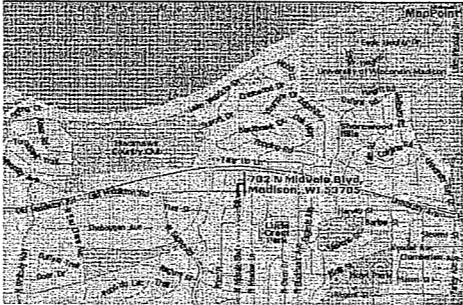


HILDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI

PUD-GDP-SIP AMENDMENT #3

LOCATION



OWNER

HILDALE LAND COMPANY, LLC
C/O JFA MANAGEMENT LLC AND
ILLINOIS LIMITED LIABILITY CO. OF
PALATINE ILLINOIS.
220 N. SMITH ST. PALATINE IL 60067
PHONE 847.215.5430

ARCHITECT

EPPSTEIN UHEN ARCHITECTS
222 WEST WASHINGTON AVE.
MADISON, WI 53703
PHONE 608.442.5350
FAX 608.442.6680

CIVIL ENGINEER

STRAND ASSOCIATES
910 WINGRA DRIVE
MADISON, WI 53715
PHONE 608.251.4843
FAX 608.251.8655

STRUCTURAL ENGINEER

ARNOLD AND O'SHERIDAN INC.
1111 DEMING WAY
MADISON, WI 53717
PHONE 608.821.8500
FAX 608.821.8501

LANDSCAPE ARCHITECT

KEN SAIKI DESIGN INC.
303 S. PATERSON SUITE ONE
MADISON, WI 53703
PHONE 608.251.3600
FAX 608.251.2330

SHEET INDEX

Sheet No.	Sheet Title	Sheet No.	Sheet Title
SC 100	GDP AMENDMENT-MASTERPLAN	EL100	SITE PHOTOMETRICS
SC200	SIP SITE PLAN- AMENDMENT 3 BOUNDARY	EL101	RAMP PHOTOMETRICS
SC202	SITE LAYOUT PLAN EAST		
SC300	SITE DETAILS	R101	PARKING LEVEL 1
SC301	SITE DETAILS	R102	PARKING LEVEL 2
SC303	BIKE PARKING REQUIREMENTS	R103	PARKING LEVEL 3
SC304	LOADING AREA DIAGRAM	R104	PARKING LEVEL 4
		R105	PARKING LEVEL 5
EX400	OVERALL PAVEMENT MARKING	R200	PARKING STRUCTURE DRAINAGE PLAN
SC400	STREET AND UTILITY DETAILS	R900	SIGN SCHEDULE AND DETAILS.
SC401	STREET AND UTILITY DETAILS		
SC402	SITE GRADING	*P100R	PLUMBING DETAILS
SC403	EROSION CONTROL	*P200N	PLUMBING UNDERFLOOR PARKING PLAN-EAST
SC404	PAVEMENT MARKING AND SIGNAGE		
SC405	UTILITIES	A101	HOTEL GROUND AND SECOND FLOOR PLANS
SC406	HILDALE WAY PLAN AND PROFILE	A102	HOTEL TERRACE LEVEL -THIRD FLOOR PLAN
SC500	FIRE ACCESS	A103	TYPICAL HOTEL FLOOR PLANS
SC501	TRUCK ACCESS		
		A201	HOTEL EXTERIOR ELEVATIONS
SL101	PLANTING PLAN EAST	A202	HOTEL EXTERIOR ELEVATIONS

HILDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI

HILDALE LAND COMPANY LLC

Sheet Title:
TITLE SHEET

Revisions:

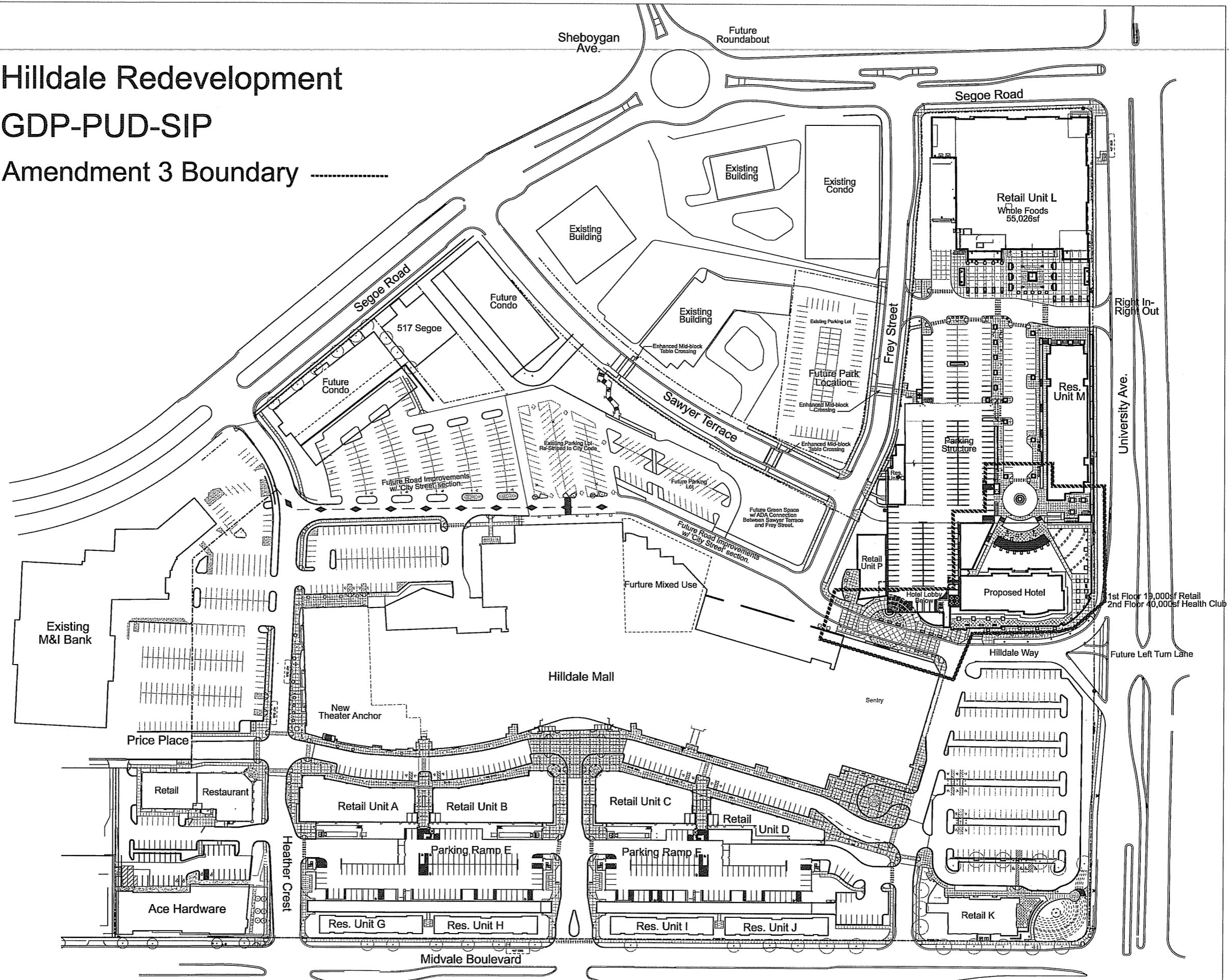
No.	Date	Description	By

Project Number: Drawn By:
Date Issued: Reviewed By:
10-17-07

Sheet Number:
TS

Date: 10/17/07

Hilldale Redevelopment GDP-PUD-SIP Amendment 3 Boundary



KEN SAIKI
DESIGN INC
LANDSCAPE ARCHITECTS
303 S. PATERSON
SUITE ONE
MADISON, WI 53703
Phone: 608 251-3600
Fax: 608 251-2530
www.ksd-la.com

HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE LAND COMPANY LLC

Sheet Title:
Master Plan
GDP Amendment

Revisions:

No.	Date	Description	By

Project Number: MS
Date Issued: 10-17-07
Reviewed By: KS

Sheet Number:
S/C 100

1st Floor 19,000sf Retail
2nd Floor 40,000sf Health Club

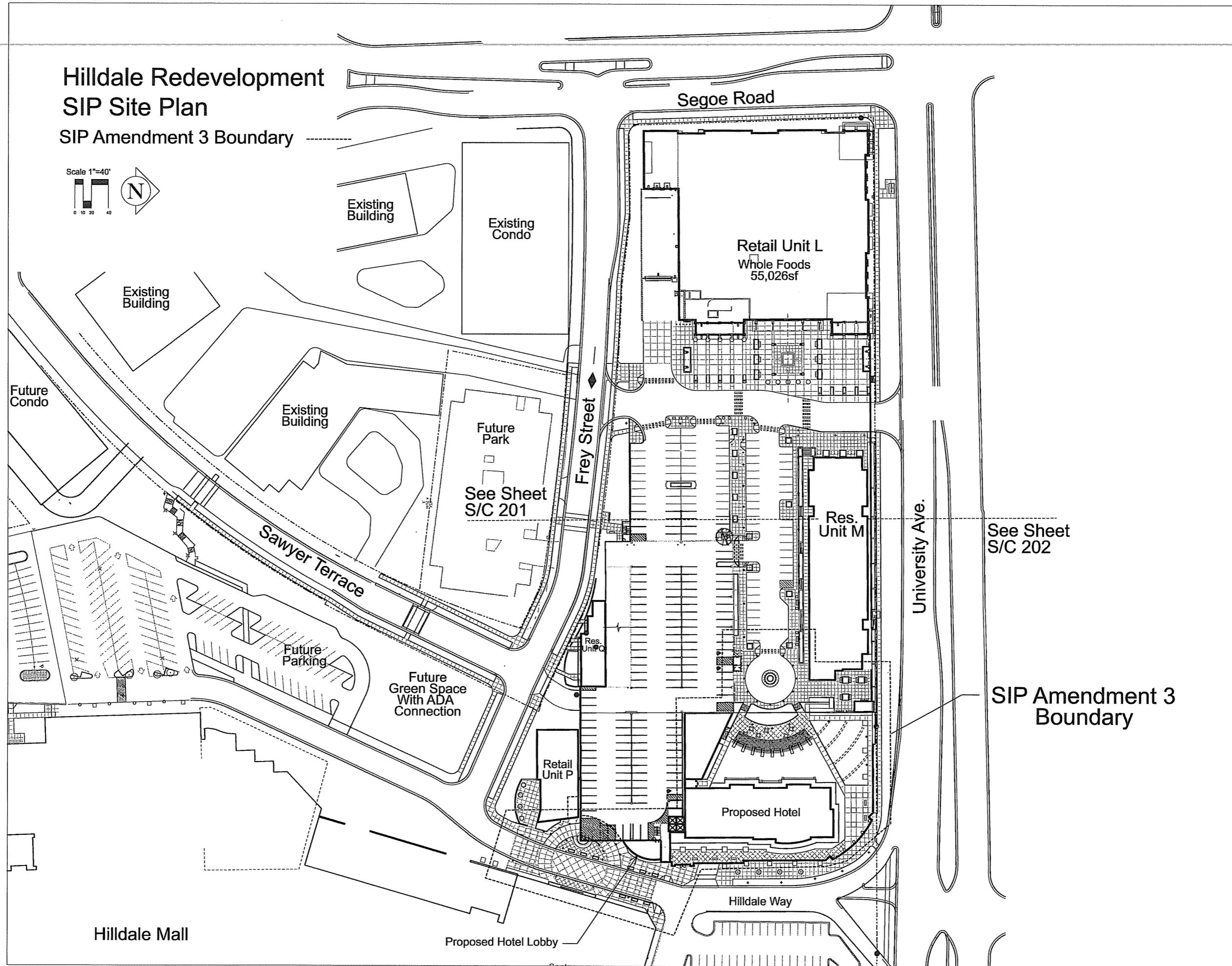
Future Left Turn Lane

Right In-Right Out

Hilldale Redevelopment SIP Site Plan

SIP Amendment 3 Boundary

Scale 1"=40'



KEN SAKI
DESIGN INC
LANDSCAPE
ARCHITECTS
303 S. PATTERSON
SUITE 201
MADISON, WI 53703
PHONE: 608-251-3600
FAX: 608-251-8330
WWW.KSD-LA.COM

HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI

HILLDALE LAND COMPANY LLC

See Sheet
S/C 202

SIP Amendment 3
Boundary

Sheet Title:
SIP SITE PLAN

Revisions:

No.	Date	Description	By

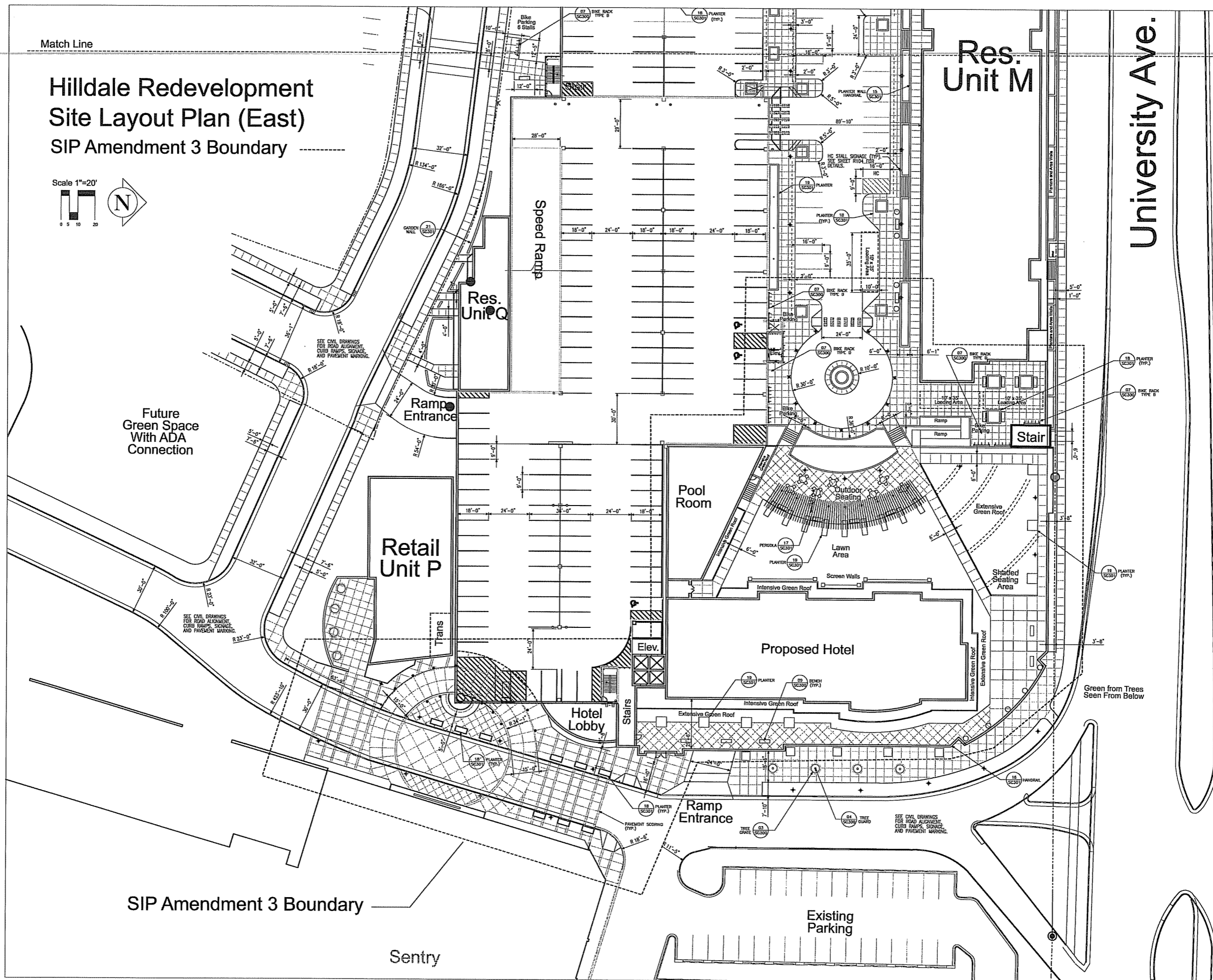
Project Number:	Drawn By:
	MS
Date Issued:	Reviewed By:
10-17-07	KS

Sheet Number:
S/C 200

Match Line

Hildale Redevelopment Site Layout Plan (East) SIP Amendment 3 Boundary

Scale 1"=20'



Future Green Space With ADA Connection

SIP Amendment 3 Boundary

Sentry

Res. Unit M

University Ave.

Res. Unit Q

Retail Unit P

Pool Room

Hotel Lobby

Proposed Hotel

Stair

Existing Parking



HILDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI

HILDALE LAND COMPANY LLC

Sheet Title:
SITE LAYOUT PLAN EAST

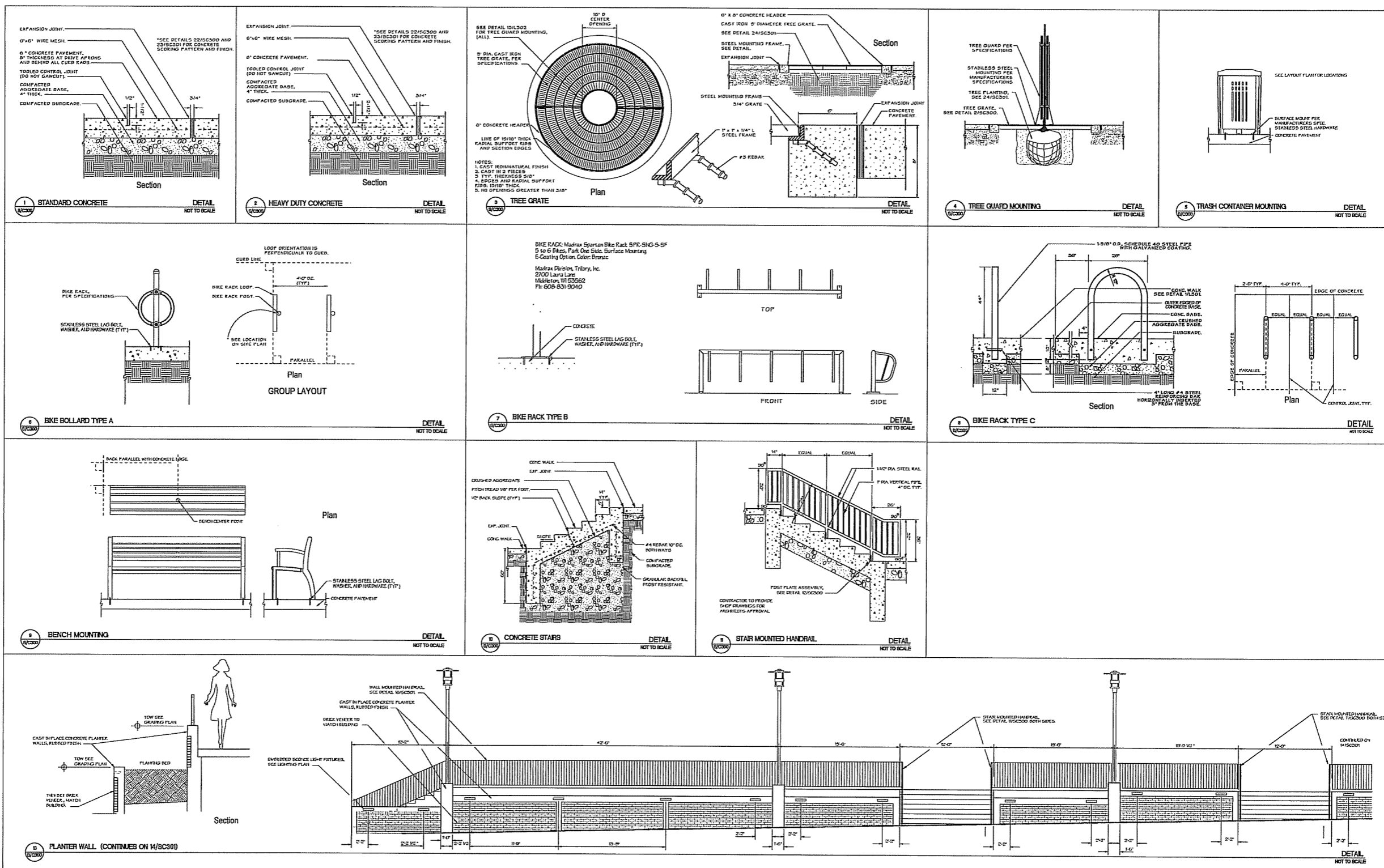
Revisions:		
No.	Date	Description

Project Number:	Drawn By:
Date Issued:	Reviewed By:
10-17-07	KS

Sheet Number:
S/C 202

Hilldale Redevelopment Site Details

KEN SAKI
DESIGN INC
LANDSCAPE
ARCHITECTS
303 S. PATTERSON
SUITE ONE
MADISON, WI 53703
PHONE: 608 251-3600
FAX: 608 251-8330
www.ksd-la.com



HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE LAND COMPANY LLC

Sheet Title:
SITE DETAILS

Revisions:

