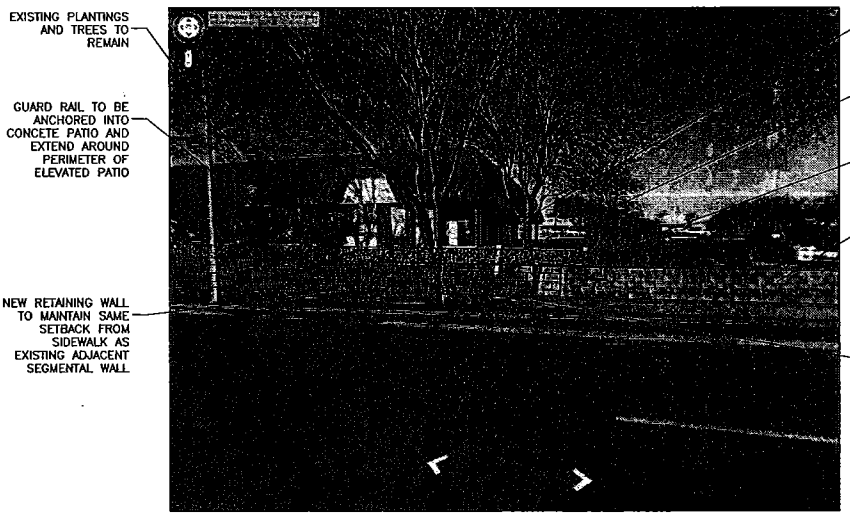


1 SITE PLAN - AERIAL VIEW  
SCALE: 1/32" = 1'-0"



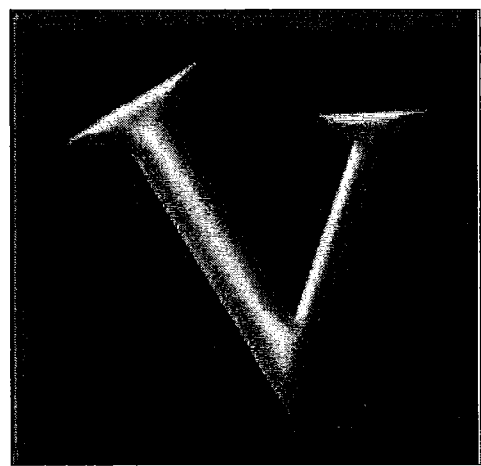
2 STREET ELEVATION (LOOKING WEST)  
SCALE: HTS

GENERAL NOTES

1. SEGMENTAL RETAINING WALL TO BE DESIGNED AND SUPPLIED BY LANDSCAPE CONTRACTOR. WALL TO BE DESIGNED FOR 100 PSF SURCHARGE LOAD OVER PATION AREA AS WELL AS STANDARD LATERAL EARTH PRESSURES. WALL TO BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER IN THE STATE OF WISCONSIN. WALL DESIGN SHALL BE SUBMITTED FOR APPROVAL.
2. SEGMENTAL RETAINING WALL BLOCKS TO MATCH EXISTING WALL TYPE, COLOR, SIZE AND FACE TEXTURE. SUBMIT SAMPLE FOR OWNER APPROVAL.
3. CONCRETE PATIO TO CONSIST OF 4" EXTERIOR GRADE (AIR ENTRAINED) CONCRETE WITH MIN 4000 PSI STRENGTH ON TOP OF SAND AND WASHED STONE.(SEE DETAILS)
4. REPLACE CUT MATERIAL WITH SUITABLE STRUCTURAL FILL WHEN BUILDING GRADE DURING WALL CONSTRUCTION. COMPACT IN SUITABLE LIFT HEIGHT TO PROVIDE MAXIMUM COMPACTION.
5. EXISTING UTILITY PEDISTAL TO BE RELOCATED UPON APPROVAL FROM UTILITY. RELOCATION OF PEDISTAL TO BE COORDINATED THROUGH OWNER, BUT WORK TO BE DONE BY UTILITY.

