

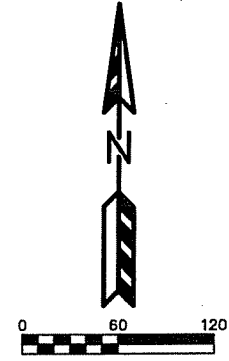
STOCKBRIDGE DRIVE

HOPEWELL DRIVE

WYALUSING DRIVE

SOUTH SPRECHER ROAD

DOMINION DRIVE



DOOR CREEK CHURCH - PHASE II
 EXISTING SITE AND DEMOLITION PLAN
 SHEET: C101
 DATED: MARCH 5, 2013

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

QUAM ENGINEERING, LLC 4604 Siggelkow Road, Suite A - McFarland, WI 53558 (608) 838-7750 \RC-10-13\RC10BASE.DWG

DOOR CREEK CHURCH - PHASE II

SITE PLAN

SHEET: C102
DATED: MARCH 5, 2013

QUAM ENGINEERING, LLC

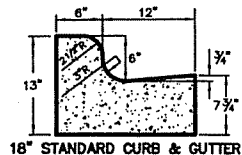
Residential and Commercial Site Design Consultants

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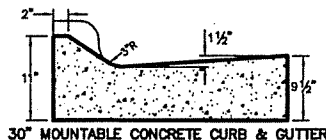
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HANDICAP ACCESSIBLE SIGN DETAIL



18" STANDARD CURB & GUTTER

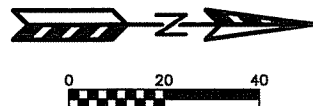


30" MOUNTABLE CONCRETE CURB & GUTTER

LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.

EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED 4" CRUSHED STONE BASE.



PARKING LOT PLAN SITE INFORMATION BLOCK

Site Address 6602 DOMINION DRIVE
 Site acreage (total) 30.75 ACRES
 Number of building stories (above grade) ONE
 Building height 38 FEET TO ROOF PEAK
 DSDS type of construction (new structures or additions) 2A
 Total square footage of building 86,800 SF
 Use of property CHURCH BUILDING
 Gross square feet of office 8,000 SF
 Gross square feet of assembly 37,800 SF
 Number of employees in warehouse N/A
 Number of employees in production N/A
 Capacity of restaurant/office of assembly 1,365
 Number of bicycle stalls shown 12
 Number of parking stalls:

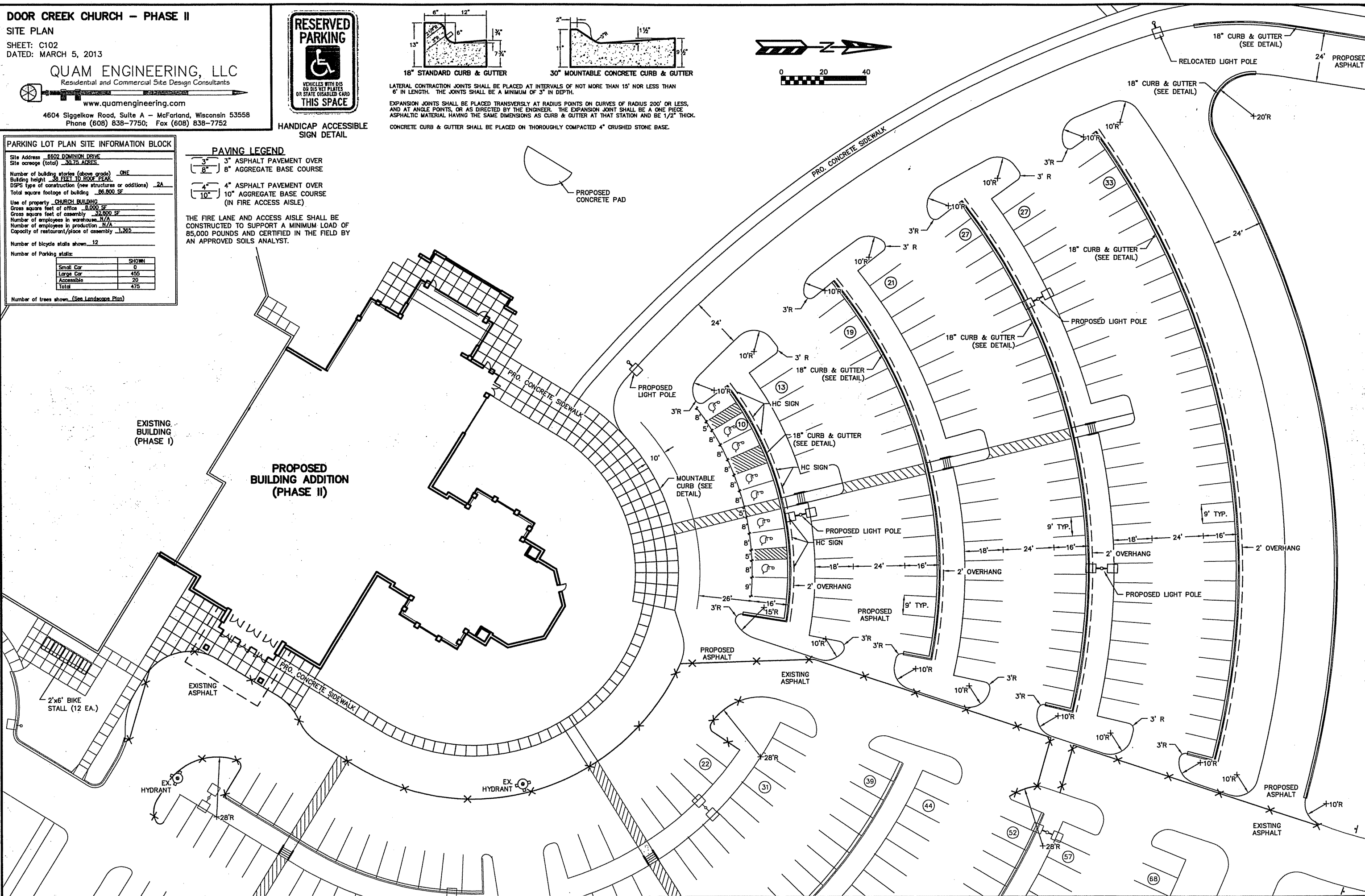
	SHOWN
Small Car	0
Large Car	455
Accessible	20
Total	475

Number of trees shown (See Landscape Plan)

PAVING LEGEND

- 3" ASPHALT PAVEMENT OVER
- 8" AGGREGATE BASE COURSE
- 4" ASPHALT PAVEMENT OVER
- 10" AGGREGATE BASE COURSE (IN FIRE ACCESS AISLE)

THE FIRE LANE AND ACCESS AISLE SHALL BE CONSTRUCTED TO SUPPORT A MINIMUM LOAD OF 85,000 POUNDS AND CERTIFIED IN THE FIELD BY AN APPROVED SOILS ANALYST.