No.	Date	Description	By

Project Number: Drawn By:
 MS

Date Issued: Reviewed By:
10-17-07 KS

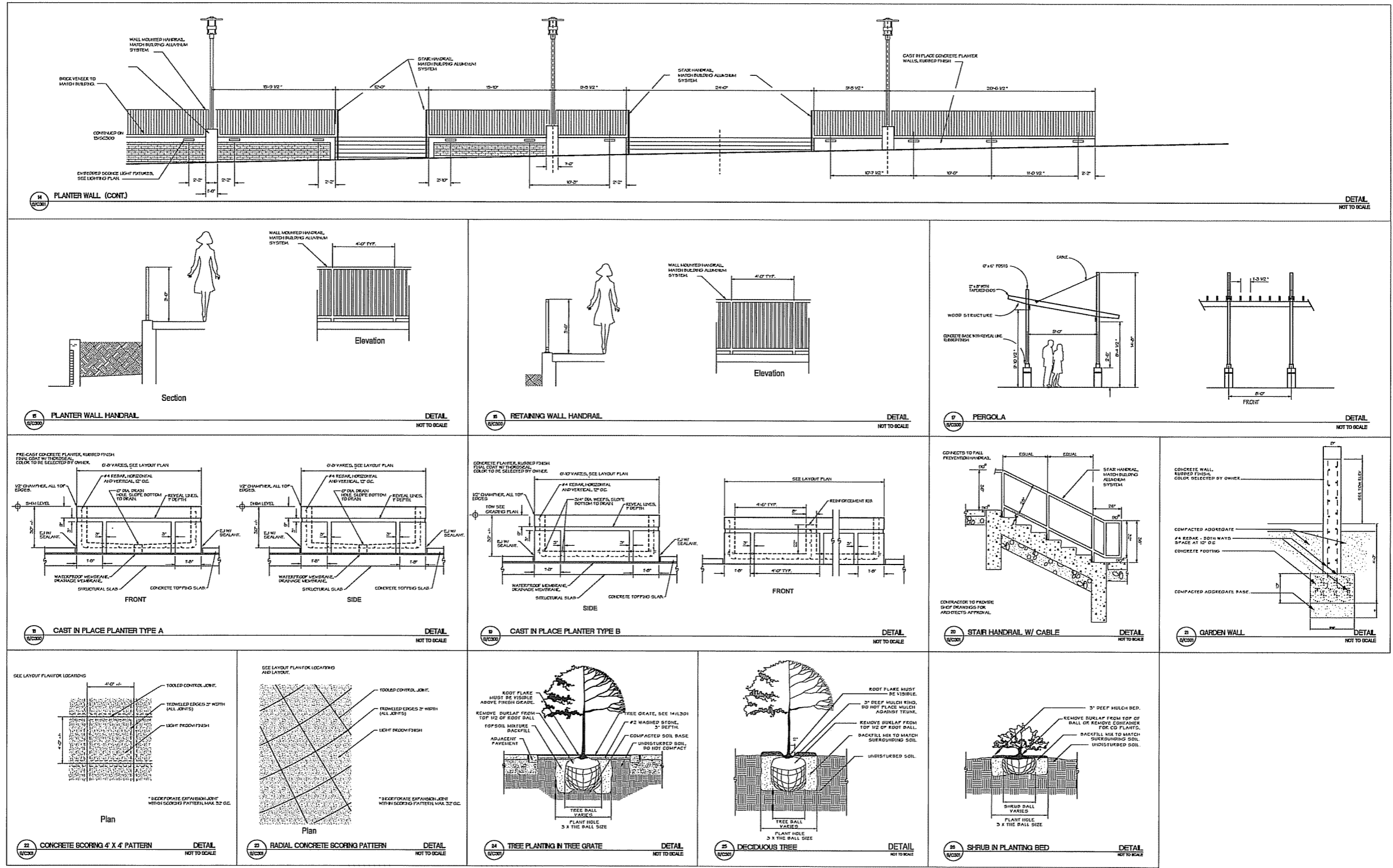
Sheet Number:
S/C 300

Hilldale Redevelopment Site Details

KEN SAKI
DESIGN INC
LANDSCAPE
ARCHITECTS
303 S. PATERSON
SUITE ONE
MADISON, WI 53703
Phone: 608 951-3690
Fax: 608 951-9330
www.ksd-ia.com

HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI

HILLDALE LAND COMPANY LLC



Sheet Title:
SITE DETAILS

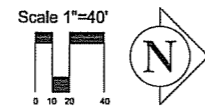
Revisions:

No.	Date	Description	By

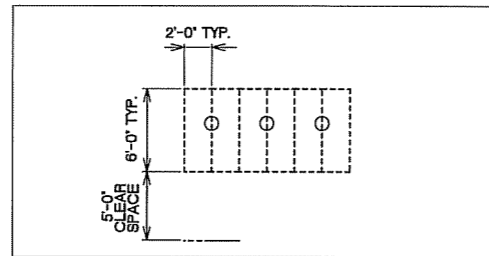
Project Number: MS
Date Issued: 10-17-07
Drawn By:
Reviewed By: KS

Sheet Number:
S/C 301

Hilldale Redevelopment SIP Site Plan Bike Parking Locations



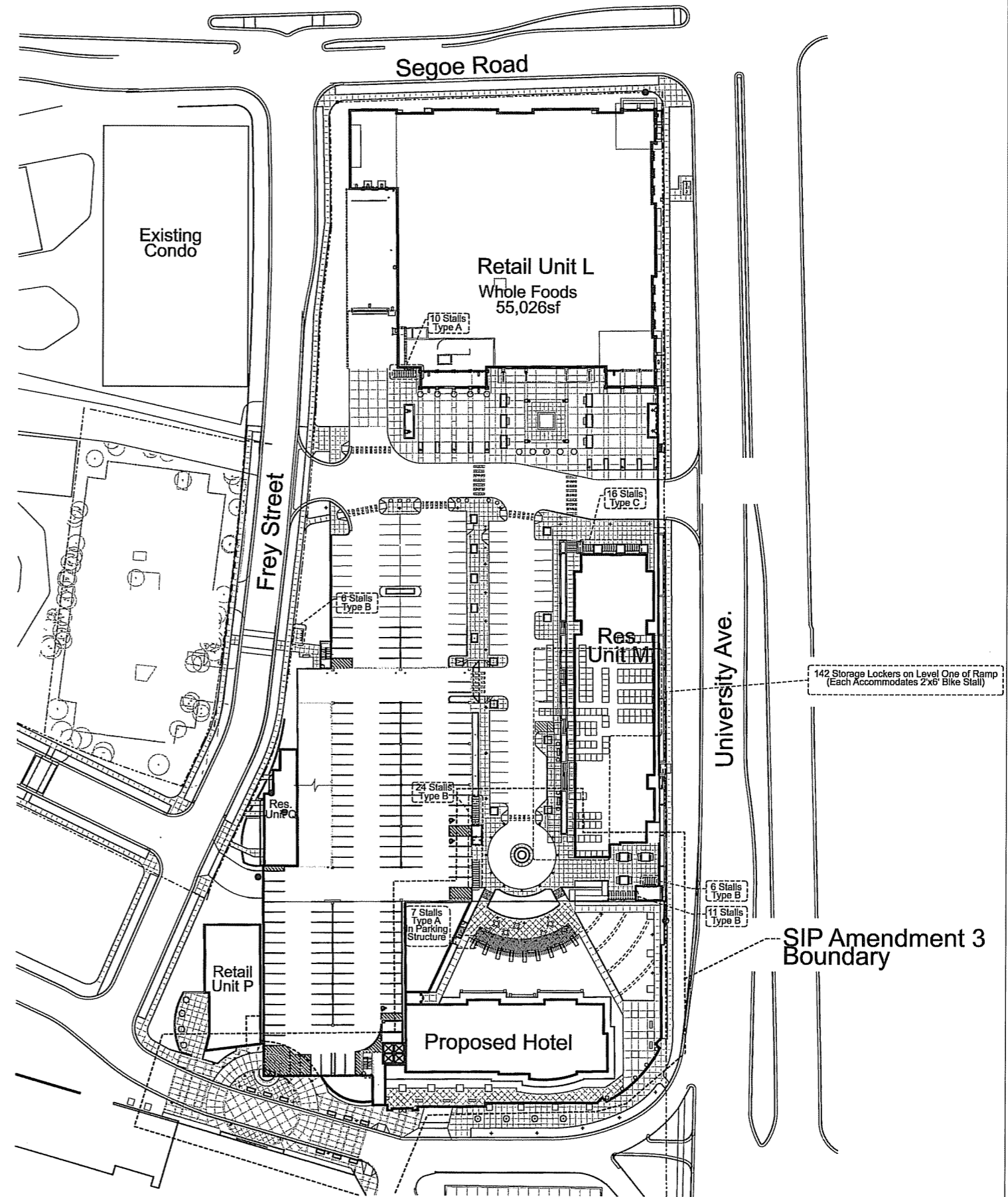
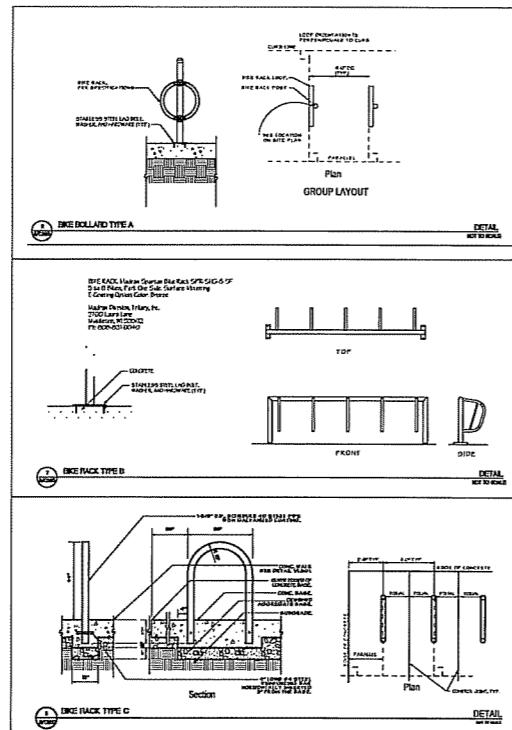
Typical Bike Stall Layout



Bike Stall Requirements

Residential City of Madison Requirements: 1 bike stall per unit.	
142 bike stalls	
Commercial City of Madison Requirements: 1 bike stall per 10 auto stalls for the first 50 bike stalls. Then .5 bike stalls per 10 auto stalls.	
50 bike stalls (1 per 10)	500 auto
30 bike stalls (.5 per 10)	590 auto
80 bike stalls total for	1,090 auto stalls

Bike Details



KEN SAIKI
DESIGN INC
LANDSCAPE
ARCHITECTS
303 S. PATERSON
SUITE 207
MADISON, WI 53703
Phone: 608.951.3600
Fax: 608.951.9330
www.ksd-la.com

HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI

HILLDALE LAND COMPANY LLC

Sheet Title:
BIKE PARKING
REQUIREMENTS

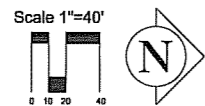
Revisions:

No.	Date	Description	By

Project Number:	Drawn By:
Date Issued:	Reviewed By:
10-17-07	KS

Sheet Number:
S/C 303

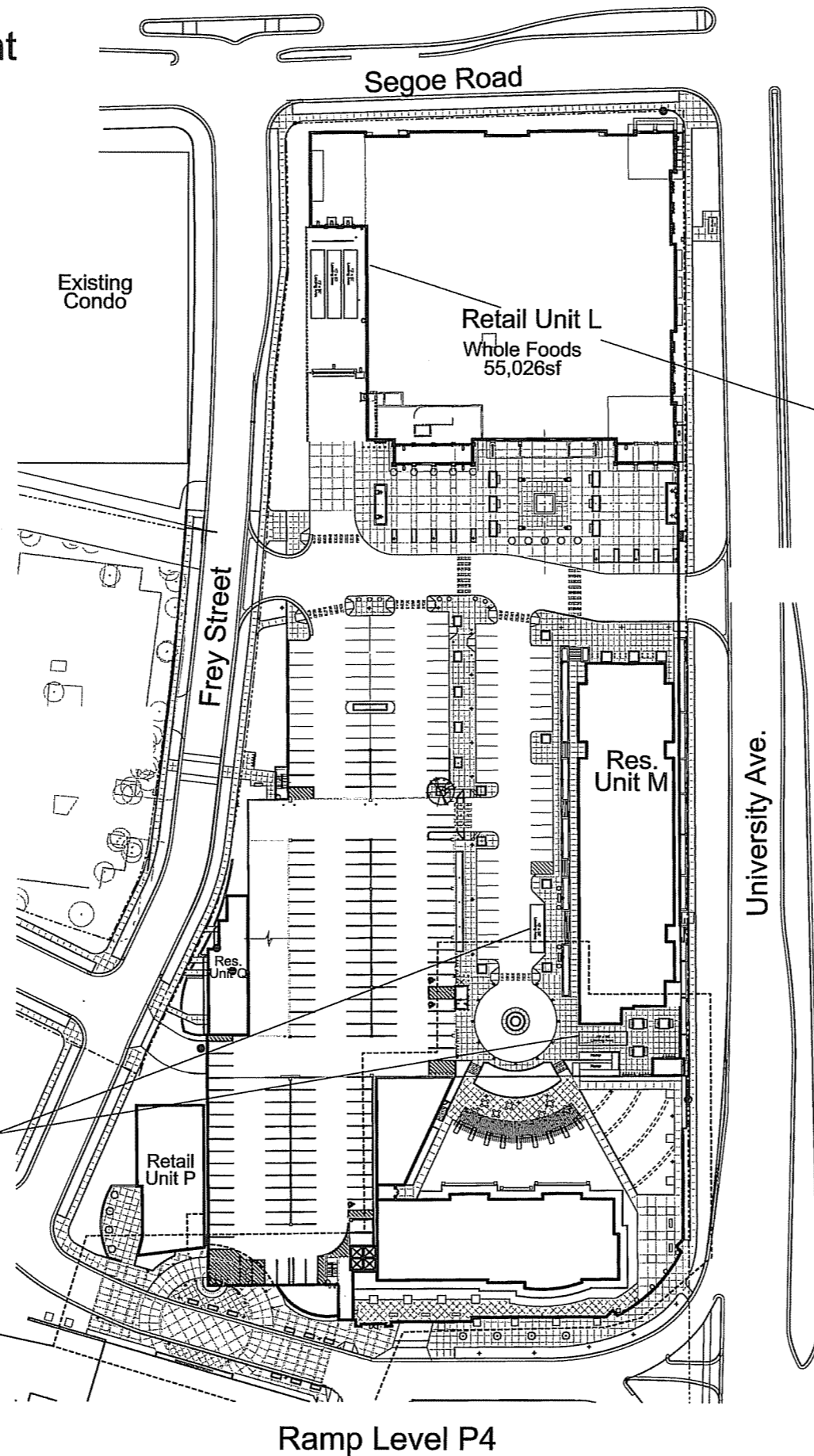
Hilldale Redevelopment SIP Site Plan Loading Areas



City of Madison Loading Area Requirements	
Loading Areas	Building
(3) 10' x 50'	Whole Foods
(1) 10' x 35'	Health Club
(1) 10' x 35'	Restaurant
(2) 10' x 35'	Retail
(4) 10' x 35'	310,600sf of Residential
(8) 10' x 35'	Total Requirements
(3) 10' x 50'	

(2) 10' x 35' Loading Areas

SIP Amendment 3
Boundary

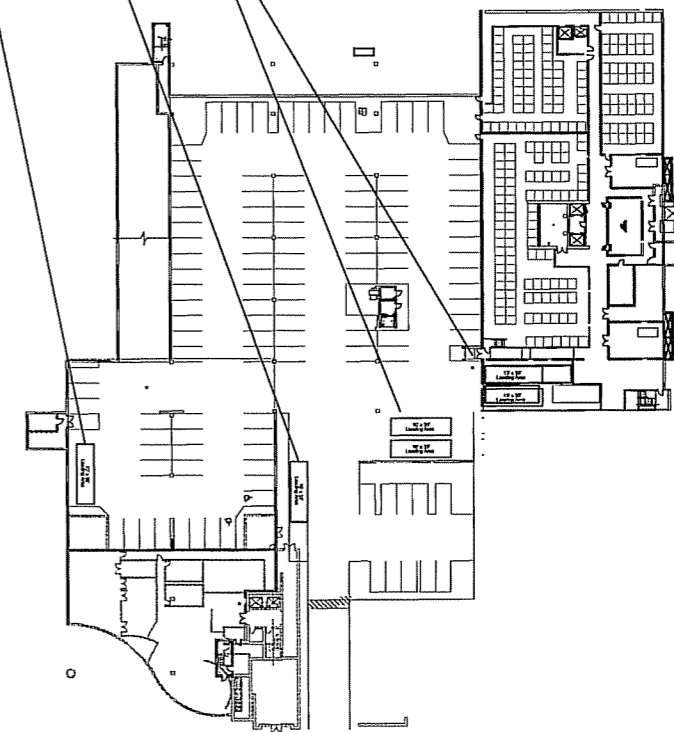


(3) 10' x 50' Loading Areas

(1) 10' x 35' Loading Areas

(1) 10' x 35' Loading Area

(4) 10' x 35' Loading Areas



Ramp Level P1

Revisions:

No.	Date	Description	By

Project Number:	Drawn By:
Date Issued:	Reviewed By:
10-17-07	KS

SIGN LEGEND

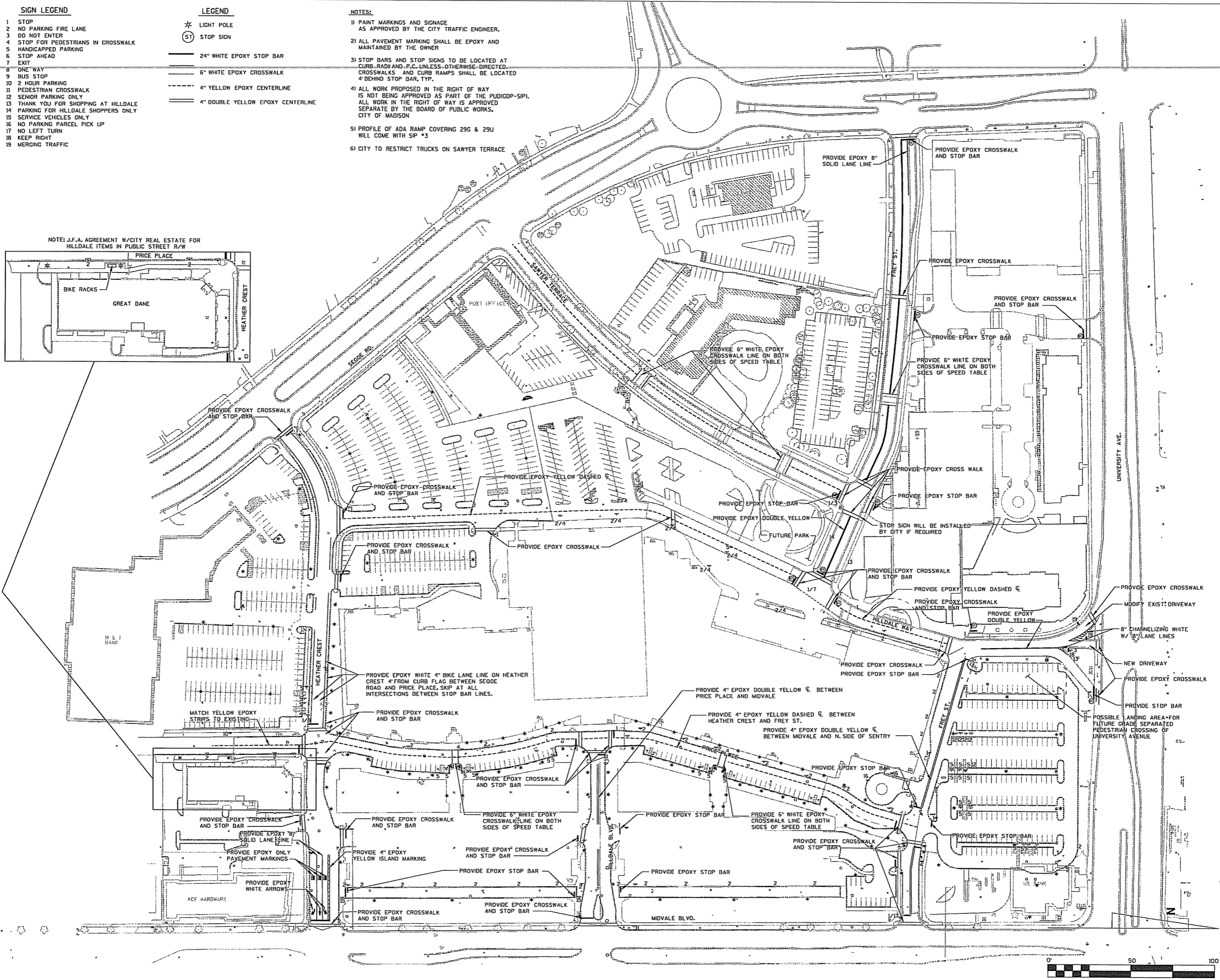
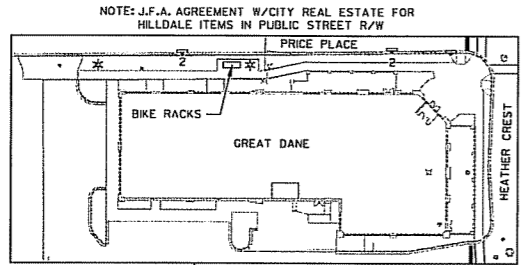
- 1 STOP
- 2 NO PARKING FIRE LANE
- 3 DO NOT ENTER
- 4 STOP FOR PEDESTRIANS IN CROSSWALK
- 5 HANDICAPPED PARKING
- 6 STOP AHEAD
- 7 EXIT
- 8 ONE WAY
- 9 BUS STOP
- 10 2 HOUR PARKING
- 11 PEDESTRIAN CROSSWALK
- 12 SENIOR PARKING ONLY
- 13 THANK YOU FOR SHOPPING AT HILDALE
- 14 PARKING FOR HILDALE SHOPPERS ONLY
- 15 SERVICE VEHICLES ONLY
- 16 NO PARKING PARCEL PICK UP
- 17 NO LEFT TURN
- 18 KEEP RIGHT
- 19 MERGING TRAFFIC

LEGEND

- * LIGHT POLE
- (ST) STOP SIGN
- 24" WHITE EPOXY STOP BAR
- 6" WHITE EPOXY CROSSWALK
- 4" YELLOW EPOXY CENTERLINE
- 4" DOUBLE YELLOW EPOXY CENTERLINE

NOTES:

- 1) PAINT MARKINGS AND SIGNAGE AS APPROVED BY THE CITY TRAFFIC ENGINEER.
- 2) ALL PAVEMENT MARKING SHALL BE EPOXY AND MAINTAINED BY THE OWNER
- 3) STOP BARS AND STOP SIGNS TO BE LOCATED AT CURB RADI AND P.C. UNLESS OTHERWISE DIRECTED. CROSSWALKS AND CURB RAMPS SHALL BE LOCATED 4' BEHIND STOP BAR, TYP.
- 4) ALL WORK PROPOSED IN THE RIGHT OF WAY IS NOT BEING APPROVED AS PART OF THE PUDIGDP-SIP1. ALL WORK IN THE RIGHT OF WAY IS APPROVED SEPARATE BY THE BOARD OF PUBLIC WORKS, CITY OF MADISON
- 5) PROFILE OF ADA RAMP COVERING 29G & 29U WILL COME WITH SIP #3
- 6) CITY TO RESTRICT TRUCKS ON SAWYER TERRACE



910 West Wingra Drive
Madison, WI 53715
608 251-4843
608 251-8655 FAX
www.strand.com

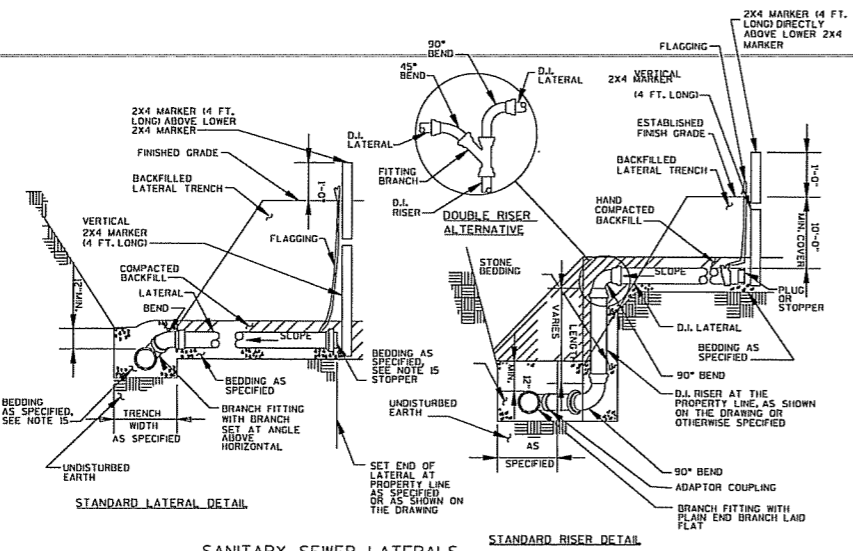
HILDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI
HILDALE LAND COMPANY LLC

