

City of Madison, WI  
Demolition Permit & Site Plan Approval Request  
October 19, 2011

CARmax®



## Plan Sheets

- A-1: Building Elevations
- A-2: Floor Plan
- C-1: Existing Conditions
- C-2: Demolition Plan
- C-3: Site Plan
- C-4: Grading and Erosion Control Plan
- C-5: Utility Plan
- C-6 - C-11: Construction Details
- P-1 - P-3: Detention System Plans
- L-1: Landscape Plan
- LO-1: Lighting Plan

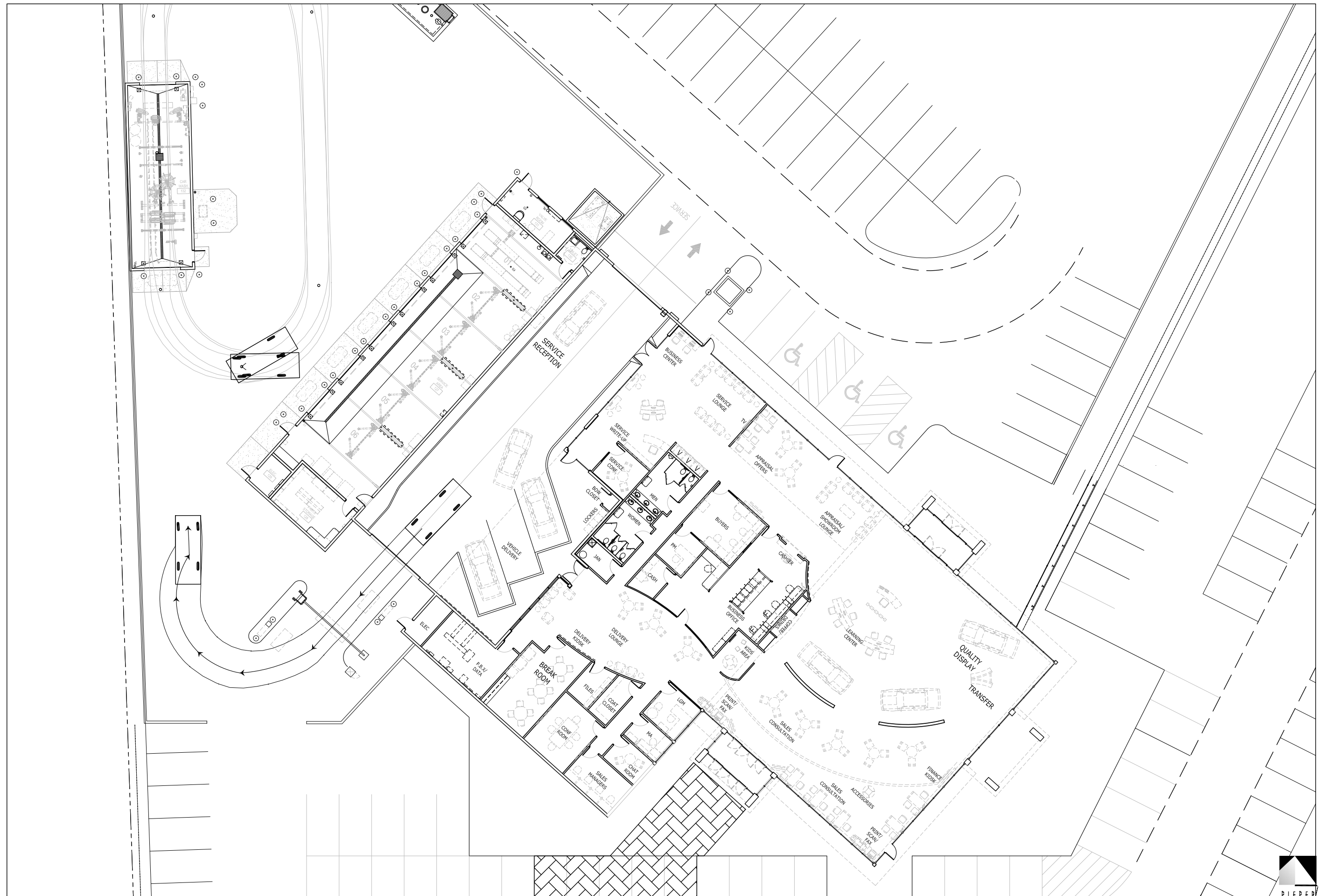


c/o John McNamara  
12800 Tuckahoe Creek Parkway  
Richmond, VA 23238

**Engineer & Landscape Architect:**  
Vierbicher  
c/o Travis Schreiber  
999 Fourier Drive, Suite 201  
Madison, WI 53717  
Phone: (608) 826-0532

**Project Entitlement Coordination:**  
CenterPoint Integrated Solutions, LLC  
c/o Amanda Steinle  
1240 Bergen Parkway, Suite A-250  
Evergreen, CO 80439  
Phone: (303) 679-6978





**MADISON, WI Store XXXX**  
 Next Gen Micro Sales / Micro Service

FLOOR PLAN

SCALE: Not to scale  
 21 Sept 2011



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**NOTES :**

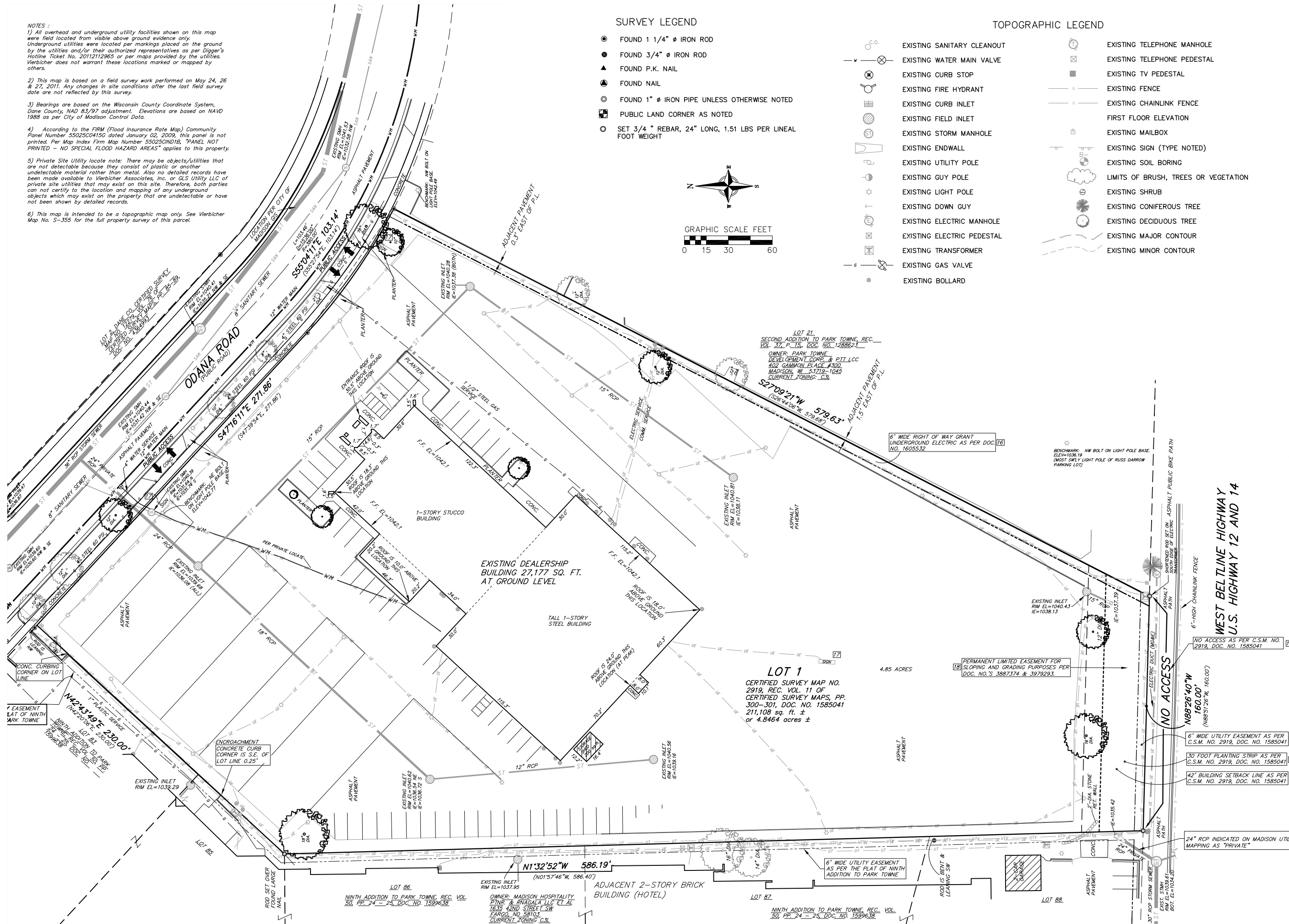
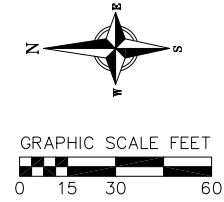
- 1) All overhead and underground utility facilities shown on this map were field located from visible above ground evidence only. Underground utilities were located per markings placed on the ground by the utilities and/or their authorized representatives as per Digger's Hotline Ticket No. 20112112965 or per maps provided by the utilities. Vierbicher does not warrant these locations marked or mapped by others.
- 2) This map is based on a field survey work performed on May 24, 26 & 27, 2011. Any changes in site conditions after the last field survey date are not reflected by this survey.
- 3) Bearings are based on the Wisconsin County Coordinate System, Dane County, NAD 83/97 adjustment. Elevations are based on NAVD 1988 as per City of Madison Control Data.
- 4) According to the FIRM (Flood Insurance Rate Map) Community Panel Number 55025C04150 dated January 02, 2009, this panel is not printed. Per Map Index Firm Map Number 55025CIND1B, "PANEL NOT PRINTED - NO SPECIAL FLOOD HAZARD AREAS" applies to this property.
- 5) Private Site Utility locate note: There may be objects/utilities that are not detectable because they consist of plastic or another undetectable material rather than metal. Also no detailed records have been made available to Vierbicher Associates, Inc. or G.L.S. Utility, LLC of private site utilities that may exist on this site. Therefore, both parties can not certify to the location and mapping of any underground objects which may exist on the property that are undetectable or have not been shown by detailed records.
- 6) This map is intended to be a topographic map only. See Vierbicher Map No. S-355 for the full property survey of this parcel.

**SURVEY LEGEND**

- FOUND 1 1/4" Ø IRON ROD
- FOUND 3/4" Ø IRON ROD
- ▲ FOUND P.K. NAIL
- ▲ FOUND NAIL
- FOUND 1" Ø IRON PIPE UNLESS OTHERWISE NOTED
- PUBLIC LAND CORNER AS NOTED
- SET 3/4" REBAR, 24" LONG, 1.51 LBS PER LINEAL FOOT WEIGHT

**TOPOGRAPHIC LEGEND**

- ⊗ EXISTING SANITARY CLEANOUT
- ⊗ EXISTING WATER MAIN VALVE
- ⊗ EXISTING CURB STOP
- ⊗ EXISTING FIRE HYDRANT
- ⊗ EXISTING CURB INLET
- ⊗ EXISTING FIELD INLET
- ⊗ EXISTING STORM MANHOLE
- ⊗ EXISTING ENDWALL
- ⊗ EXISTING UTILITY POLE
- ⊗ EXISTING GUY POLE
- ⊗ EXISTING LIGHT POLE
- ⊗ EXISTING DOWN GUY
- ⊗ EXISTING ELECTRIC MANHOLE
- ⊗ EXISTING ELECTRIC PEDESTAL
- ⊗ EXISTING TRANSFORMER
- ⊗ EXISTING GAS VALVE
- EXISTING BOLLARD
- ⊗ EXISTING TELEPHONE MANHOLE
- ⊗ EXISTING TELEPHONE PEDESTAL
- EXISTING TV PEDESTAL
- ⊗ EXISTING FENCE
- ⊗ EXISTING CHAINLINK FENCE
- ⊗ FIRST FLOOR ELEVATION
- ⊗ EXISTING MAILBOX
- ⊗ EXISTING SIGN (TYPE NOTED)
- ⊗ EXISTING SOIL BORING
- ⊗ LIMITS OF BRUSH, TREES OR VEGETATION
- ⊗ EXISTING SHRUB
- ⊗ EXISTING CONIFEROUS TREE
- ⊗ EXISTING DECIDUOUS TREE
- ⊗ EXISTING MAJOR CONTOUR
- ⊗ EXISTING MINOR CONTOUR