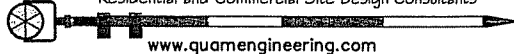
QUAM ENGINEERING, LLC 4604 Siggelkow Road, Suite A - McFarland, WI 53558 (608) 838-7750 RC-10-13\RC10BASE.DWG

DOOR CREEK CHURCH - PHASE II
GRADING AND EROSION CONTROL PLAN

SHEET: C103
DATED: MARCH 5, 2013

QUAM ENGINEERING, LLC

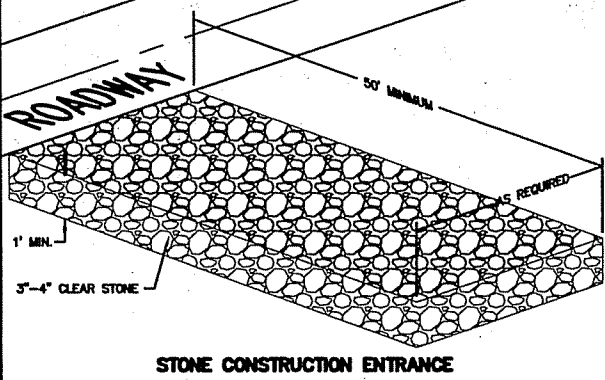
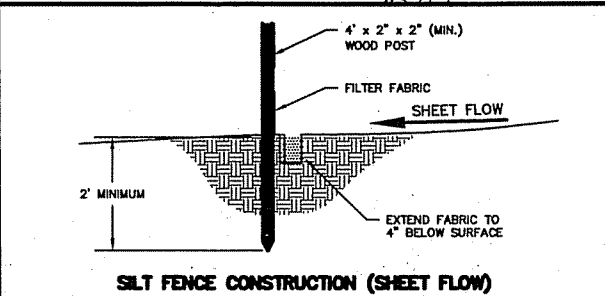
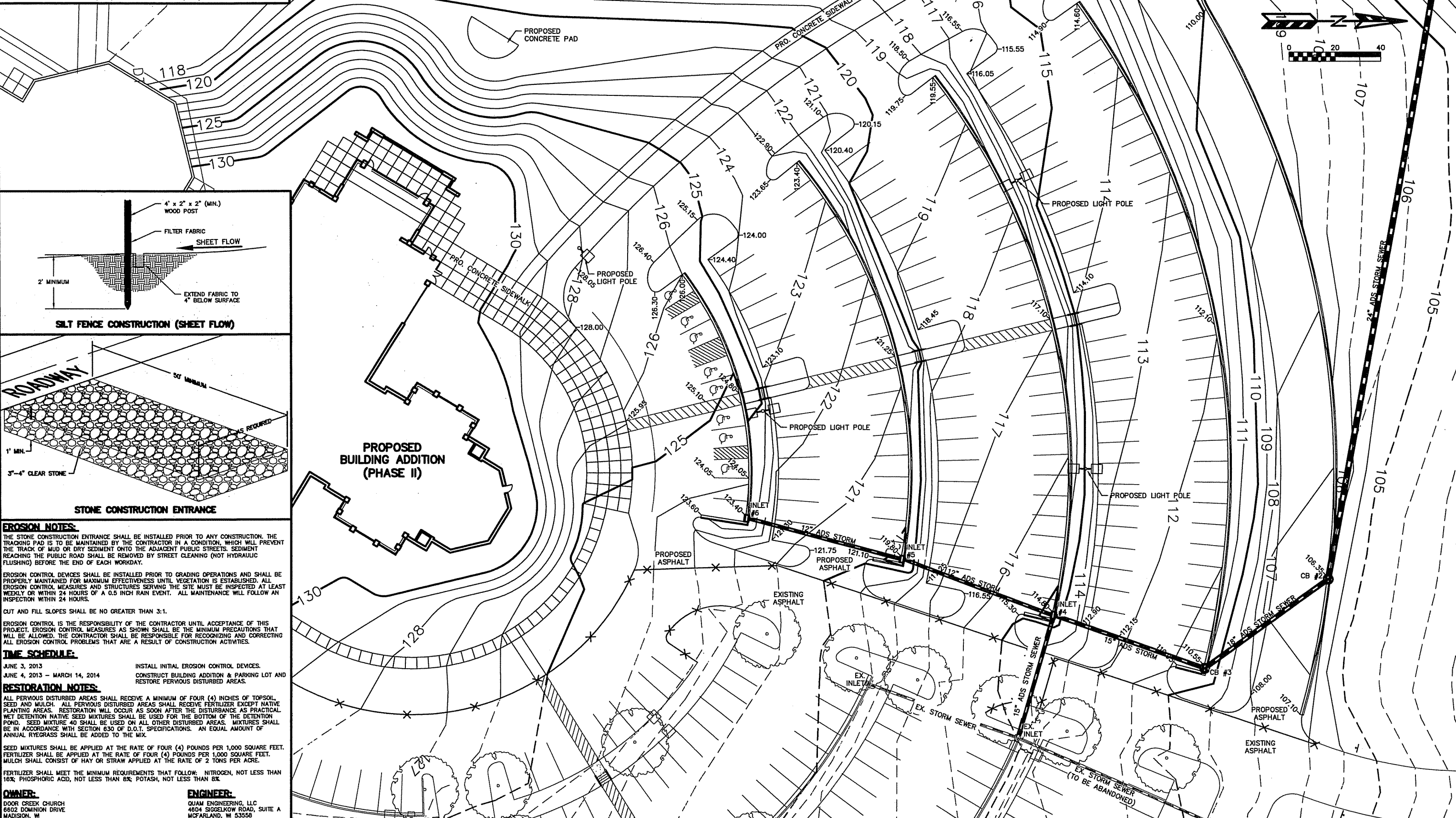
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GRADING NOTE:
USING THE BUILDING FLOOR AS A BENCH MARK, THE CONTRACTOR SHALL VERIFY EXISTING PAVEMENT GRADES AT THE SAWCUT LINES FOR CONFORMANCE WITH THE GRADING AND EROSION CONTROL PLAN. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY ELEVATION DISCREPANCIES PRIOR TO SIDEWALK AND PARKING LOT CONSTRUCTION.