Sheet Title:
OVERALL PAVEMENT MARKING

Revisions	No.	Date	Description	By

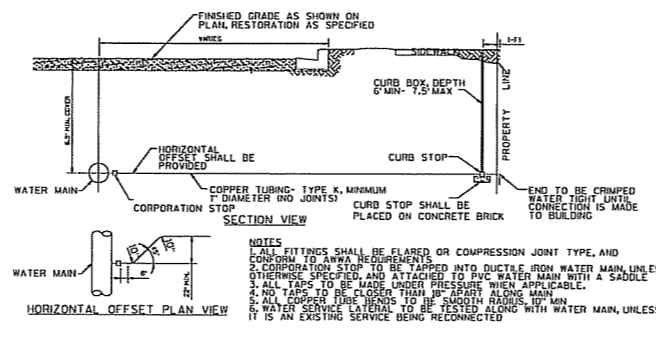
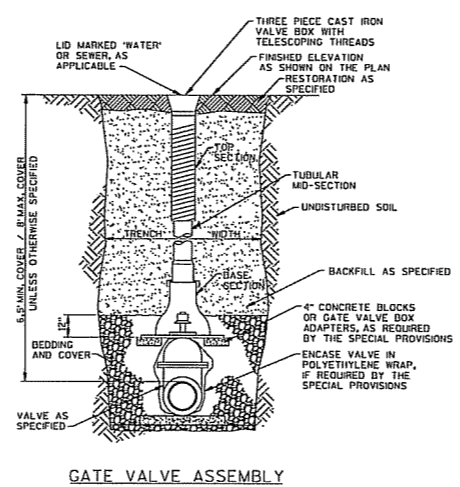
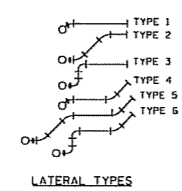
Project Number:	Drawn By:
Date Issued:	Reviewed By:
10/17/07	

Sheet Number:
EX 400



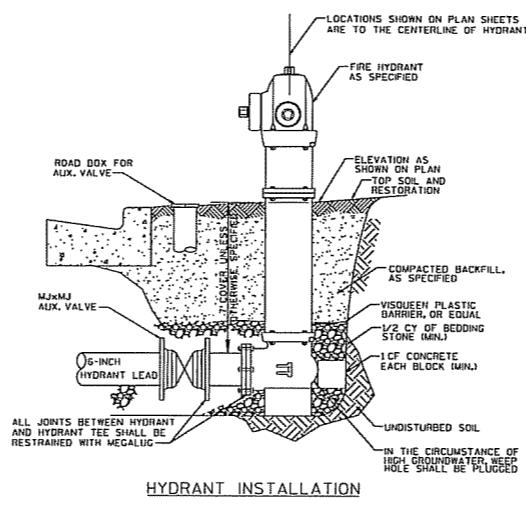
- NOTES:**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF REGULATORY BODIES OF THE STATE AND APPLICABLE MUNICIPAL ORDINANCES.
 2. DETAILS RELATIVE TO ITEMS SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
 3. VARIATIONS IN DIMENSIONS AND DESIGN MAY BE PERMISSIBLE, PROVIDING EQUIVALENT CAPACITY AND STRENGTH ARE ATTAINED.
 4. ALL NEW CONSTRUCTION SHALL BE PLACED ON UNDISTURBED EARTH OR STONE BEDDING.
 5. BEDDING CLASSES "B" AND "C" SHALL MEET OR EXCEED ASTM C12 REQUIREMENTS.
 6. ALL LATERALS SHALL BE LAID AT A STANDARD SLOPE OF 1/4-INCH PER FOOT UNLESS OTHERWISE NOTED ON THE DRAWINGS, OR SPECIFIED. IN NO CASE SHALL LATERAL SLOPE BE LESS THAN 1/8-INCH PER FOOT. MAXIMUM LATERAL SLOPE SHALL BE 1 TO 1.
 7. END PLUGS OR STOPPERS FOR THE ENDS OF LATERALS AND BRANCH FITTINGS SHALL BE PROVIDED.
 8. 2x4'S SHALL BE PLACED AT ALL LATERALS ENDS SO THAT ONE PROTRUDES 12 INCHES ABOVE FINISHED GRADE AND ONE IS LOCATED IN THE GROUND AT THE END OF THE LATERAL. 2x4'S SHALL BE PAINTED FLOURESCENT ORANGE. 2x4'S SHALL EACH BE AT LEAST 4 FT. LONG.
 9. BAR STEEL REINFORCEMENT SHALL BE EMBEDDED 1 1/2-INCH CLEAR MINIMUM.
 10. THE TOP OF ANY MANHOLE STRUCTURE SHALL BE LEFT SUFFICIENTLY LOW TO PERMIT PROPER ADJUSTMENT OF COVER TO GRADE.

11. INSTALL DOUBLE RISERS WHERE SHOWN ON THE DRAWINGS OR SPECIFIED.
12. STANDARD LATERALS AND MODIFIED LATERALS SHALL BE CONSTRUCTED OF MATERIAL AS SPECIFIED.
13. RISERS AND LATERALS FROM RISERS SHALL BE CONSTRUCTED OF DUCTILE IRON, FITTINGS FOR RISERS AND LATERALS FROM RISERS SHALL BE GRAY IRON OR DUCTILE IRON.
14. FLAGGING SHALL BE 4-INCH WIDE STANDARD GRADE VINYL TAPE. THE FLAGGING AROUND END OF ALL LATERALS AND EXTEND UNBROKEN TO FINISHED GRADE DIRECTLY ABOVE ENDS OF LATERALS.
15. STONE BEDDING SHALL BE USED AROUND AND TO ONE FT. ABOVE TOP OF ALL SEWER MAINS AT LATERAL CONNECTIONS, PROVIDE BEDDING AS SPECIFIED ELSEWHERE.

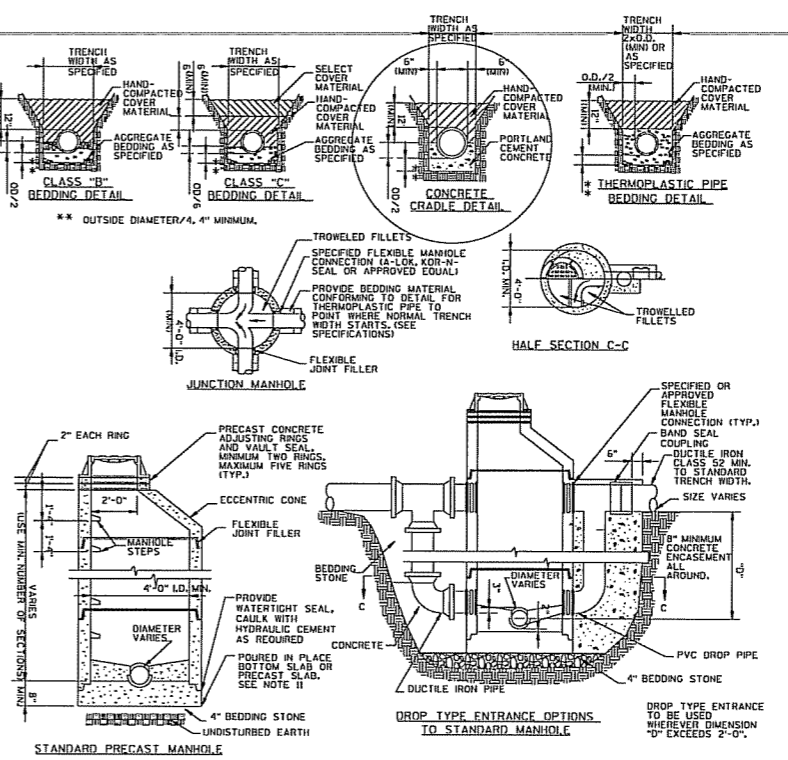


RESIDENTIAL WATER SERVICE

- NOTES:**
1. DETAILS RELATIVE TO ITEMS SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS.
 2. VARIATIONS IN DIMENSIONS AND DESIGN MAY BE PERMISSIBLE, PROVIDING EQUIVALENT CAPACITY AND STRENGTH ARE ATTAINED.
 3. WHEN ANY STRUCTURE IS CONSTRUCTED OF CONCRETE, CONCRETE BLOCK OR REINFORCED CONCRETE CURVE PIPE, THE TOP OF THE MASONRY SHALL BE LEFT SUFFICIENTLY LOW TO PERMIT PROPER ADJUSTMENT OF COVER TO GRADE.
 4. REINFORCED PRECAST FLAT SLAB SHALL BE USED IN LIEU OF PRECAST ECCENTRIC CONE WHEN SHOWN ON THE DRAWINGS AND SHALL BE DESIGNED FOR H-20 TRUCK LOADING.
 5. PRECAST REINFORCED CONCRETE MANHOLE RISERS AND TOPS SHALL CONFORM TO ASTM C-478. JOINTS BETWEEN MANHOLE SECTIONS SHALL BE SEALED WITH RAM NEK OR OTHER WATER TIGHT SEALING MATERIAL. JOINTS SHALL BE FILLED WITH MORTAR, AND BOTH MADE WATER TIGHT.
 6. STEPS SHALL BE INSTALLED IN ALL MANHOLES.
 7. AT ALL BENDS IN SEWER, A SMOOTH RADIUS FLOW LINE SHALL BE PROVIDED IN MANHOLES. ALL CONCRETE FILLETS SHALL BE HAND TROWELED.
 8. INSIDE DIMENSIONS FOR MANHOLES: USE MINIMUM 4" DIAMETER FOR SEWER 18" OR LESS THAN 18" IN DIAMETER; USE MINIMUM 5" DIAMETER FOR SEWER 18" THRU 24" IN DIAMETER; USE MINIMUM 6" DIAMETER OR MINIMUM 6" SQUARE FOR SEWER OVER 24" IN DIAMETER.
 9. ARRANGEMENT AND NUMBER OF INLETS AND DISCHARGE PIPES SHALL CONFORM TO THE NEEDS OF THE PERTINENT LOCALITY.
 10. PROVIDE MINIMUM 2'-0" COVER FOR ALL INLET LEAD PIPE.
 11. ALL INLETS SHALL BE DEPRESSED AS SHOWN.
 12. INLET DEPTH AND GRADE OF INLET LEAD PIPE VARY ACCORDING TO DEPTH OF TRUNK SEWER. MINIMUM INLET DEPTH BELOW TOP OF CURB SHALL BE 4'-0".
 13. ALL INLETS TO BE PROVIDED WITH KRISTAR ENTERPRISES, INC. FLO-GRID PLUS CATCH BASIN FLO-INSERT



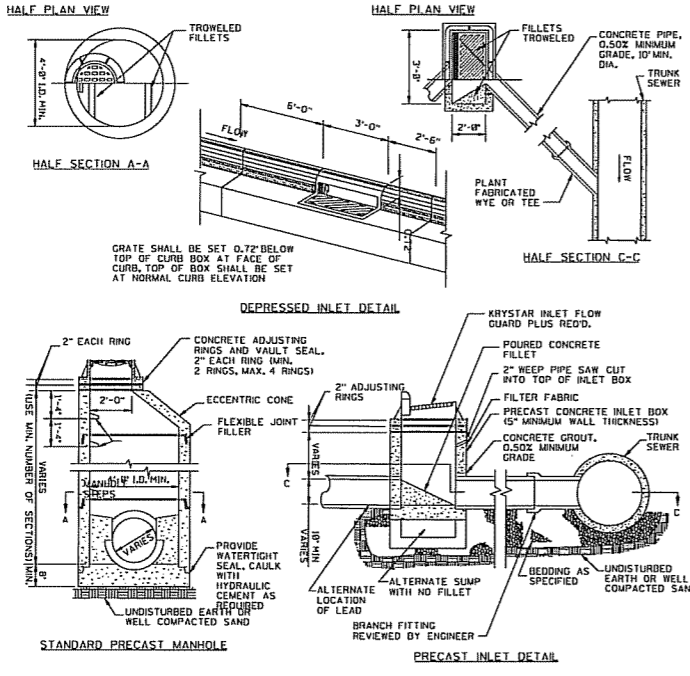
HYDRANT INSTALLATION



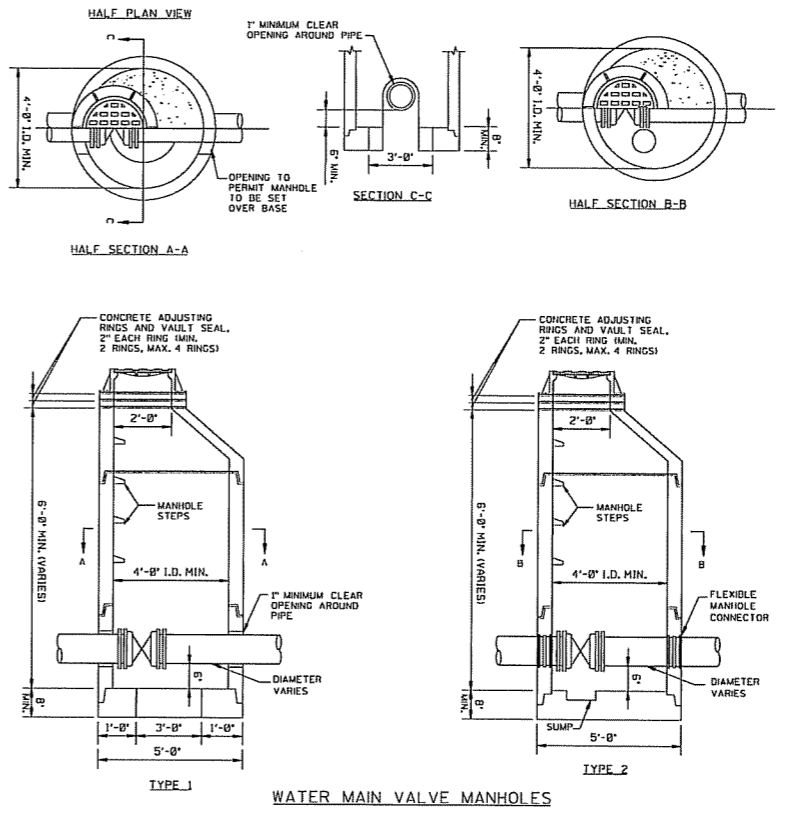
SANITARY SEWER APPURTENANCES

- NOTES:**
1. DETAILS RELATIVE TO ITEMS SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
 2. VARIATIONS IN DIMENSIONS AND DESIGN MAY BE PERMISSIBLE, PROVIDING EQUIVALENT CAPACITY AND STRENGTH ARE ATTAINED.
 3. ALL CONCRETE FILLETS SHALL BE HAND TROWELED WITH A 1/4" FT. SLOPE.
 4. INSIDE DIMENSIONS FOR MANHOLES: USE MINIMUM 4" DIAMETER FOR SEWER LESS THAN 18" IN DIAMETER; USE MINIMUM 5" DIAMETER FOR SEWER 18" THRU 24" IN DIAMETER; USE MINIMUM 6" DIAMETER OR MINIMUM 6" SQUARE FOR SEWER OVER 24" IN DIAMETER.
 5. BEDDING CLASSES "B" AND "C" SHALL MEET OR EXCEED ASTM C12 REQUIREMENTS.
 6. DROP TYPE ENTRANCE TO STANDARD MANHOLE WILL BE PAID FOR SEPARATELY IF SO LISTED IN THE BID.
 7. SEE DRAWINGS FOR DROP TYPE ENTRANCES FOR SANITARY SEWERS LARGER THAN 18".
 8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF REGULATORY BODIES OF THE STATE AND APPLICABLE MUNICIPAL ORDINANCES.
 9. ALL NEW CONSTRUCTION SHALL BE PLACED ON UNDISTURBED EARTH OR STONE BEDDING.
 10. FLAT SLAB TOPS SHALL BE DESIGNED FOR H-20 TRUCK LOADING AND SHALL MEET REQUIREMENTS OF ASTM C-478.
 11. BASE SLABS SHALL BE REINFORCED AS FOLLOWS: REINFORCING SHALL BE PLACED IN EACH DIRECTION AT 2" CLEAR FROM TOP SURFACE OF SLAB. REINFORCING SHALL BE GRADE 60. USE OF CAST-IN-PLACE SLAB SHALL NOT RELIEVE CONTRACTOR OF REQUIREMENTS TO PROVIDE WATER TIGHT JOINTS.
 12. FLAT SLABS SHALL BE PROVIDED IN SHALLOW DEPTH SITUATIONS IN LIEU OF ECCENTRIC CONES.

INSIDE DIA.	DEPTH	REIN.
4"	2'-0"	#3@8"
5"	2'-0"	#3@8"
6"	2'-0"	#4@10"
6"	2'-0"	#4@8"
6"	2'-0"	#4@6"



STORM SEWER APPURTENANCES



WATER MAIN VALVE MANHOLES

- NOTES:**
1. TYPE 1 OR 2 MANHOLE SHALL BE INSTALLED AS SHOWN ON THE DRAWINGS. TYPE 2 MANHOLE SHALL BE MADE WATER TIGHT AND SHALL BE USED WHEN NORMAL GROUND WATER LINE IS ABOVE BOTTOM SLAB.
 2. VARIATION IN DIMENSIONS AND DESIGN MAY BE PERMISSIBLE, PROVIDING EQUIVALENT CAPACITY AND STRENGTH ARE ATTAINED.
 3. WHEN ANY STRUCTURE IS CONSTRUCTED OF CONCRETE, CONCRETE BLOCK, OR REINFORCED CONCRETE CURVE PIPE, THE TOP OF THE MASONRY SHALL BE LEFT SUFFICIENTLY LOW TO PERMIT PROPER ADJUSTMENT OF COVER TO GRADE BY THE USE OF MORTAR.
 4. CONCRETE BLOCK MANHOLES REVIEWED BY THE ENGINEER WILL BE PERMITTED AS AN ALTERNATE. BACK PLASTER OUTSIDE OF ALL CONCRETE BLOCK, CONCRETE BLOCK MANHOLE WALLS SHALL BE 2 BLOCKS THICK BELOW DEPTHS OF 10 FEET.
 5. REINFORCED PRECAST FLAT SLAB SHALL BE USED IN LIEU OF PRECAST ECCENTRIC CONE AS SHOWN ON THE DRAWINGS AND NEEDED TO INSTALL EQUIPMENT OR VALVES.
 6. PRECAST REINFORCED CONCRETE MANHOLE RISERS AND TOPS SHALL CONFORM TO ASTM C-478. JOINTS BETWEEN SECTIONS SHALL BE SEALED WATER TIGHT WITH KENT SEAL, RAM NEK OR EQUAL.
 7. STEPS SHALL BE INSTALLED IN ALL MANHOLES. MANHOLE STEPS SHALL BE NEENAH TYPE R-150A, MA INDUSTRIES NO. PS-4, OR EQUAL, 1'-4" O.C.
 8. MANHOLE COVER SHALL BE NEENAH TYPE R-155D, OR EQUAL, WITH TYPE B NON-ROCKING LID.
 9. TYPE 1 MANHOLE SHALL BE FILLED WITH CLEAN BEDDING UP TO THE BOTTOM OF THE PIPE.
 10. DETAILS RELATIVE TO ITEMS SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS.
 11. FLAT SLAB TOPS SHALL BE DESIGNED FOR H-20 TRUCK LOADING AND SHALL MEET REQUIREMENTS OF ASTM C-478.
 12. BASE SLABS SHALL BE REINFORCED AS FOLLOWS: REINFORCING SHALL BE PLACED IN EACH DIRECTION AT 2" CLEAR FROM TOP SURFACE OF SLAB. REINFORCING SHALL BE GRADE 60. USE OF CAST-IN-PLACE SLAB SHALL NOT RELIEVE CONTRACTOR OF REQUIREMENTS TO PROVIDE WATER TIGHT JOINTS.