**NOT RELEASED FOR CONSTRUCTION**

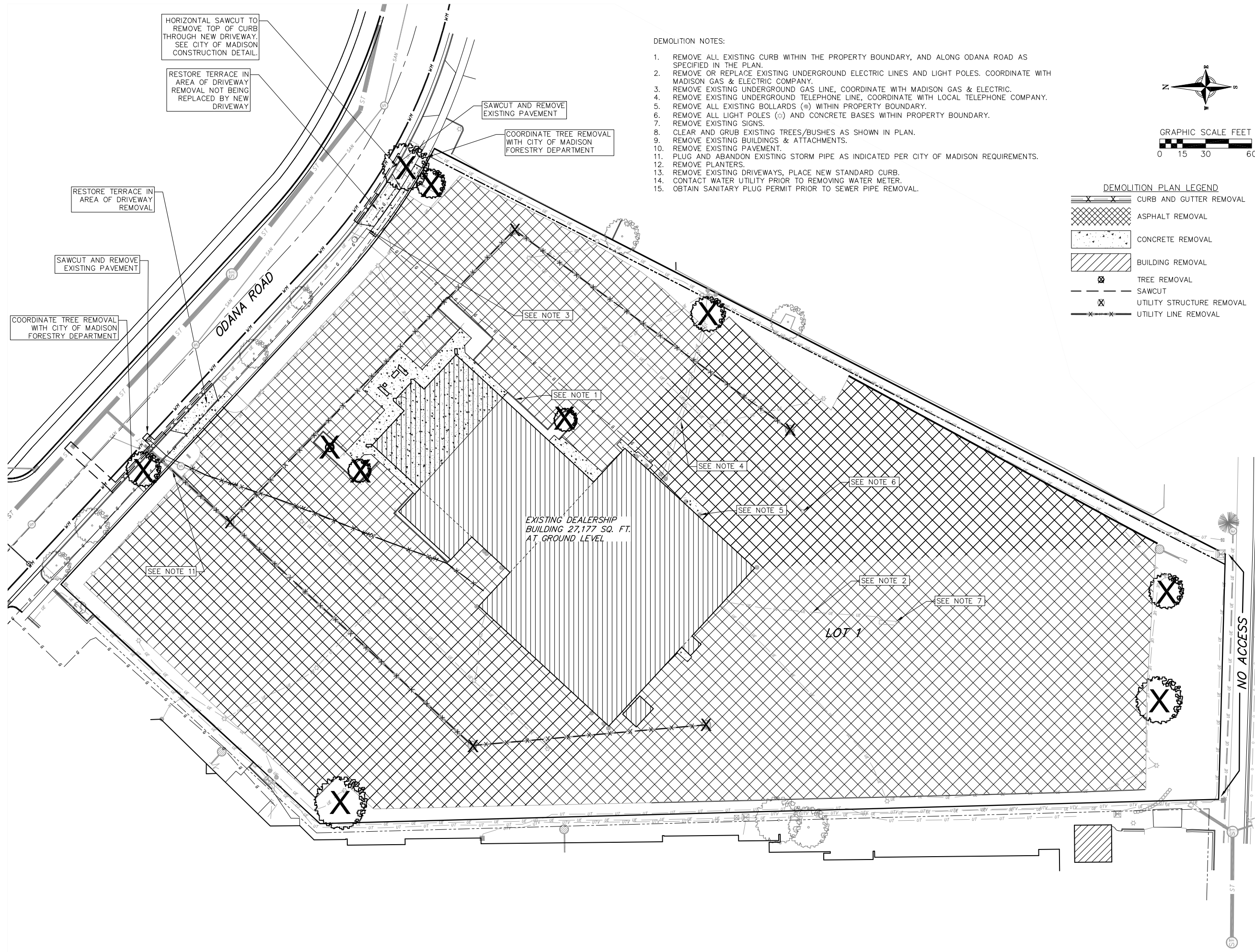
APPROVAL			
REV. NO.	DATE	DESCRIPTION	BY

**CARMAX**

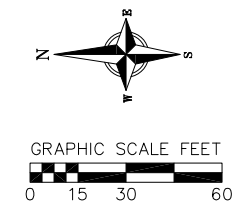
STORE NO. 6057  
6601 ODAMA ROAD  
MADISON WI

PROJECT NO.	20-10110.00
DATE	10/18/2011
SHEET TITLE	EXISTING CONDITIONS
SHEET NO.	C-1





- DEMOLITION NOTES:
1. REMOVE ALL EXISTING CURB WITHIN THE PROPERTY BOUNDARY, AND ALONG ODANA ROAD AS SPECIFIED IN THE PLAN.
  2. REMOVE OR REPLACE EXISTING UNDERGROUND ELECTRIC LINES AND LIGHT POLES. COORDINATE WITH MADISON GAS & ELECTRIC COMPANY.
  3. REMOVE EXISTING UNDERGROUND GAS LINE, COORDINATE WITH MADISON GAS & ELECTRIC.
  4. REMOVE EXISTING UNDERGROUND TELEPHONE LINE, COORDINATE WITH LOCAL TELEPHONE COMPANY.
  5. REMOVE ALL EXISTING BOLLARDS (●) WITHIN PROPERTY BOUNDARY.
  6. REMOVE ALL LIGHT POLES (⊙) AND CONCRETE BASES WITHIN PROPERTY BOUNDARY.
  7. REMOVE EXISTING SIGNS.
  8. CLEAR AND GRUB EXISTING TREES/BUSHES AS SHOWN IN PLAN.
  9. REMOVE EXISTING BUILDINGS & ATTACHMENTS.
  10. REMOVE EXISTING PAVEMENT.
  11. PLUG AND ABANDON EXISTING STORM PIPE AS INDICATED PER CITY OF MADISON REQUIREMENTS.
  12. REMOVE PLANTERS.
  13. REMOVE EXISTING DRIVEWAYS, PLACE NEW STANDARD CURB.
  14. CONTACT WATER UTILITY PRIOR TO REMOVING WATER METER.
  15. OBTAIN SANITARY PLUG PERMIT PRIOR TO SEWER PIPE REMOVAL.



DEMOLITION PLAN LEGEND

	CURB AND GUTTER REMOVAL
	ASPHALT REMOVAL
	CONCRETE REMOVAL
	BUILDING REMOVAL
	TREE REMOVAL
	SAWCUT
	UTILITY STRUCTURE REMOVAL
	UTILITY LINE REMOVAL

HORIZONTAL SAWCUT TO REMOVE TOP OF CURB THROUGH NEW DRIVEWAY. SEE CITY OF MADISON CONSTRUCTION DETAIL.

RESTORE TERRACE IN AREA OF DRIVEWAY REMOVAL NOT BEING REPLACED BY NEW DRIVEWAY

RESTORE TERRACE IN AREA OF DRIVEWAY REMOVAL

SAWCUT AND REMOVE EXISTING PAVEMENT

COORDINATE TREE REMOVAL WITH CITY OF MADISON FORESTRY DEPARTMENT

SAWCUT AND REMOVE EXISTING PAVEMENT

COORDINATE TREE REMOVAL WITH CITY OF MADISON FORESTRY DEPARTMENT

COORDINATE TREE REMOVAL WITH CITY OF MADISON FORESTRY DEPARTMENT

SEE NOTE 3

SEE NOTE 1

SEE NOTE 4

SEE NOTE 5

SEE NOTE 6

SEE NOTE 2

SEE NOTE 7

SEE NOTE 11

EXISTING DEALERSHIP BUILDING 27,177 SQ. FT. AT GROUND LEVEL

LOT 1

NO ACCESS

ODANA ROAD

WEST BELTLINE HIGHWAY  
U.S. HIGHWAY 12 AND 14

RELEASED FOR CONSTRUCTION

APPROVAL

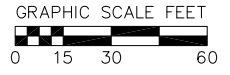
REVISIONS

REV. NO.	DATE	DESCRIPTION	BY



**vierbicher**  
planners | engineers | advisors

REEDSBURG - MADISON - PRAIRIE DU CHIEN  
999 Frontier Drive, Suite 201 Madison, Wisconsin 53717  
Phone: (608) 826-0532 Fax: (608) 826-0530



SITE PLAN LEGEND	
(Symbol)	PROPERTY BOUNDARY
(Symbol)	CURB AND GUTTER (REVERSE CURB HATCHED)
(Symbol)	PROPOSED ORNAMENTAL FENCE
(Symbol)	PROPOSED GUARDRAIL
(Symbol)	PROPOSED CONCRETE
(Symbol)	PROPOSED ASPHALT
(Symbol)	PROPOSED HEAVY DUTY ASPHALT
(Symbol)	PROPOSED STAMPED CONCRETE
(Symbol)	PROPOSED BOLLARD
(Symbol)	PROPOSED SIGN
(Symbol)	PROPOSED LIGHT POLE
(Symbol)	PROPOSED ADA DETECTABLE WARNING FIELD
(Symbol)	PROPOSED HANDICAP PARKING
(Symbol)	PROPOSED WALL (6')

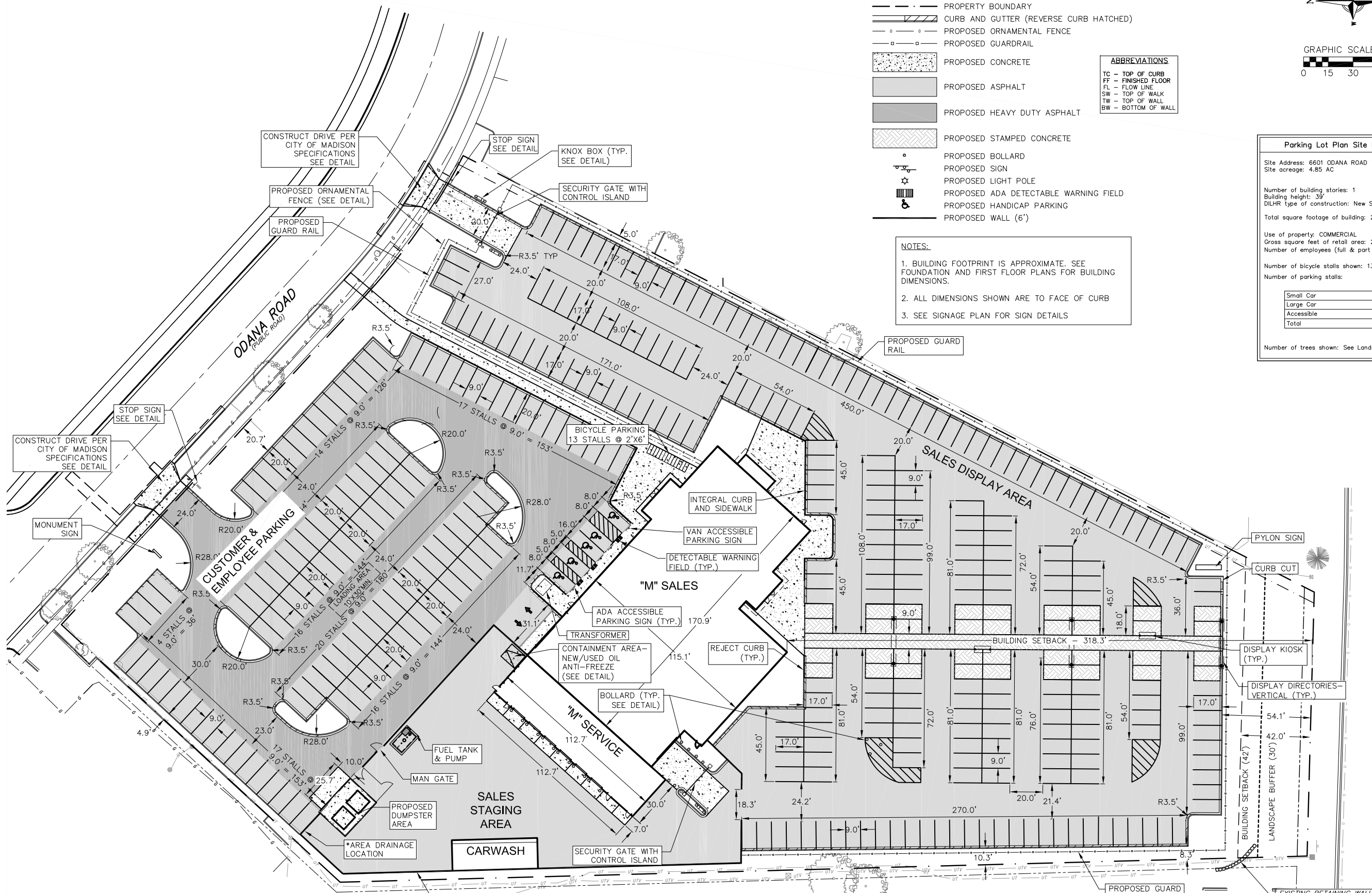
  

ABBREVIATIONS	
TC	- TOP OF CURB
FF	- FINISHED FLOOR
FL	- FLOW LINE
SW	- TOP OF WALK
TW	- TOP OF WALL
BW	- BOTTOM OF WALL

**NOTES:**

- BUILDING FOOTPRINT IS APPROXIMATE. SEE FOUNDATION AND FIRST FLOOR PLANS FOR BUILDING DIMENSIONS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB
- SEE SIGNAGE PLAN FOR SIGN DETAILS

Parking Lot Plan Site Information Block	
Site Address: 6601 ODANA ROAD	
Site acreage: 4.85 AC	
Number of building stories: 1	
Building height: 39'	
DILHR type of construction: New Structures	
Total square footage of building: 21,463 SF	
Use of property: COMMERCIAL	
Gross square feet of retail area: 21,463 SF	
Number of employees (full & part time): 85	
Number of bicycle stalls shown: 13	
Number of parking stalls:	
Small Car	shown
Large Car	0
Accessible	120
Total	5
	125
Number of trees shown: See Landscape Plan	