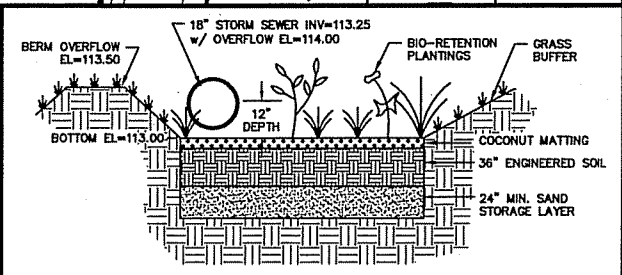
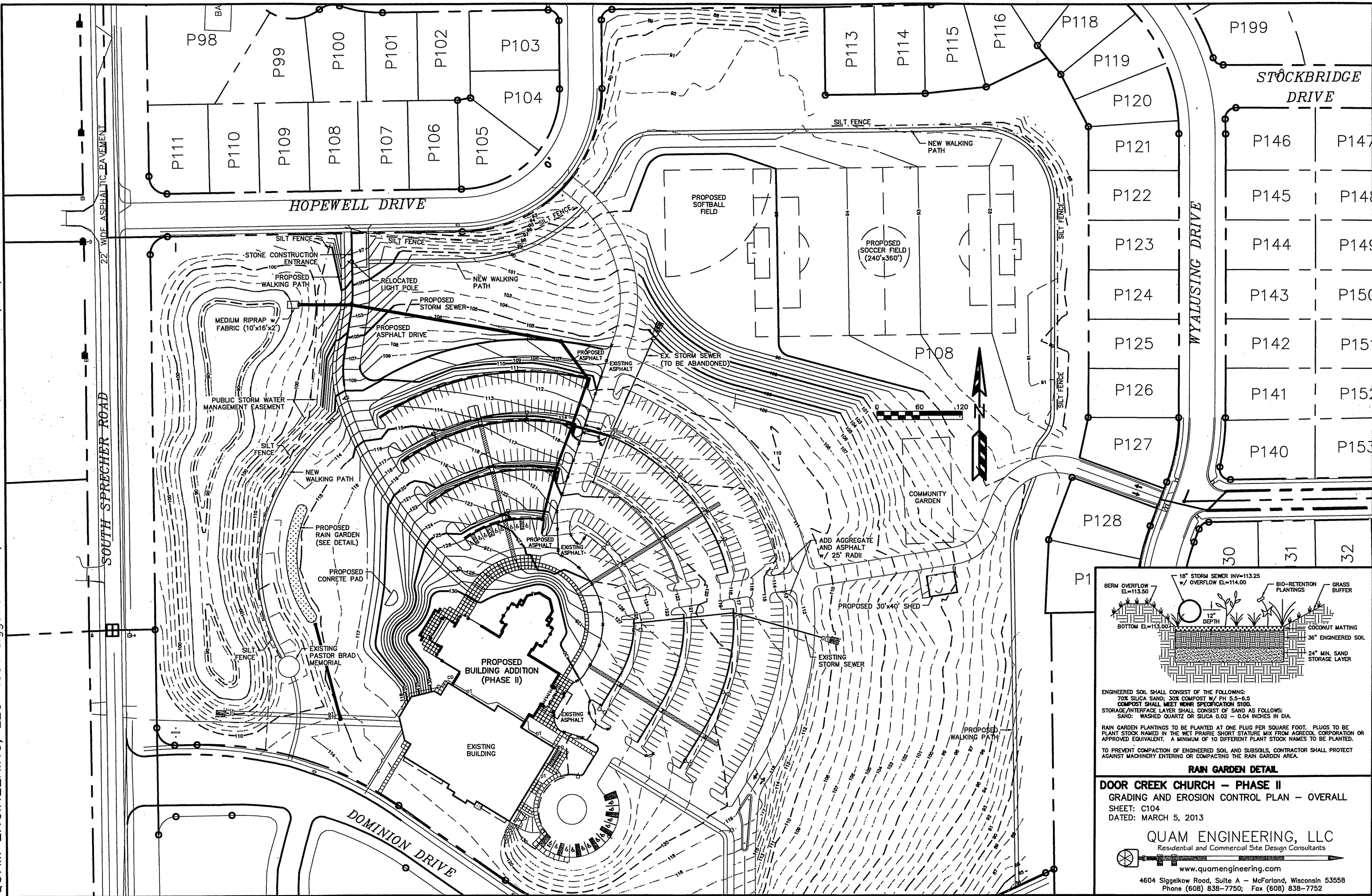
EROSION NOTES:
THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES.

TIME SCHEDULE:
JUNE 3, 2013 INSTALL INITIAL EROSION CONTROL DEVICES.
JUNE 4, 2013 - MARCH 14, 2014 CONSTRUCT BUILDING ADDITION & PARKING LOT AND RESTORE PVIOUSLY DISTURBED AREAS.

RESTORATION NOTES:
ALL PVIOUSLY DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PVIOUSLY DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. WET DETENTION NATIVE SEED MIXTURES SHALL BE USED FOR THE BOTTOM OF THE DETENTION POND. SEED MIXTURE 40 SHALL BE USED ON ALL OTHER DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.
SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.
FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

OWNER:
DOOR CREEK CHURCH
8602 DOMINION DRIVE
MADISON, WI

ENGINEER:
QUAM ENGINEERING, LLC
4604 SIGGELKOW ROAD, SUITE A
MCFARLAND, WI 53558



ENGINEERED SOIL SHALL CONSIST OF THE FOLLOWING:
 70% SILICA SAND; 30% COMPOST W/ PH 5.5-6.5
 COMPOST SHALL MEET WQNR SPECIFICATION S100.
 STORAGE/INTERFACE LAYER SHALL CONSIST OF SAND AS FOLLOWS:
 SAND: WASHED QUARTZ OR SILICA 0.02 - 0.04 INCHES IN DIA.
 RAIN GARDEN PLANTINGS TO BE PLANTED AT ONE PLUG PER SQUARE FOOT. PLUGS TO BE PLANT STOCK NAMED IN THE WET PRAIRIE SHORT STATURE MIX FROM AGRECOL CORPORATION OR APPROVED EQUIVALENT. A MINIMUM OF 10 DIFFERENT PLANT STOCK NAMES TO BE PLANTED.
 TO PREVENT COMPACTION OF ENGINEERED SOIL AND SUBSOILS, CONTRACTOR SHALL PROTECT AGAINST MACHINERY ENTERING OR COMPACTION THE RAIN GARDEN AREA.