**WeisWare, LLC**  
CONSULTING ENGINEERS  
608.206.3966  
WEISWARE@GMAIL.COM  
3237 TANGLEWOOD DR  
MADISON, WI 53719

EXTERIOR PATIO SEATING AREA  
VINTAGE BREWING CO.  
674 S. WHITNEY WAY  
MADISON, WI 53719



VINTAGE BREWING COMPANY  
OUTDOOR PATIO SEATING AREA

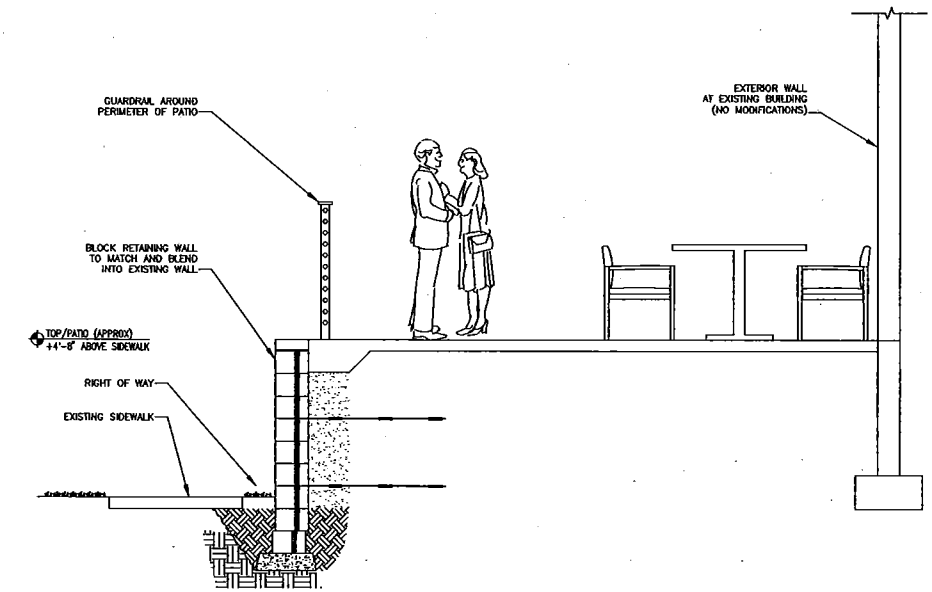
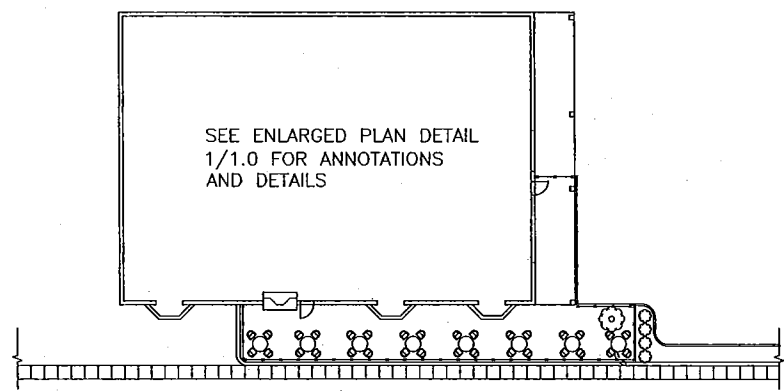
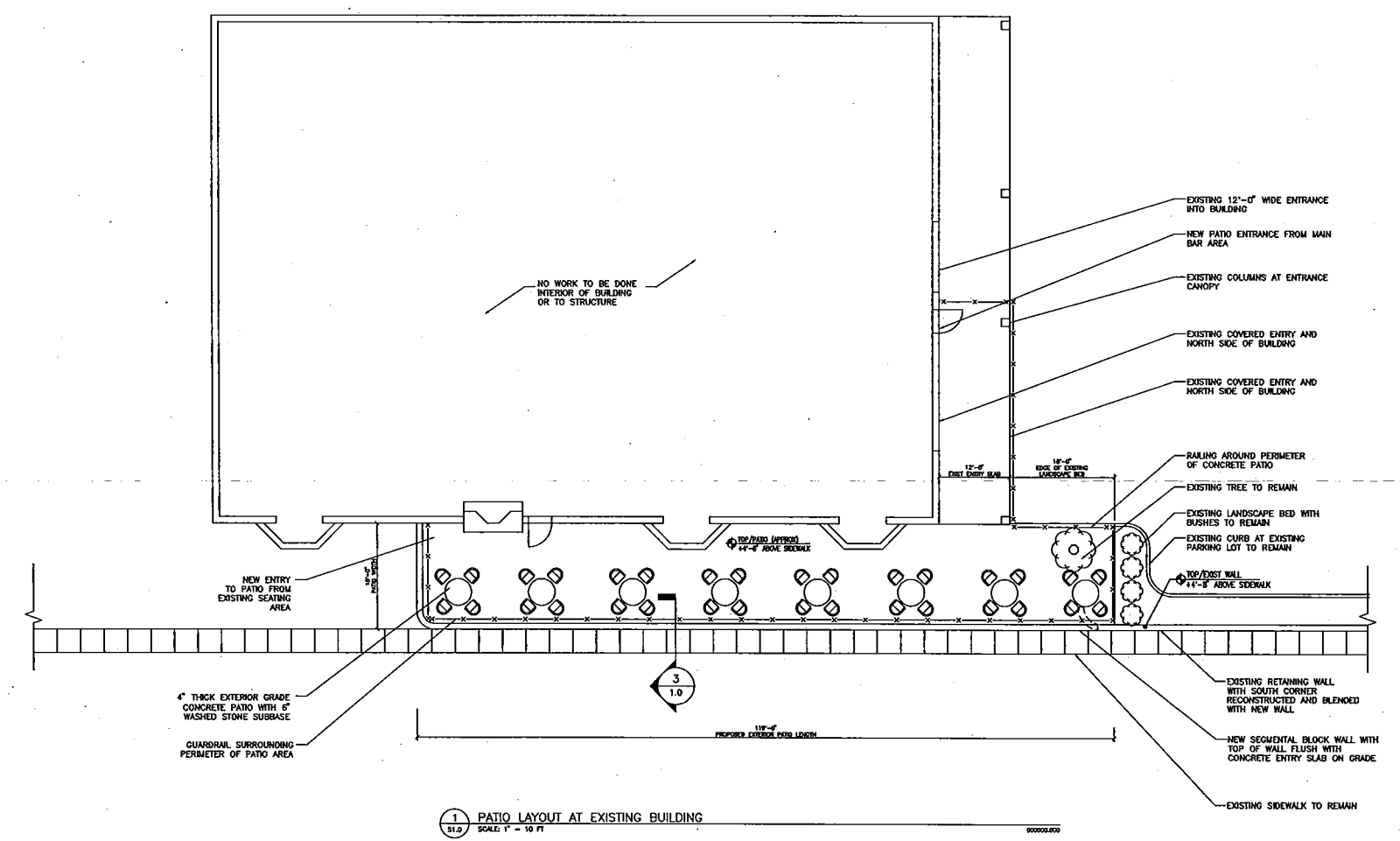
SUMMARY OF WORK:  
ADDING OUTDOOR SEATING AREA ALONG EAST SIDE OF BUILDING LOCATED ON WHITNEY WAY. EXISTING CAPACITY OF ESTABLISHMENT WILL REMAIN, WITH NO INCREASED CAPACITY REQUIREMENTS DUE TO PATIO,

WISCONSIN  
CRAIG D. WEISENSEL  
E-37390  
MADISON  
WI  
PROFESSIONAL ENGINEER  
10/30/10  
SHTS 0.0, 1.0, 3.0

ISSUE DATES:  
10/28/10 - FOR APPROVAL

PROJECT #: 2007002  
PLOT DATE: 10/30/2010  
SHEET NUMBER

0.0

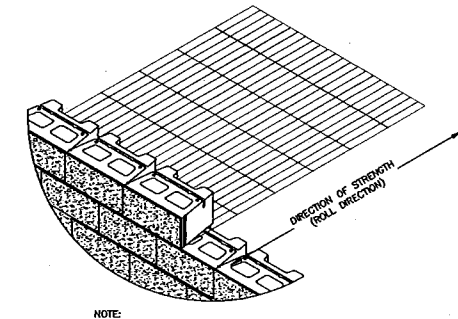


ISSUE DATES:  
 10/29/10 - FOR APPROVAL

Schematic Design Phase:  
 This drawing indicates the scale and relationship of the project components. This drawing is not for construction.

