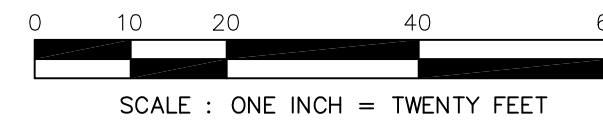
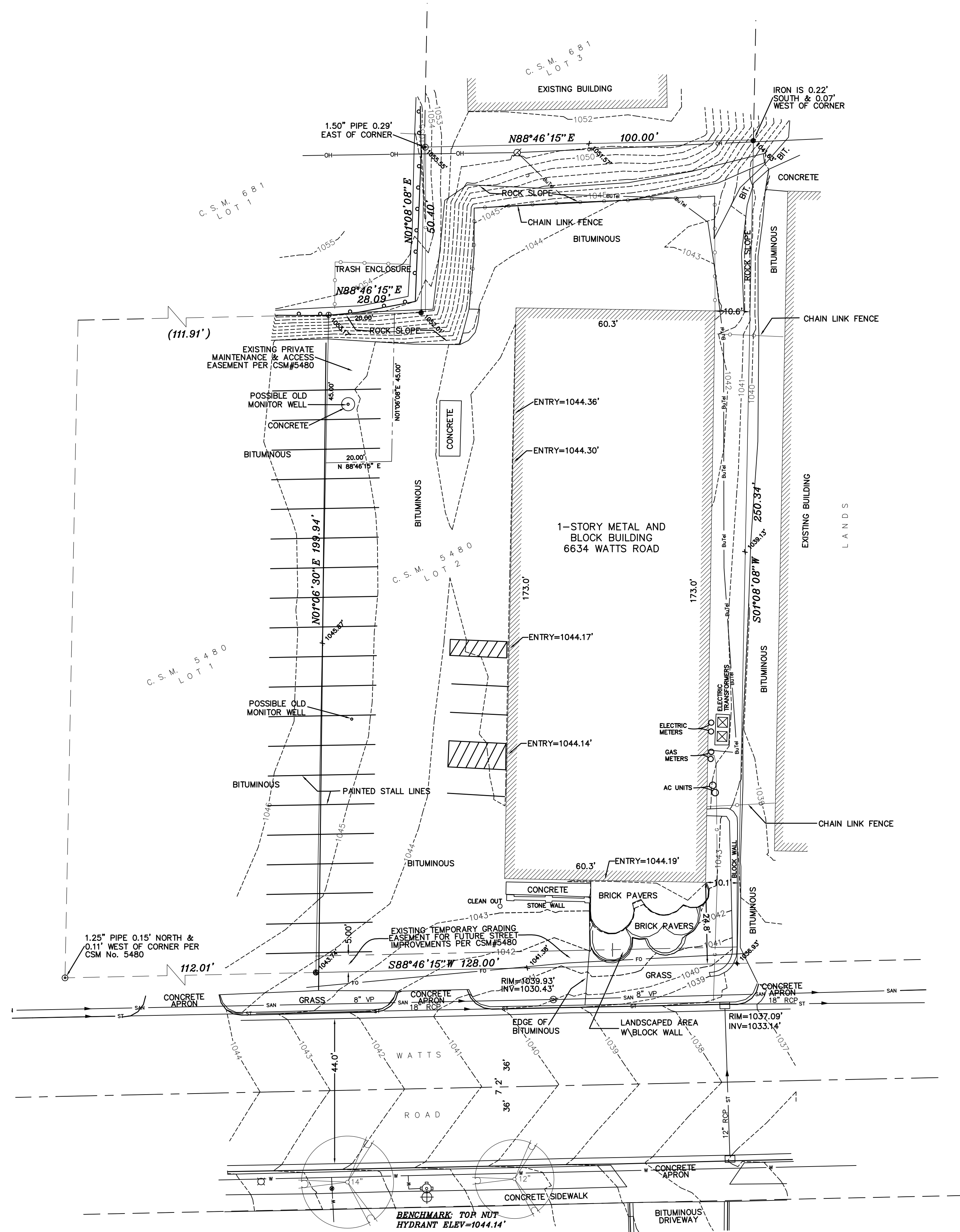


# BOUNDARY AND TOPOGRAPHIC SURVEY

ALL OF LOT 2, CERTIFIED SURVEY MAP NUMBER 5480, AS RECORDED IN VOLUME 25 OF CERTIFIED SURVEY MAPS, ON PAGES 49-52, AS DOCUMENT NUMBER 2067308, DANE COUNTY REGISTRY, LOCATED IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 07 NORTH, RANGE 08 EAST, TOWN OF MIDDLETON, DANE COUNTY, WISCONSIN.