RAIN GARDEN DETAIL

DOOR CREEK CHURCH - PHASE II
 GRADING AND EROSION CONTROL PLAN - OVERALL
 SHEET: C104
 DATED: MARCH 5, 2013

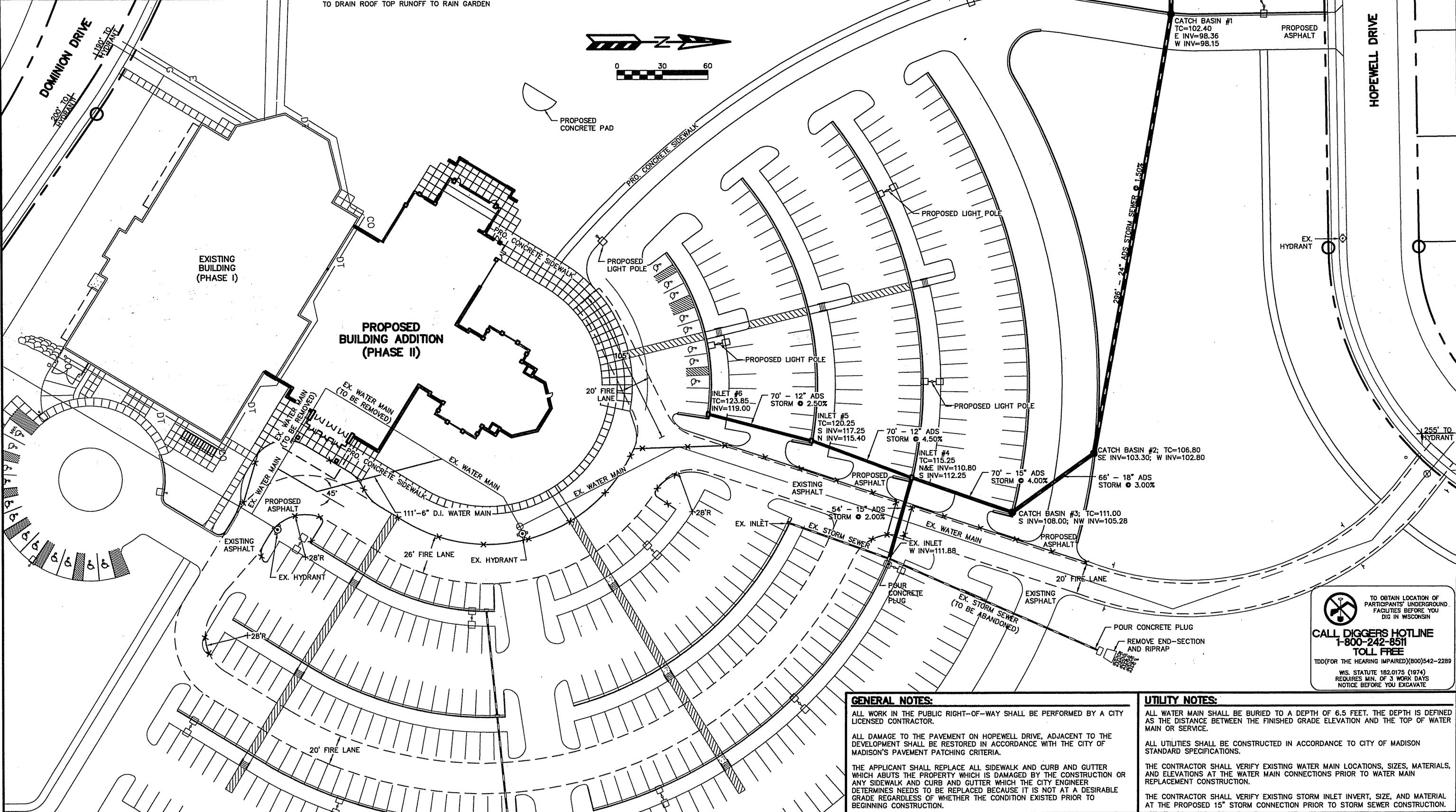
QUAM ENGINEERING, LLC
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 Phone (608) 838-7750; Fax (608) 838-7752

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DOOR CREEK CHURCH - PHASE II
 UTILITY AND FIRE ACCESS PLAN
 SHEET: C105
 DATED: MARCH 5, 2013

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 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



GENERAL NOTES:

ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

ALL DAMAGE TO THE PAVEMENT ON HOPEWELL DRIVE, ADJACENT TO THE DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.

THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.


UTILITY NOTES:

ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.

ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE TO CITY OF MADISON STANDARD SPECIFICATIONS.

THE CONTRACTOR SHALL VERIFY EXISTING WATER MAIN LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS AT THE WATER MAIN CONNECTIONS PRIOR TO WATER MAIN REPLACEMENT CONSTRUCTION.

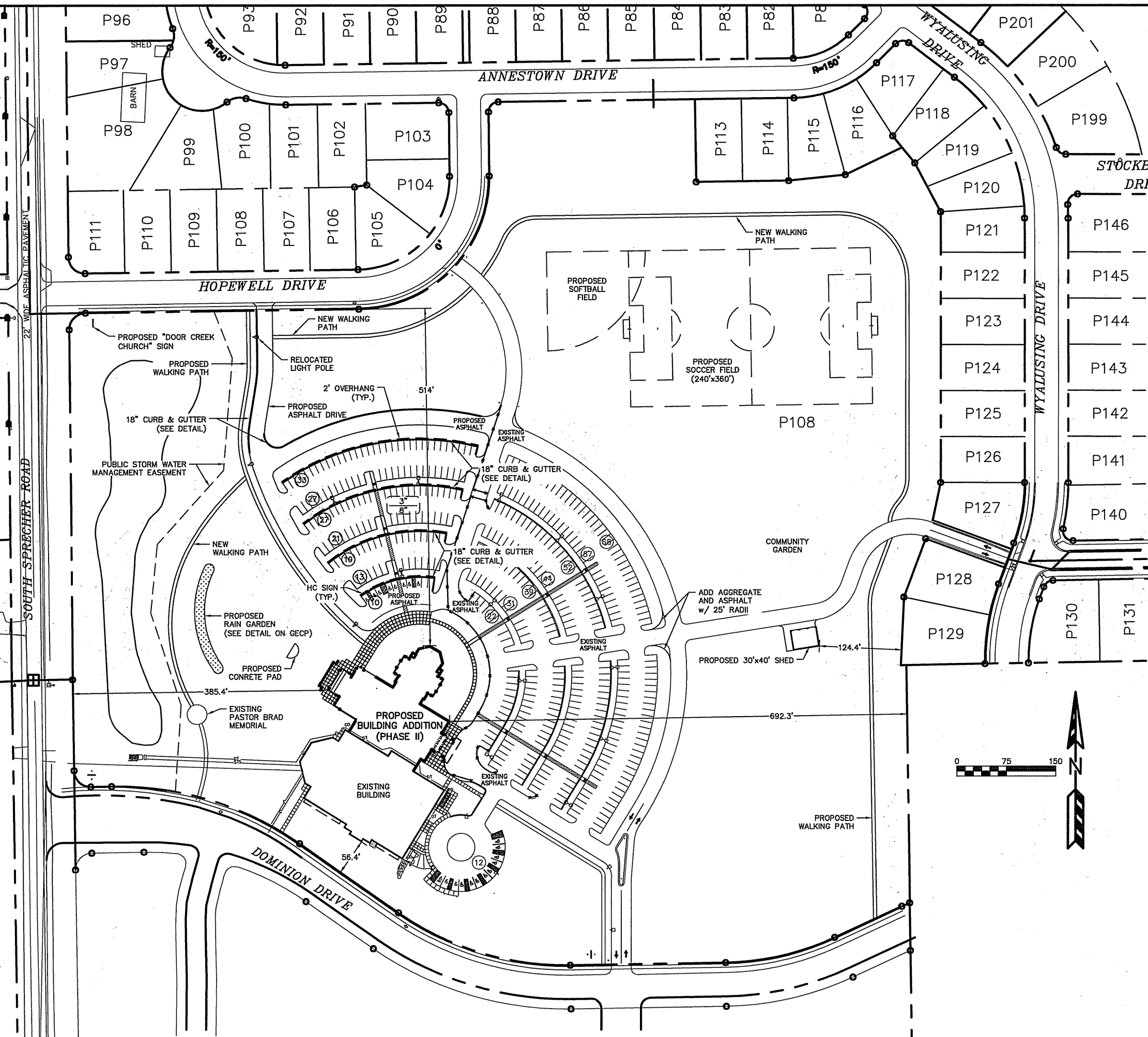
THE CONTRACTOR SHALL VERIFY EXISTING STORM INLET INVERT, SIZE, AND MATERIAL AT THE PROPOSED 15" STORM CONNECTION PRIOR TO STORM SEWER CONSTRUCTION.