STRAND ASSOCIATES, INC. ENGINEERS

910 West Wingra Drive
Madison, WI 53715
608 251-4843
608 251-8655 FAX
www.strand.com

HILDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI

HILDALE LAND COMPANY LLC

Sheet Title: **STREET AND UTILITY DETAILS**

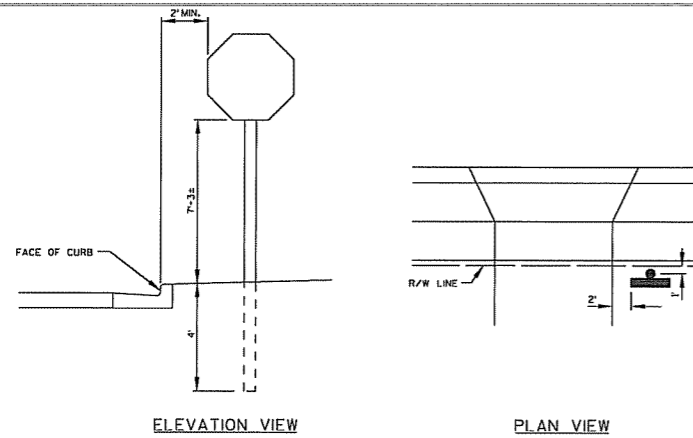
Revisions:

No.	Date	Description	By

Project Number: **x 10/17/07**

Date Issued: **x**

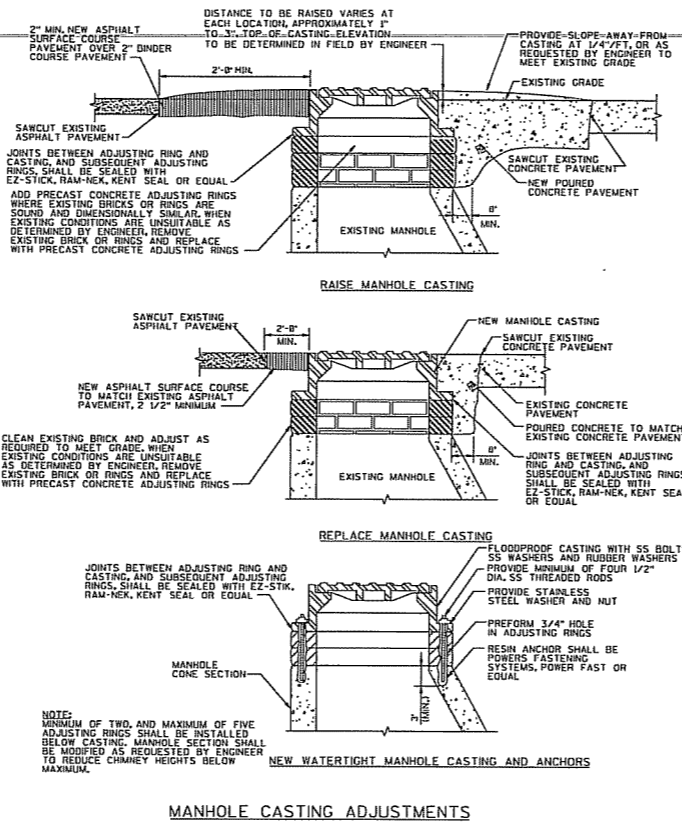
Sheet Number: **S/C 400**



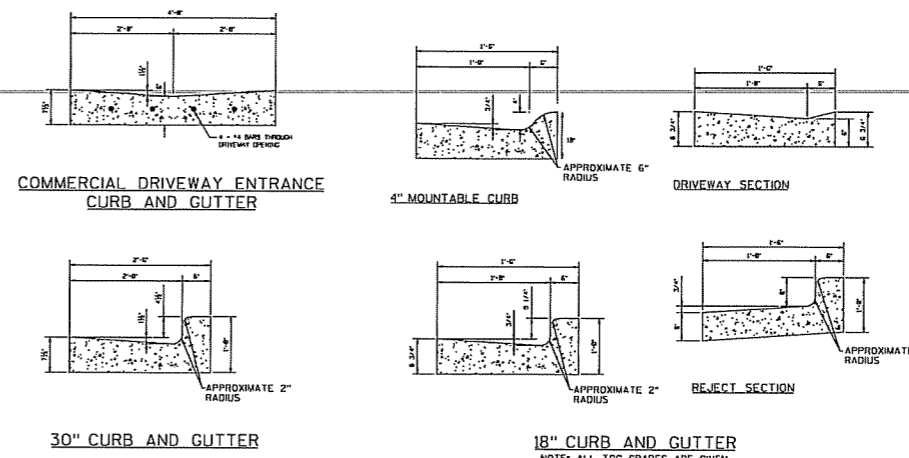
ELEVATION VIEW

PLAN VIEW

TYPICAL STOP SIGN PLACEMENT

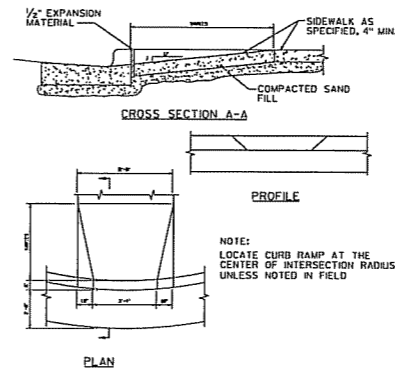


MANHOLE CASTING ADJUSTMENTS



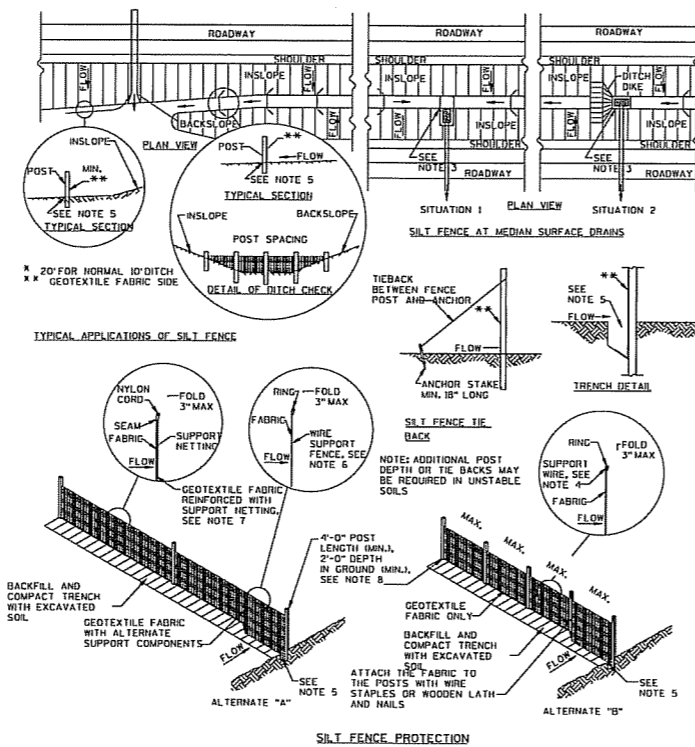
30" CURB AND GUTTER

18" CURB AND GUTTER



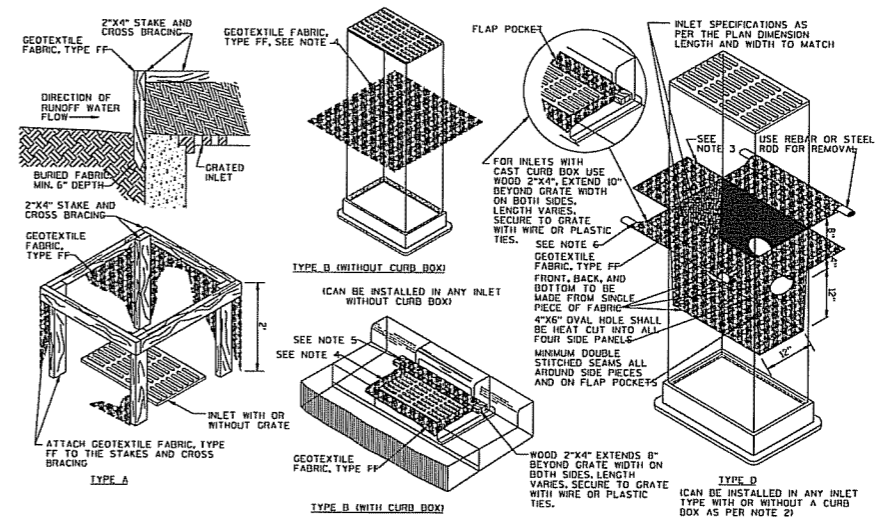
CURB RAMP DETAIL

TYPICAL PAVEMENT STRUCTURE



SILT FENCE PROTECTION

- NOTES:
1. DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.
 2. WHEN POSSIBLE THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR HORSESHOE SHAPE, WITH THE ENDS POINTING UPSLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.
 3. CROSS BRACE WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 4. MINIMUM 14 GAUGE WIRE REQUIRED. FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C-C.
 5. EXCAVATE TRENCH A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
 6. WIRE SUPPORT FENCE SHALL BE 14 GAUGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C-C.
 7. GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 1/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED.
 8. STEEL POSTS SHALL BE STUDDED "TEE" OR "I" TYPE WITH A MINIMUM WEIGHT OF 12 LBS/LINEAR FOOT WITHOUT ANCHORS, OR ANCHORS SUFFICIENT TO RESIST POST MOVEMENT ARE REQUIRED. WOOD POSTS SHALL BE A MINIMUM SIZE OF 4" DIAMETER, OR 2 1/2" X 3 1/2", EXCEPT WOOD POSTS FOR GEOTEXTILE FABRIC REINFORCED WITH NETTING SHALL BE A MINIMUM SIZE OF 1 1/2" X 1 1/2" OAK OR HICKORY.
 9. ALTERNATE A AND B ARE EQUAL AND EITHER MAY BE USED.



INLET PROTECTION

- NOTES:
1. INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
 2. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENTS EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
 3. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 4. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND 4 WALLS AND THE DAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3" MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL. THE CONTRACTOR SHALL CONCH THE BAG USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES, TO ACHIEVE THE 3" CLEARANCE.
 5. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 6. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.
 7. FOR TYPES B AND C, TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SERVO FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
 8. FOR TYPE D, DO NOT INSTALL INLET PROTECTION TYPE D INLETS SHALLOWER THAN 30". MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET AND THE DAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3".



910 West Wingra Drive
Madison, WI 53715
608 251-4843
608 251-8655 FAX
www.strand.com

HILDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI
HILDALE LAND COMPANY LLC

STREET AND UTILITY DETAILS

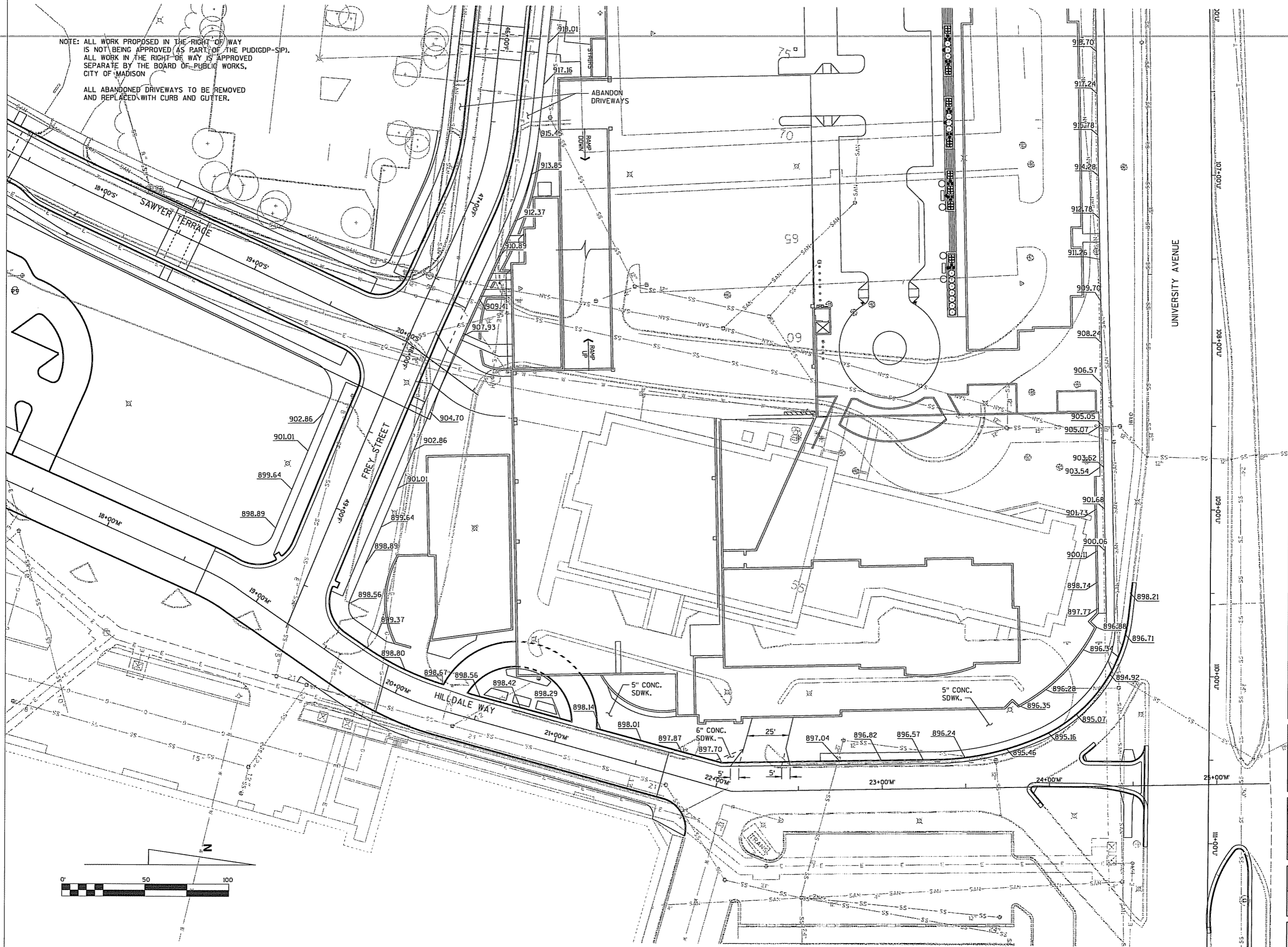
Revisions	By	Date	Description

Project Number	Drawn By
Date Issued	Reviewed By
x 10/17/07	x

Sheet Number
SC 401

NOTE: ALL WORK PROPOSED IN THE RIGHT OF WAY IS NOT BEING APPROVED AS PART OF THE PUD(GDP-SP). ALL WORK IN THE RIGHT OF WAY IS APPROVED SEPARATE BY THE BOARD OF PUBLIC WORKS, CITY OF MADISON

ALL ABANDONED DRIVEWAYS TO BE REMOVED AND REPLACED WITH CURB AND GUTTER.



910 West Wingra Drive
Madison, WI 53715
608 251-4843
608 251-8655 FAX
www.strand.com

HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE LAND COMPANY LLC

Sheet Title:
SITE GRADING

Revisions:

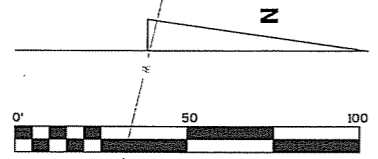
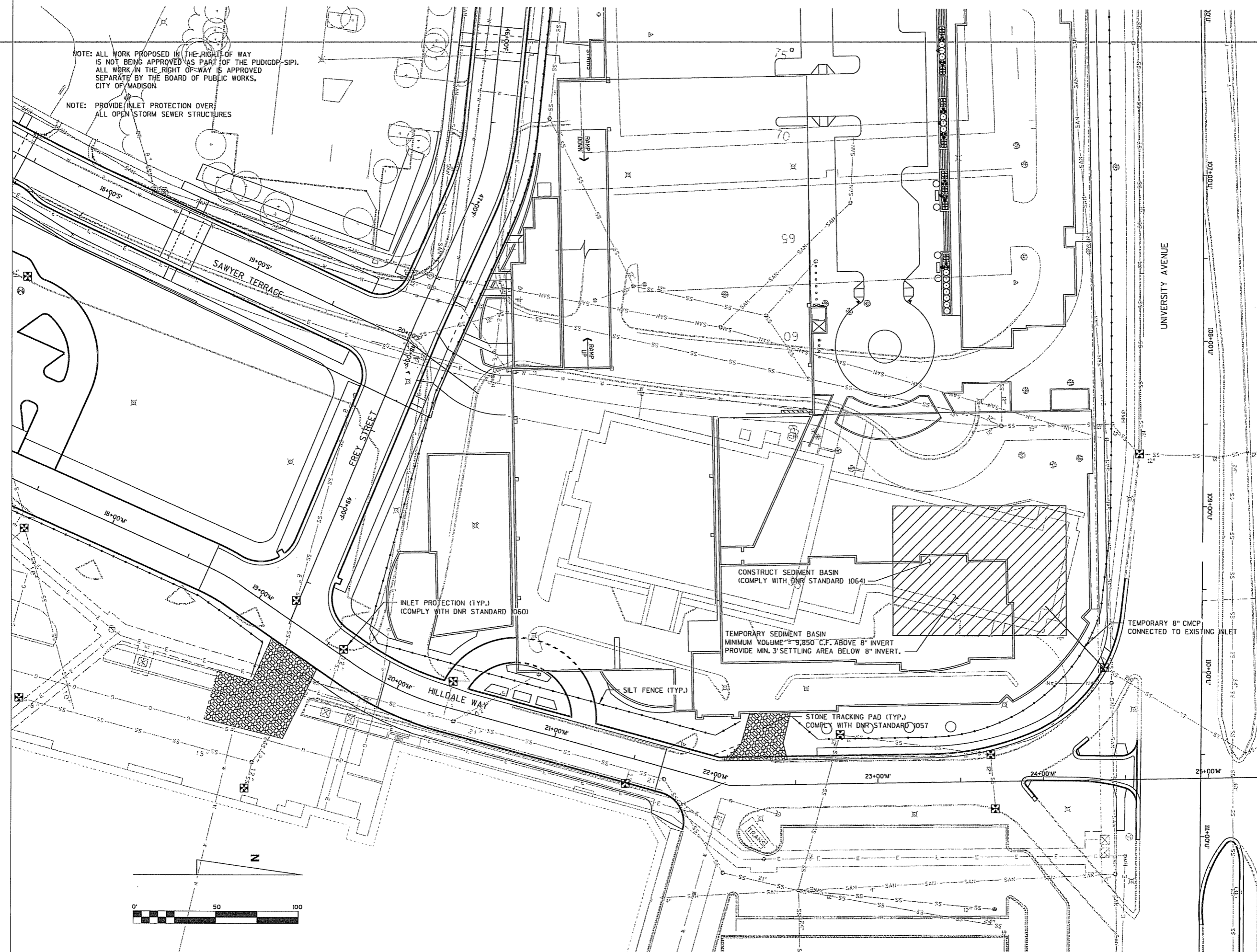
No.	Date	Description	By

Project Number:	Drawn By:
x	x
Date Issued:	Reviewed By:
x 10/17/07	x

Sheet Number:
S/C 402

NOTE: ALL WORK PROPOSED IN THE RIGHT OF WAY IS NOT BEING APPROVED AS PART OF THE PUD(GDP-SIP). ALL WORK IN THE RIGHT OF WAY IS APPROVED SEPARATE BY THE BOARD OF PUBLIC WORKS, CITY OF MADISON.

NOTE: PROVIDE INLET PROTECTION OVER ALL OPEN STORM SEWER STRUCTURES



910 West Wingra Drive
Madison, WI 53715
608 251-4843
608 251-8655 FAX
www.strand.com

HILDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI
HILDALE LAND COMPANY LLC

Sheet Title

EROSION CONTROL

Revisions

No.	Date	Description	By

Project Number	Drawn By
Date Issued	Reviewed By
10/17/07	

Sheet Number
S/C 403

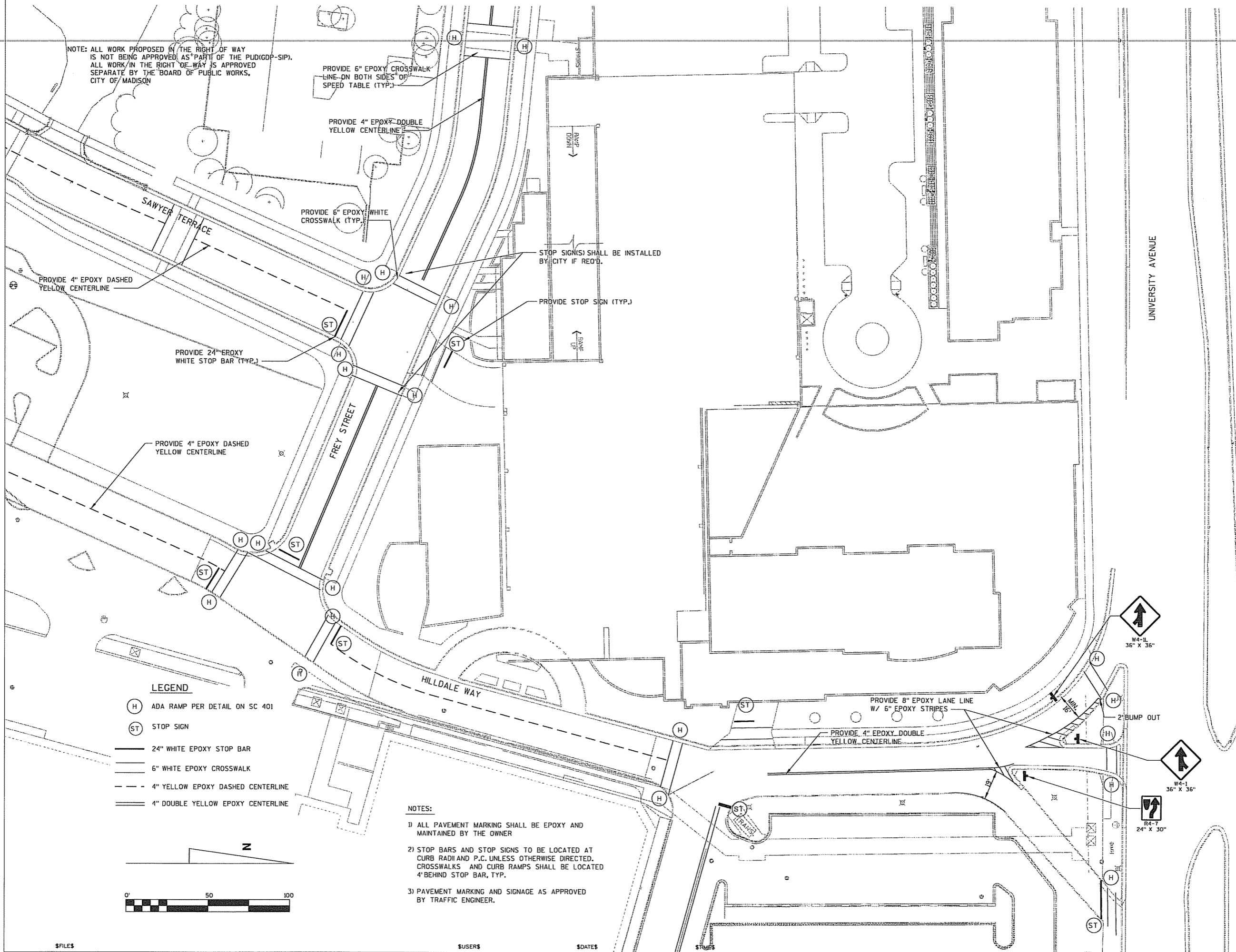
\$FILES

\$USERS

\$DATES

\$PLANS

NOTE: ALL WORK PROPOSED IN THE RIGHT OF WAY IS NOT BEING APPROVED AS PART OF THE PUD(GDP-SIP). ALL WORK IN THE RIGHT OF WAY IS APPROVED SEPARATE BY THE BOARD OF PUBLIC WORKS, CITY OF MADISON



LEGEND

- (H) ADA RAMP PER DETAIL ON SC 401
- (ST) STOP SIGN
- 24" WHITE EPOXY STOP BAR
- 6" WHITE EPOXY CROSSWALK
- - - 4" YELLOW EPOXY DASHED CENTERLINE
- == 4" DOUBLE YELLOW EPOXY CENTERLINE

NOTES:

- 1) ALL PAVEMENT MARKING SHALL BE EPOXY AND MAINTAINED BY THE OWNER
- 2) STOP BARS AND STOP SIGNS TO BE LOCATED AT CURB RADI AND P.C. UNLESS OTHERWISE DIRECTED. CROSSWALKS AND CURB RAMP SHALL BE LOCATED 4' BEHIND STOP BAR, TYP.
- 3) PAVEMENT MARKING AND SIGNAGE AS APPROVED BY TRAFFIC ENGINEER.