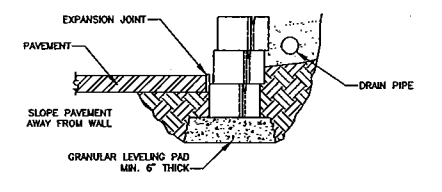
PROJECT #: 2007002  
 PLOT DATE: 10/30/2010  
 SHEET NUMBER

1.0

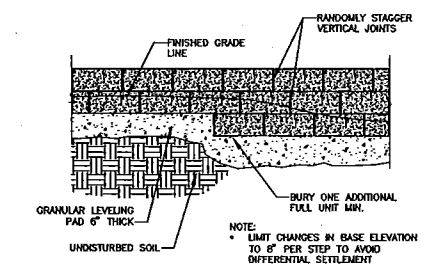


NOTE:  
 \* FOLLOW GEOSYNTHETIC GRID MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS.  
 \* SECROD LENGTH AND ELEVATION PLACEMENT SHALL BE DETERMINED BY WALL DESIGN ENGINEER.

6 GEOSYNTHETIC REINFORCING INSTALLATION  
 S3.0 SCALE: 3/4" = 1'-0" 000000.000

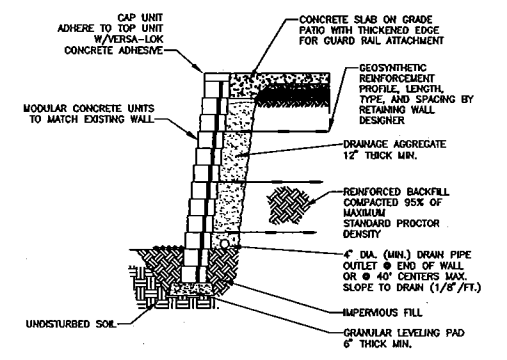


3 WALL BASE AT EXISTING SIDEWALK  
 S3.0 SCALE: 3/4" = 1'-0" 000000.000

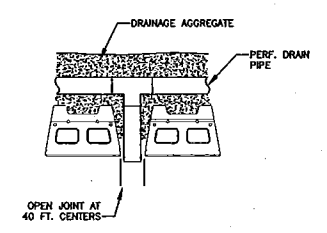


NOTE:  
 \* LIMIT CHANGES IN BASE ELEVATION TO 6" PER STEP TO AVOID DIFFERENTIAL SETTLEMENT.  
 \* STEP AS NEEDED TO MINIMIZE BURIED UNITS AND MAINTAIN MINIMUM REQUIRED EMBEDMENT.

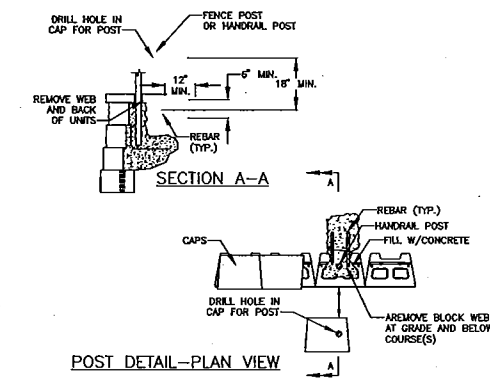
5 STEPPING BASE DETAIL  
 S3.0 SCALE: 1/2" = 1'-0" 000000.000



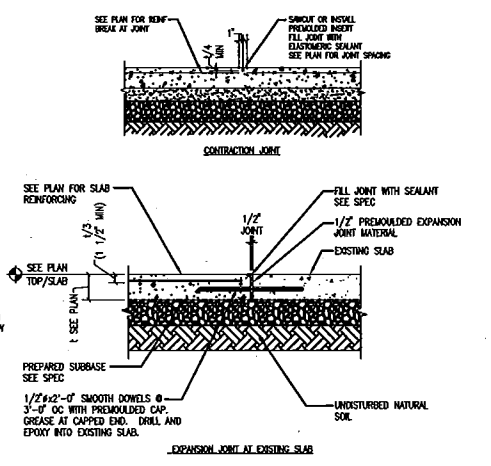
2 SECTION AT REINFORCED RETAINING WALL  
 S3.0 SCALE: 3/8" = 1'-0" 000000.000



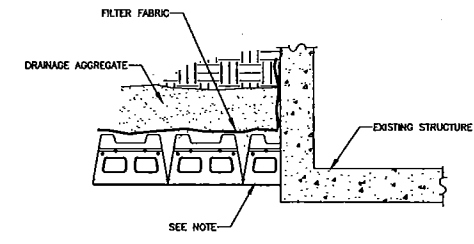
8 BLOCK WALL DRAIN DETAIL  
 S3.0 SCALE: 3/4" = 1'-0" 000000.000



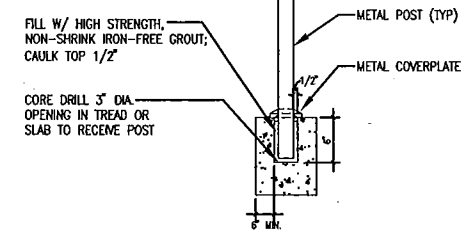
4 ALTERNATE POST MOUNTING DETAIL  
 S3.0 SCALE: 1/2" = 1'-0" 000000.000



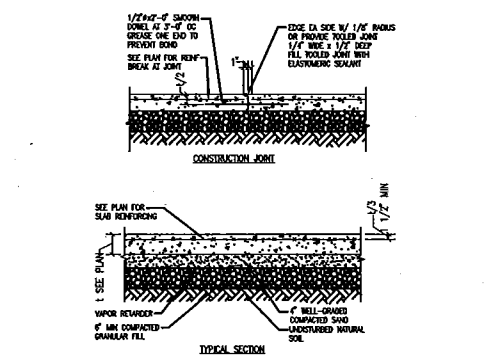
1 CONCRETE SLAB ON GRADE DETAILS  
 S3.0 SCALE: NO SCALE 000000.000



