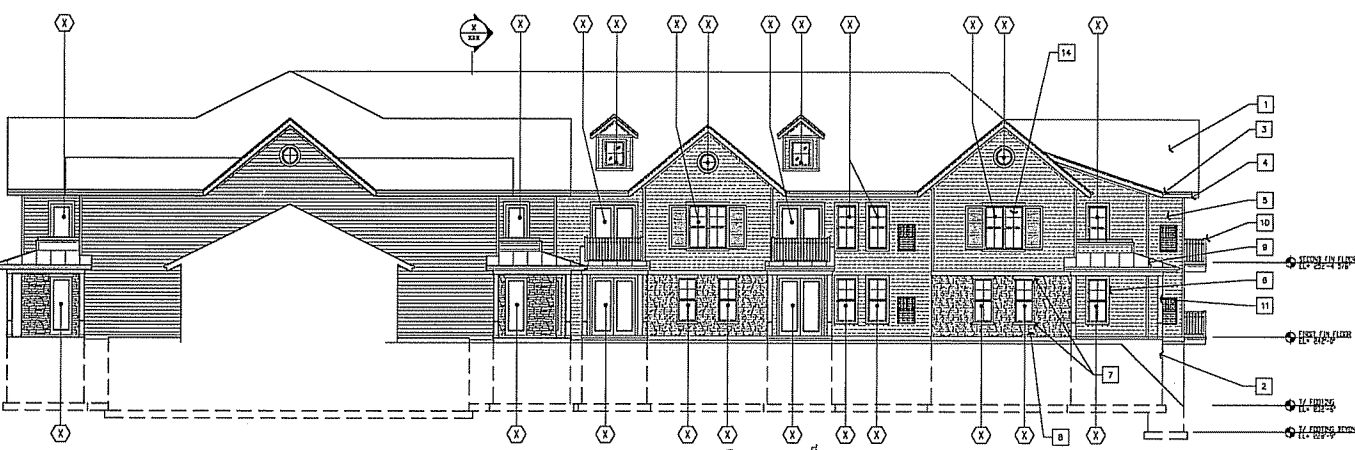


TYPICAL MATERIALS:

- 1 ASPHALT SHINGLES: GAF, TIMBERLINE SELECT 40. COLOR: WEATHERED WOOD BLEND
- 2 STUCCO FINISH ON CONCRETE FOUNDATION WALL
- 3 ALUMINUM GUTTERS & DOWNSPOUTS. COLOR TO MATCH ALCOA PERFORMANCE METALS. COLOR: MONTANA SUEDE - WHERE GUTTERS DO NOT OCCUR, PROVIDE ALUMINUM WRAPPED 1x4 GABLE TRIM. COLOR: MONTANA SUEDE.
- 4 ALUMINUM WRAPPED FASCIA. ALCOA, PERFORMANCE METALS. COLOR: MONTANA SUEDE
- 5 VINYL SIDING, ALCOA, MASTIC PREMIUM SIDING, QUEST 3 SERIES. COLOR: PEBBLESTONE CLAY.
- 6 WINDOWS - VINYL WINDOWS & TRIM - COLOR: BEIGE (GREEN @ ROUND WINDOWS)
- 7 PRECAST SILL & HEAD
- 8 OWENS CORNING CULTURED STONE. COLOR: CHARDONNAY SOUTHERN LEDGESTONE (CSV-2054)
- 9 STANDING SEAM METAL ROOF. COLOR = PAC-CLAD AGED COPPER
- 10 BALCONY TRIM, POSTS, AND RAILING - PAINTED HARDPLANK, COLOR = SAND
- 11 PAINTED WOOD COLUMNS - PAINTED HARDPLANK OR CEDAR, COLOR = SAND
- 12 VINYL TRIM. COLOR: PEBBLESTONE CLAY
- 13 PRECAST LINTEL
- 14 CUSTOM SHUTTER AS APPROVED BY OWNER. COLOR: BLACK.