910 West Wingra Drive
Madison, WI 53715
608 251-4843
608 251-8655 FAX
www.strand.com

HILDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI
HILDALE LAND COMPANY LLC

Sheet Title:

PAVEMENT MARKING & SIGNAGE

Revisions	No.	Date	Description	By

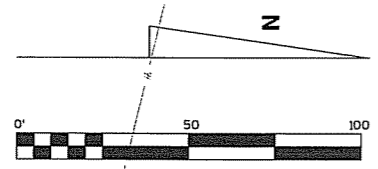
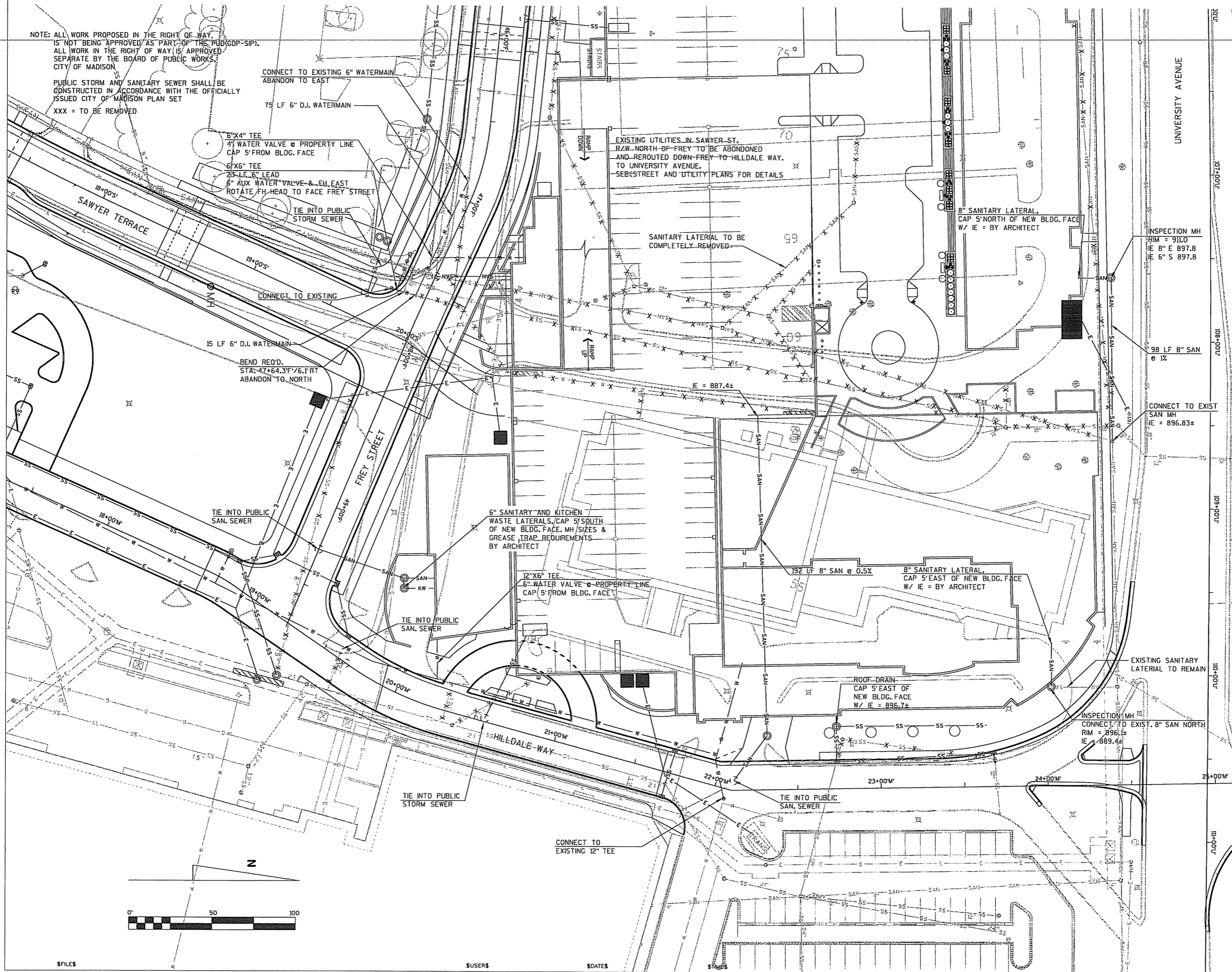
Project Number:	Drawn By:
x	x
Date Issued:	Reviewed By:
x 10/17/07	x

Sheet Number:

S/C 404

NOTE: ALL WORK PROPOSED IN THE RIGHT OF WAY IS NOT BEING APPROVED AS PART OF THE PUB(GDP-SIP). ALL WORK IN THE RIGHT OF WAY IS APPROVED SEPARATE BY THE BOARD OF PUBLIC WORKS, CITY OF MADISON

PUBLIC STORM AND SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE OFFICIALLY ISSUED CITY OF MADISON PLAN SET
XXX = TO BE REMOVED



910 West Wingra Drive
Madison, WI 53715
608 251-4843
608 251-8655 FAX
www.strand.com

HILDALE SHOPPING CENTER

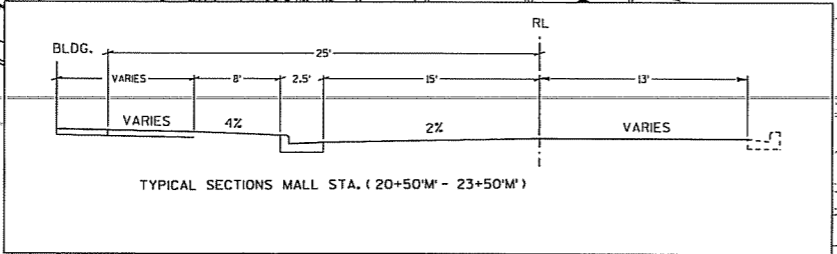
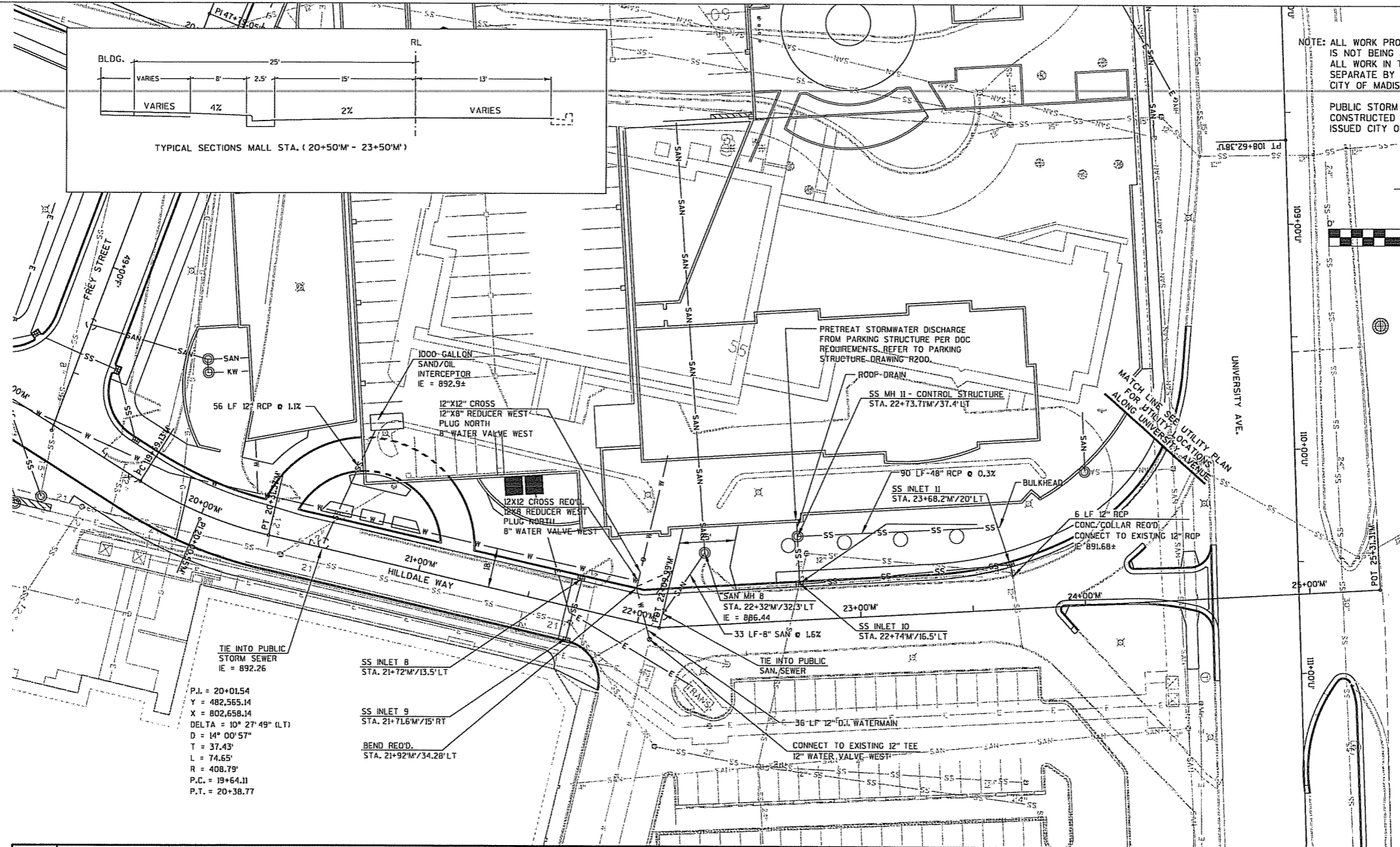
702 N. MIDVALE BOULEVARD
MADISON, WI
HILDALE LAND COMPANY LLC

Sheet Title
UTILITIES

Revisions	No.	Date	Description	By
1	1/17/07		Added/Changed lateral locations	100

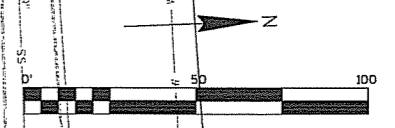
Project Number: **X** Drawn By: **X**
Date Issued: **10/17/07** Reviewed By: **X**

Sheet Number:
S/C 405

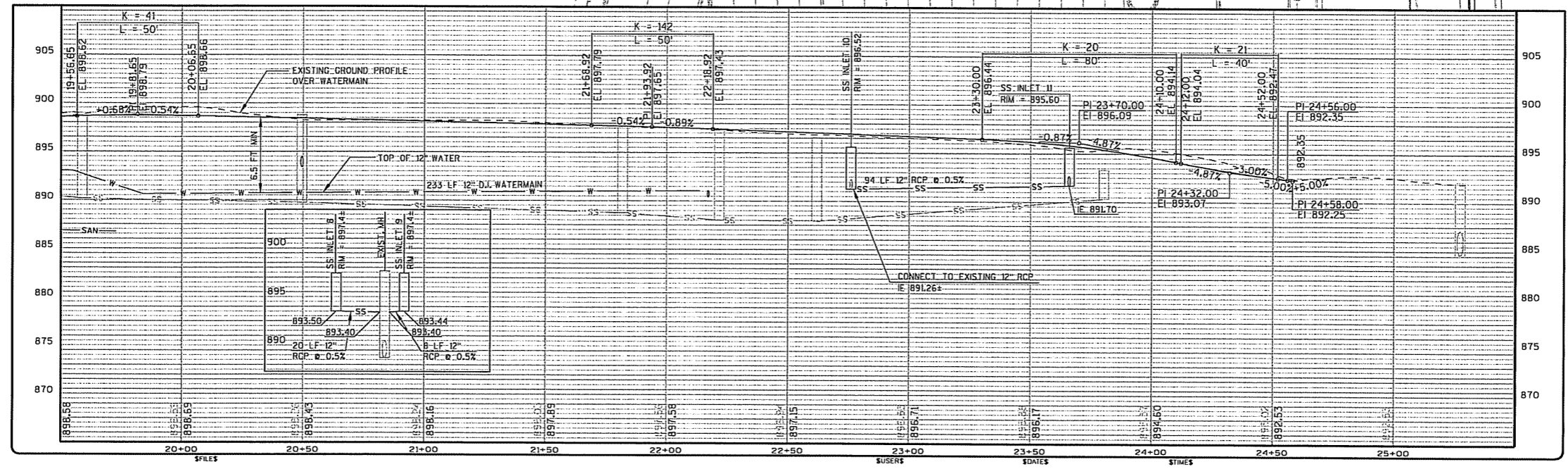


NOTE: ALL WORK PROPOSED IN THE RIGHT OF WAY IS NOT BEING APPROVED AS PART OF THE PUDIGDP-SIP). ALL WORK IN THE RIGHT OF WAY IS APPROVED SEPARATE BY THE BOARD OF PUBLIC WORKS, CITY OF MADISON

PUBLIC STORM AND SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE OFFICIALLY ISSUED CITY OF MADISON PLAN SET



P.I. = 20+01.54
 Y = 482,565.14
 X = 802,658.14
 DELTA = 10° 27' 49" (LT)
 D = 14° 00' 57"
 T = 37.43'
 L = 74.65'
 R = 408.79'
 P.C. = 19+64.11
 P.T. = 20+38.77



910 West Wingra Drive
 Madison, WI 53715
 608 251-4843
 608 251-8655 FAX
 www.strand.com

HILDALE SHOPPING CENTER
 702 N. MIDVALE BOULEVARD
 MADISON, WI

HILDALE LAND COMPANY LLC

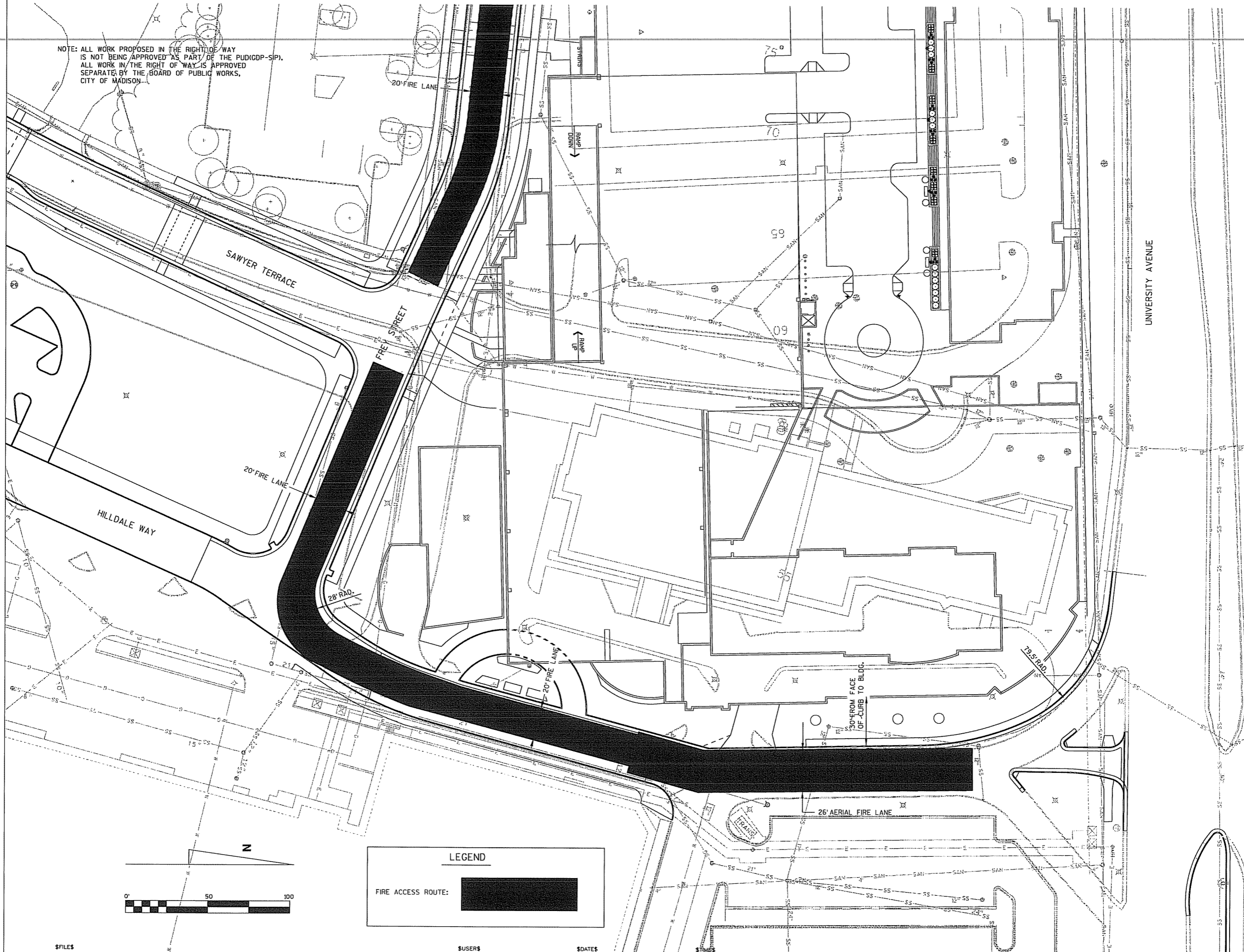
Sheet Title
STREET AND UTILITY CONSTRUCTION HILDALE WAY

Rev.	Date	Description	By
1	10/17/07	Final Utility & San. Draw	CS

Project Number	Drawn By
Date Issued	Revised By
10/17/07	

Sheet Number
S/C 406

NOTE: ALL WORK PROPOSED IN THE RIGHT OF WAY IS NOT BEING APPROVED AS PART OF THE PUD(GDP-SIP). ALL WORK IN THE RIGHT OF WAY IS APPROVED SEPARATELY BY THE BOARD OF PUBLIC WORKS, CITY OF MADISON.



LEGEND

FIRE ACCESS ROUTE:



910 West Wingra Drive
Madison, WI 53715
608 251-4843
608 251-8855 FAX
www.strand.com

HILDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI
HILDALE BUILDING COMPANY LLC

Sheet Title
FIRE ACCESS EAST

Revisions:

No.	Date	Description	By

Project Number: **X** Drawn By: **X**
Date Issued: **10/17/07** Reviewed By: **X**

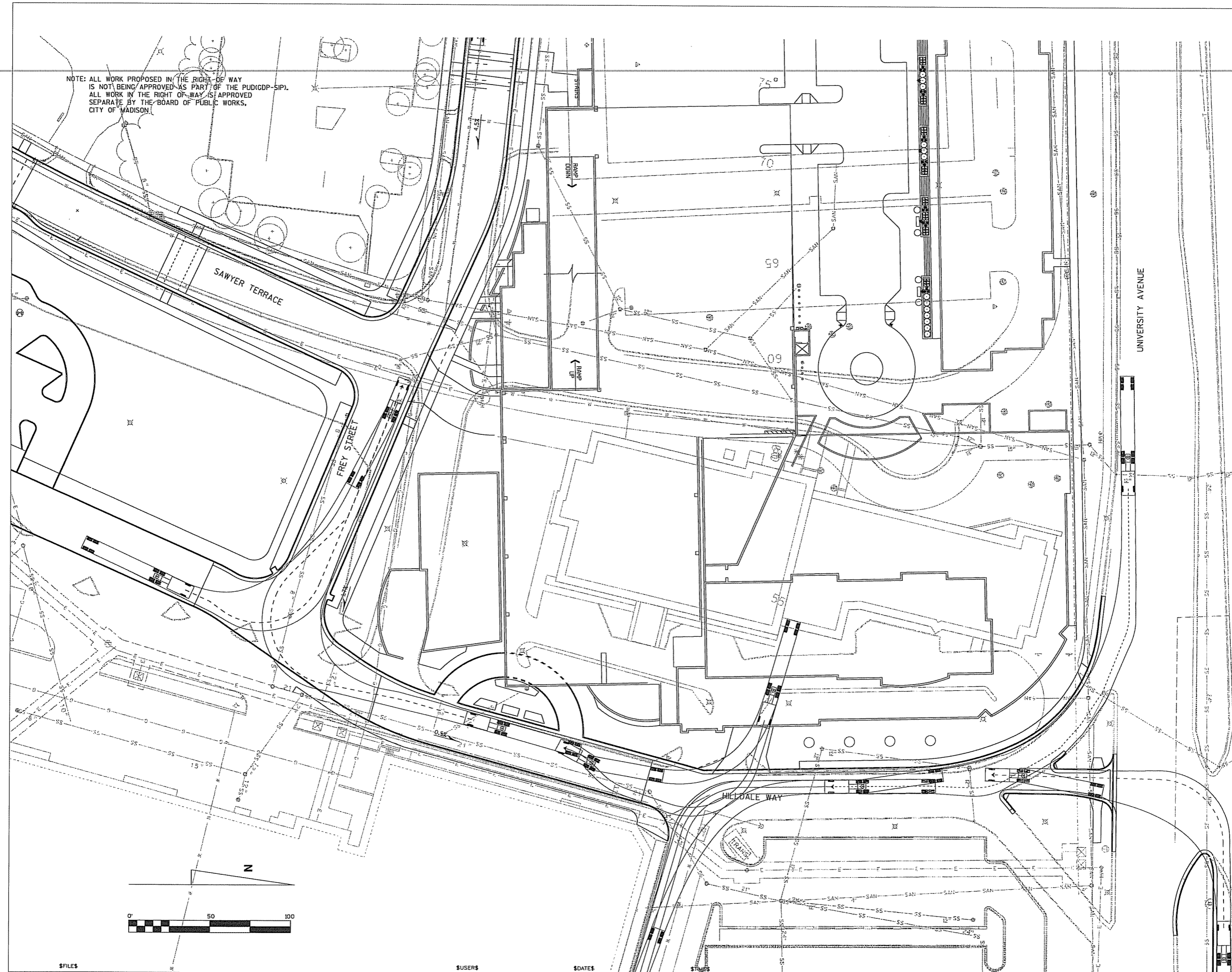
Sheet Number:
S/C 500

\$FILES

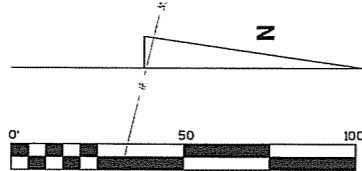
\$USERS

\$DATES

\$TIMES



NOTE: ALL WORK PROPOSED IN THE RIGHT-OF-WAY IS NOT BEING APPROVED AS PART OF THE PUD(GDP-SIP). ALL WORK IN THE RIGHT-OF-WAY IS APPROVED SEPARATE BY THE BOARD OF PUBLIC WORKS, CITY OF MADISON.