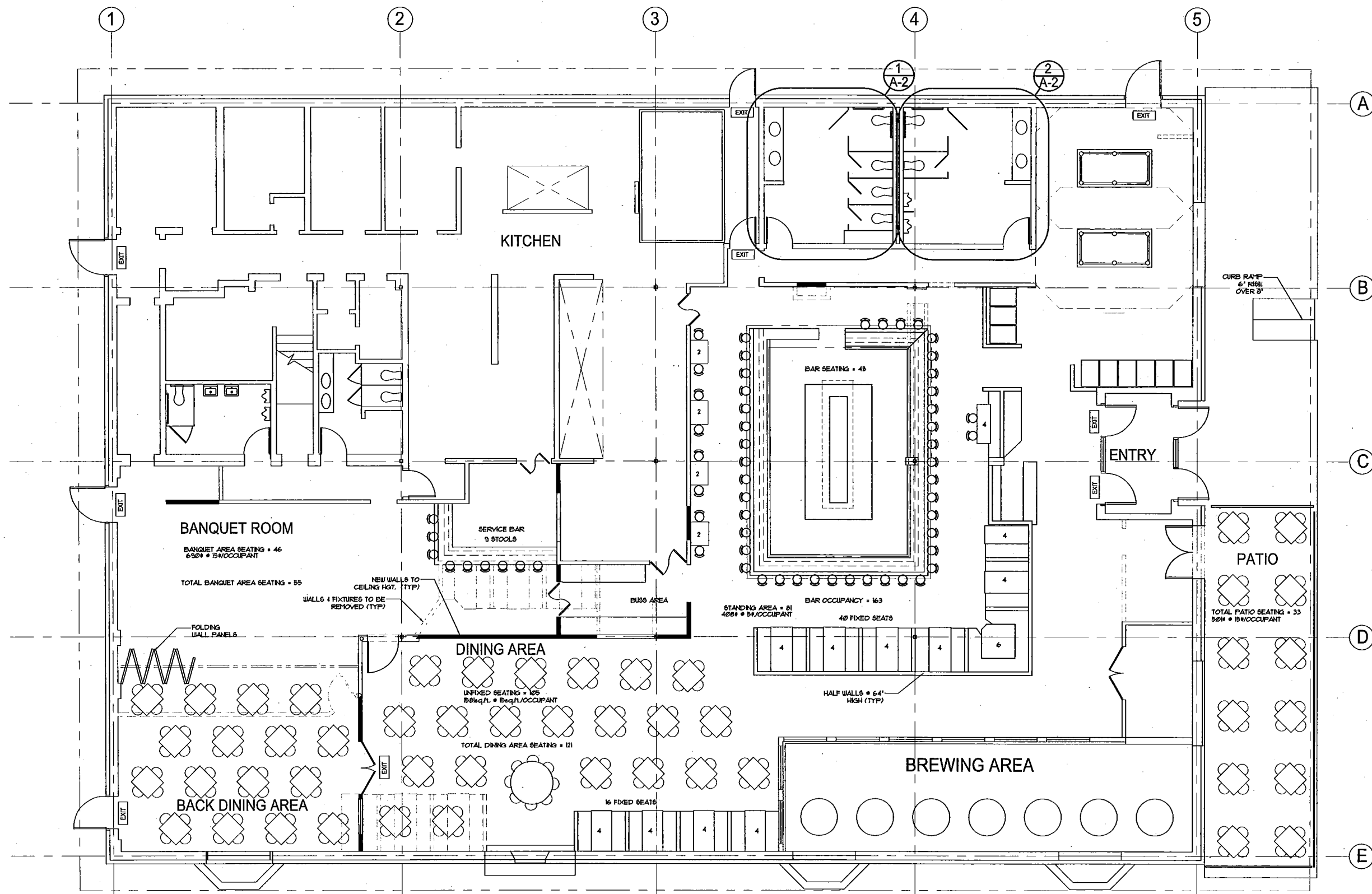
7 WALL ABUTMENT TO EXISTING BLDG  
 S3.0 SCALE: 3/4" = 1'-0" 000000.000



4 POST-IN-SLAB MOUNTING DETAIL  
 S3.0 SCALE: 1 1/2" = 1'-0" 000000.000



1 TYPICAL SECTION  
 S3.0 SCALE: NO SCALE 000000.000



**FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"

Designed by  
*Jess Vincent*

**SEVERN ENGINEERING**  
 Structural Engineering • Building Design • Contract Administration  
 5944 SEMINOLE CENTRE CT, SUITE F MADISON, WI 53711  
 PHONE (608) 270 - 0083 • FAX (608) 270 - 0084

**VINTAGE BREWERY**  
 BY: THE VINTAGE @  
 674 SOUTH WHITNEY WAY  
 MADISON • WISCONSIN

DRAFTED BY	JV
CHECKED BY	JV
DRAWING STATUS	PRELIMINARY
PROGRESS	REVIEW
FINAL	
REVISION/NO.	DATE:

DATE: JULY 18, 2014  
 PROJ NO: 2014  
 SHEET NUMBER

EXTERIOR PATIO SEATING AREA  
 VINTAGE BREWING CO.