**NOT RELEASED FOR CONSTRUCTION**

APPROVAL	

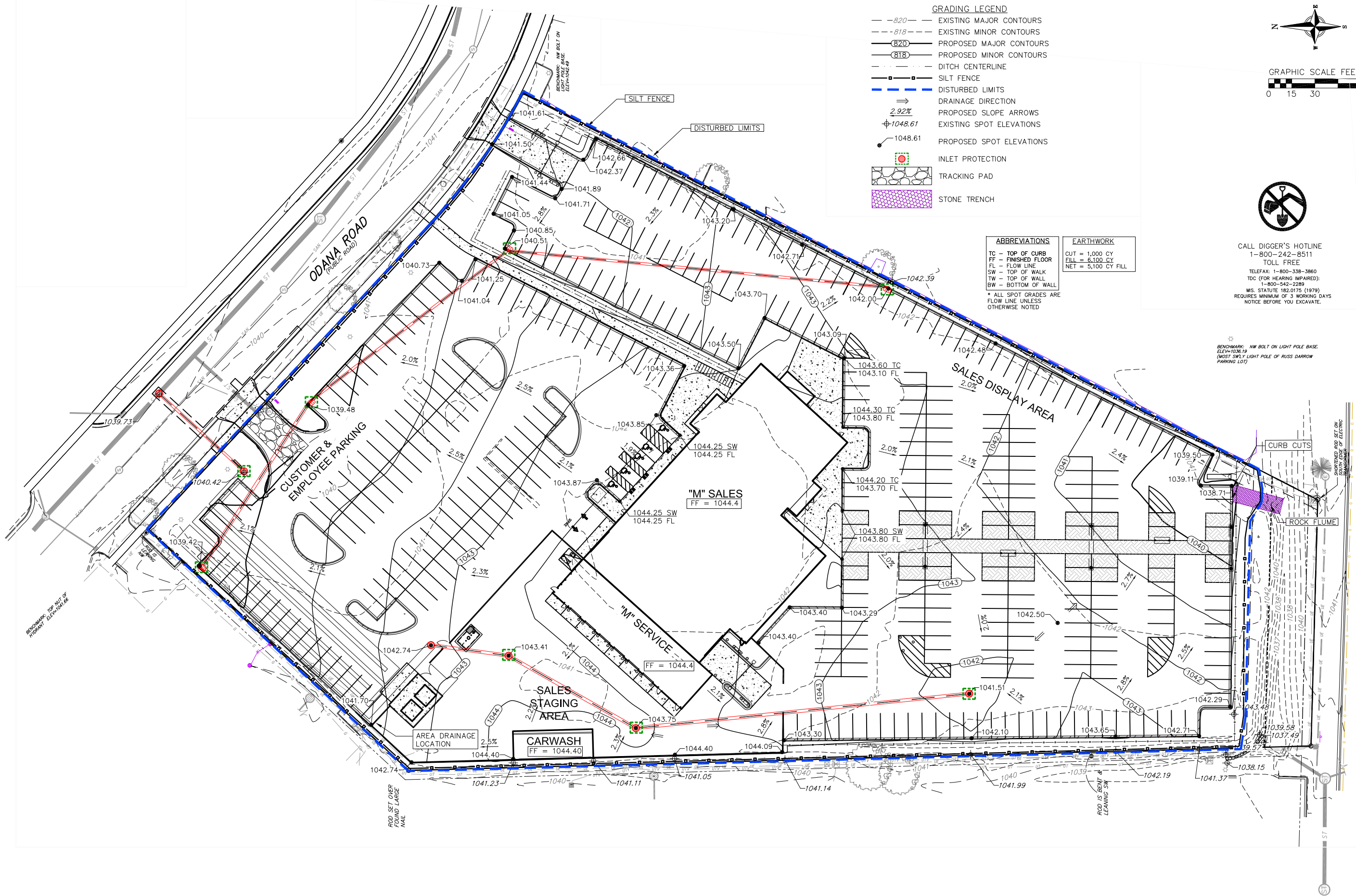
REVISIONS			
REV. NO.	DATE	DESCRIPTION	BY

**CARMAX**

STORE NO. 6057  
6601 ODANA ROAD  
MADISON WI

PROJECT NO.	20-10110.00
DATE	10/18/2011
SHEET TITLE	SITE PLAN
SHEET NO.	C-3





- GRADING LEGEND**
- - - 820 - - - EXISTING MAJOR CONTOURS
  - - - 818 - - - EXISTING MINOR CONTOURS
  - 820 — PROPOSED MAJOR CONTOURS
  - 818 — PROPOSED MINOR CONTOURS
  - - - - - DITCH CENTERLINE
  - — — SILT FENCE
  - — — DISTURBED LIMITS
  - ⇒ DRAINAGE DIRECTION
  - 2.92% PROPOSED SLOPE ARROWS
  - ⊕ 1048.61 EXISTING SPOT ELEVATIONS
  - 1048.61 PROPOSED SPOT ELEVATIONS
  - INLET PROTECTION
  - ▨ TRACKING PAD
  - ▨ STONE TRENCH

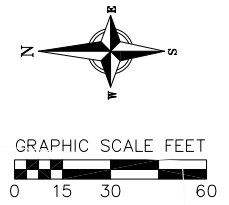
**ABBREVIATIONS**

TC - TOP OF CURB  
 FF - FINISHED FLOOR  
 FL - FLOW LINE  
 SW - TOP OF WALK  
 TW - TOP OF WALL  
 BW - BOTTOM OF WALL

\* ALL SPOT GRADES ARE FLOW LINE UNLESS OTHERWISE NOTED

**EARTHWORK**

CUT = 1,000 CY  
 FILL = 6,100 CY  
 NET = 5,100 CY FILL



CALL DIGGER'S HOTLINE  
 1-800-242-8511  
 TOLL FREE

TELEFAX: 1-800-338-3860  
 TDC (FOR HEARING IMPAIRED):  
 1-800-542-2289

WS. STATUTE 182.0175 (1979)  
 REQUIRES MINIMUM OF 3 WORKING DAYS  
 NOTICE BEFORE YOU EXCAVATE.

BENCHMARK: NW BOLT ON LIGHT POLE BASE  
 ELEV=1036.19  
 (MOST SW'LY LIGHT POLE OF RUSS DARRAW  
 PARKING LOT)

**NOT RELEASED FOR CONSTRUCTION**

**APPROVAL**

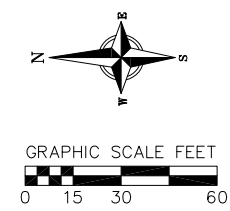
**REVISIONS**

REV. NO.	DATE	DESCRIPTION	BY

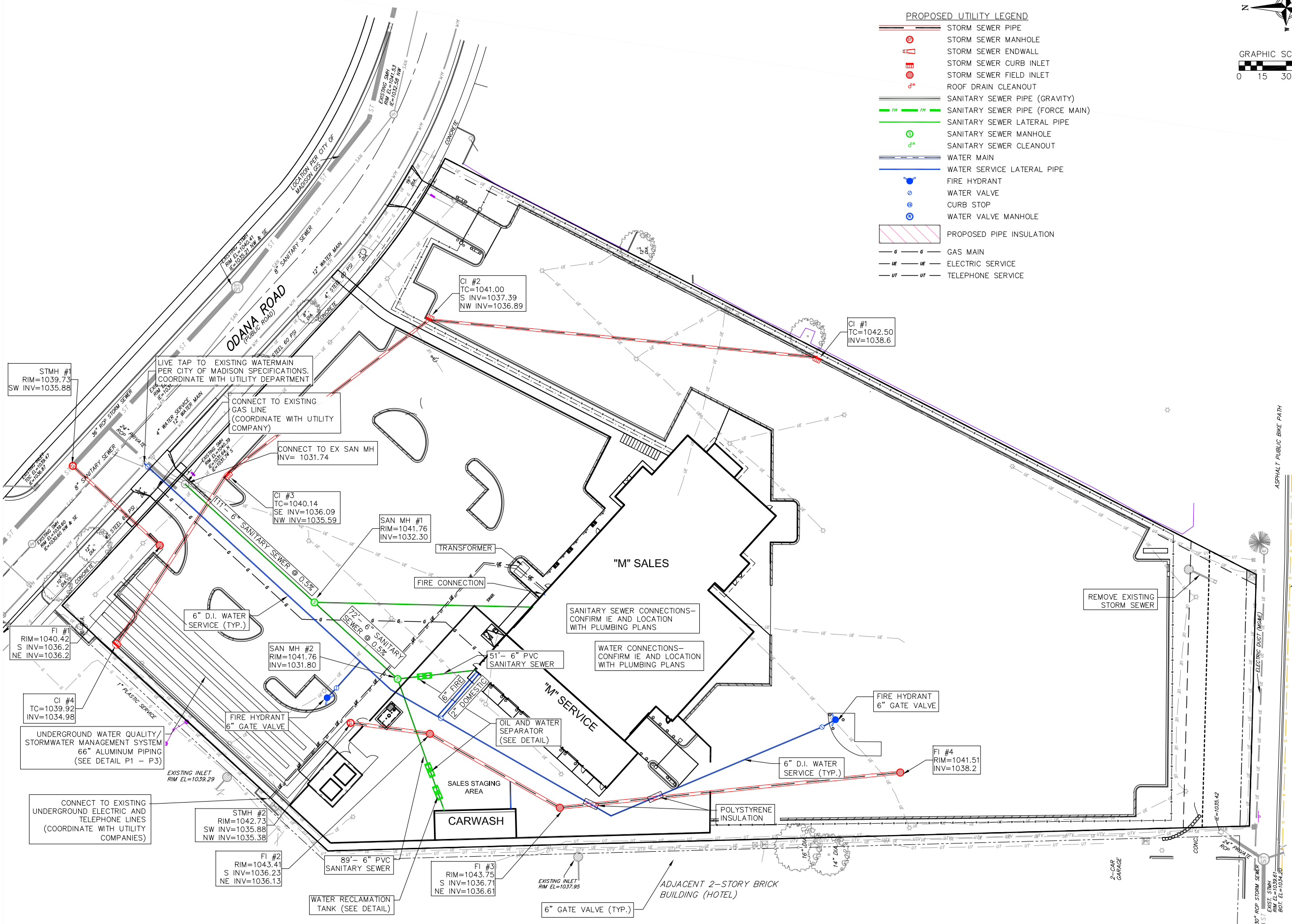
**CARMAX**

STORE NO. 6057  
 6601 ODANA ROAD  
 MADISON WI

PROJECT NO.	20-10110.00
DATE	10/18/2011
SHEET TITLE	GRADING AND EROSION CONTROL PLAN
SHEET NO.	C-4



- PROPOSED UTILITY LEGEND**
- STORM SEWER PIPE
  - STORM SEWER MANHOLE
  - STORM SEWER ENDWALL
  - STORM SEWER CURB INLET
  - STORM SEWER FIELD INLET
  - ROOF DRAIN CLEANOUT
  - SANITARY SEWER PIPE (GRAVITY)
  - SANITARY SEWER PIPE (FORCE MAIN)
  - SANITARY SEWER LATERAL PIPE
  - SANITARY SEWER MANHOLE
  - SANITARY SEWER CLEANOUT
  - WATER MAIN
  - WATER SERVICE LATERAL PIPE
  - FIRE HYDRANT
  - WATER VALVE
  - CURB STOP
  - WATER VALVE MANHOLE
  - PROPOSED PIPE INSULATION
  - GAS MAIN
  - ELECTRIC SERVICE
  - TELEPHONE SERVICE



CALL DIGGER'S HOTLINE  
 1-800-242-8511  
 TOLL FREE  
 TELEFAX: 1-800-338-3860  
 TDC (FOR HEARING IMPAIRED):  
 1-800-542-2289  
 WS. STATUTE 182.0175 (1979)  
 REQUIRES MINIMUM OF 3 WORKING DAYS  
 NOTICE BEFORE YOU EXCAVATE.

**NOT RELEASED FOR CONSTRUCTION**

**APPROVAL**

**REVISIONS**

REV. NO.	DATE	DESCRIPTION	BY

**CARMAX**  
 STORE NO. 6057  
 6601 ODANA ROAD  
 MADISON WI

WEST BELTLINE HIGHWAY U.S.  
 HIGHWAY 12 AND 14

PROJECT NO.	20-10110.00
DATE	10/18/2011
SHEET TITLE	UTILITY PLAN
SHEET NO.	C-5



## EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, INLET PROTECTION, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
11. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET (NOTE: ADD SEEDING RATE STANDARD OF DETAIL BLOCK TO PLAN) UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
12. TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. EROSION MAT (TYPE I, CLASS B PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
17. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED BY THE MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
18. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
19. INSTALL MINIMUM 6'-7' WIDE EROSION MAT ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL.
20. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
21. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
22. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
23. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
24. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
25. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

## CONSTRUCTION SEQUENCE

1. INSTALL SILT FENCE AND TRACKING PAD.
2. INSTALL INLET PROTECTION IN EXISTING STORM INLETS PER PLAN.
3. ROUGH GRADE PARKING LOT.
4. CONSTRUCT UNDERGROUND UTILITIES.
5. INSTALL INLET PROTECTION IN NEW STORM INLETS.
6. CONSTRUCT PARKING LOT (STONE BASE, CURB & GUTTER, AND SIDEWALK).
7. RESTORE GREEN AREAS.
8. REMOVE TRACKING PAD, SILT FENCE, AND OTHER EROSION CONTROL MEASURES AFTER DISTURBED AREAS ARE RESTORED.

## SEEDING RATES

### TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB/1,000 SF FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB/1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15TH,

### PERMANENT:

USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB/1,000 SF.

## FERTILIZING RATES

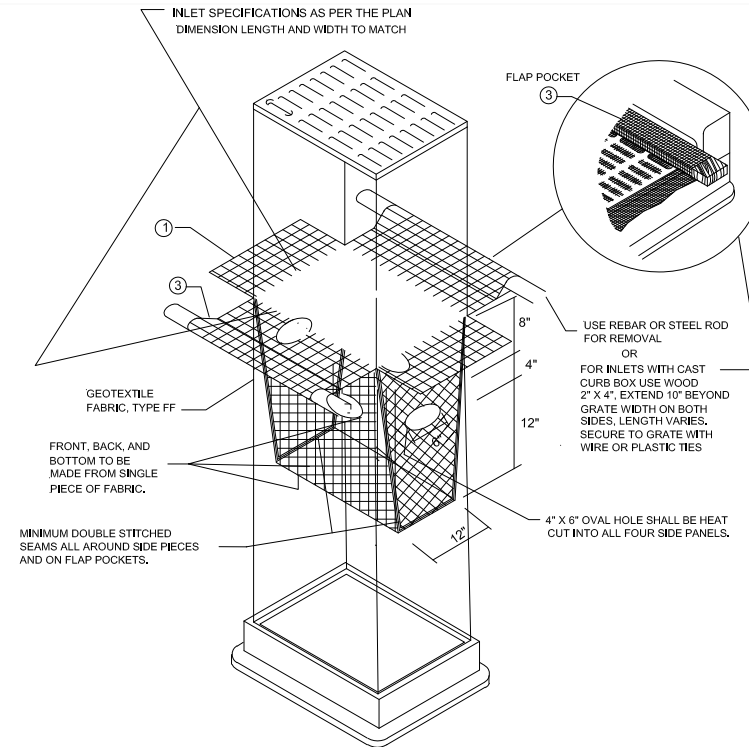
### TEMPORARY AND PERMANENT:

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB/1,000 SF.