ASSUMED NORTH  
 BEARINGS ARE BASED UPON CERTIFIED SURVEY MAP NO. 5480, THE EAST LINE OF LOT 2 BEARS N 01°08'08" E



**LEGEND**

⊙ IRON PIPE FOUND (OUTSIDE DIAMETER NOTED)	⊠ FIRE HYDRANT
• 3/4" SOLID IRON ROD FOUND	⊡ STORM SEWER INLET
• 1-1/4" SOLID IRON ROD FOUND	⊙ ELECTRIC MANHOLE
○ 3/4" x 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.	⊕ EXISTING SPOT ELEVATION
⊙ SET MAG NAIL	⊖ EXISTING MINOR CONTOUR
( ) INDICATES RECORDED AS	⊖ EXISTING MAJOR CONTOUR
DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDING DIMENSIONS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.	
— OH — OVERHEAD UTILITY	⊕ x 1036.95' DECIDUOUS TREE
— B — BURIED GAS MAIN	⊕ BM-1 BENCHMARK
— W — WATER MAIN	• BOLLARD
— SAN — SANITARY SEWER	— SIGN
— ST — STORM SEWER	
— BT — BURIED TELEPHONE	
— E — BURIED ELECTRIC	
— C — BURIED CABLE TV	
— FO — BURIED FIBER OPTIC	
• WATER VALVE	
• GAS VALVE	
⊠ CABLE TV PEDESTAL	
⊠ ELECTRIC PEDESTAL	
⊠ TELEPHONE PEDESTAL	
⊠ UTILITY POLE	
⊠ LIGHT POLE	
⊠ GUY WIRE	
⊠ ELECTRIC TRANSFORMER	

- NOTES:**
- Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements, other than as depicted on C.S.M. no. 5480; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose.
  - No attempt has been made as a part of this boundary survey to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
  - Date of field work: December 12th and 20th 2011.
  - Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
  - All surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
  - All trees, hedges and ground cover on the site may not necessarily be shown hereon.
  - Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline Ticket Numbers 20115004684, 20115004726 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to located utilities. Before excavations are performed contact Digger's Hotline. On site well not visible.
  - Elevations are based upon NAVD88 datum. The aluminum monument at the South quarter corner of Section 25, T07N, R08E has an elevation of 1023.59' per tiesheet by Carl M. Sandnes, dated February 16, 2004. Surveyor transferred elevation of 1044.14' to the top nut on fire hydrant across the street from 6634 Watts Road, per conventional leveling.
  - Total parcel area = 30,615 square feet

DESCRIPTION FURNISHED — Warranty Deed Doc. No. 2069672

Lot 2, Certified Survey Map No. 5480 recorded in Volume 25 of Certified Survey Maps, Pages 49-52 as Document No. 2067308, in the Town of Middleton, Dane County, Wisconsin.