674 S. WHITNEY WAY  
 MADISON, WI 53719

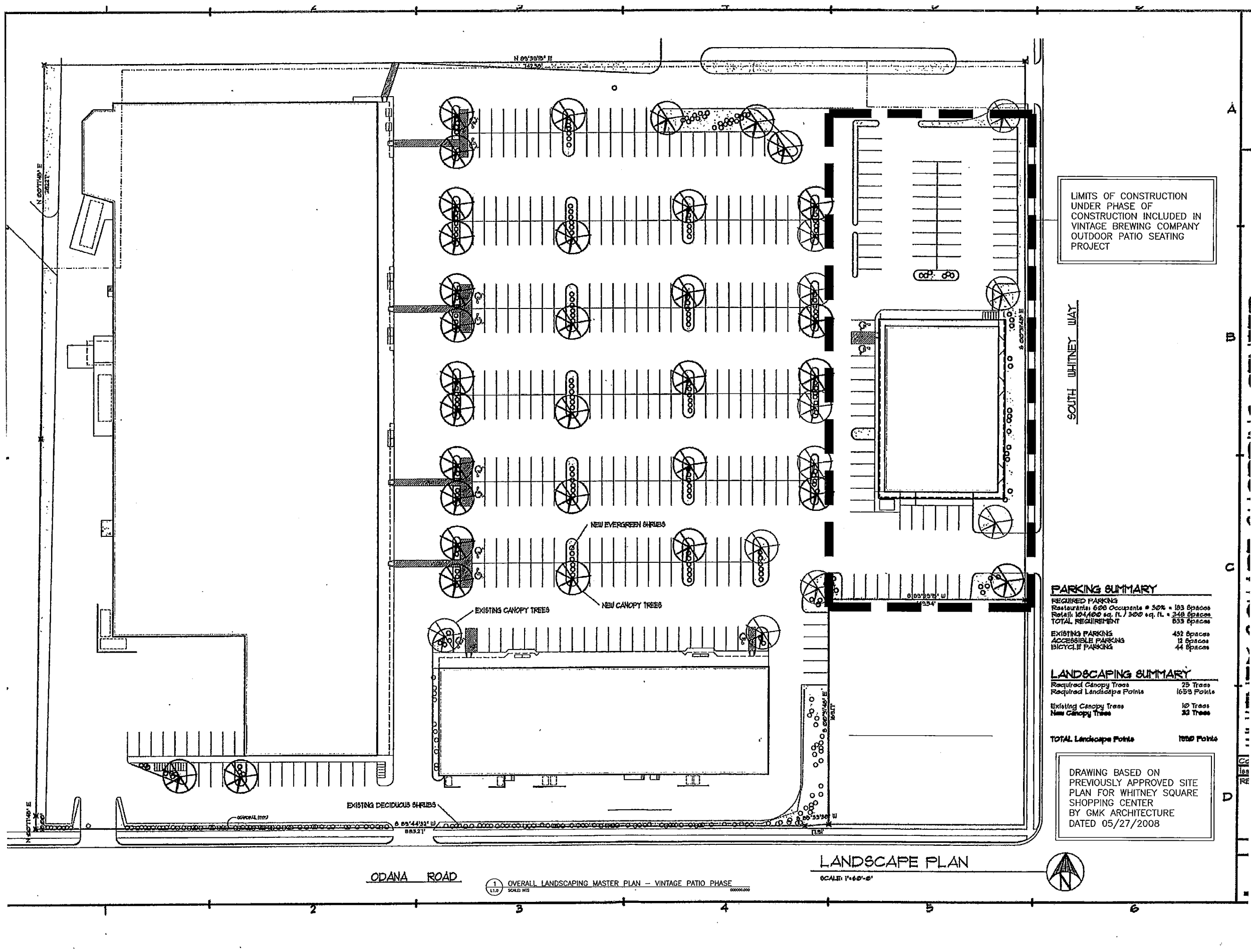
ISSUE DATES:

10/29/10 - FOR APPROVAL

Schematic Design Phase:  
 This drawing indicates the scale and relationship of the project components. This drawing is not for construction.

PROJECT #: 2007002
PLOT DATE:
SHEET NUMBER

L1.0



LIMITS OF CONSTRUCTION UNDER PHASE OF CONSTRUCTION INCLUDED IN VINTAGE BREWING COMPANY OUTDOOR PATIO SEATING PROJECT

SOUTH WHITNEY WAY

**PARKING SUMMARY**

REQUIRED PARKING	
Restaurants: 600 Occupants @ 30% = 180 Spaces	
Retail: 10,400 sq. ft. / 300 sq. ft. = 348 Spaces	
TOTAL REQUIREMENT	528 Spaces
EXISTING PARKING	432 Spaces
ACCESSIBLE PARKING	12 Spaces
BICYCLE PARKING	44 Spaces

**LANDSCAPING SUMMARY**

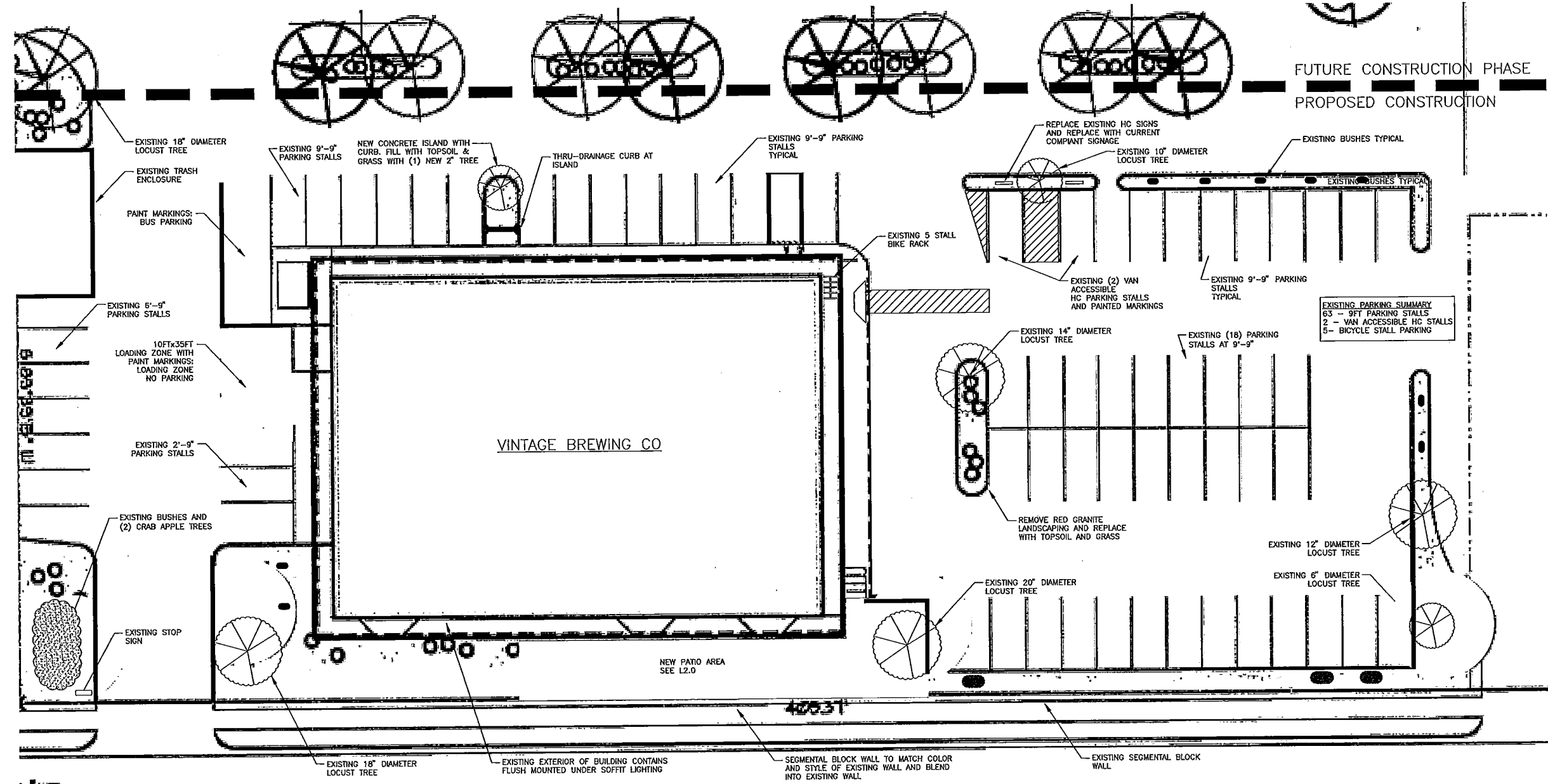
Required Canopy Trees	25 Trees
Required Landscape Points	1658 Points
Existing Canopy Trees	10 Trees
New Canopy Trees	33 Trees

