

**Architectural Design
Consultants, Inc.**

Location Map



Fairhaven Court - Madison, WI



**Architectural Design
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Development to the South

Fairhaven Court - Madison, WI

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Development to the South

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Rear Yard of 16-Unit Building

Fairhaven Court - Madison, WI

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Development to the West

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Development to the North

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Development to the North

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Undeveloped Site

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Development to the East

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Side Elevation of 16-Unit Building

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Rear Elevation of 16-Unit Building

Fairhaven Court - Madison, WI

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Front Yard of 16-Unit Building

Fairhaven Court - Madison, WI

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Front Elevation of 16-Unit Building

Fairhaven Court - Madison, WI

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sided
ry Gothic - bold,
:- Condensed
ann 12/27/11

BACKGROUND: SW. 6084 Modest White paint
BACK: SW. 3002 Belvedere Tan stain
BORDER: 3/4" SW. 2916 Red Prairie 3" space
PINSTRIPE: 3/8" SW. 6881 Cayenne
LOGO: SW. Black with a Belvedere Tan stained background

LETTERS: SW. Black (raised), and
SW. 6084 Modest White (blasted in)
MISC: Raised Capsule painted SW. Black with letters blasted in
POSTS: SW. Belvedere Tan stain Post Trim - SW. Red Prairie
BALL TOPS: SW. Belvedere Tan stain with Black & Cayenne pinstripes



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Fairhaven Court Apartments - February 12, 2013



Fairhaven Court Apartments - February 12, 2013

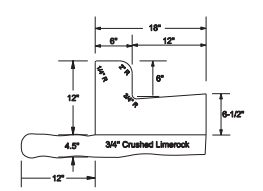
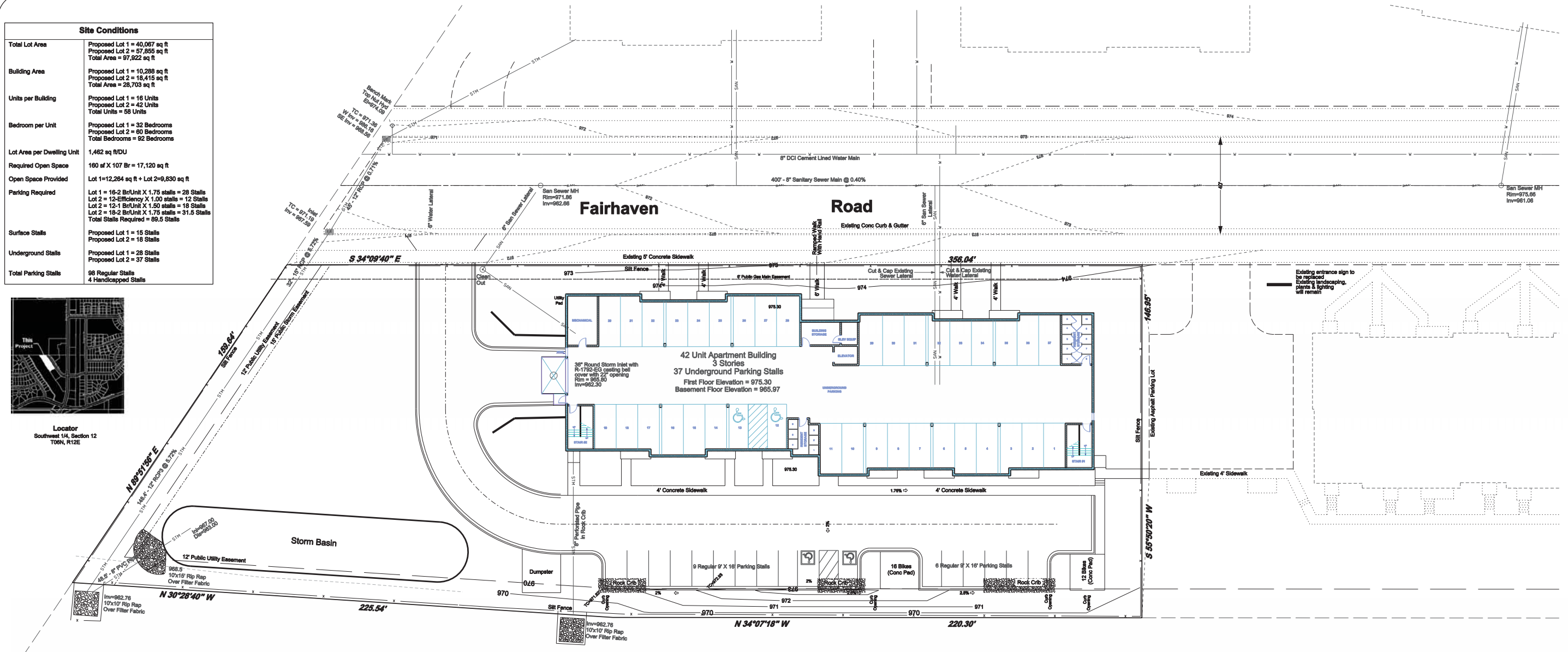