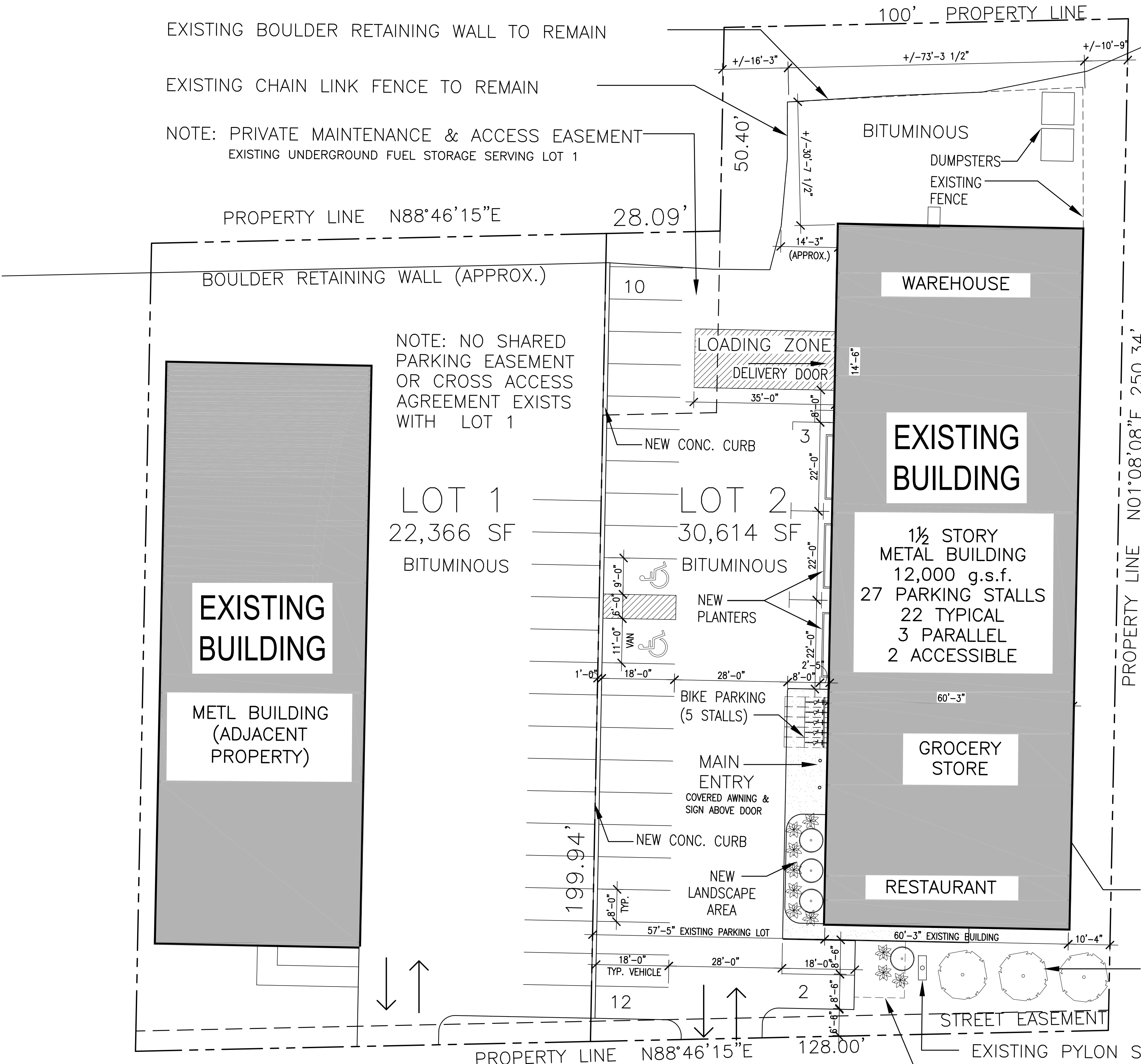
**SURVEYOR'S CERTIFICATE:**

I, Michelle L. Burse, Registered Land Surveyor, No. 2020, hereby certify that the foregoing survey was executed under my direction and control, and that said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7), and the map hereon is correct to the best of my knowledge and belief.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Signed: \_\_\_\_\_  
Michelle L. Burse, R.L.S. No. 2020

SURVEYED FOR :  
 J&P International, L.L.C.  
 7201 New Washburn Way  
 Madison WI 53719  
 SURVEYED BY :  
**Burse**  
 surveying & engineering Inc.  
 1400 E. Washington Ave, Suite 158  
 Madison, WI 53703 608.250.9263  
 Fax: 608.250.9266  
 email: Mburse@BSE-INC.net  
 www.bursesurveyengr.com



EXISTING BOULDER RETAINING WALL TO REMAIN  
EXISTING CHAIN LINK FENCE TO REMAIN  
NOTE: PRIVATE MAINTENANCE & ACCESS EASEMENT  
EXISTING UNDERGROUND FUEL STORAGE SERVING LOT 1

**NOTE OF INTENT:**  
THE INTENT OF THIS PROJECT IS TO MINIMIZE MODIFICATIONS TO THE EXISTING BUILDING AND SITE AS MUCH AS POSSIBLE. EXISTING PARKING LOT AND LANDSCAPE TO REMAIN WITH PARKING LOT TO RECEIVE SEAL & RESTRIPING FOR NEW STALLS.

**PARKING NOTES:**  
OFF-STREET PARKING PARKING RATIOS DETERMINED USING FLOOR AREAS INDICATED IN CONCEPT FLOOR PLAN, SHEET A2.2 PER CITY OF MADISON ZONING ORDINANCE SECTION 28.11(4)

RESTAURANT AREA (INCLUDING KITCHEN)  
30% of 46 seats = 13.8 PARKING STALLS REQUIRED  
GROCERY STORE (INCLUDING WAREHOUSE & ACCESSORY AREAS)  
9,575gsf @ 1space/300sf = 31.9 PARKING STALLS REQUIRED  
TOTAL PARKING REQUIRED = 46 PARKING STALLS  
TOTAL PARKING PROVIDED = 27 PARKING STALLS\*

\*A REDUCTION OF 19 STALLS IS REQUESTED  
DIMENSIONS OF TYPICAL PARKING SPACES SHOWN ON PLAN ARE 8'-0" IN WIDTH AND 18'-0" IN LENGTH PER CITY OF MADISON ZONING ORDINANCE 10.08(6)(a)(1.) FOR MEDIUM AND LARGE VEHICLES

DIMENSIONS OF PARALLEL PARKING SPACES SHOW ON PLAN ARE 8'-0" IN WIDTH AND 22'-0" IN LENGTH FOR MEDIUM/LARGE VEHICLES. 3 PARALLEL PARKING STALLS ARE SHOWN ON PLAN ADJACENT TO NEW PLANTERS ALONG WEST SIDE OF EXISTING BUILDING.

**NOTE:**  
CIVIL ENGINEERING AND LANDSCAPE DESIGNS ARE TO BE DETERMINED. STORMWATER DRAINAGE, SIDEWALK INSTALLATION AND LANDSCAPING WILL BE DESIGNED TO MEET CITY OF MADISON STANDARDS.

UTILITY ENTRY TO EXISTING MECHANICAL ROOM  
NEW CANOPY TREES (3) LOCATION AND TYPE TO BE DETERMINED BY LANDSCAPE ARCHITECT.

NOTE: DRIVEWAYS SHOWN APPROXIMATE  
EXISTING CURB CUTS NOT SHOWN

EXISTING PYLON SIGN TO REMAIN (SHOWN APPROXIMATE)  
PORTION OF EXISTING ASPHALT TO BE REMOVED AND REPLACED WITH NEW LANDSCAPING (TO BE DETERMINED)



**-PRELIMINARY -  
NOT FOR  
CONSTRUCTION**