## MULCHING RATES

### TEMPORARY AND PERMANENT:

USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.



**INLET PROTECTION, TYPE D**

(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE ②)

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

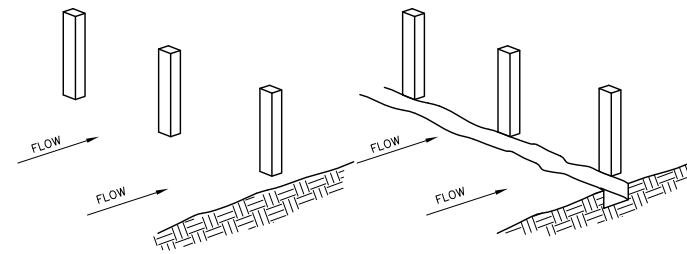
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

## TYPE "D" INLET PROTECTION

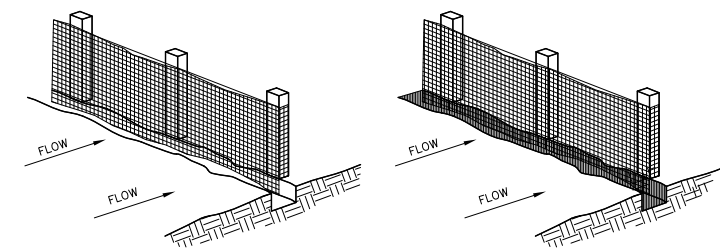
NOT TO SCALE

## CONSTRUCTION OF A FILTER BARRIER

1. DRIVE STAKES INTO THE GROUND AT LEAST 8". STAKE SPACING TO BE PER MANUFACTURERS RECOMMENDATIONS BUT IN NO CASE, MORE THAN 8' BETWEEN STAKES.
2. EXCAVATE A 4" x 6" DEEP TRENCH UPSLOPE ALONG THE LINE OF STAKES.

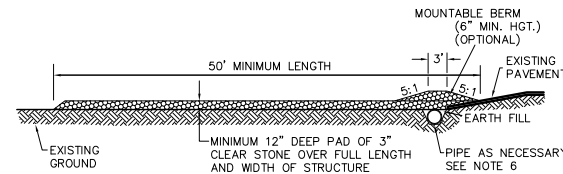


3. STAPLE FILTER MATERIAL ON UPSLOPE SIDE OF STAKES AND EXTEND IT INTO THE TRENCH. WHEN JOINTS ARE NECESSARY, OVERLAP MATERIAL BETWEEN TWO STAKES AND FASTEN SECURELY.
4. BACKFILL AND COMPACT THE EXCAVATED SOIL.

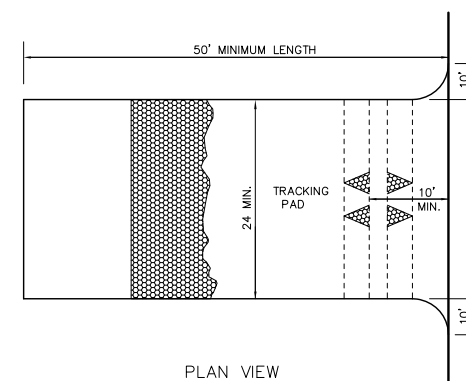


## SILT FENCE

NOT TO SCALE



PROFILE VIEW



PLAN VIEW

- 1) FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- 2) LENGTH - MINIMUM OF 50'.
- 3) WIDTH - 24' MINIMUM. SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- 4) ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
- 5) STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- 6) SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- 7) LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

## STONE TRACKING PAD

NOT TO SCALE



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Phone: (608) 824-0532 Fax: (608) 824-0530

**NOT RELEASED FOR CONSTRUCTION**

**APPROVAL**

**REVISIONS**

REV. NO.	DATE	DESCRIPTION	BY

**CARMAX**

STORE NO. 6057  
6601 ODANA ROAD  
MADISON WI

PROJECT NO. 20-10110.00

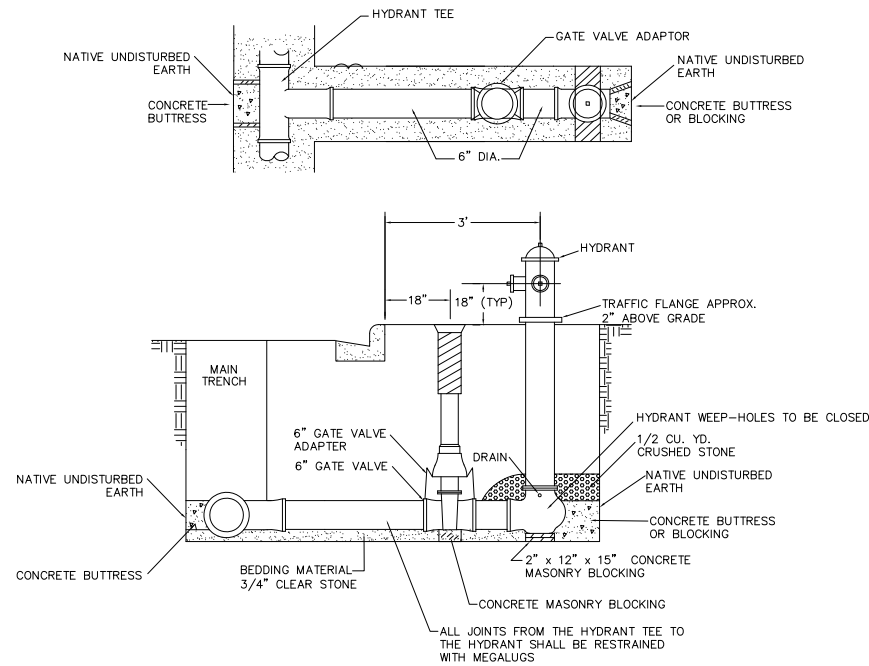
DATE 10/18/2011

SHEET TITLE

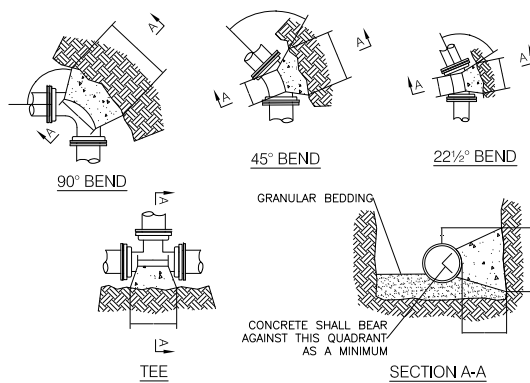
CONSTRUCTION DETAILS

SHEET NO.





**STANDARD HYDRANT SETTING DETAIL**  
NOT TO SCALE



ALL MECHANICAL JOINTS SHALL BE MEGALUG.

DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.

DIMENSION "C" SHALL BE AT LEAST 6 INCHES, AND LARGE ENOUGH TO MAKE THE "θ" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE, OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.

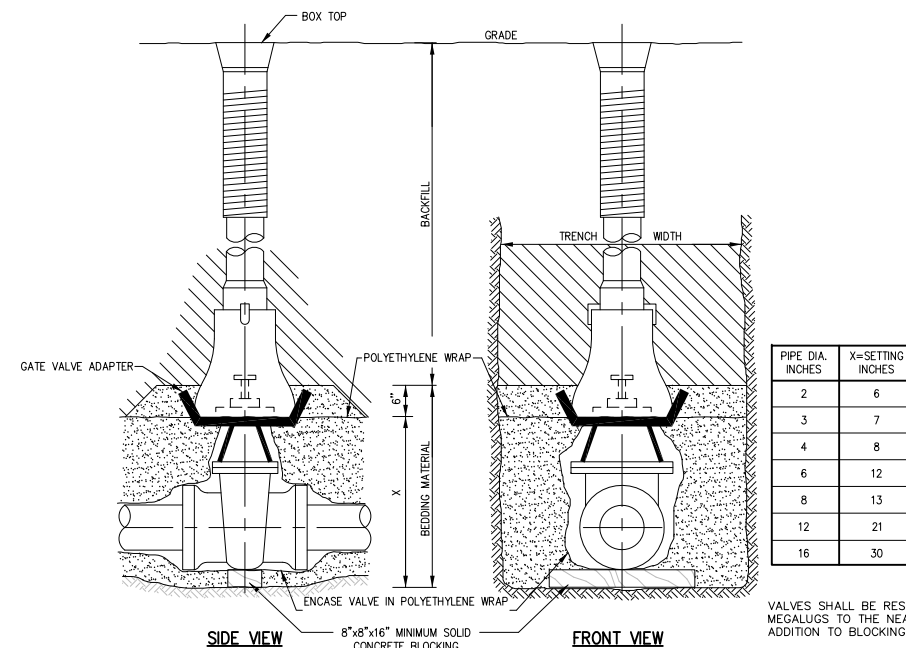
CONCRETE SHALL BE CLASS "CC", SEE SECTION 03301

PIPE SIZE	BUTTRESS DIMENSIONS							
	TEES		22.5° BEND		45° BEND		90° BEND	
	A	B	A	B	A	B	A	B
6	1'-3"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
8	1'-6"	1'-4"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"
10/12	2'-3"	2'-0"	1'-4"	1'-0"	1'-10"	1'-10"	2'-8"	2'-3"
14/16	3'-2"	2'-6"	1'-10"	1'-8"	2'-6"	2'-4"	3'-10"	2'-10"
18/20	4'-0"	3'-0"	2'-4"	2'-0"	3'-3"	2'-10"	5'-0"	3'-4"
22/24	5'-3"	3'-4"	2'-10"	2'-4"	4'-0"	3'-3"	6'-4"	3'-10"
30	6'-3"	4'-3"	3'-6"	3'-0"	5'-4"	3'-10"	8'-0"	4'-8"

DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS./SQ.FT.

\* = FOR TEE THIS WILL BE THE BRANCH PIPE

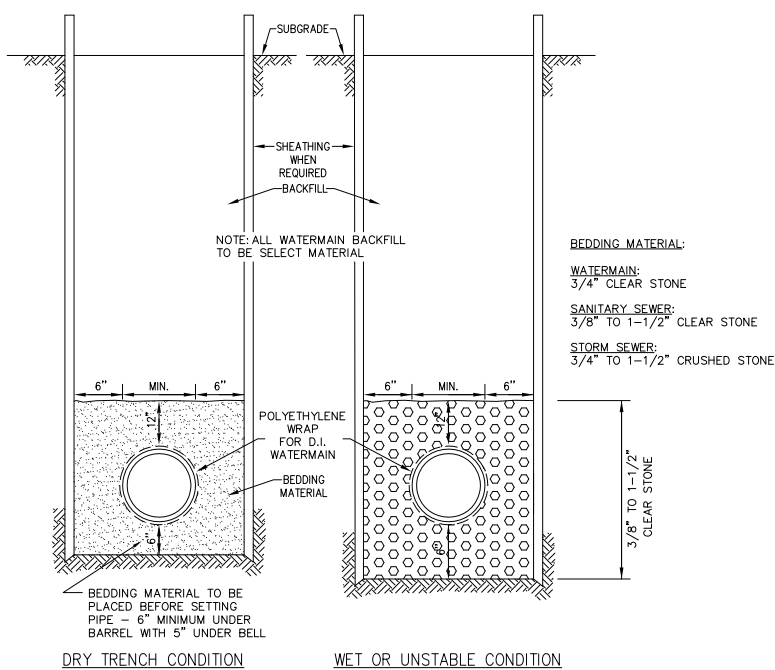
**BUTTRESS DETAILS**  
NOT TO SCALE



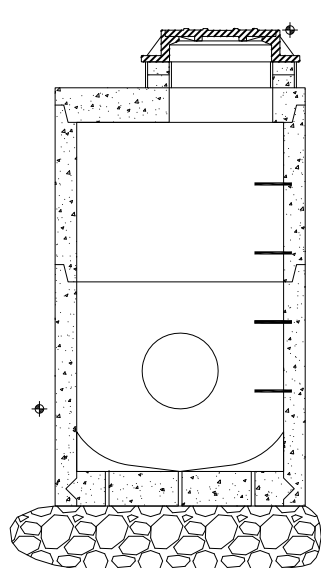
PIPE DIA. INCHES	X=SETTING INCHES
2	6
3	7
4	8
6	12
8	13
12	21
16	30