Architectural Design
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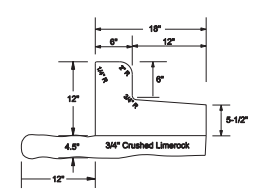
Site Conditions	
Total Lot Area	Proposed Lot 1 = 40,067 sq ft Proposed Lot 2 = 37,855 sq ft Total Area = 77,922 sq ft
Building Area	Proposed Lot 1 = 10,298 sq ft Proposed Lot 2 = 18,415 sq ft Total Area = 28,703 sq ft
Units per Building	Proposed Lot 1 = 16 Units Proposed Lot 2 = 42 Units Total Units = 58 Units
Bedroom per Unit	Proposed Lot 1 = 32 Bedrooms Proposed Lot 2 = 60 Bedrooms Total Bedrooms = 92 Bedrooms
Lot Area per Dwelling Unit	1,462 sq ft/UDU
Required Open Space	160 sq ft X 107 Br = 17,120 sq ft
Open Space Provided	Lot 1=12,264 sq ft + Lot 2=9,830 sq ft
Parking Required	Lot 1 = 16-2 Br/Unit X 1.75 stalls = 28 Stalls Lot 2 = 12-Efficiency X 1.00 stalls = 12 Stalls Lot 2 = 12-1 Br/Unit X 1.50 stalls = 18 Stalls Lot 2 = 18-2 Br/Unit X 1.75 stalls = 31.5 Stalls Total Stalls Required = 89.5 Stalls
Surface Stalls	Proposed Lot 1 = 15 Stalls Proposed Lot 2 = 18 Stalls
Underground Stalls	Proposed Lot 1 = 28 Stalls Proposed Lot 2 = 37 Stalls
Total Parking Stalls	98 Regular Stalls 4 Handicapped Stalls



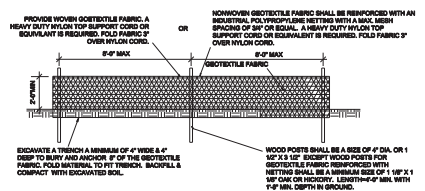
Locator
Southwest 14, Section 12
T08N, R12E