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

TDD(FOR THE HEARING IMPAIRED)(800)542-2289

WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE



PARKING LOT PLAN SITE INFORMATION BLOCK

Site Address: 6802 DOMINION DRIVE
 Site acreage (total): 30.75 ACRES

Number of building stories (above grade): ONE
 Building height: 38 FEET TO ROOF PEAK
 DSPS type of construction (new structures or additions): 2A
 Total square footage of building: 86,600 SF

Use of property: CHURCH BUILDING
 Gross square feet of office: 8,000 SF
 Gross square feet of assembly: 32,800 SF
 Number of employees in warehouse: N/A
 Number of employees in production: N/A
 Capacity of restaurant/place of assembly: 1,365

Number of bicycle stalls shown: 12

Number of Parking stalls:

	SHOWN
Small Car	0
Large Car	455
Accessible	20
Total	475

Number of trees shown: (See Landscape Plan)

PAVING LEGEND

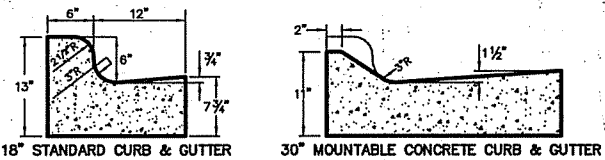
3" 3" ASPHALT PAVEMENT OVER
 8" 8" AGGREGATE BASE COURSE

4" 4" ASPHALT PAVEMENT OVER
 10" 10" AGGREGATE BASE COURSE
 (IN FIRE ACCESS AISLE)

THE FIRE LANE AND ACCESS AISLE SHALL BE CONSTRUCTED TO SUPPORT A MINIMUM LOAD OF 85,000 POUNDS AND CERTIFIED IN THE FIELD BY AN APPROVED SOILS ANALYST.



HANDICAP ACCESSIBLE SIGN DETAIL



18" STANDARD CURB & GUTTER 30" MOUNTABLE CONCRETE CURB & GUTTER

LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.

EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

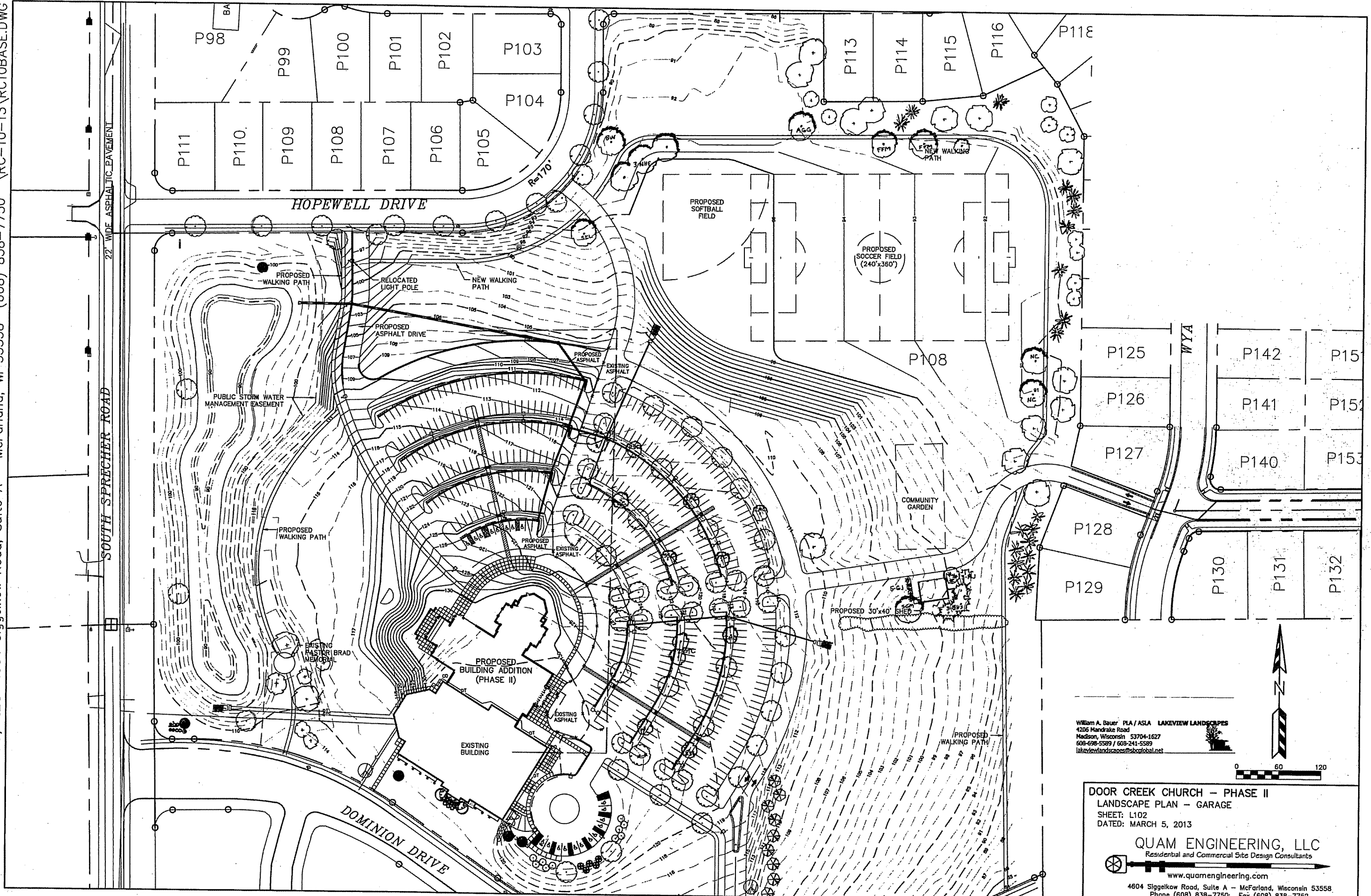
CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED 4" CRUSHED STONE BASE.