TOTAL Landscape Points: 1000 Points

DRAWING BASED ON PREVIOUSLY APPROVED SITE PLAN FOR WHITNEY SQUARE SHOPPING CENTER BY GMK ARCHITECTURE DATED 05/27/2008

LANDSCAPE PLAN  
 SCALE: 1"=60'-0"

ODANA ROAD  
 1 OVERALL LANDSCAPING MASTER PLAN - VINTAGE PATIO PHASE  
 SCALE: 1"=60'-0"



FUTURE CONSTRUCTION PHASE  
 PROPOSED CONSTRUCTION

**EXISTING PARKING SUMMARY**  
 63 - 9FT PARKING STALLS  
 2 - VAN ACCESSIBLE HO STALLS  
 5 - BICYCLE STALL PARKING

1 PARTIAL SITE PLAN AT VINTAGE BREWING CO  
 SCALE: 1" = 10 FT

EXTERIOR PATIO SEATING AREA  
 VINTAGE BREWING CO.  
 674 S. WHITNEY WAY  
 MADISON, WI 53719

ISSUE DATES:
10/29/10 - FOR APPROVAL

Schematic Design Phase:  
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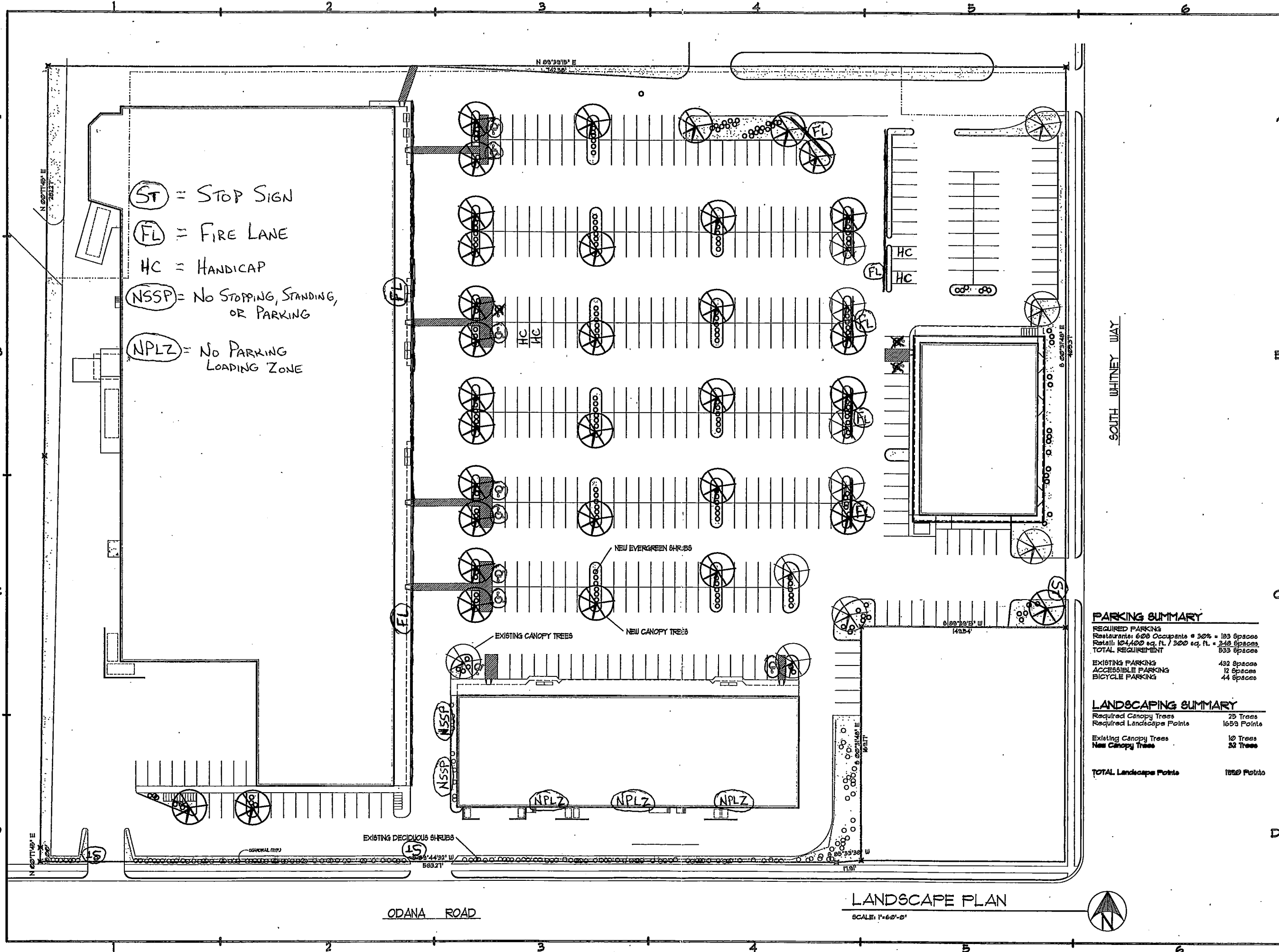
PROJECT #: 2007002
PLOT DATE:
SHEET NUMBER

L1.1

**WHITNEY SQUARE SHOPPING CENTER**  
SOUTH WHITNEY WAY  
MADISON, WISCONSIN 53711

Comm. No. 9521  
Issued For Date  
REVIEW 052108

PROPOSED



**ST** = STOP SIGN  
**FL** = FIRE LANE  
**HC** = HANDICAP  
**NSSP** = NO STOPPING, STANDING, OR PARKING  
**NPLZ** = NO PARKING LOADING ZONE