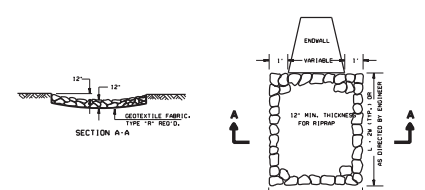
18" Standard Curb



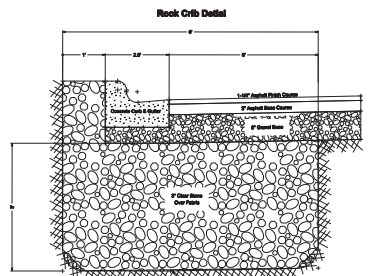
18" Reject Curb



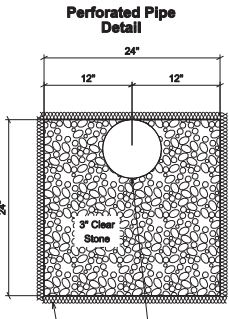
RIPRAP TREATMENT AT CULVERTS



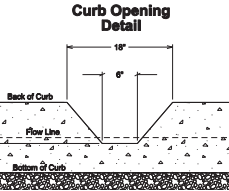
SILT FENCE



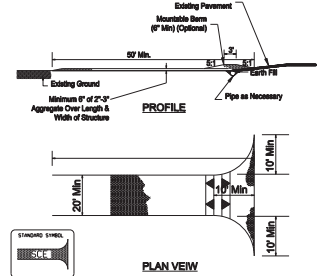
ROCK CRIB DETAIL



PERFORATED PIPE DETAIL



CURB OPENING DETAIL



STABILIZED CONSTRUCTION ENTRANCE

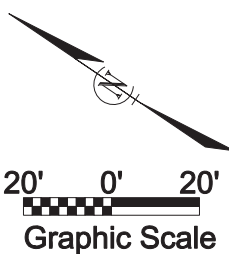
- LENGTH - MINIMUM OF 50'
- WIDTH - 20' MINIMUM SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- STONE - CRUSHED AGGREGATE (2" TO 3") OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT SHALL BE PLACED AT LEAST 6" DEEP OVER THE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BEAM WITH 6:1 SLOPES AND MINIMUM OF 6" OF STONE OVER THE PIPE. TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE SIE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MINIMUM WILL BE REQUIRED.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.

Notes:

- All filling, grading, and erosion control shall conform to the City of Madison ordinances.
- Erosion control devices shall be installed prior to the start of filling and grading.
- To minimize the erosion sediment, the contractor shall stage the filling and grading activities to restore the disturbed areas as final grades are achieved.
- Erosion control is the responsibility of the contractor until acceptance of this project. Erosion control measures as shown shall be the minimum precautions that will be allowed. The contractor shall be responsible for recognizing and correcting all the erosion control problems that are a result of construction activities.
- Additional erosion control measures, as requested by the City Inspector or developers engineers, shall be installed within 24 hours.
- All erosion control measures and structures serving the site must be inspected at least weekly and within 24 hours of the time 0.50 inches of rain is produced. All maintenance will follow an installed within 24 hours.
- All trucks leaving site shall have clean tires. Prior to the start of filling, the contractor shall install a tracking pad. The tracking pad shall be 50' long, 24' wide, and 1' thick. The pad shall be constructed with 3" clear stone. The construction entrance shall be maintained by the contractor in a condition in which will prevent the tracking of mud onto the public street. All material deposited on public property shall be swept up daily.

Project Schedule

- 07-20-2012 Install Construction Entrance
Install silt fence around lot
Begin excavation of apartment building and parking lot
- 07-21-2012 Install gravel in parking lot area and ramp to underground parking
- 08-21-2012 Backfill along the North and West walls to a maximum of 9% grade.
- 10-01-2012 Construct apartment building
- 10-01-2012 Finish grade around building
- 10-15-2012 Seed and mulch



Project No: 10811
File Name: Fairhaven.dgn
Project Name: Fairhaven
Job Number: 001
PLOT FILE: Fair.dwg
Date: April 17, 2012
Pen Table: Fair.tbl
Director: P:\projects\10811\10811.dwg

Royal Oak & Associates, Inc
3678 Kinsman Boulevard
Madison, WI 53718
Phone (608) 274-0500 Fax (608) 274-4530
www.royalokengineering.com