VALVES SHALL BE RESTRAINED WITH MEGALUGS TO THE NEAREST TEE IN ADDITION TO BLOCKING

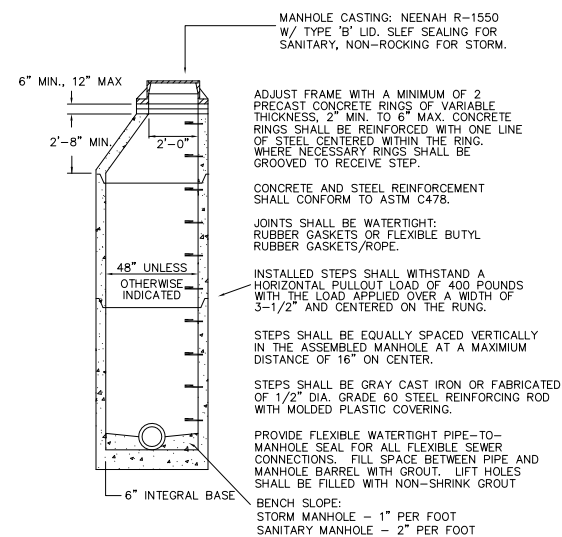
**STANDARD GATE VALVE BOX SETTING**  
NOT TO SCALE



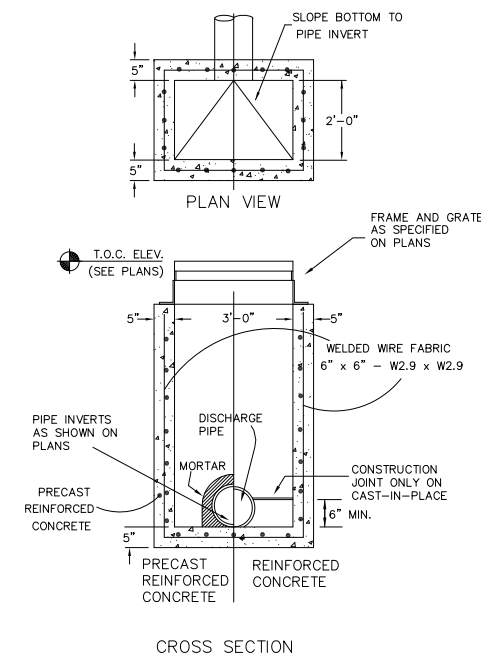
**STANDARD TRENCH SECTION**  
NOT TO SCALE




**STORM SEWER MANHOLE**  
NOT TO SCALE



**SANITARY SEWER MANHOLE**  
NOT TO SCALE



**CURB INLET**  
NOT TO SCALE

NOT RELEASED FOR CONSTRUCTION

APPROVAL

REVISIONS

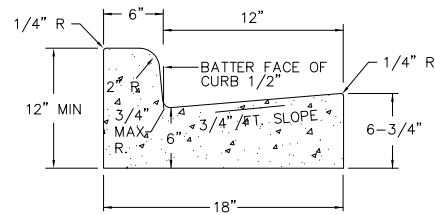
REV. NO.	DATE	DESCRIPTION	BY

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MADISON WI

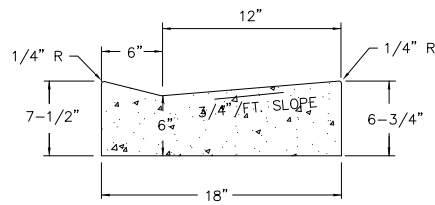
PROJECT NO.	20-10110.00
DATE	10/18/2011
SHEET TITLE	

CONSTRUCTION DETAILS

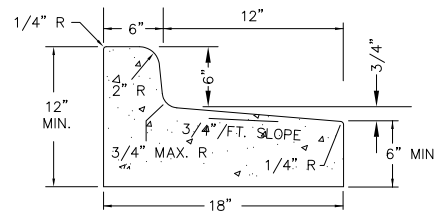
SHEET NO. C-7



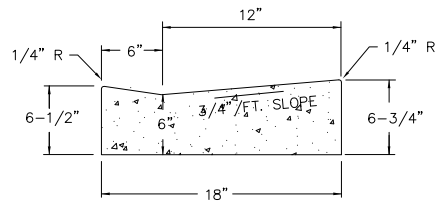
CURB AND GUTTER CROSS SECTION



DRIVEWAY GUTTER CROSS SECTION

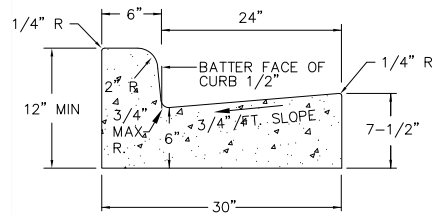


CURB AND GUTTER REJECT SECTION

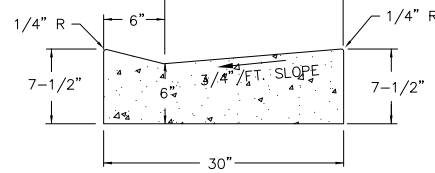


HANDICAP RAMP GUTTER CROSS SECTION

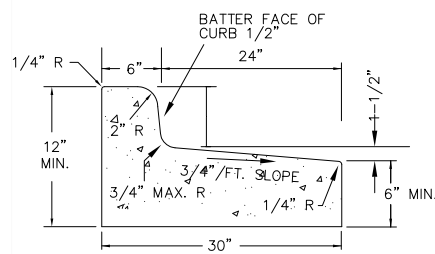
**18" CONCRETE CURB AND GUTTER**  
NOT TO SCALE



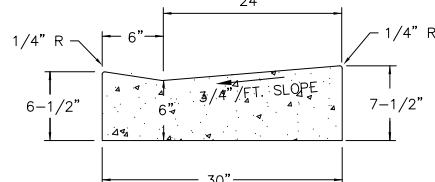
CURB AND GUTTER CROSS SECTION



DRIVEWAY GUTTER CROSS SECTION

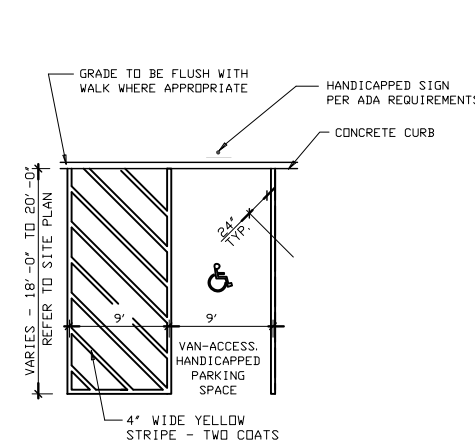


CURB AND GUTTER REJECT SECTION



HANDICAP RAMP GUTTER CROSS SECTION

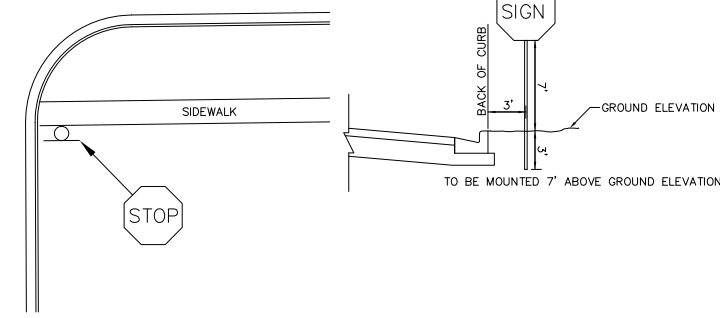
**30" CONCRETE CURB AND GUTTER**  
NOT TO SCALE



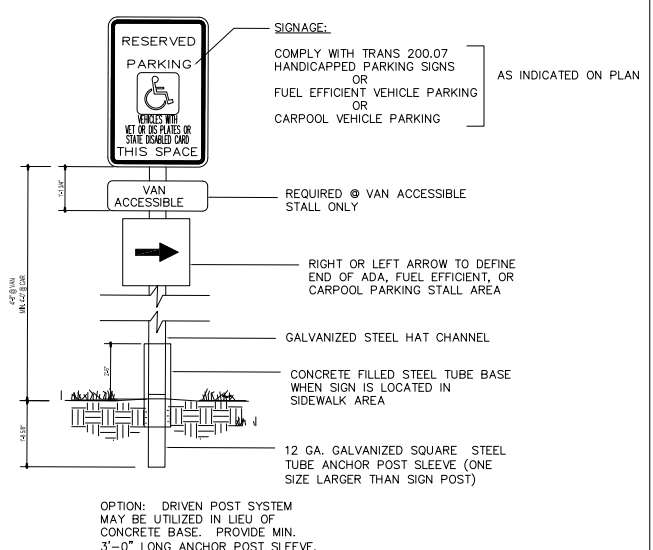
**HANDICAPPED STALL STRIPING**  
NOT TO SCALE

**SIGNAGE NOTES:**

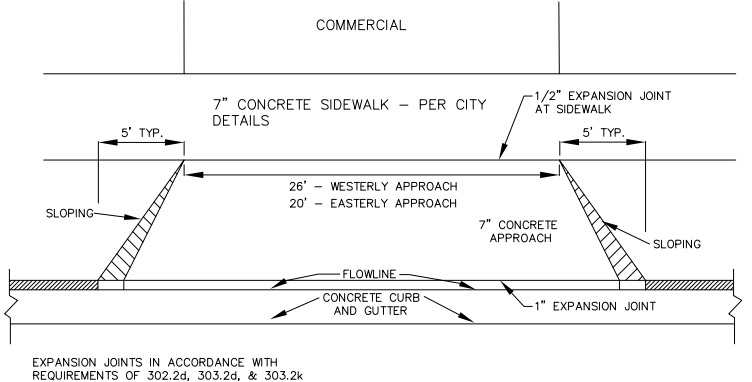
1. ALL SIGNS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. SIGNS SHALL BE A DISTANCE OF 7' FROM GROUND LEVEL TO THE BOTTOM OF THE SIGN MOUNTED ON THE POST AND LOCATED 3' BEHIND THE BACK OF CURB OUTSIDE OF RIGHT OF WAY.
3. SIGN POSTS SHALL BE 2-3/8" O.D. GALVANIZED 10 FT LONG, 13 GAUGE, AND 0.095 WALL THICKNESS MOUNT SIGN AT TOP OF THE POST, AND INSTALL POSTS 3' DEEP AND MIX 1/2 BAG OF 80 LB SAKRETE CONCRETE POURING IT AROUND THE POST BELOW THE GROUND BEFORE COVERING WITH 8" OF TOPSOIL.



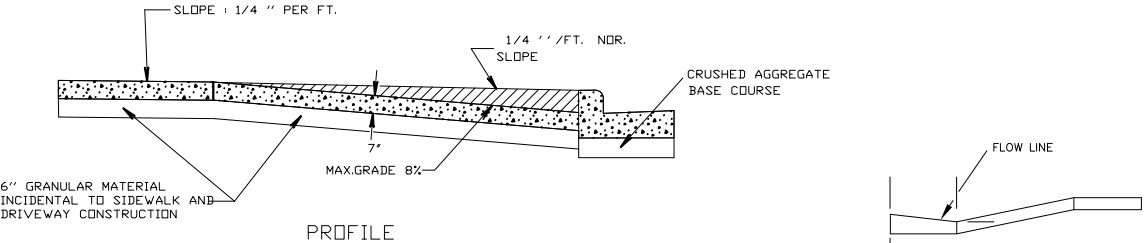
**SIGN DETAIL**  
(NOT TO SCALE)



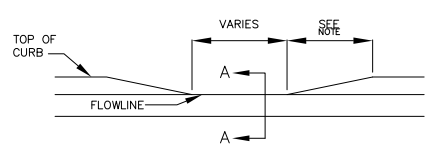
**PARKING SIGN (FREE STANDING)**



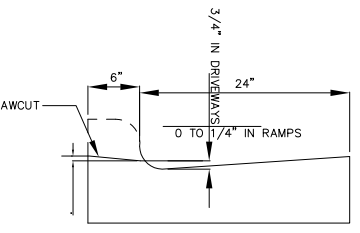
PLAN



PROFILE



TYPICAL CURB CUT TAPER



SECTION A-A

GENERAL NOTE:  
IF THE CURB CUT IS NOT CONSTRUCTED WITH THE INITIAL CURB AND GUTTER CONSTRUCTION, THE CURB CUT CAN BE MADE BY REMOVING AND REPLACING THE ENTIRE CURB AND GUTTER SECTION OR BY SAWCUTTING THE EXISTING CURB HEAD BY MEANS OF A SPECIAL SAW DESIGNED TO MEET THE DETAILS ABOVE FOR MADISON STANDARD CURB CUTS.

**NOT RELEASED FOR CONSTRUCTION**

**APPROVAL**

**REVISIONS**

REV. NO.	DATE	DESCRIPTION	BY

**CARMAX**

STORE NO. 6057  
6601 ODANA ROAD  
MADISON WI

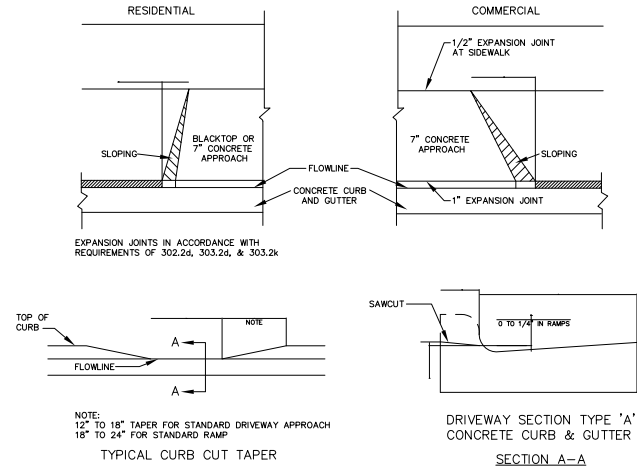
PROJECT NO.	20-10110.00
DATE	10/18/2011
SHEET TITLE	

CONSTRUCTION DETAILS

<b>CURB CUT DETAILS</b>	
REFER TO MADISON STANDARD DETAIL DRAWING 3.02 & 3.09	
NOT TO SCALE JULY 2003	VAI-MAD-2

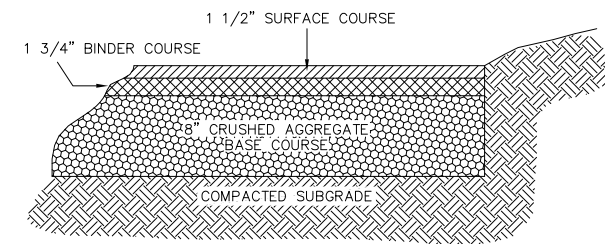
SHEET NO. **C-8**



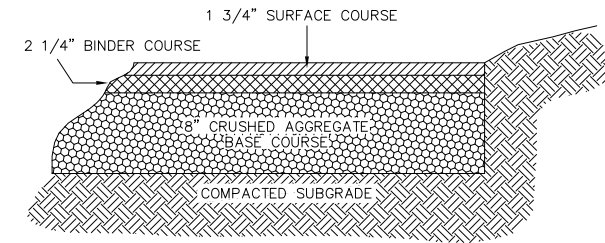


GENERAL NOTE:  
IF THE CURB CUT IS NOT CONSTRUCTED WITH THE INITIAL CURB AND GUTTER CONSTRUCTION, THE CURB CUT CAN BE MADE BY REMOVING AND REPLACING THE ENTIRE CURB AND GUTTER SECTION OR BY SAWCUTTING THE EXISTING CURB HEAD BY MEANS OF A SPECIAL SAW DESIGNED TO MEET THE DETAILS ABOVE FOR MADISON STANDARD CURB CUTS.