DOOR CREEK CHURCH - PHASE II
 SITE PLAN - OVERALL
 SHEET: C106
 DATED: MARCH 20, 2013

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 Residential and Commercial Site Design Consultants

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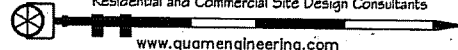
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



William A. Bauer PLA/ASLA LAKEVIEW LANDSCAPES
4206 Mandrake Road
Madison, Wisconsin 53704-1627
608-698-5399 / 608-241-5589
lakeviewlandscapes@skidglobal.net

DOOR CREEK CHURCH - PHASE II
LANDSCAPE PLAN - GARAGE
SHEET: L102
DATED: MARCH 5, 2013

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants



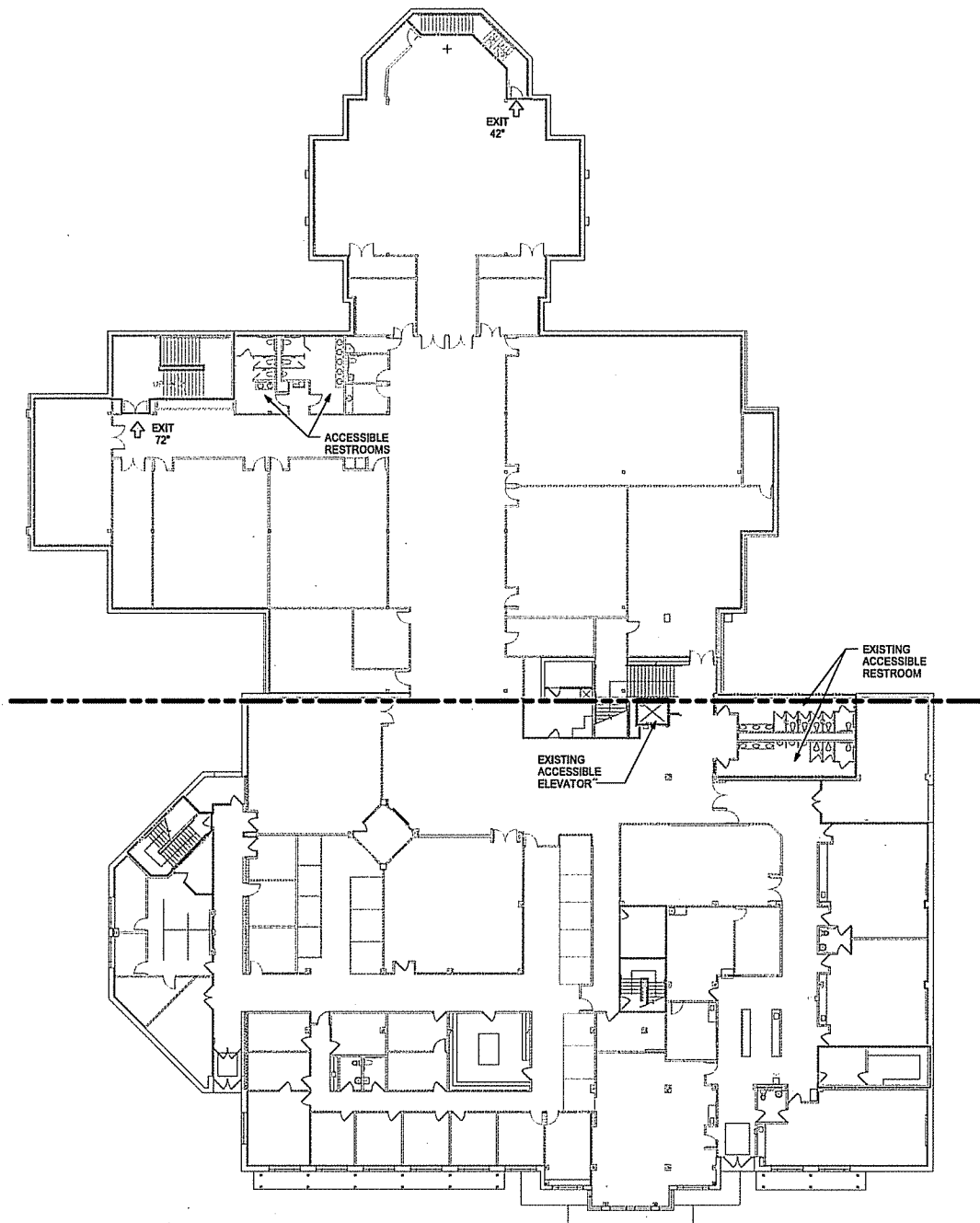
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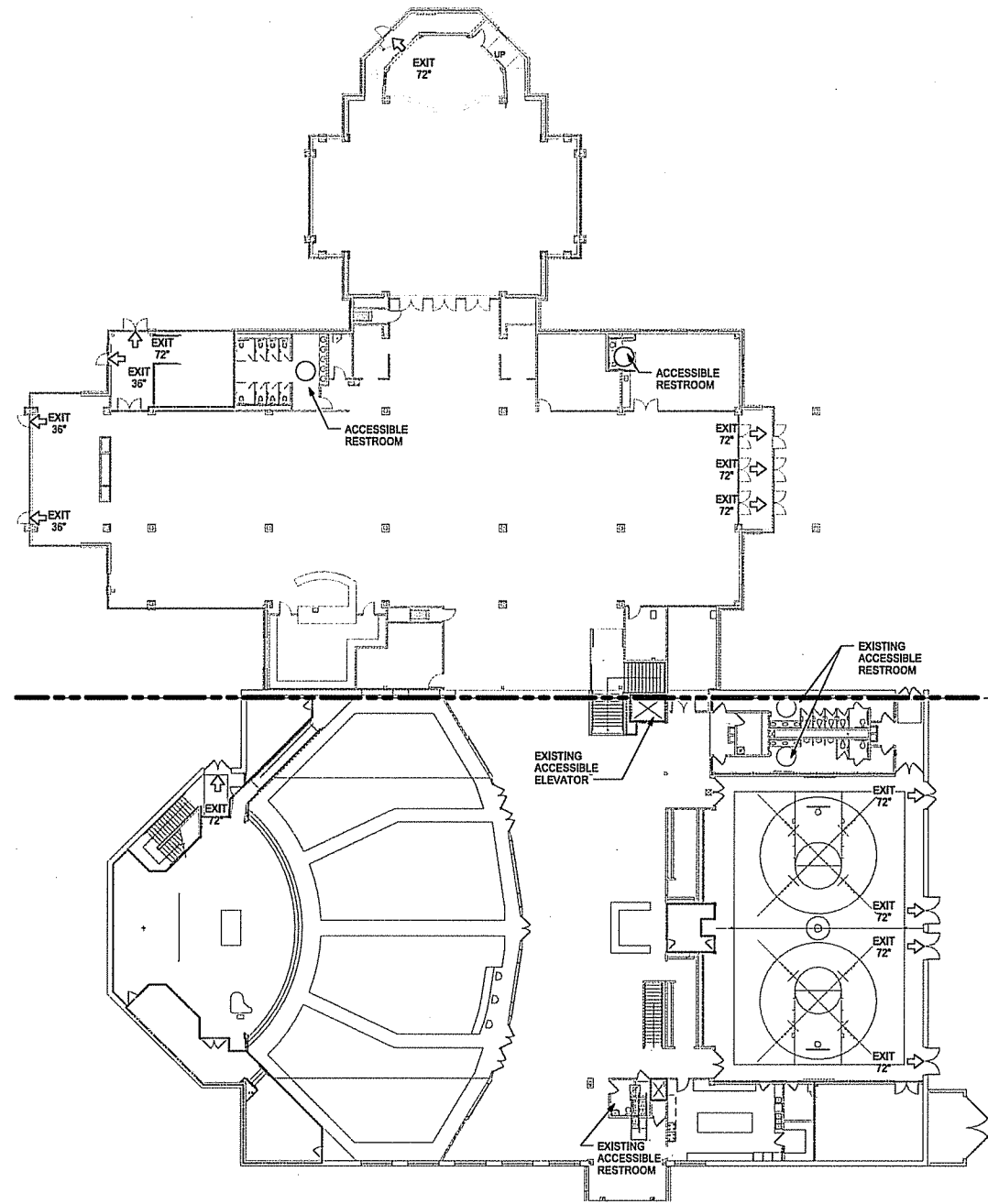
STRANG