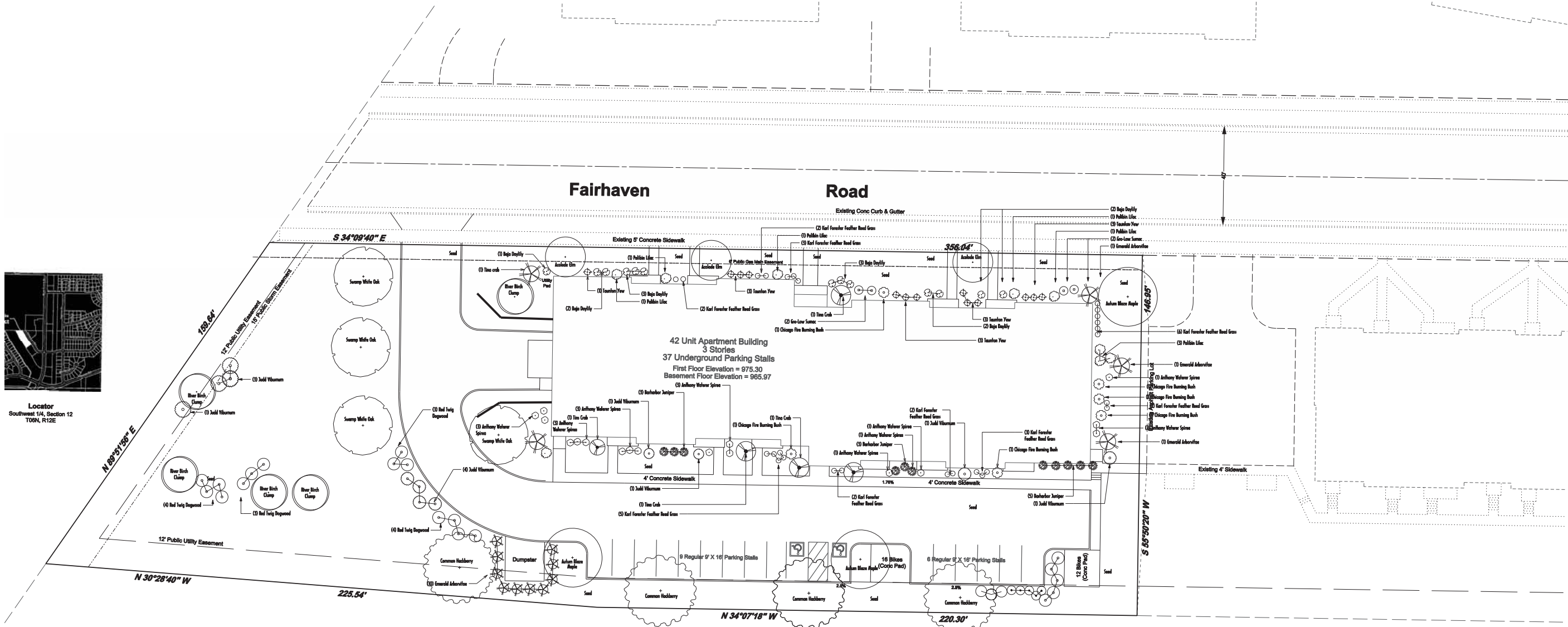
Surveyed For:
Fairhaven Court, LLC
2400 Bryn Mawr Road
Madison, WI 53713
Contact: Kevin Kavanaugh

PUD - GDP - SIP - Site Grading & Erosion Control Plan
Lot 3, CSM No. 10769 and Lot 1, CSM No. 5370
12128, lying in the SW 1/4 of the SW 1/4 of Section 12, T08N, R10E, City of Madison, Dane County, Wisconsin