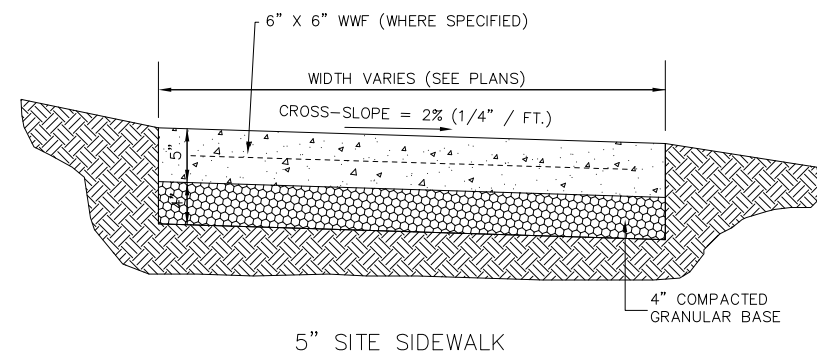
**CURB CUT**  
NOT TO SCALE



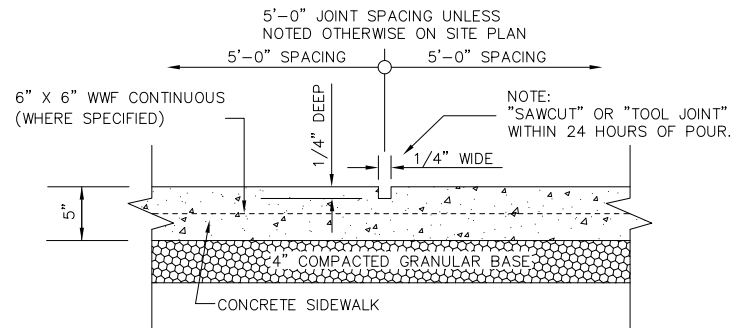
**BITUMINOUS PAVEMENT**  
NOT TO SCALE



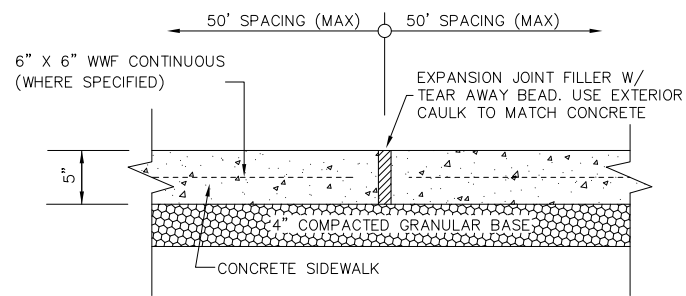
**HEAVY DUTY BITUMINOUS PAVEMENT**  
NOT TO SCALE



**5" SITE SIDEWALK**

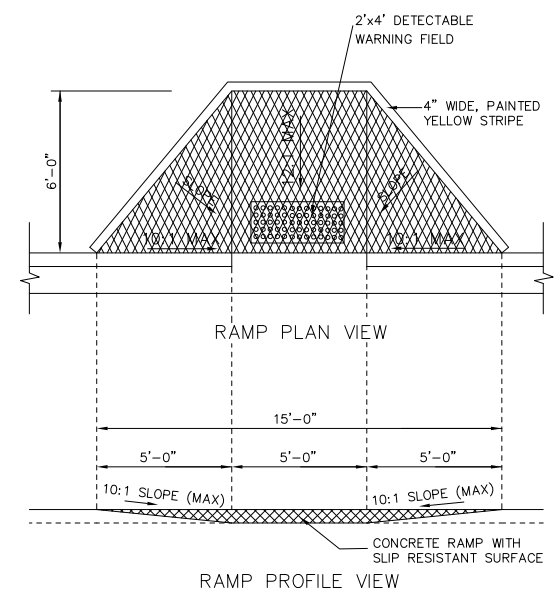


**SIDEWALK CONTROL JOINT**



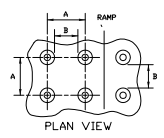
**SIDEWALK EXPANSION JOINT**

**CONCRETE SIDEWALK**  
NOT TO SCALE

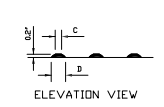


**RAMP PLAN VIEW**

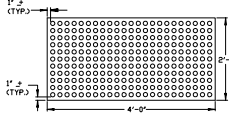
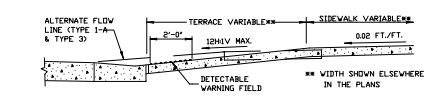
**RAMP PROFILE VIEW**



**TRUNCATED DOMES  
DETECTABLE WARNING  
PATTERN DETAIL**



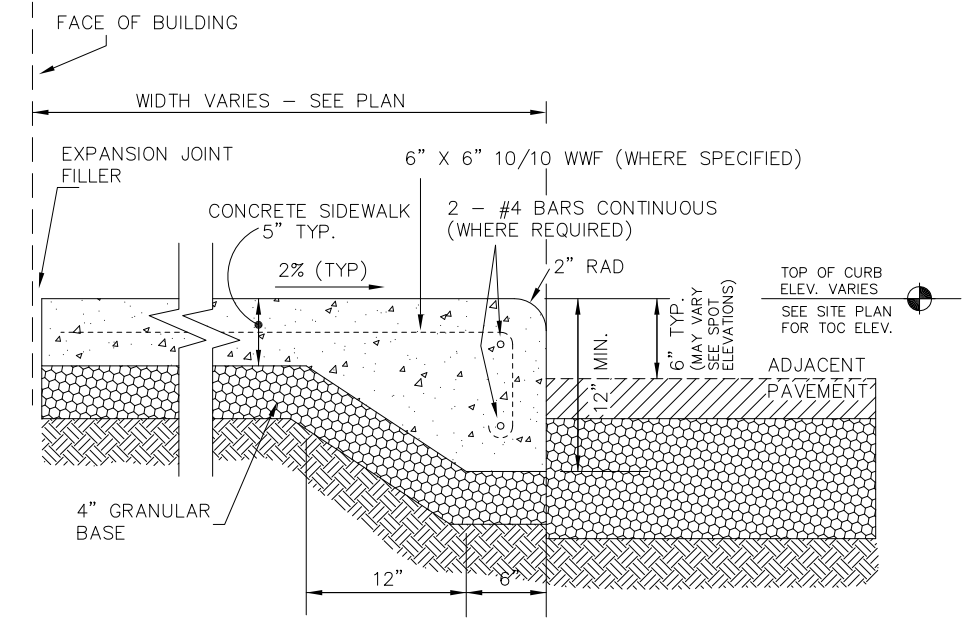
**ELEVATION VIEW**



**PLAN VIEW  
DETECTABLE WARNING  
FIELD (TYPICAL)**

NOTE: 1) MATERIALS AND METHOD OF CONSTRUCTION FOR TRUNCATED DOMES SHALL BE SPECIFIED IN SPECIAL PROVISIONS OR AS REQUIRED BY THE VILLAGE ENGINEER  
2) COLOR SHALL BE A DISSIMILAR COLOR FROM THE ADJACENT PAVED SURFACE AND APPROVED BY THE OWNER AND ENGINEER

**SITE HANDICAP RAMP**  
NOT TO SCALE



**CURBED SIDEWALK**  
NOT TO SCALE

GENERAL NOTES  
RAMP SHALL BE BUILT AT 12:1 OR FLATTER. WHEN NECESSARY, THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.  
THE RAMP SHALL BE BORDERED ON BOTH SIDES AND ON THE CURB LINE WITH A 4 INCH WIDE YELLOW STRIPE OR WITH BRICK OF A CONTRASTING COLOR. NORMALLY THE PAINT STRIPE ALTERNATE WILL BE USED. THE CONTRACTOR WILL APPLY THIS STRIPING UNLESS OTHERWISE SPECIFIED IN THE CONTRACT.  
IF THE OWNER REQUIRES THE BRICK ALTERNATE, SPECIAL DETAILS AND PROVISIONS ARE SHOWN ELSEWHERE IN THE PLANS.



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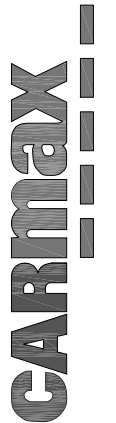
REEDSBURG - MADISON - PRAIRIE DU CHIEN  
999 Fouler Drive, Suite 201 Madison, Wisconsin 53717  
Phone: (608) 824-0532 Fax: (608) 824-0530