1 EAST ELEVATION OF BLDGS 2 & 3
SCALE: 1/8" = 1'-0"



2 COURTYARD ELEV @ BLDG 2 (SOUTH ELEV @ BLDG 3 - MIRROR IMAGE)
SCALE: 1/8" = 1'-0"



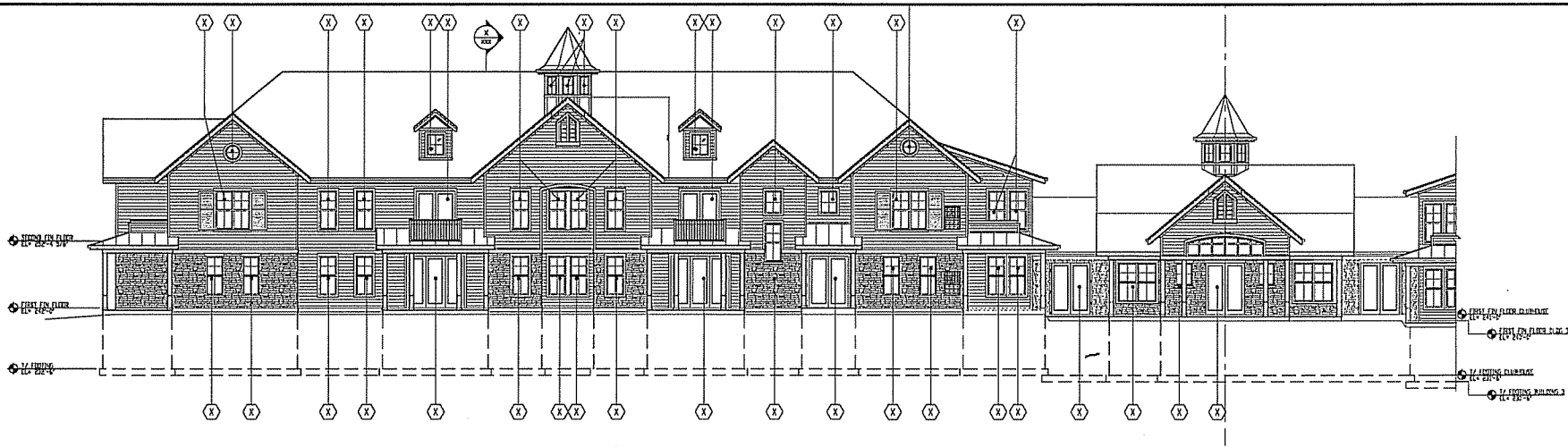
TYPICAL MATERIALS:

- 1 ASPHALT SHINGLES: CAF, TIMBERLINE SELECT 40. COLOR: WEATHERED WOOD BLEND
- 2 STUCCO FINISH ON CONCRETE FOUNDATION WALL
- 3 ALUMINUM GUTTERS & DOWNSPOUTS. COLOR TO MATCH ALCOA PERFORMANCE METALS. COLOR: MONTANA SUEDE - WHERE GUTTERS DO NOT OCCUR, PROVIDE ALUMINUM WRAPPED 1x4 GABLE TRIM. COLOR: MONTANA SUEDE.
- 4 ALUMINUM WRAPPED FASCO. ALCOA, PERFORMANCE METALS. COLOR: MONTANA SUEDE
- 5 VINYL SIDING, ALCOA, MASTIC PREMIUM SIDING, QUEST 3 SERIES. COLOR: PEBBLESTONE CLAY.
- 6 WINDOWS - VINYL WINDOWS & TRIM - COLOR: BEIGE (GREEN @ ROUND WINDOWS)
- 7 PRECAST SILL & HEAD
- 8 OWENS CORNING CULTURED STONE. COLOR: CHARDONHAY SOUTHERN LEDGESTONE (CSV-2054)
- 9 STANDING SEAM METAL ROOF. COLOR = PAC-CLAD ACED COPPER
- 10 BALCONY TRIM, POSTS, AND RAILING - PAINTED HARDPLANK, COLOR = SAND
- 11 PAINTED WOOD COLUMNS - PAINTED HARDPLANK OR CEDAR, COLOR = SAND
- 12 VINYL TRIM. COLOR: PEBBLESTONE CLAY
- 13 PRECAST LINTEL
- 14 CUSTOM SHUTTER AS APPROVED BY OWNER. COLOR: BLACK.

DRG. STATUS	DATE
REVISION	DATE

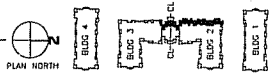
BLDS: 2&3
EXTERIOR
ELEVATIONS

A302



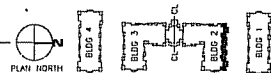
1 WEST ELEVATION OF BLDGS 2 & 3

SCALE: 1/8" = 1'-0"



2 NORTH ELEV @ BLDG 2 (SOUTH ELEV @ BLDG 3 - MIRROR IMAGE)

SCALE: 1/8" = 1'-0"



TYPICAL MATERIALS:

- 1 ASPHALT SHINGLES: GAF, TIMBERLINE SELECT 40. COLOR: WEATHERED WOOD BLEND
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- 11 PAINTED WOOD COLUMNS - PAINTED HARDPLANK OR CEDAR. COLOR = SAND
- 12 VINYL TRIM. COLOR: PEBBLESTONE CLAY
- 13 PRECAST LINTEL
- 14 CUSTOM SHUTTER AS APPROVED BY OWNER. COLOR: BLACK.

Churchill Crossing
000 Pleasant View Road
Madison, WI

DATE: 04/15/2010
DRAWN BY: HAD/20
STAFF: APRIL 15/10/20

REVISION NO. DATE

BLDG. 2&3
EXTERIOR
ELEVATIONS

A303

brownbroun
202 West Columbia St., Milwaukee, WI 53203 (414) 663-5151 fax