910 West Wingra Drive
 Madison, WI 53715
 608 251-4843
 608 251-8655 FAX
 www.strand.com

HILDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
 MADISON, WI

HILDALE BUILDING COMPANY LLC

Sheet Title
TRUCK ACCESS EAST

Revisions	No.	Date	Description	By

Project Number	Drawn By
Date Issued	Reviewed By
10/17/07	

Sheet Number
S/C 501

\$FILES

\$USERS

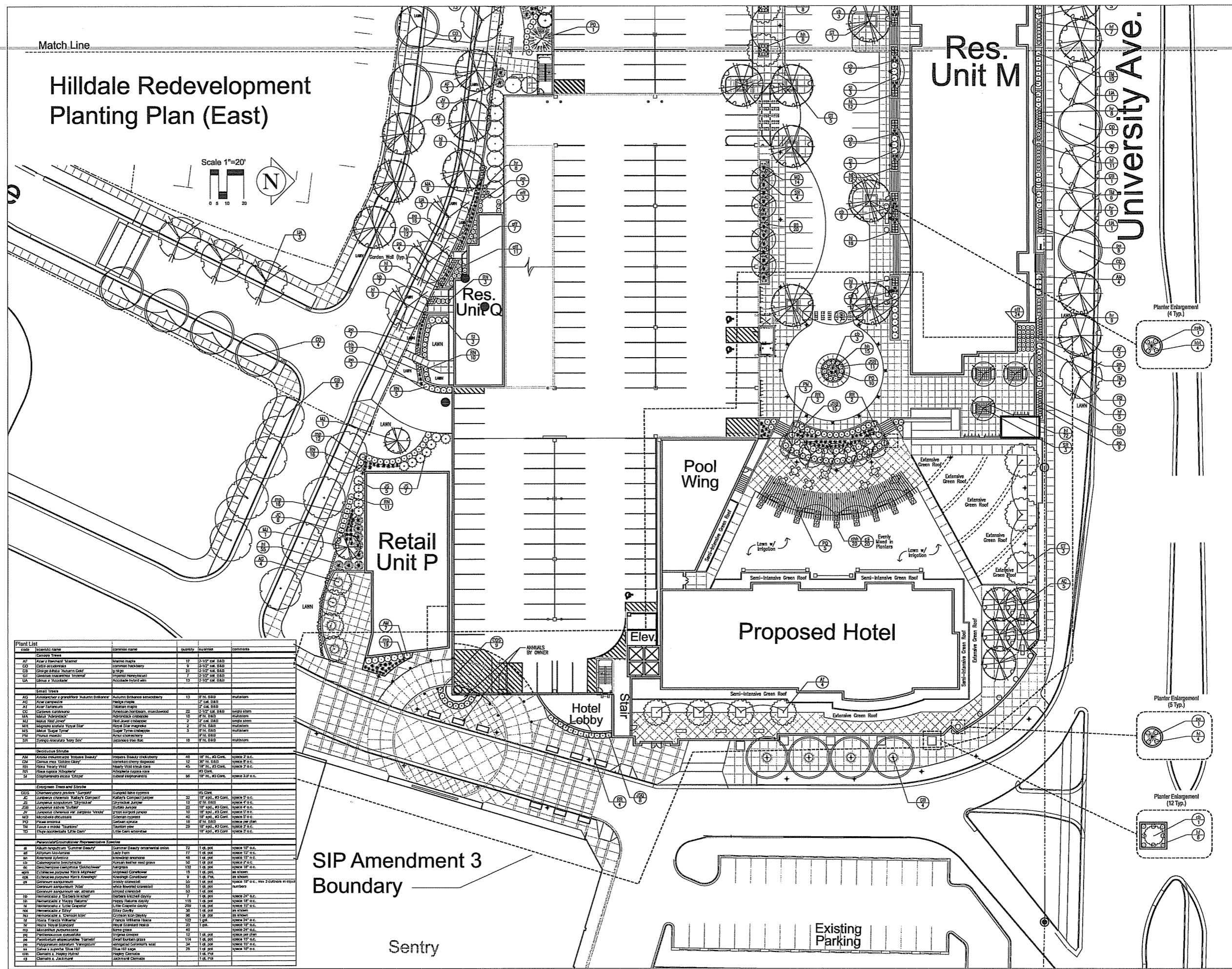
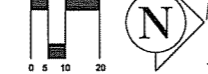
\$DATES

\$TIME

Match Line

Hildale Redevelopment Planting Plan (East)

Scale 1"=20'



Plant List	Symbol name	Common name	Quantity	Height	Comments
Canopy Trees					
01	Acacia saligna	Manna Gomm	17	2-1/2' cal. B&B	
02	Cedrus deodara	Common Cedar	9	2-1/2' cal. B&B	
03	Quercus alba	White Oak	21	2-1/2' cal. B&B	
04	Quercus macrocarpa	Chickadee Oak	7	2-1/2' cal. B&B	
05	Ulmus americana	American Elm	13	2-1/2' cal. B&B	
Small Trees					
06	Amelanchier alnifolia	Allegheny Spicebush	13	1/2" cal. B&B	mulch
07	Acacia saligna	Manna Gomm	2	1/2" cal. B&B	
08	Acacia saligna	Manna Gomm	2	1/2" cal. B&B	
09	Quercus macrocarpa	Chickadee Oak	25	2-1/2' cal. B&B	mulch
10	Ulmus americana	American Elm	13	1/2" cal. B&B	mulch
11	Malus baccata	Hawthorn	2	1/2" cal. B&B	mulch
12	Malus baccata	Hawthorn	2	1/2" cal. B&B	mulch
13	Malus baccata	Hawthorn	2	1/2" cal. B&B	mulch
14	Malus baccata	Hawthorn	2	1/2" cal. B&B	mulch
15	Malus baccata	Hawthorn	2	1/2" cal. B&B	mulch
16	Malus baccata	Hawthorn	2	1/2" cal. B&B	mulch
17	Malus baccata	Hawthorn	2	1/2" cal. B&B	mulch
18	Malus baccata	Hawthorn	2	1/2" cal. B&B	mulch
19	Malus baccata	Hawthorn	2	1/2" cal. B&B	mulch
20	Malus baccata	Hawthorn	2	1/2" cal. B&B	mulch
Deciduous Shrubs					
21	Amelanchier alnifolia	Allegheny Spicebush	45	18" ht., #3 Cor.	space 3' o.c.
22	Amelanchier alnifolia	Allegheny Spicebush	12	36" ht., #3 Cor.	space 3' o.c.
23	Amelanchier alnifolia	Allegheny Spicebush	45	18" ht., #3 Cor.	space 3' o.c.
24	Amelanchier alnifolia	Allegheny Spicebush	66	18" ht., #3 Cor.	space 3' o.c.
Evergreen Trees and Shrubs					
25	Chamaecyparis stricta	Swamp Cedar	22	1/2" cal.	space 3' o.c.
26	Juniperus horizontalis	Creeping Juniper	12	1/2" cal.	space 3' o.c.
27	Juniperus horizontalis	Creeping Juniper	12	1/2" cal.	space 3' o.c.
28	Juniperus horizontalis	Creeping Juniper	12	1/2" cal.	space 3' o.c.
29	Juniperus horizontalis	Creeping Juniper	12	1/2" cal.	space 3' o.c.
30	Juniperus horizontalis	Creeping Juniper	12	1/2" cal.	space 3' o.c.
31	Juniperus horizontalis	Creeping Juniper	12	1/2" cal.	space 3' o.c.
32	Juniperus horizontalis	Creeping Juniper	12	1/2" cal.	space 3' o.c.
33	Juniperus horizontalis	Creeping Juniper	12	1/2" cal.	space 3' o.c.
34	Juniperus horizontalis	Creeping Juniper	12	1/2" cal.	space 3' o.c.
35	Juniperus horizontalis	Creeping Juniper	12	1/2" cal.	space 3' o.c.
Perennial/Grass/Flower Bed Specimens					
36	Asplenium platyneuron	Rocky Mountain Fern	72	1.0' cal.	space 12" o.c.
37	Asplenium platyneuron	Rocky Mountain Fern	72	1.0' cal.	space 12" o.c.
38	Asplenium platyneuron	Rocky Mountain Fern	48	1.0' cal.	space 12" o.c.
39	Asplenium platyneuron	Rocky Mountain Fern	48	1.0' cal.	space 12" o.c.
40	Asplenium platyneuron	Rocky Mountain Fern	132	1.0' cal.	space 12" o.c.
41	Asplenium platyneuron	Rocky Mountain Fern	132	1.0' cal.	space 12" o.c.
42	Asplenium platyneuron	Rocky Mountain Fern	9	1.0' cal.	as shown
43	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c., esp. 2 calms in eq
44	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
45	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
46	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
47	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
48	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
49	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
50	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
51	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
52	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
53	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
54	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
55	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
56	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
57	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
58	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
59	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
60	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
61	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
62	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
63	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
64	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
65	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
66	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
67	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
68	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
69	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
70	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
71	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
72	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
73	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
74	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
75	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
76	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
77	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
78	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
79	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
80	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
81	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
82	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
83	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
84	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
85	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
86	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
87	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
88	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
89	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
90	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
91	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
92	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
93	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
94	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
95	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
96	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
97	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
98	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
99	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.
100	Asplenium platyneuron	Rocky Mountain Fern	55	1.0' cal.	space 12" o.c.



HILDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI

HILDALE LAND COMPANY LLC

Sheet Title:
**PLANTING PLAN
EAST**

Revisions:	No.	Date	Description	By:

Project Number: MS
Date Issued: 10-17-07
Reviewed By: KS

Sheet Number:
S/L 101



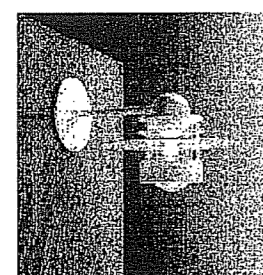
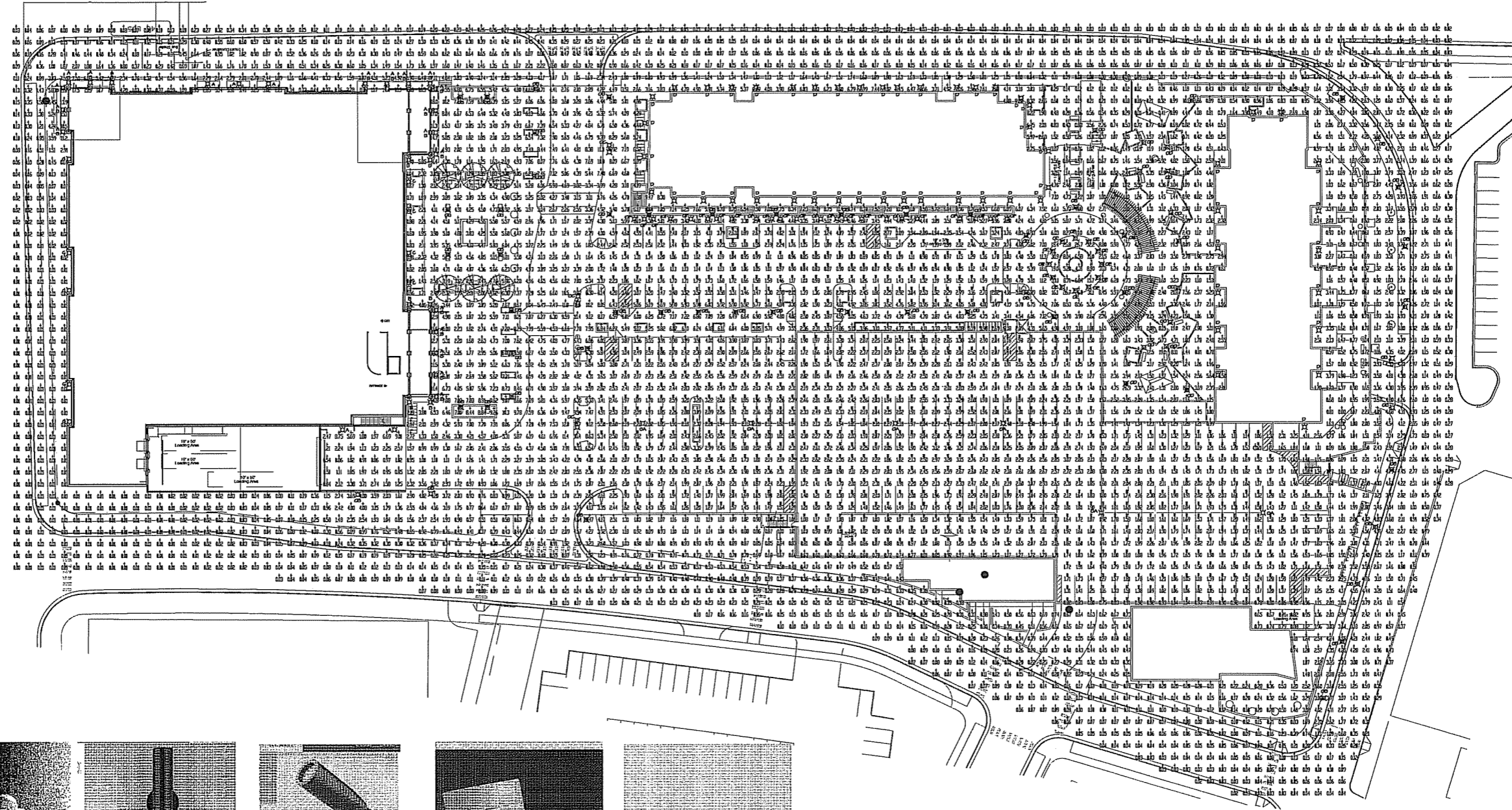
ARNOLD AND O'SHERIDAN INC.
 CONSULTING ENGINEERS
 STRUCTURAL ■ CIVIL ■ HVAC ■ PLUMBING
 ELECTRICAL ■ TECHNOLOGY

WISCONSIN LICENSE # 0000000000
 BROOKFIELD, WISCONSIN 53005
 WWW.ARNOLDANDOSHERIDAN.COM

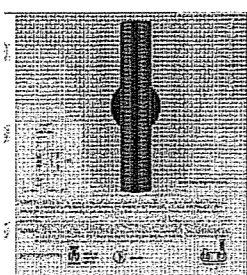
HILDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
 MADISON, WI

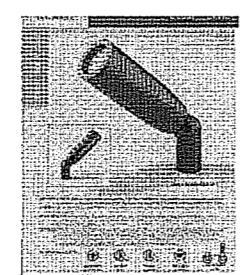
HILDALE BUILDING COMPANY LLC



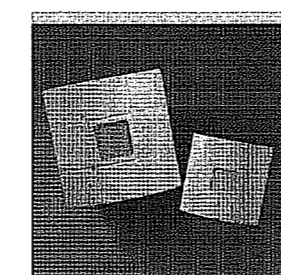
1 FIXTURE TYPE A
 SCALE: NONE



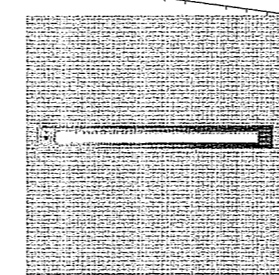
8 FIXTURE TYPE B
 SCALE: NONE



9 FIXTURE TYPE C
 SCALE: NONE



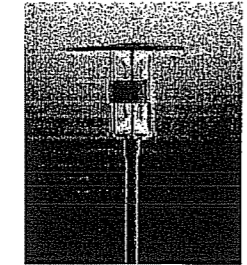
10 FIXTURE TYPE D
 SCALE: NONE



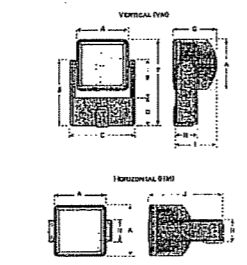
11 FIXTURE TYPE E
 SCALE: NONE



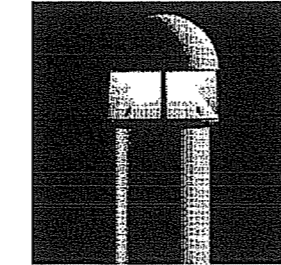
2 FIXTURE TYPE OA
 SCALE: NONE



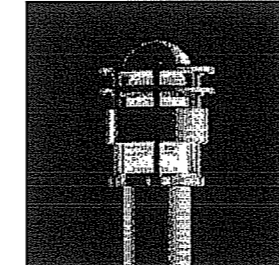
3 FIXTURE TYPE OB & OC
 SCALE: NONE



4 FIXTURE TYPE OC
 SCALE: NONE



5 FIXTURE TYPE OD
 SCALE: NONE



6 FIXTURE TYPE OE
 SCALE: NONE

1 SITE PHOTOMETRICS
 SCALE: 1" = 30'

TYPE	SYMBOL	DESCRIPTION	LAHF	LUMENS	LLF
A	⊗	LOUIS POLSEN ORBITER MARK HALL	(1) 10H M1	6600	0.75
B	⊗	HEXANA ** AD-60/40	(2) 20H PAROD	-	0.75
C	⊗	HEXANA ** GESS	(1) 20H 1R01	-	0.75
D	⊗	AA ESCORGE B52-3	(1) 10H M1	6600	0.75
OA	⊗	MOBILEITE OPT-4005-P1TR-30' POLE	(1) 450H P5 M1	50000	0.75
OB	⊗	LOUIS POLSEN SATT-MARK-TERMINA-45" 14" POLE	(1) 175H M1	13500	0.75
OC	⊗	LOUIS POLSEN / MOBILEITE * (2) TYPE OB @ 14' / (2) EPN-250-6 - 30' POLE	(2) 175H M1 / (2) 250H M1	13500 / 20500	0.75
OD	⊗	LOUIS POLSEN WATERIGHT BOLLARD	(1) 10H M1	6600	0.75
OE	⊗	LOUIS POLSEN ORBITER BOLLARD	(1) 10H M1	6600	0.75
OF	⊗	HEXA B302	LED	-	-

* (2) MOBILEITE FLOODLIGHTS MOUNTED ON TOP OF 30' POLE AND (2) POLSEN POST-TOP FIXTURES MOUNTED ON CUSTOM ARMS AT 14' A.F.G.
 ** FIXTURE TYPE B & C ARE NOT INCLUDED IN PHOTOMETRIC CALCULATIONS

CALCULATION SUMMARY						
	AVE	MAX	MIN	MAX/MIN	AVERAGE	WATTAGE/FT.
PARKING LOT	(1) 2.05 fc	6.43 fc	0.75 fc	8.50	2.73	06

NOTES:
 BUILDING PERIMETER LIGHTING EQUALS 4.2 WATTS PER LINEAR FOOT.

Sheet Title:
 SITE PHOTOMETRICS

Revisions:			
No.	Date	Description	By

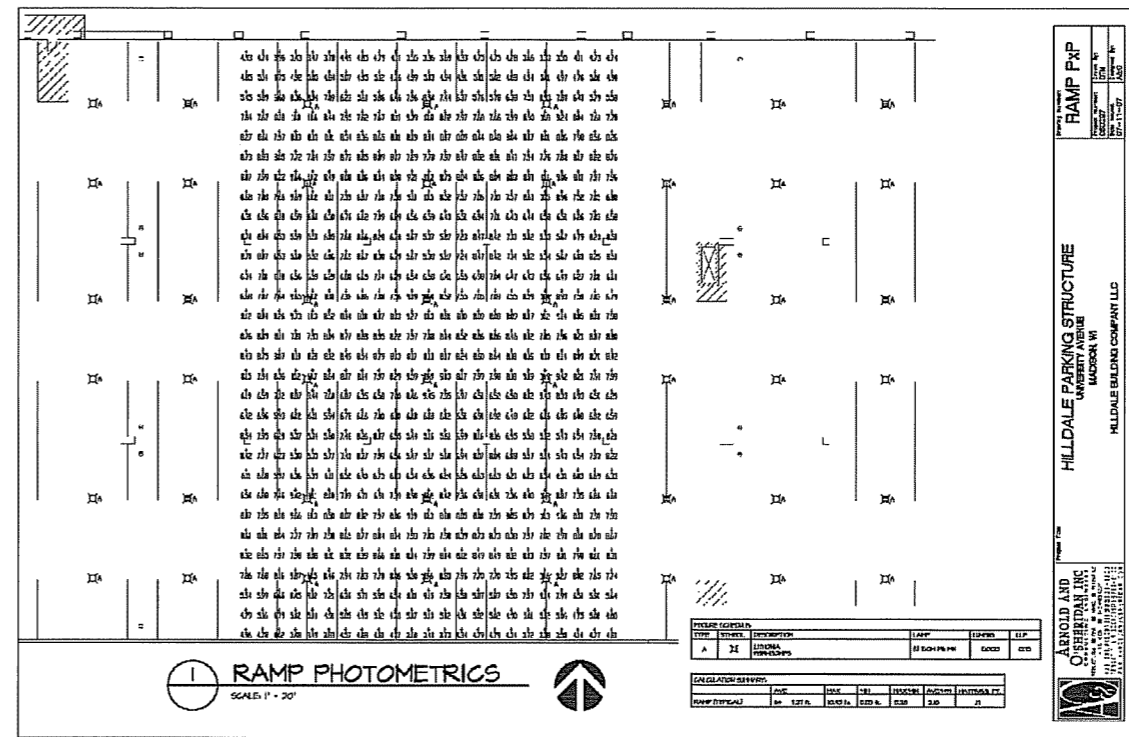
Project Number: 060297
 Date Issued: 10/17/07
 Drawn By: DTM
 Reviewed By: AES

Sheet Number:
EL100



ARNOLD AND O'SHERIDAN INC.
 CONSULTING ENGINEERS
 STRUCTURAL ■ CIVIL ■ HVAC ■ PLUMBING
 ELECTRICAL ■ TECHNOLOGY
 MADISON, WISCONSIN (608)221-8500
 BROOKFIELD, WISCONSIN (262)783-6130
 WWW.ARNOLDANDOSHERIDAN.COM

HILLDALE SHOPPING CENTER
 702 N. MIDVALE BOULEVARD
 MADISON, WI
 HILLDALE BUILDING COMPANY LLC



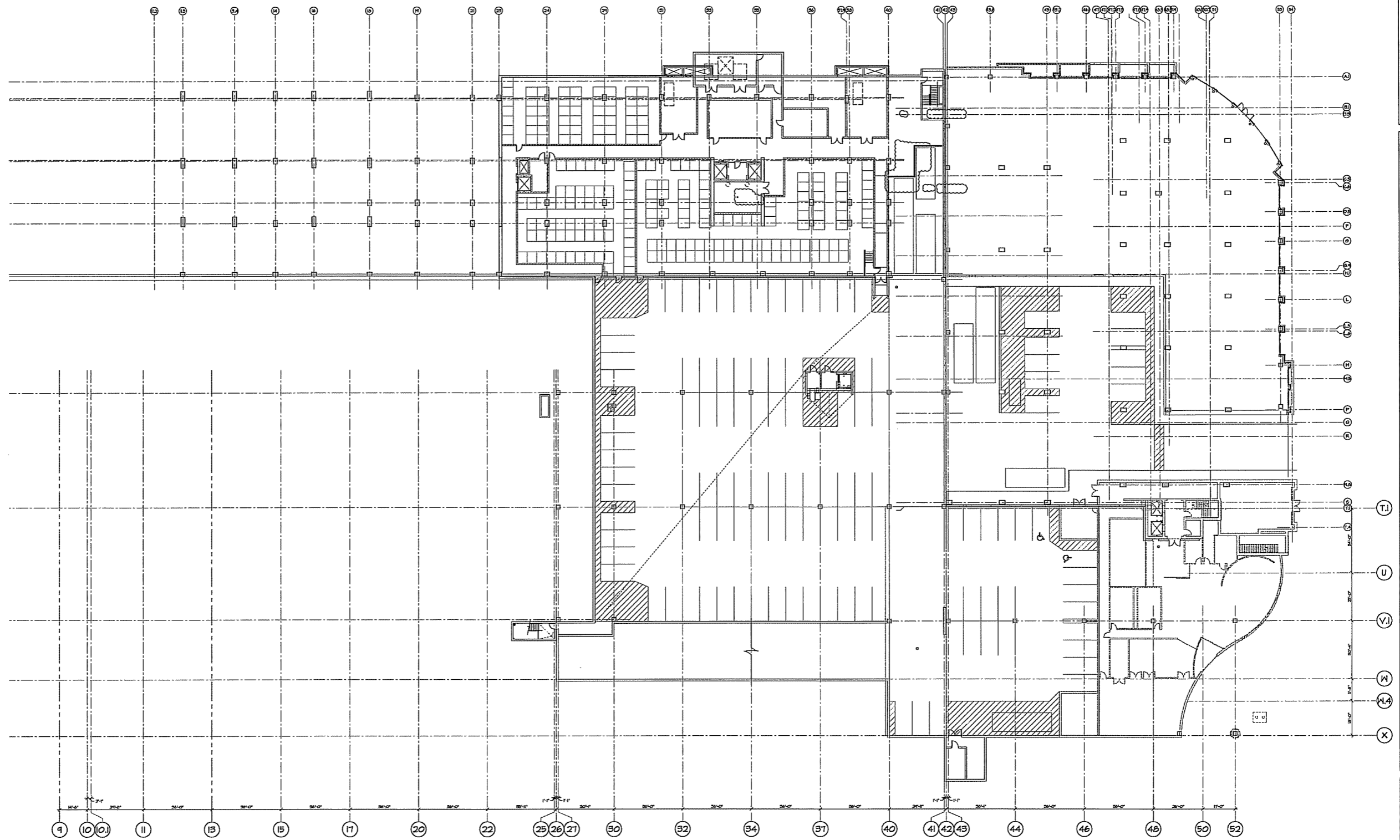
PROJECT NAME: RAMP P&P
 DATE: 10/17/07
 DRAWN BY: DTM
 CHECKED BY: AES
 HILLDALE PARKING STRUCTURE
 UNDERWAY
 MADISON, WI
 HILLDALE BUILDING COMPANY LLC