NOT RELEASED FOR CONSTRUCTION

APPROVAL

REVISIONS

REV. NO.	DATE	DESCRIPTION	BY



STORE NO. 6057  
6601 ODANA ROAD  
MADISON WI

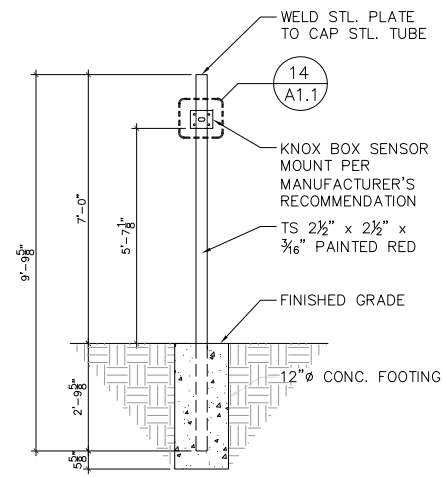
PROJECT NO. 20-10110.00

DATE 10/18/2011

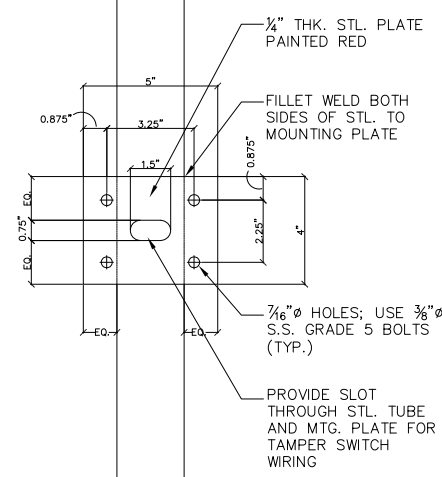
SHEET TITLE

CONSTRUCTION DETAILS

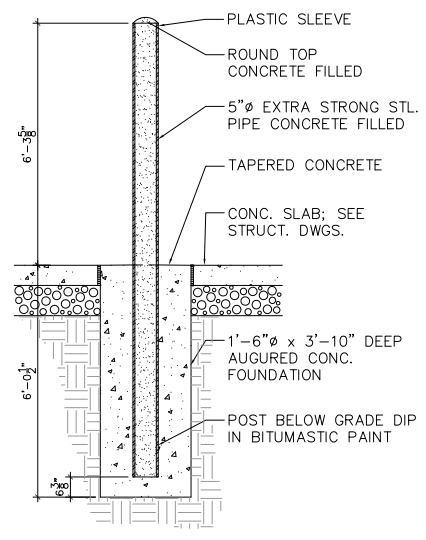
SHEET NO. C-9



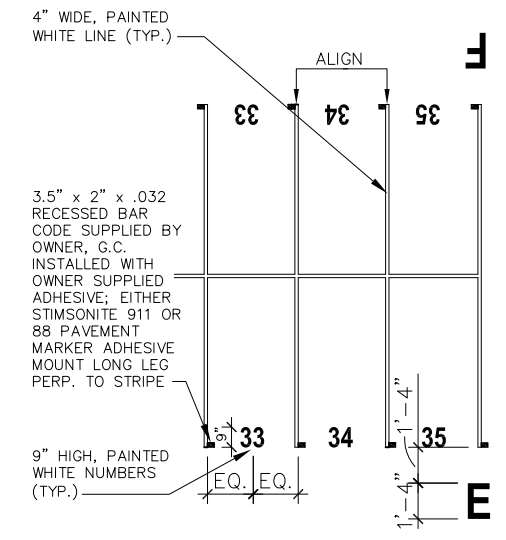
1 KNOX BOX  
1 NOT TO SCALE



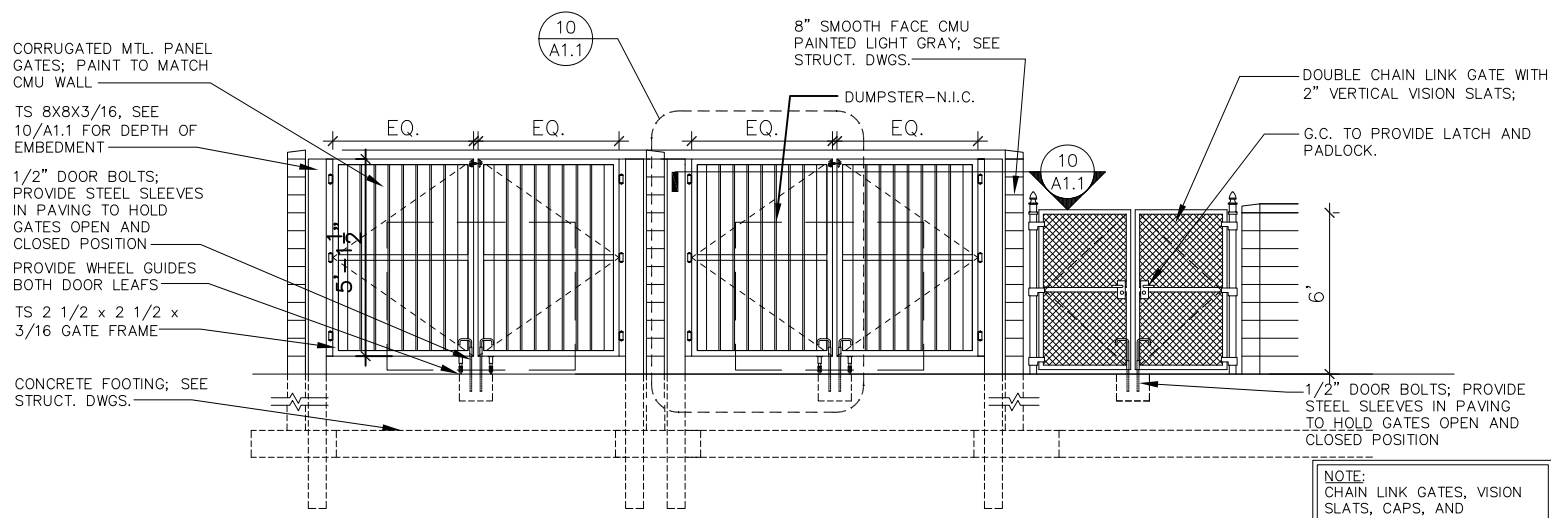
1 KNOX BOX DETAIL  
1 NOT TO SCALE



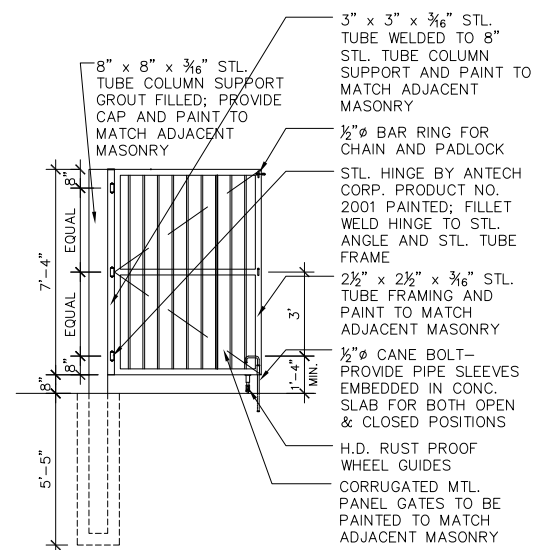
1 BOLLARD DETAIL  
1 NOT TO SCALE



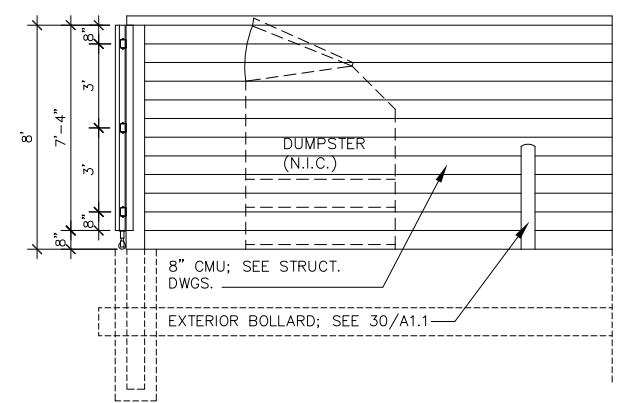
1 TYP. SALES LOT IDENTIFIERS  
1 NOT TO SCALE



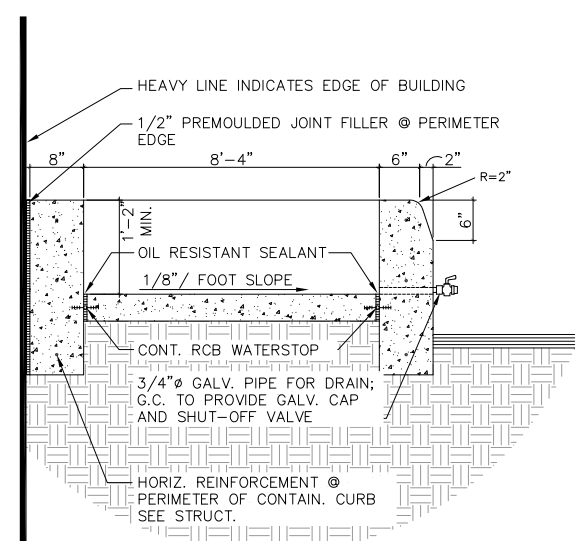
8 DUMPSTER AND TIRE ENCLOSURES  
A1.1 NOT TO SCALE



10 GATE LEAF  
A1.1 NOT TO SCALE



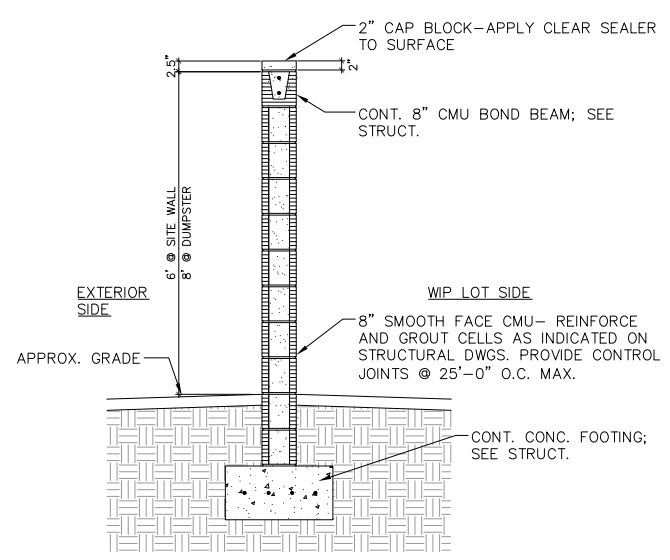
11 DUMPSTER ENCLOSURE  
A1.1 NOT TO SCALE



29 OIL CONTAINMENT  
A1.1 NOT TO SCALE

**PAINTING/SEALING NOTES:**

1. PAINT ALL CMU AT SITE WALL TO MATCH BUILDING. REFER TO SPEC SECTION 09960 HIGH PERFORMANCE COATINGS.
2. PRECAST STONE CAP-APPLY CLEAR SEALER ONLY. REFER TO SPEC SECTION 07190 WATER REPELLANTS.

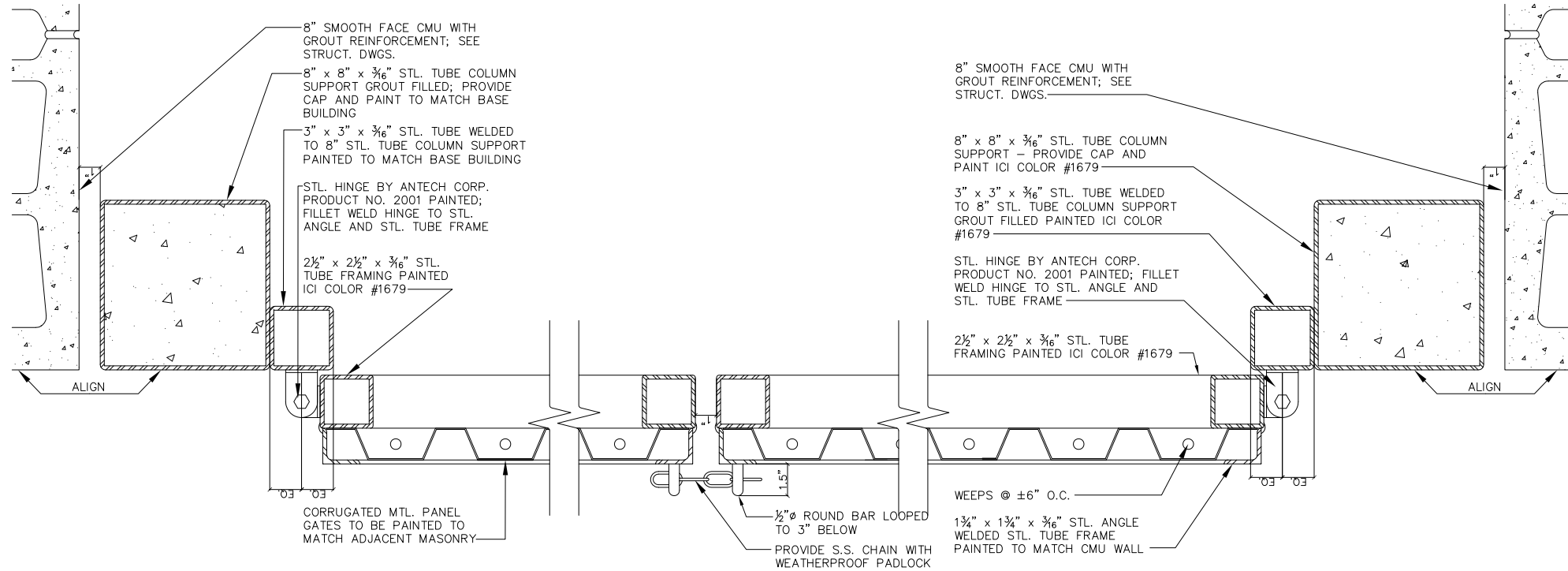


27 SITE WALL DETAIL  
A1.1 NOT TO SCALE

**NOT RELEASED FOR CONSTRUCTION**

APPROVAL			
REVISIONS			
REV. NO.	DATE	DESCRIPTION	BY





24 HINGE AND LATCH DETAIL  
A1.1 NOT TO SCALE

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REVISIONS

REV. NO.	DATE	DESCRIPTION	BY

**City of Madison Landscape Worksheet**

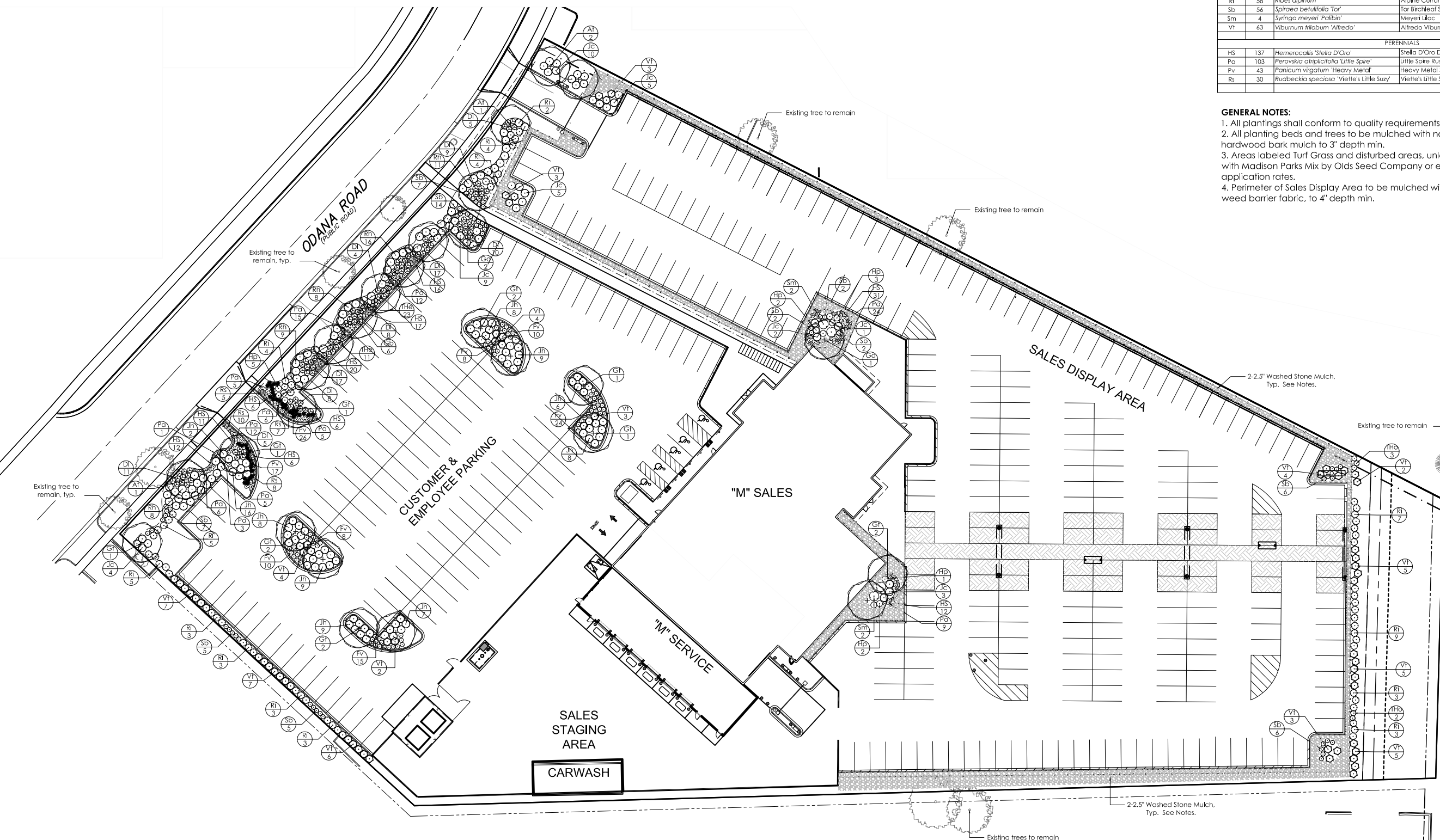
<b>I. Number of trees required</b>	
Number of parking stalls:	125
Total square footage of storage area/300 square feet:	335
	<b>TOTAL</b>
Number of Canopy Shade Trees Required (2"-2 1/2" cal.):	26
<b>II. Number of Landscape Points Required</b>	
Points required for parking stalls:	1575
Points required for loading areas (75 points/berth):	0
	<b>TOTAL</b>
Total Points Required:	1575

ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	CREDITS	
				QUANTITY	POINTS
Canopy Tree: 2"-2 1/2"	35	0	0	8	280
Deciduous Shrub	2	415	830		0
Evergreen Shrub	3	155	465		0
Decorative Wall or Fence (per 10 L.F.)	5				
Earth Berm (per 10 L.F.)					
Avg. Height 30"	5				
Avg. Height 15"	2				
Evergreen Trees 3' height minimum	15	0	0	0	0
Canopy Tree or Small Tree 1 1/2"-2" Caliper (i.e. Crab, Hawthorn)	15	0	0		0
		<b>Sub Totals</b>	1295	+	280
					<b>TOTAL</b>
					1575

PLANT LIST					
key	qty	botanical name	common name	planted size (h x w)	mature size (h x w)
CANOPY TREES					
At	4	<i>Acer x. freemanii</i> 'Jeffersred'	Autumn Blaze Maple	2" cal. B&B	50' x 40'
Gb	6	<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Ginkgo (male)	2" cal. B&B	50' x 30'
Gt	13	<i>Gleditsia triacanthos</i> 'Shademaster'	Shademaster Honeylocust	2" cal. B&B	50' x 30'
Gd	3	<i>Gymnocladus dioica</i> 'Espresso'	Espresso Coffeetree (male)	2" cal. B&B	50' x 35'
EVERGREEN SHRUBS					
Jc	34	<i>Juniperus chinensis</i> 'Pfitzeriana Kallay'	Kallay's Compact Juniper	#3 cont.	3' x 6'
Jh	82	<i>Juniperus horizontalis</i> 'Wisconsin'	Wisconsin Juniper	#3 cont.	8' x 5'
Th	34	<i>Thuja occidentalis</i> 'Hetz Midget'	Hetz Midget Arborvitae	24" B&B	30' x 30'
Th	5	<i>Thuja occidentalis</i> 'Holmstrup'	Holmstrup Arborvitae	4 B&B	14' x 3'
DECIDUOUS SHRUBS					
DI	94	<i>Dierilla lonicera</i>	Dwarf Bush-Honeysuckle	#2 cont.	3' x 4'
Fv	75	<i>Forsythia viridissima</i> 'Broxensis'	Bronx Forsythia	#3 cont.	30' x 3'
HP	13	<i>Hydrangea paniculata</i> 'Little Lamb'	Little Lamb Hydrangea	#3 cont.	5' x 4'
Rh	52	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Sumac	#2 cont.	3' x 6'
Ri	58	<i>Ribes alpinum</i>	Alpine Currant	#3 cont.	5' x 5'
Sb	56	<i>Spiraea betulifolia</i> 'Tor'	Tor Birchleaf Spiraea	#2 cont.	30' x 3'
Sm	4	<i>Syringa meyeri</i> 'Palibin'	Meyer Lilac	#2 cont.	4' x 6'
VI	63	<i>Viburnum trilobum</i> 'Alfreda'	Alfreda Viburnum	#3 cont.	5' x 5'
PERENNIALS					
HS	137	<i>Hemerocallis</i> 'Stella D'Oro'	Stella D'Oro Daylily	#1 cont.	16' x 18"
Pc	103	<i>Perovskia atriplicifolia</i> 'Little Spire'	Little Spire Russian Sage	#1 cont.	24' x 24"
Fv	43	<i>Panicum virgatum</i> 'Heavy Metal'	Heavy Metal Switch Grass	#1 cont.	40' x 30"
RS	30	<i>Rudbeckia speciosa</i> 'Vierle's Little Suzy'	Vierle's Little Suzy Black Eyed Susan	#1 cont.	15' x 15"

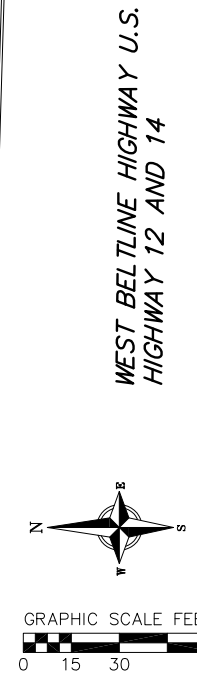
**GENERAL NOTES:**

- All plantings shall conform to quality requirements as per ANSI Z60.1.
- All planting beds and trees to be mulched with naturally colored brown shredded hardwood bark mulch to 3" depth min.
- Areas labeled Turf Grass and disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by Olds Seed Company or equivalent, per specified application rates.
- Perimeter of Sales Display Area to be mulched with 2-2.5" washed river stone over weed barrier fabric, to 4" depth min.

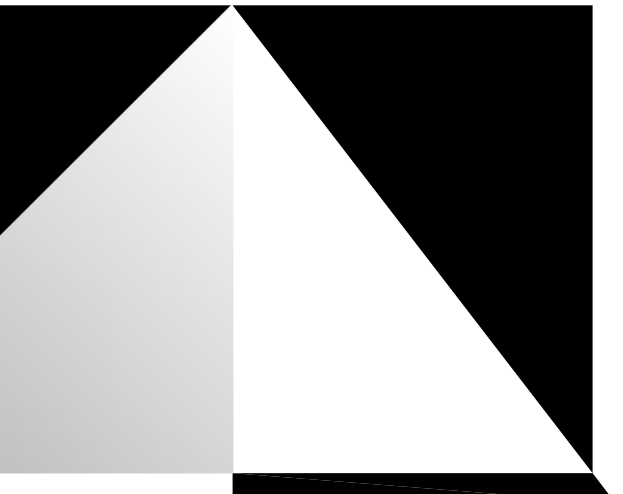
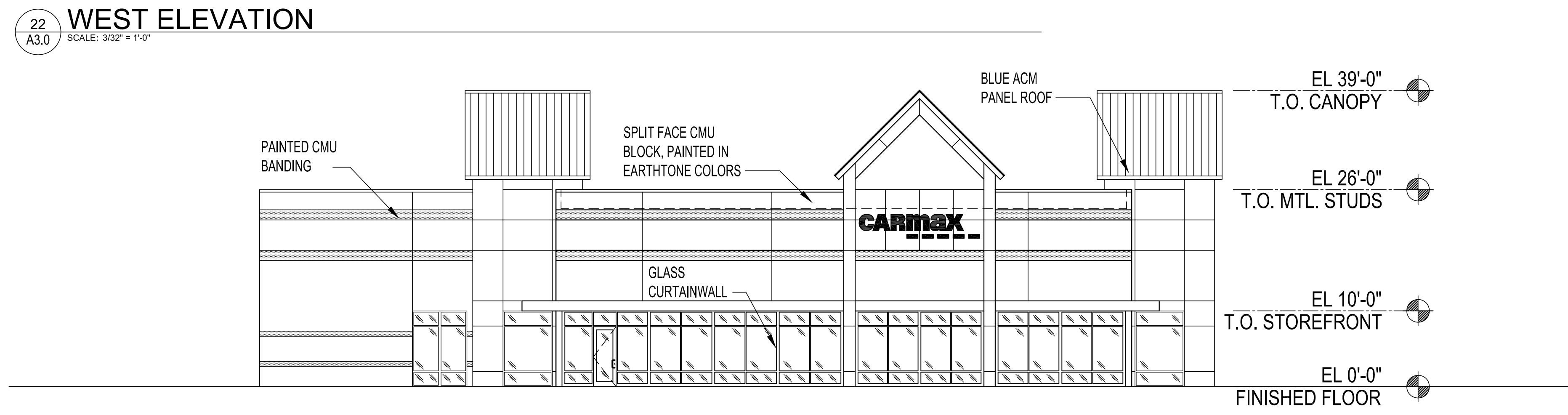
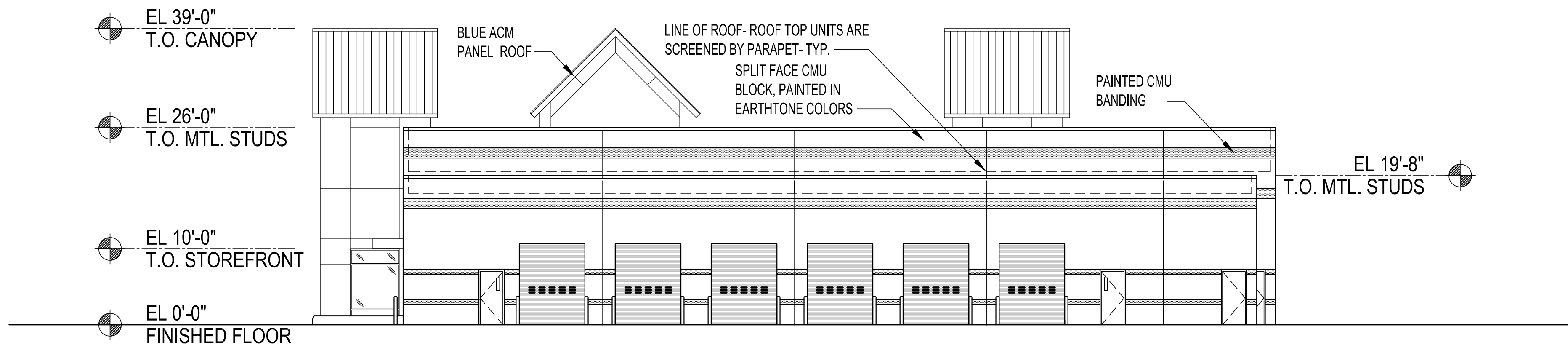
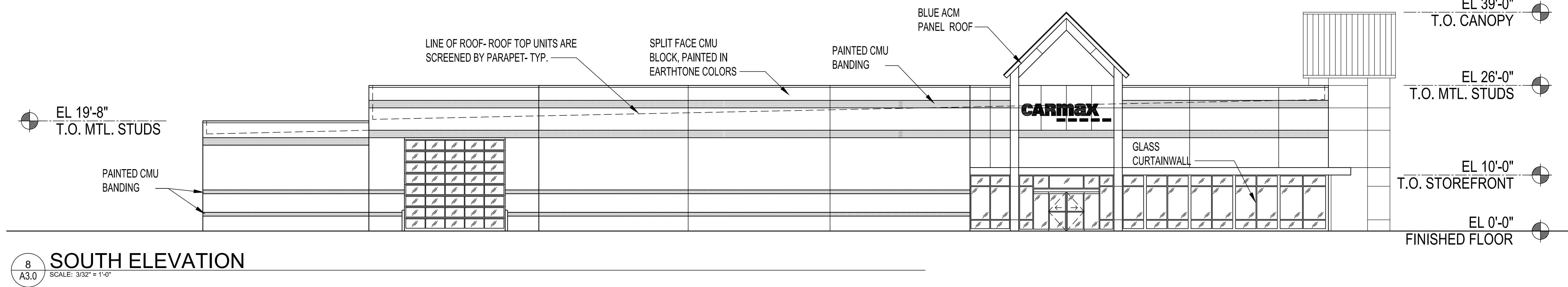
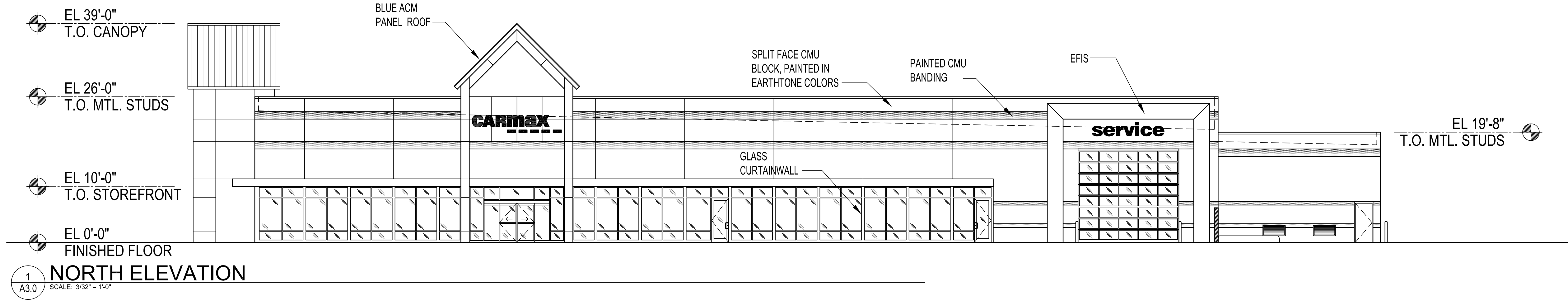


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TERRY  
L  
HERR

ARCHITECT

IN ASSOCIATION WITH  
PIEPER O'BRIEN HERR ARCHITECTS

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**MADISON, WI  
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PROJECT NO. 20-10110.00

DATE 20 AUG 11

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SALES & SERVICE

SHEET NO. **A-1**