**ARCHITECTURE
ENGINEERING
INTERIOR DESIGN**

STRANG, INC.
6411 MINERAL POINT ROAD
MADISON, WI 53705-4395



PH TN 2 LOWER LEVEL LIFE SAFETY PLAN
SCALE: 1/16" = 1'-0"



PH TN 1 UPPER LEVEL LIFE SAFETY PLAN
SCALE: 1/16" = 1'-0"

DRAWING SET	DD	
COPYRIGHT STRANG, INC.	2013	
REVISIONS		
No.	DESCRIPTION	DATE

DRAWN	JB
CHECKED	DV
DATE	03/15/13
PROJECT NO.	2012009
PROJECT TITLE	

**DOOR CREEK
CHURCH PHASE 2**

6502 Dominion Dr. Madison, WI

SHEET NAME
LIFE SAFETY PLAN

SHEET NO.

T003

LIFE SAFETY PLAN NOTES

- ALL DOOR OPENINGS ARE 3'-0" WIDE MIN. U.A.O.
- SEE SITE PLAN FOR ACCESSIBLE ROUTE TO ACCESSIBLE PARKING STALLS.

LIFE SAFETY PLAN LEGEND

- FIRE EXTINGUISHER CABINET
- EGRESS DIRECTION
- 60"-DIAMETER WHEELCHAIR TURNING SPACE
- 1 HOUR RATED FIRE BARRIER
- 2 HOUR RATED FIRE BARRIER

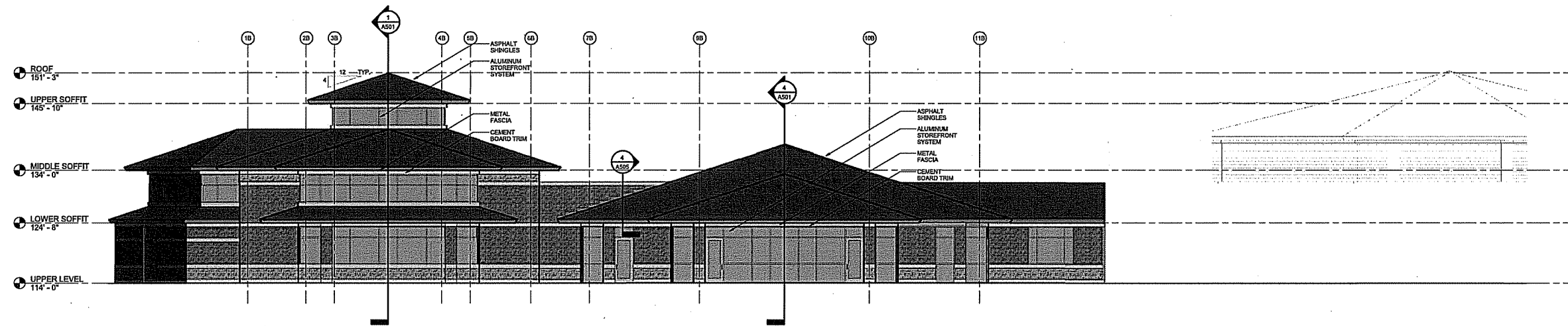


STRANG

**ARCHITECTURE
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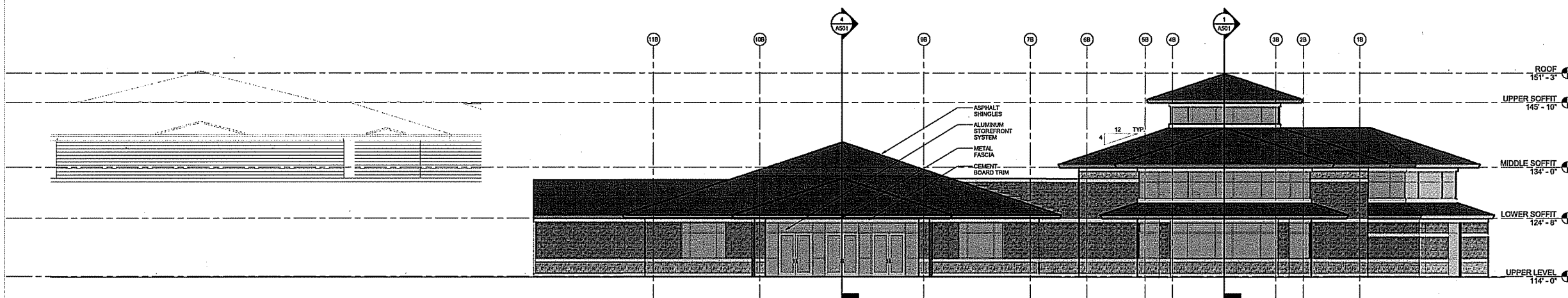
STRANG, INC.
6411 MINERAL POINT ROAD
MADISON, WI 53705-4395