Sheet Title:
 RAMP PHOTOMETRICS

No.	Date	Description	By

Project Number: 060297
 Date Issued: 10/17/07
 Drawn By: DTM
 Reviewed By: AES

Sheet Number:
 EL101



ARNOLD AND O'SHERIDAN INC.
CONSULTING ENGINEERS
STRUCTURAL ■ CIVIL ■ HVAC ■ PLUMBING
ELECTRICAL ■ TECHNOLOGY
MADISON, WISCONSIN 53711-8500
ROOSEVELT WISCONSIN 53178-4118
WWW.ARNOLDANDOSHERIDAN.COM

HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE BUILDING COMPANY LLC

Sheet Title:
**BUILDING R
PARKING LEVEL 1**

Revisions:

No.	Date	Description	By:

Project Number: 060297	Drawn By: MMO
Date Issued: 10/17/07	Reviewed By: MLS

Sheet Number:
R101

LEVEL I PARKING PLAN
SCALE: 1/8"=1'-0"
R101

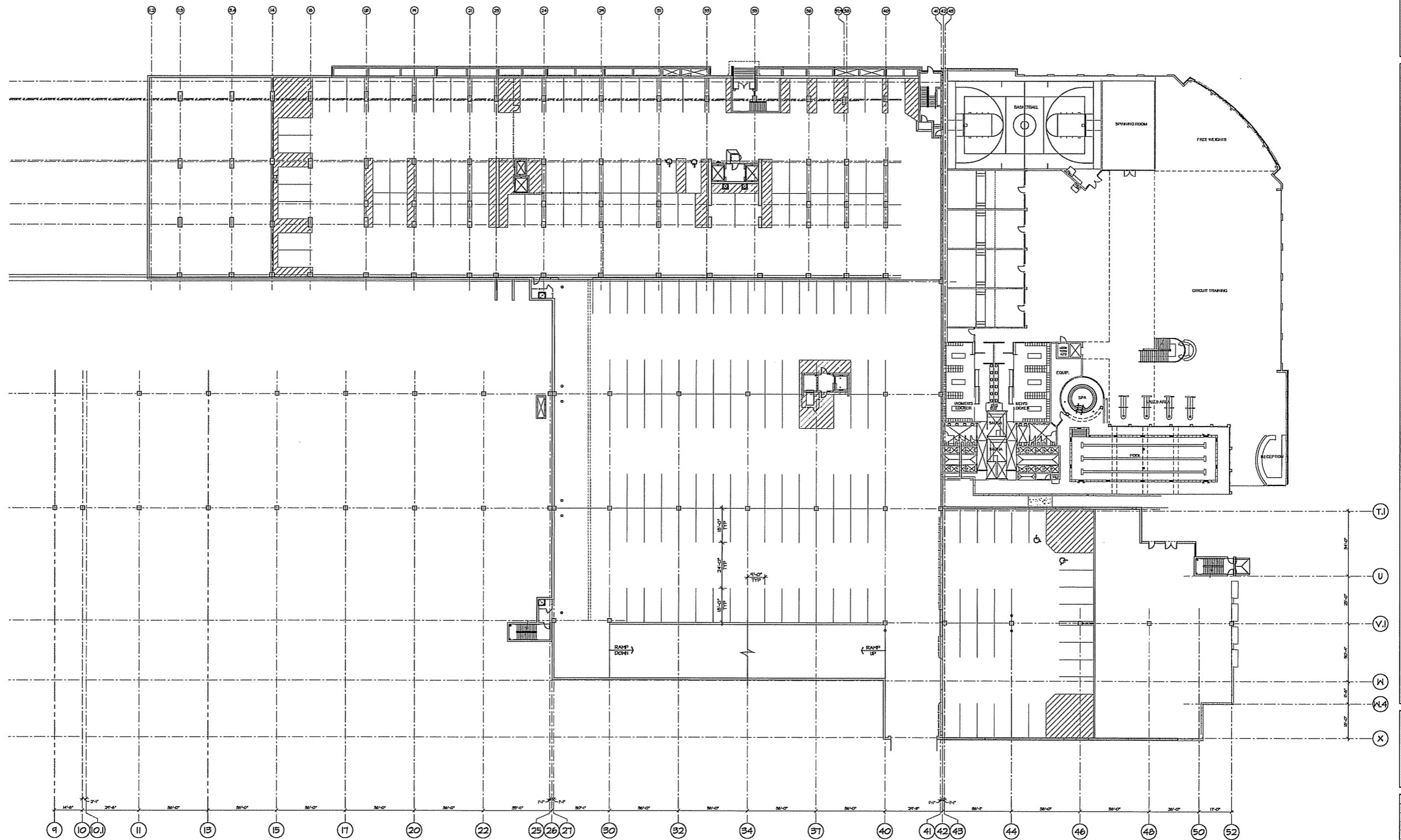


ARNOLD AND O'SHERIDAN INC.
CONSULTING ENGINEERS
STRUCTURAL ■ CIVIL ■ HVAC ■ PLUMBING
ELECTRICAL ■ TECHNOLOGY

MADISON, WISCONSIN 53703-4300
ROOSEVELL, WISCONSIN 53713-4134
WWW.ARNOLDANDOSHERIDAN.COM

HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE BUILDING COMPANY LLC



Sheet Title:
**BUILDING R
PARKING LEVEL 2**

Revisions:		
No.	Date	Description

Project Number:	060297	Drawn By:	MMO
Date Issued:	10/17/07	Reviewed By:	MLS

Sheet Number:
R102

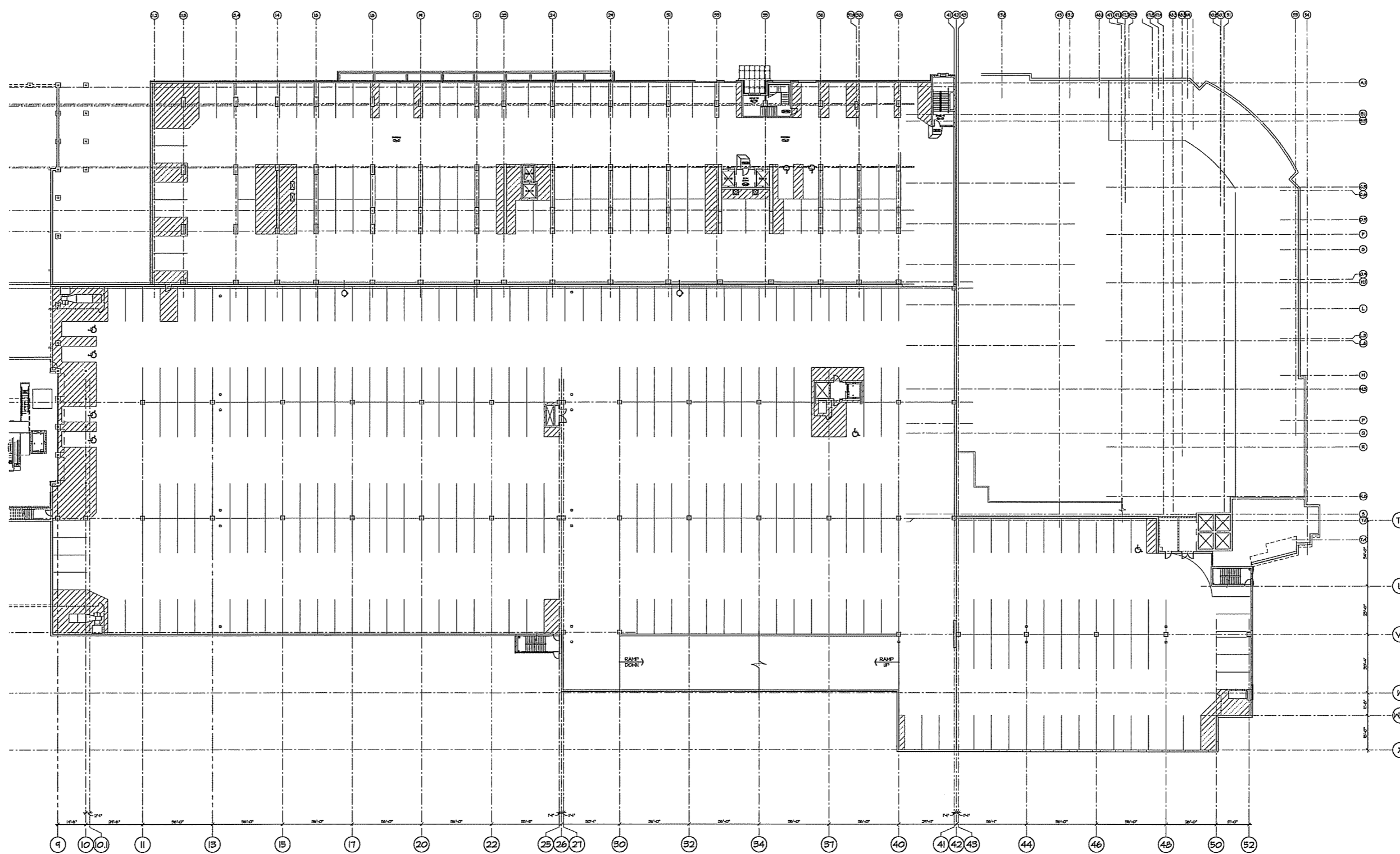
1 LEVEL 2 PARKING PLAN
SCALE: NONE



ARNOLD AND O'SHERIDAN INC.
 CONSULTING ENGINEERS
 STRUCTURAL ■ CIVIL ■ HVAC ■ PLUMBING
 ELECTRICAL ■ TECHNOLOGY
 MADISON WISCONSIN 53705-1550
 BROOKFIELD WISCONSIN 53122-4130
 WWW.ARNOLDANDOSHERIDAN.COM

HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
 MADISON, WI
 HILLDALE BUILDING COMPANY LLC



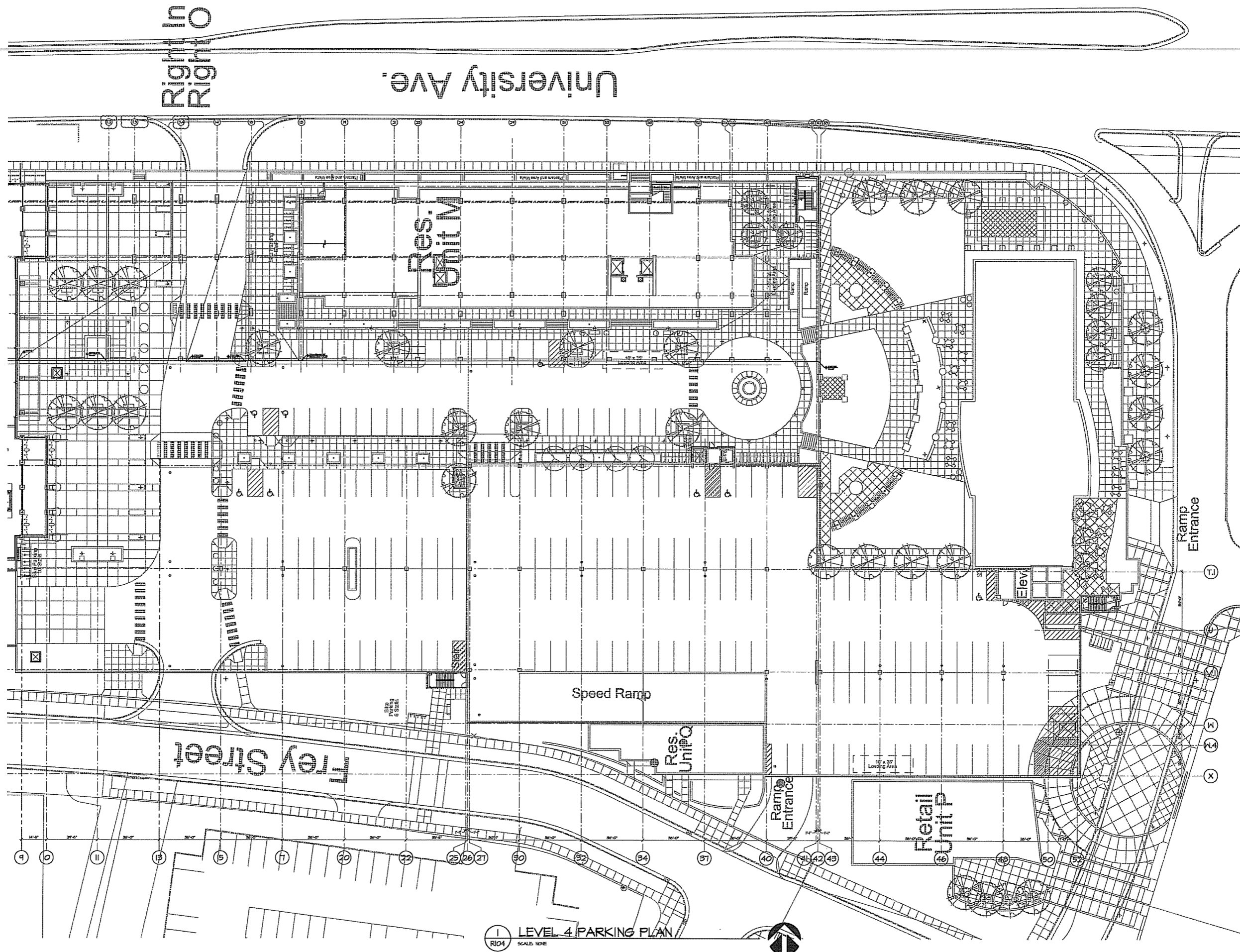
Sheet Title:
**BUILDING R
 PARKING LEVEL 3**

No.	Date	Description	By

Project Number: 060297	Drawn By: MMO
Date Issued: 10/17/07	Reviewed By: MLS

Sheet Number:
R103

LEVEL 3 PARKING PLAN
 SCALE: 1/8"=1'-0"



Right of
Right of

University Ave.

Frey Street

Res.
Unit M

Speed Ramp

Res.
Unit Q

Retail
Unit P

Ramp
Entrance

Elev

Ramp
Entrance

1 LEVEL 4 PARKING PLAN
R104 SCALE: NONE

ARNOLD AND O'SHERIDAN INC.
CONSULTING ENGINEERS
STRUCTURAL ■ CIVIL ■ HVAC ■ PLUMBING
ELECTRICAL ■ TECHNOLOGY
MADISON, WISCONSIN (608) 21-8500
BROOKFIELD, WISCONSIN (262) 783-6130
WWW.ARNOLDANDOSHERIDAN.COM

HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE BUILDING COMPANY LLC

Sheet Title:

**BUILDING R
PARKING LEVEL 4**

Revisions:

No.	Date	Description	By

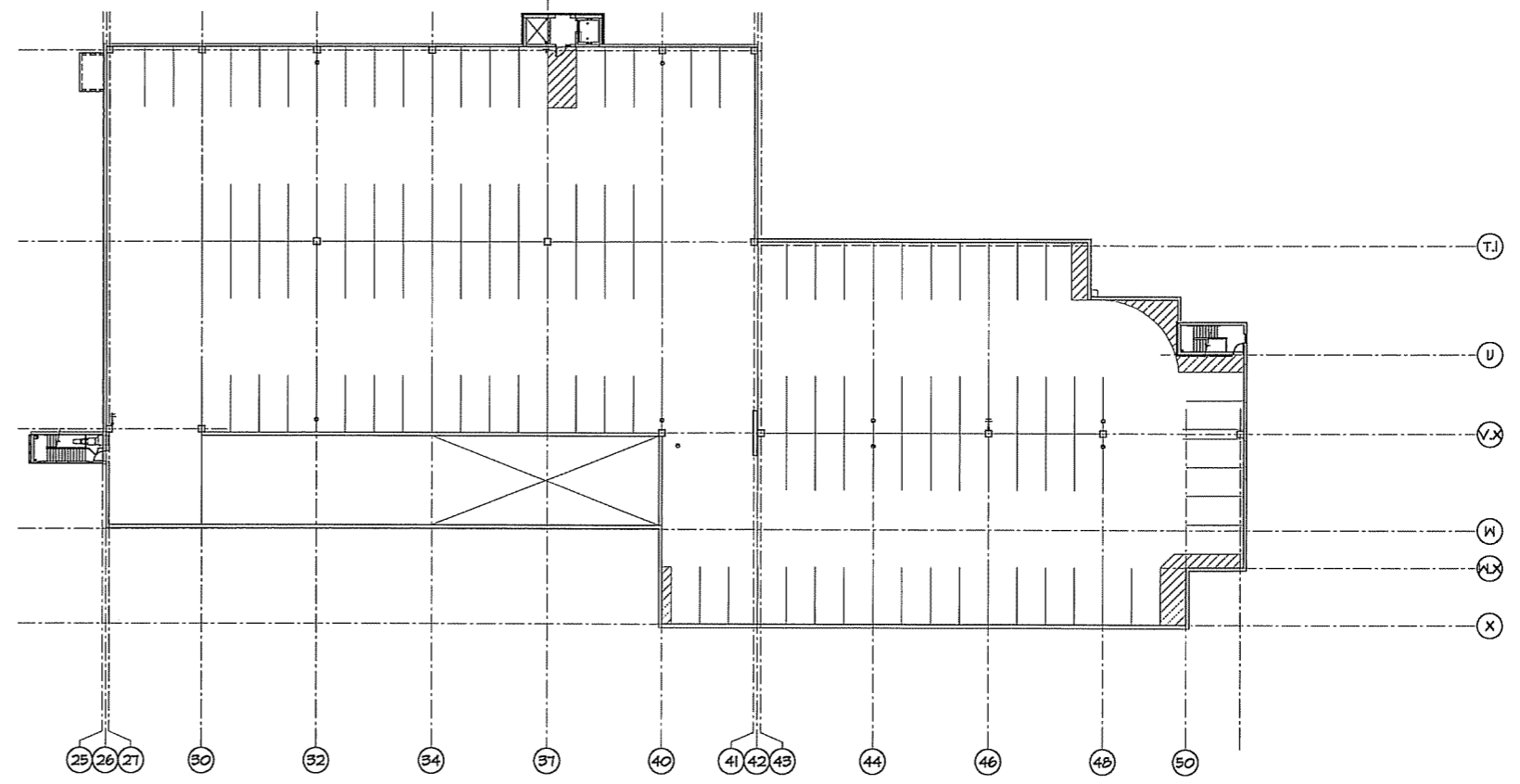
Project Number: 060297	Drawn By: MMO
Date Issued: 10/17/07	Reviewed By: MLS

Sheet Number:
R104



ARNOLD AND O'SHERIDAN INC.
 CONSULTING ENGINEERS
 STRUCTURAL ■ CIVIL ■ HVAC ■ PLUMBING
 ELECTRICAL ■ TECHNOLOGY
 MADISON, WISCONSIN (608) 221-5500
 WOODSTOCK, WISCONSIN (262) 783-6138
 WWW.ARNOLDANDOSHERIDAN.COM