Office Map Number
16037-1
C-1.0



Locator
Southwest 14, Section 12
T06N, R12E

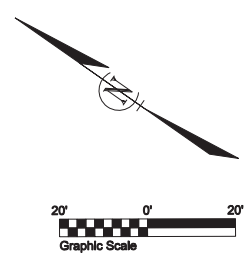


Quantity	Common Name	Planting Size
4	Swamp White Oak	2" BB
3	Acolode Elm	1-3/4" BB
4	Autumn Blaze Maple	2" BB
4	Common Hackberry	2" BB
5	River Birch Clump	6" BB
4	Tina Crab	4" BB
15	Emerald Arborvitae	4" BB
5	Common Witch Hazel	#5 CONT
22	Red Twig Dogwood	#7 CONT
11	Judd Viburnum	#7 CONT
8	Chicago Fire Burning Bush	3" BB
11	Palibin Lilac	#5 CONT
18	Anthony Waterer Spirea	#2 CONT
17	Gro-Low Sumac	#2 CONT
23	Taunton Yew	15" BB
14	Bar Harbor Juniper	#2 CONT
19	Karl Forester Feather Reed Grass	#1 CONT
13	Baja Daylily	#1 CONT

General Notes:

- Individual trees and shrub groupings found along the perimeter of the property as well as those found within lawn areas to receive wood mulch rings and wood mulch beds consisting of a mixture of recycled wood mulch, colored brown.
- "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.
- Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric barrier.
- Seed shall consist of the following mixture:
40% Palmer Ryegrass
20% Baron Bluegrass
20% Nessesu Bluegrass
20% Pennlawn Creeping Red Fescue
- Plant beds adjacent to the building(s) to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric barrier

City of Madison	
Landscape Requirements	
Number of Parking Stalls	29
Number of Canopy Trees Required	3
Number of Landscape Points Required	147
Solution	
6 Canopy Trees (2" - 2-1/2") @ 35 points	210
Canopy Trees or Small Ornamental Trees (1-1/2" - 2") @ 15 points	
38 Deciduous Shrubs @ 2 points	76
Evergreen Shrubs @ 3 points	
Evergreen Trees (3ht) @ 15 points	
Decorative Wall @ 5 points (Per 10 lf)	
Decorative Fence @ 5 points (Per 10 lf)	
Decorative Earth Berm @ 5 points (Per 10 lf)	
Average Height - 30" @ 5 points	
Average Height - 15" @ 2 points	
Total Points	286



Drawn By: BWS
Checked By: NC
Date: April 6, 2012
Revised:
Plot File: 16037-L
Pen Table: 16037-L

Watts Landscape Service
350 Pioneer Avenue
Verona, Wisconsin 53593
Phone (608) 832-3535
www.wattslandscape.com

For:
Fairness Court LLC
2820 Bryant Road
Madison, Wisconsin 53713
Contact: Kevin Kavanaugh

Landscape Plan
Part of Lot 3, CSM No. 10769 and Lot 1, CSM No. 12126, lying in the SW 1/4 of the SW 1/4 of Section 12, T06N, R10E, City of Madison, Dane County, Wisconsin

Office Map Number
16037-L
L1.0



ELEVATION "A"



ELEVATION "C"



ELEVATION "B"



ELEVATION "D"

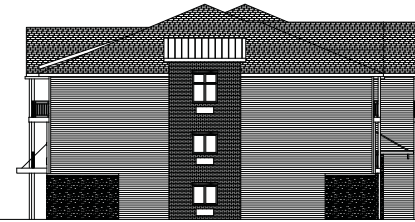
Fairhaven Court Apartments - February 12, 2013



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ELEVATION A
SCALE: 1/8" = 1'-0"



ELEVATION B
SCALE: 1/8" = 1'-0"

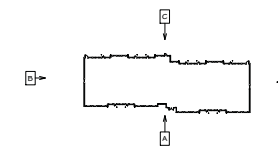


ELEVATION C
SCALE: 1/8" = 1'-0"



ELEVATION D
SCALE: 1/8" = 1'-0"

EXTERIOR COLOR SCHEDULE	
MATERIAL	COLOR
BRICK	RED
SIDING	SANDSTONE BEIGE
STONE	SUNHILL BLEND
SHINGLES	DRIFTWOOD
SOFFIT/FASCIA	WHITE
WINDOWS/DOORS	WHITE
BALCONIES/TRIM	WHITE



KEY PLAN



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