ELEVATION MATERIAL LEGEND	
	SMOOTH FACE CMU COLOR 1
	SPLIT FACE CMU COLOR 2
	SMOOTH FACE CMU COLOR 2
	SPLIT FACE CMU COLOR 3
	CONCRETE



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

DRAWING SET	DD	
COPYRIGHT STRANG, INC.	2013	
REVISIONS		
No.	DESCRIPTION	DATE



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

DRAWN	JB
CHECKED	DV
DATE	03/15/13
PROJECT NO.	2012009

PROJECT TITLE
**DOOR CREEK
CHURCH PHASE 2**

6602 Dominion Dr. Madison, WI

SHEET NAME
**EXTERIOR
ELEVATIONS**

SHEET NO.

A401

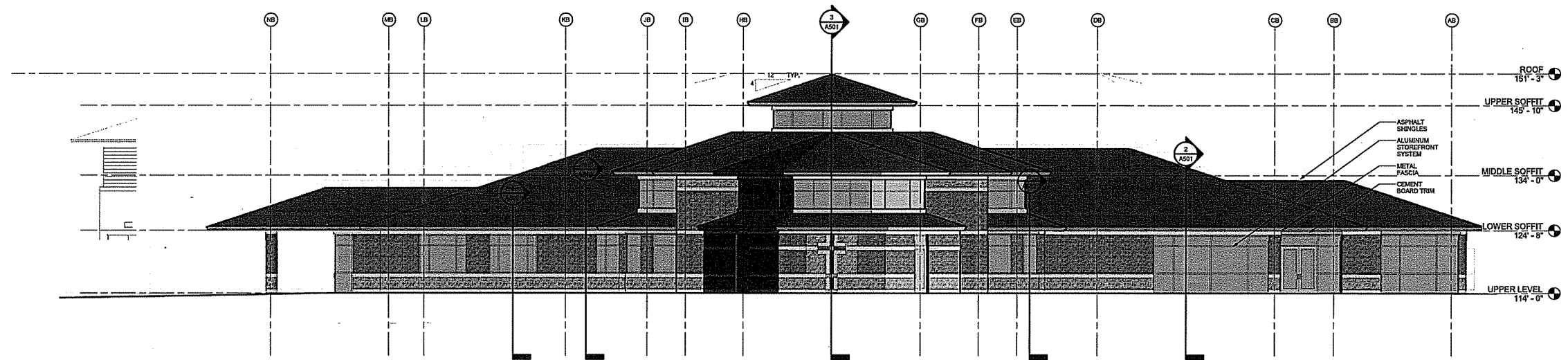


STRANG

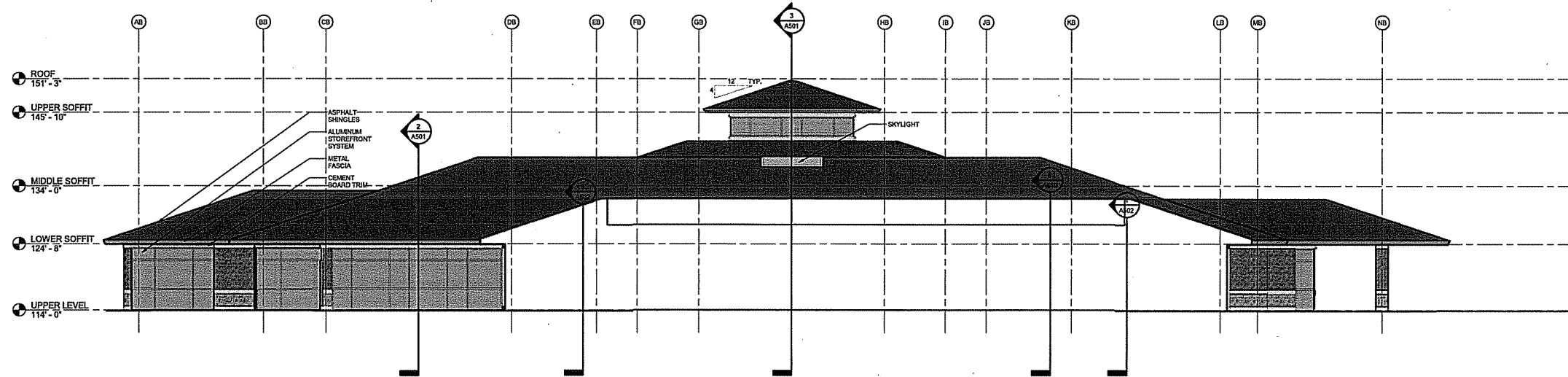
**ARCHITECTURE
ENGINEERING
INTERIOR DESIGN**

STRANG, INC.
6411 MINERAL POINT ROAD
MADISON, WI 53705-4395

ELEVATION MATERIAL LEGEND	
	SMOOTH FACE CMU COLOR 1
	SPLIT FACE CMU COLOR 2
	SMOOTH FACE CMU COLOR 2
	SPLIT FACE CMU COLOR 3
	CONCRETE



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

REVISIONS	
No.	DESCRIPTION

DRAWING SET	DD
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CHECKED	DV
DATE	03/15/13
PROJECT NO.	2012009

PROJECT TITLE
**DOOR CREEK
CHURCH PHASE 2**

6502 Dominion Dr. Madison, WI

SHEET NAME
**EXTERIOR
ELEVATIONS**

SHEET NO.

A402

PROJECT: MITCHELLS000113 GROUP: S16 AREA: Whole parking and drive GRID: Grid
 PREPARED BY: Dave - Visual Impact Lighting, LLC
 VALIDATED BY: ETC SCALE: 1/8"=200' (1:1600) GRID (D): HOZ CALC Z=00
 Computed in accordance with IES recommendations

GROUP	MIN	MAX	AVE	AVEMIN	MAXMIN
(3)	0.00	8.52	1.51	3.6237	198.35

TYPE	GRID/EST#	DESCRIPTION
OA	5	Archetype: L30_15 SSS Indic. Comb. Poor (1) A150 -SARS1/50MH-ED17-LLF=0.90
OC	3	Archetype: S30_25 Pole, some poor (2) C -A133/50MH-ED38-LLF=0.81



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