**PARKING SUMMARY**

REQUIRED PARKING	
Restaurants: 608 Occupants @ 30% = 183 Spaces	
Retail: 124,400 sq. ft. / 300 sq. ft. = 348 Spaces	
<b>TOTAL REQUIREMENT</b>	<b>533 Spaces</b>
EXISTING PARKING	432 Spaces
ACCESSIBLE PARKING	12 Spaces
BICYCLE PARKING	44 Spaces

**LANDSCAPING SUMMARY**

Required Canopy Trees	25 Trees
Required Landscapa Points	1659 Points
Existing Canopy Trees	10 Trees
New Canopy Trees	32 Trees
<b>TOTAL Landscape Points</b>	<b>1850 Points</b>

**LANDSCAPE PLAN**  
SCALE: 1"=60'-0"





PLANNING ASSOCIATES, INC.  
 8025 EXCELSIOR DRIVE  
 MADISON, WISCONSIN 53717  
 PHONE 608.836.8055

**RECEIVED**  
 JUL 1 1992

CITY ENGINEERING DEPT.  
 CITY OF MADISON

Project:  
**TOKAY PLACE**  
 Madison, Wisc.

CONDITIONAL USE  
 Only Phase I

PARKING FACILITY APPROVAL		
Address:	666 S. Whitney Way	
Contact Person:	Pat Schmitt	Phone: 836-8055
Zoning:	S.C. Common	Conditions: 6-17-92
Traffic Engineer:	Jon C. Stacy	Date: 6-19-92
City Engineer:	Pat Schmitt	Date: 7-2-92
Drainage Fee Amt:	\$731.00	Date Paid: 7-2-92

PHASE I  
 CONSTRUCTION

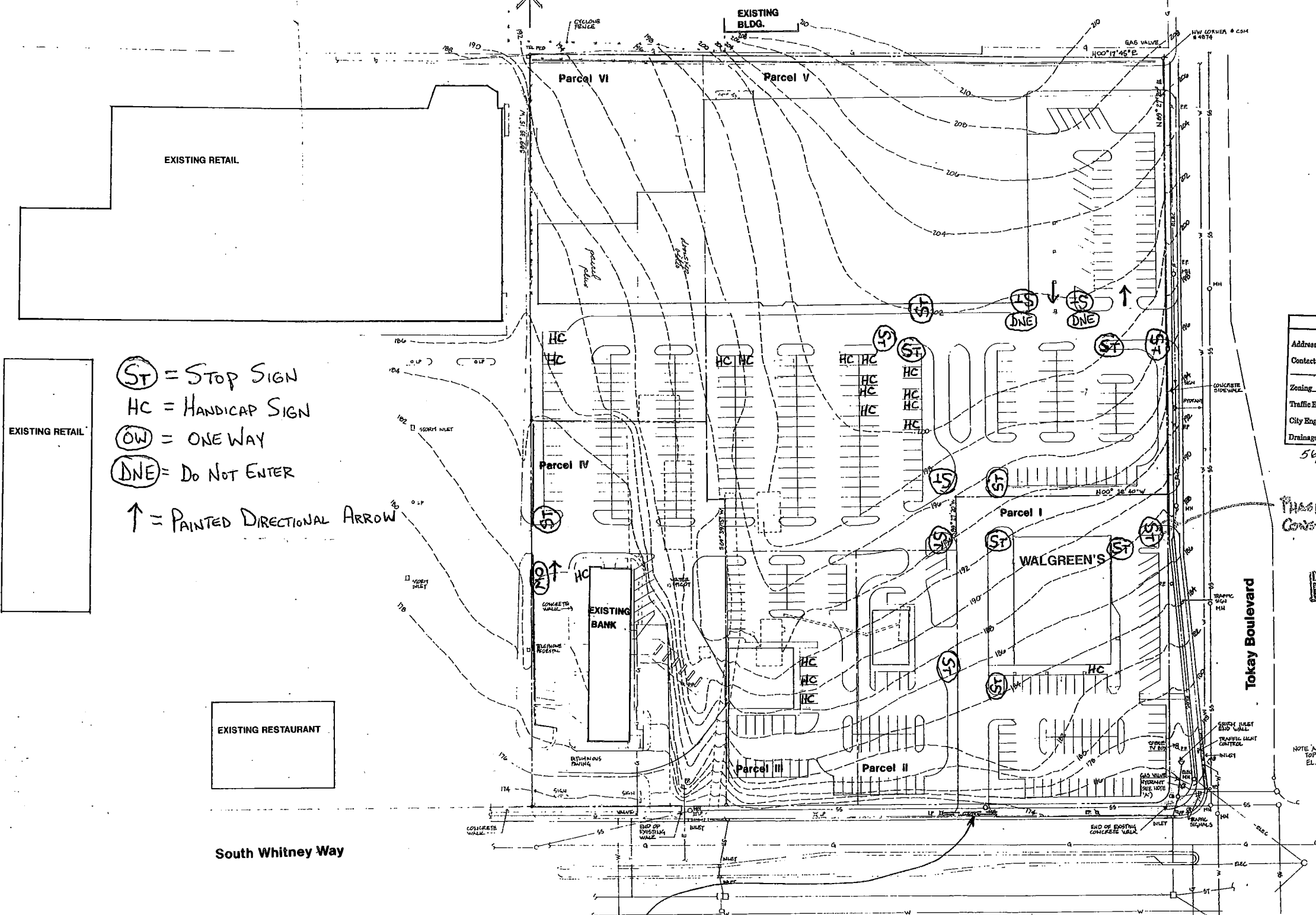
**RECEIVED**  
 JUL 1 1992

CITY ENGINEERING DEPT.  
 CITY OF MADISON

Client:  
**LIVSEY COMPANY**  
 6515 GRAND TETON PLAZA  
 MADISON, WISCONSIN

Project No.: **9122**  
 Drawn by:  
 Date: **6/10/92**  
 Revisions: 2/10/92 SUBMITTED TO  
 2/10/92 ADMINISTRATOR

Existing "WHITNEY SQUARE" Shopping Center  
 Proposed "TOKAY PLACE" Shopping Center Site



ST = STOP SIGN  
 HC = HANDICAP SIGN  
 OW = ONE WAY  
 DNE = DO NOT ENTER  
 ↑ = PAINTED DIRECTIONAL ARROW

EXISTING RETAIL

EXISTING RESTAURANT

South Whitney Way

**NOTE:**  
 EXISTING SITE INFORMATION ON THIS PLAN IS REPRODUCED FROM A SURVEY DONE BY DONDRIG KOTTKE AND ASSOCIATES 7050 WESTWARD WAY MADISON, WISC 53711 (JOB) 053-7050 AND DATED 2-6-92 (FILE NO 91-04-141) REFER TO THAT SURVEY FOR MORE DETAILED INFORMATION REGARDING INVERT ELEVATIONS, PROPERTY LINES ETC. DISCREPANCIES BETWEEN THIS SURVEY AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION BY THE GENERAL CONTRACTOR BEFORE PROCEEDING WITH WORK.

**ABBREVIATIONS**  
 CB - CATCH BASIN  
 ELEC - ELECTRICAL  
 ELE - ELEVATION  
 IE - INVERT ELEVATION  
 LP - LIGHT POLE  
 MH - MANHOLE  
 RP - POWER POLE  
 R - RIM (ELEVATION)  
 TEL PED - TELEPHONE PEDestal  
 TC - TOP OF CURB  
 WV - WATER VALVE

**SYMBOLS**  
 UTILITIES:  
 E - ELECTRIC  
 G - GAS  
 SS - SANITARY SEWER  
 ST - STORM SEWER  
 W - WATER  
 P - PROPERTY LINE

**TOPOGRAPHY:**  
 192 - EXISTING CONTOUR

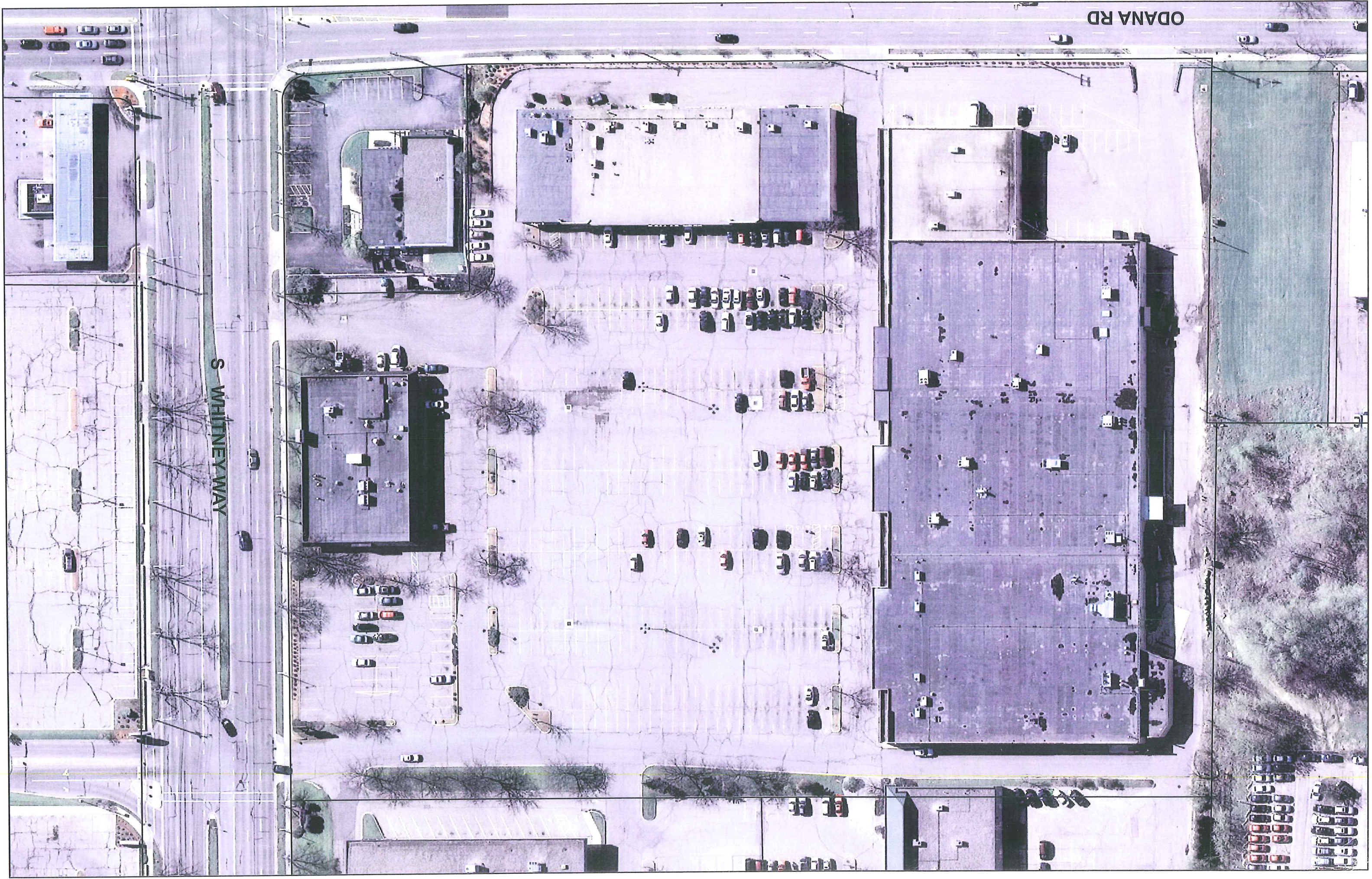
REMOVE EXISTING 2" POLYETHYLENE CONDUIT & 1 1/4" CABLE-IN-DUCT RACEWAY (SAVE EXISTING WIRING) AND REPLACE WITH 2" #1 1/4" PVC (SCH. 80) CONDUIT FROM 3' NORTH OF DRIVEWAY TO STREET LIGHT POLE



1" = 50'-0"

PARKING SPACES	QTY
- PARCELS I, II & III	141
- VALLEY BANK (PARCEL IV) (NEW PARKING)	58
- SOUTHEAST PARCEL (PARCEL VI)	35
- NORTHWEST PARCEL (PARCEL V)	207
<b>TOTAL</b>	<b>441</b>





ODANA RD

S WHITNEY WAY