HILLDALE SHOPPING CENTER
 702 N. MIDVALE BOULEVARD
 MADISON, WI
 HILLDALE BUILDING COMPANY LLC



LEVEL 5 PARKING PLAN
 SCALE: NOTE

Sheet Title:
**BUILDING R
 PARKING LEVEL 5**

Revisions:			
No.	Date	Description	By

Project Number: 060297	Drawn By: MMO
Date Issued: 10/17/07	Reviewed By: MLS

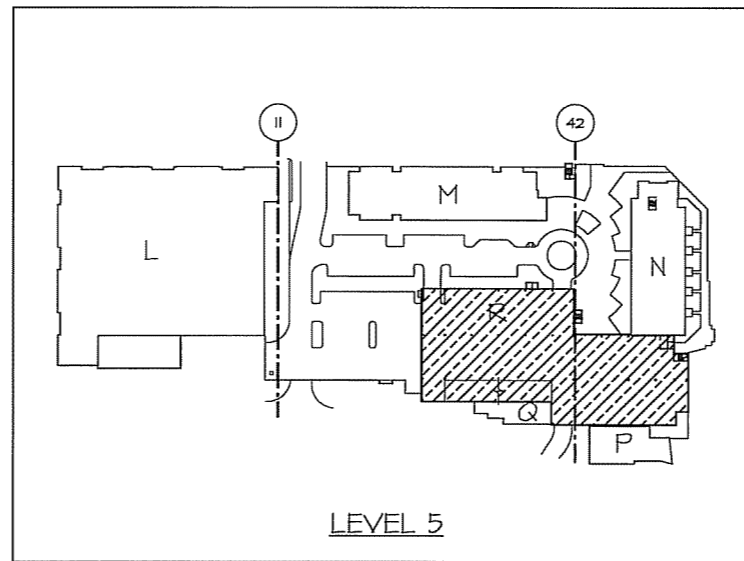
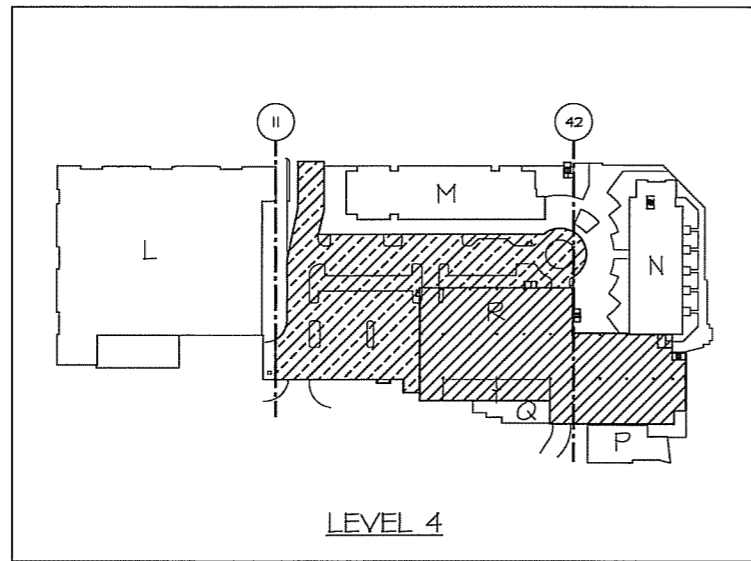
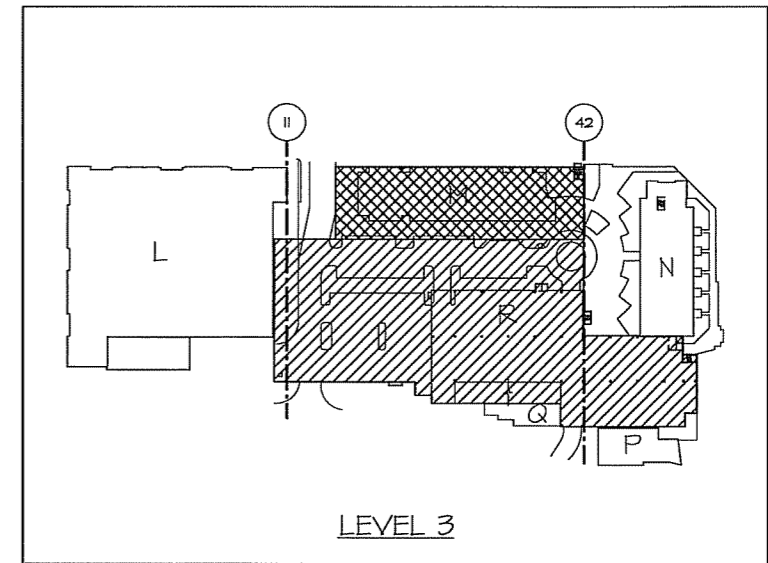
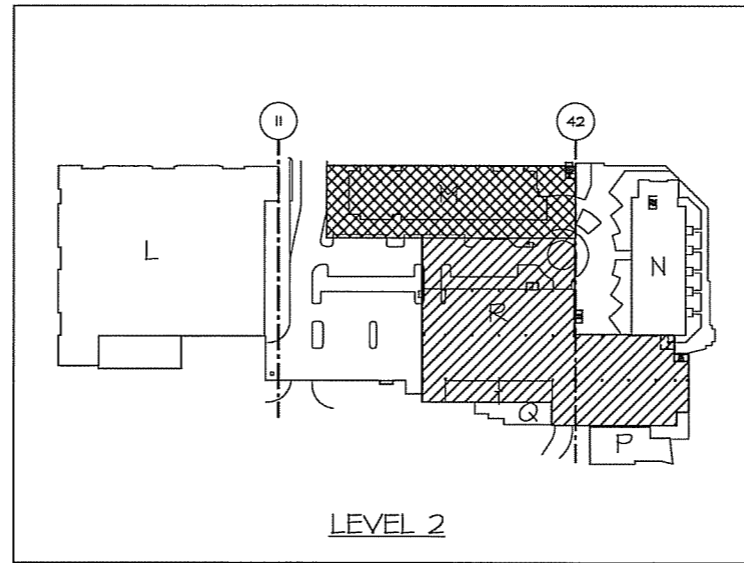
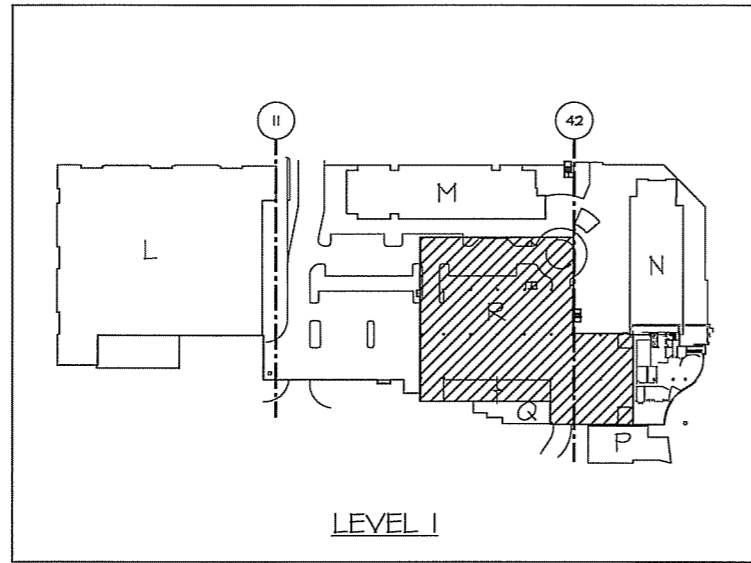
Sheet Number:
R105






ARNOLD AND O'SHRIDAN INC.
 CONSULTING ENGINEERS
 STRUCTURAL ■ CIVIL ■ HVAC ■ PLUMBING
 ELECTRICAL ■ TECHNOLOGY
 MADISON, WISCONSIN (608) 21-5500
 BROOKFIELD, WISCONSIN (262) 783-6130
 WWW.ARNOLDANDOSHRIDAN.COM

HILDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
 MADISON, WI
 HILDALE BUILDING COMPANY LLC



LEGEND

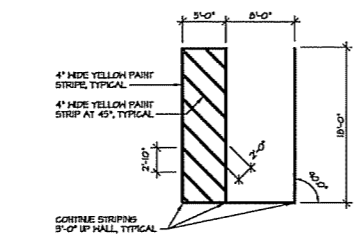
-  BUILDING M SANITARY
-  BUILDING R SANITARY
-  STORM

Sheet Title:
**BUILDING R
 PARKING STRUCTURE
 DRAINAGE SYSTEM**

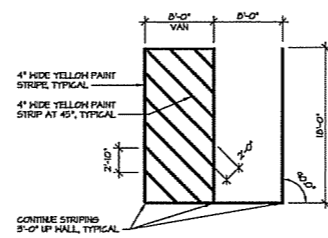
Revisions:			
No.	Date	Description	By

Project Number:	060297	Drawn By:	MMO
Date Issued:	10/17/07	Reviewed By:	MLS

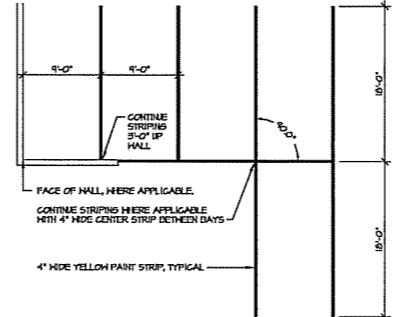
Sheet Number:
R200



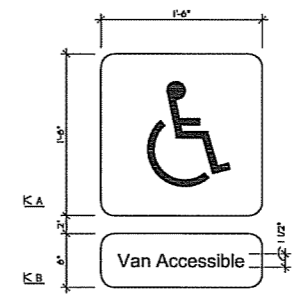
1
R900
90° ACCESSIBLE STALL STRIPING DETAIL
SCALE: NONE



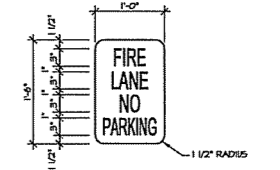
2
R900
90° VAN ACCESSIBLE STALL STRIPING DETAIL
SCALE: NONE



3
R900
90° STRIPING DETAIL
SCALE: NONE



4
R900
SIGN DETAIL - S11
SCALE: NONE



5
R900
SIGN DETAIL - S2B
SCALE: NONE

Sheet-Title:
SIGN SCHEDULE AND DETAILS

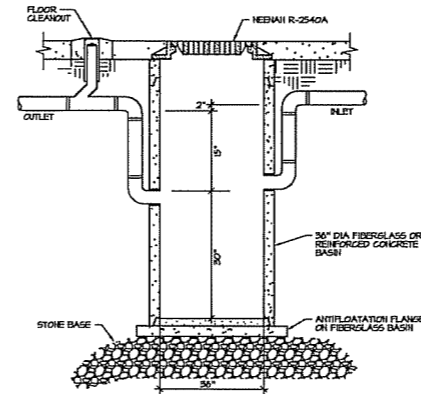
Revisions:

No.	Date	Description	By:

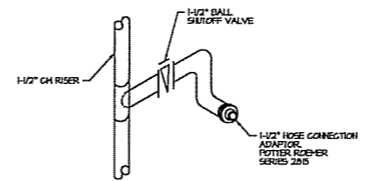
Project Number: 060297	Drawn By: MMO
Date Issued: 10/17/07	Reviewed By: MLS

Sheet Number:
R900

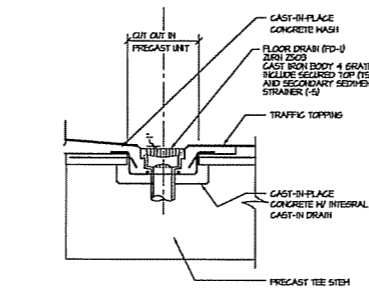
PLUMBING SCHEDULE			
DEVICE NO.	MANUF.	MODEL NO.	DESCRIPTION
FD-1	ZURN	Z 503 DRAIN	CAST IRON BODY AND TOP, INCLUDE (1) SECURED COVER, (4) SECONDARY STRAINER.
FD-2	ZURN	FD-221-S1 DRAIN	PVC BODY, NICKEL-BRONZE HEAD. INCLUDE STAINLESS STEEL SECURING SCREWS.
CO	ZURN	CO-2455 FINISHED CLEANOUT	PVC BODY, AISI 316, CASTIRON ADJUSTABLE HEAD, NICKEL BRONZE COVER.
CO	ZURN	Z 1441 VERTICAL CLEANOUT ACCESS COVER	CAST IRON TEE, AISI 316, NICKEL BRONZE, INCLUDE FOR FINISHED AREAS.
HB-1	IRACO	205-10-66 BALL VALVE	BRONZE, STAINLESS STEEL BALL & TRIM, FULL PORT, SOLDER OR THREADED ENDS.
HB-1	POTTER ROEMER	205 HOSE CONNECTION	BRASS, PIPE THREAD TO 1/2 HOSE CONNECTION ADAPTER.
RPZ BACKFLOW PREVENTION DEVICE	HATTS	RM SERIES RPZ	BRONZE, REPLACIBLE CHECK UNITS, TEST PRESSURE RATING, BALL SHUTOFF VALVES, ASSE 1020. INCLUDE STRAINER.
SUMP AND RIMP (ELEVATOR)	LITTLE GIANI AC INDUSTRIES	SERIES 0-GDA BASIN	SUBMERSIBLE RIMP (BRONZE HOUSING, OIL-FILLED) INTERNAL PRESSURE SWITCH CAPACITY OF 20 GPM AT 15 FEET TDL, 120 VOLT, SINGLE PHASE FIBERGLASS, 18-INCH DIAMETER BY 22-INCH DEEP, OPEN GRATE



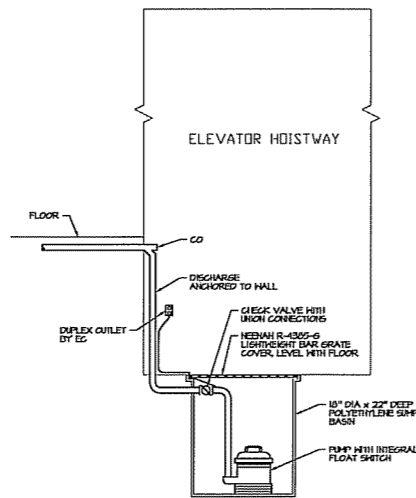
1 GARAGE CATCH BASIN DETAIL
SCALE: NONE



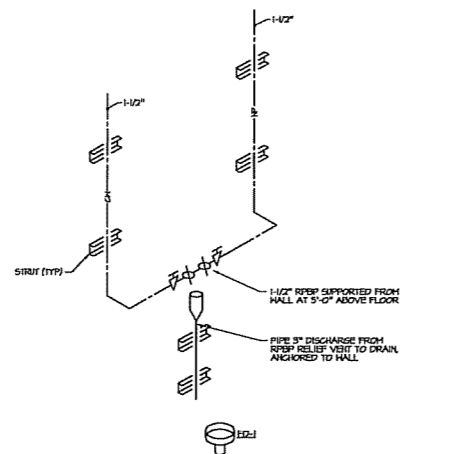
2 HOSE BIB (HB-1)
SCALE: NONE



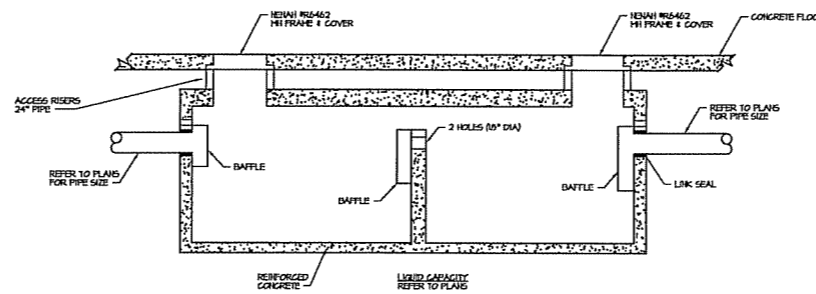
3 FLOOR DRAIN DETAIL (FD-1)
SCALE: NONE



5 SUMP PUMP DETAIL
SCALE: NONE



6 REDUCED PRESSURE BACKFLOW PREVENTER
SCALE: NONE



4 SAND/OIL INTERCEPTOR
SCALE: NONE

ARNOLD AND O'SHERIDAN INC.
CONSULTING ENGINEERS
STRUCTURAL ■ CIVIL ■ HVAC ■ PLUMBING
ELECTRICAL ■ TECHNOLOGY
MADISON, WISCONSIN (608) 271-8500
WOODRIFIELD, WISCONSIN (262) 773-6139
WWW.ARNOLDANDOSHERIDAN.COM

HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE BUILDING COMPANY LLC

Sheet Title:
PLUMBING LEGEND,
DETAILS, & INDEX

Revisions:			
No.	Date	Description	By

Project Number: 060297
Date Issued: 10/17/07
Drawn By: JML
Reviewed By: A&O

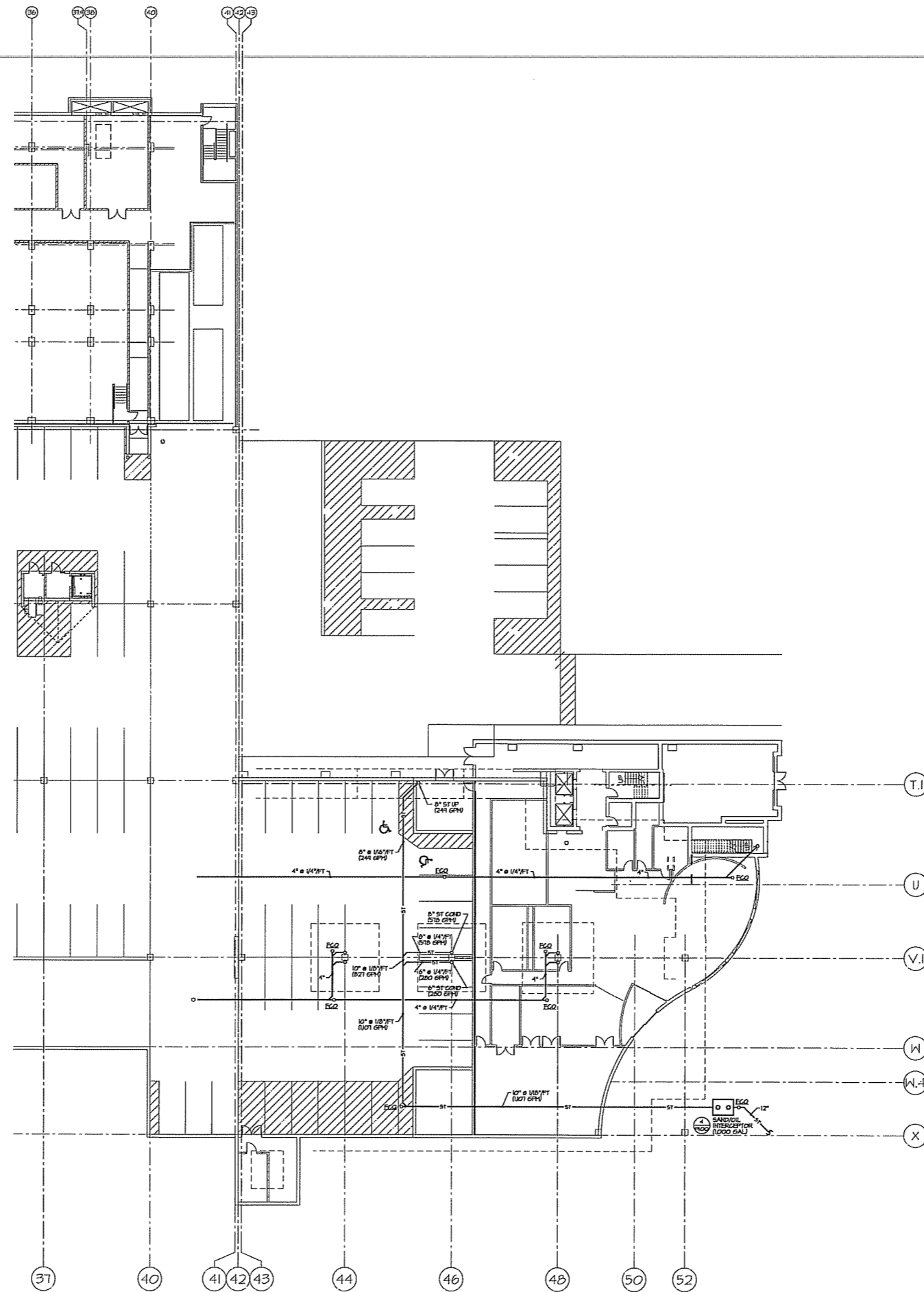
Sheet Number:
P100R



ARNOLD AND O'SHERIDAN INC.
 CONSULTING ENGINEERS
 STRUCTURAL ■ CIVIL ■ HVAC ■ PLUMBING
 ELECTRICAL ■ TECHNOLOGY
 MADISON, WISCONSIN (608) 271-8500
 BROOKFIELD, WISCONSIN (262) 781-8100
 WWW.ARNOLDANDOSHERIDAN.COM

HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
 MADISON, WI
 HILLDALE BUILDING COMPANY LLC



Sheet Title:
**BUILDING R
 UNDERFLOOR PARKING
 PLAN - EAST**

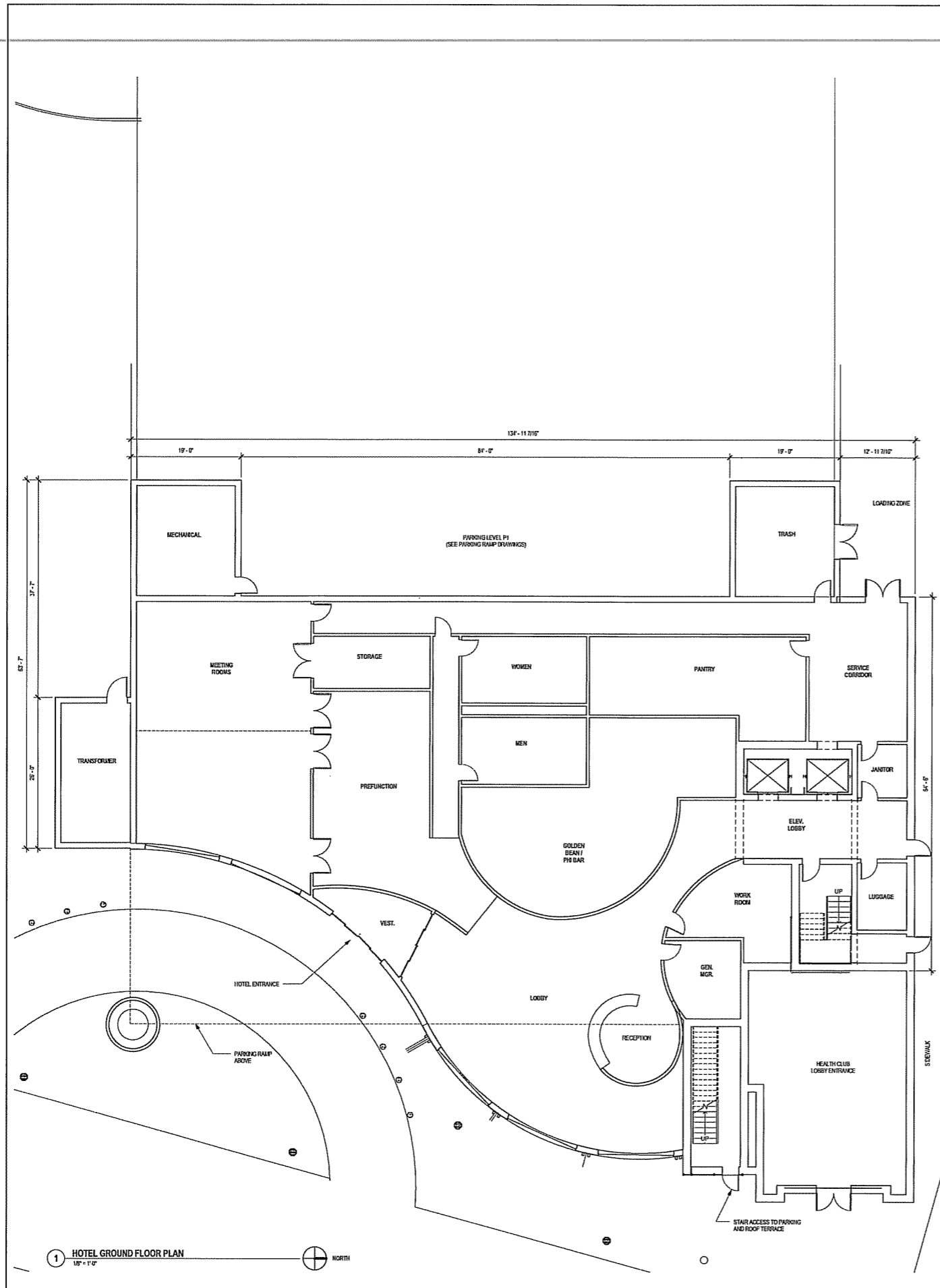
Revisions:

No.	Date	Description	By

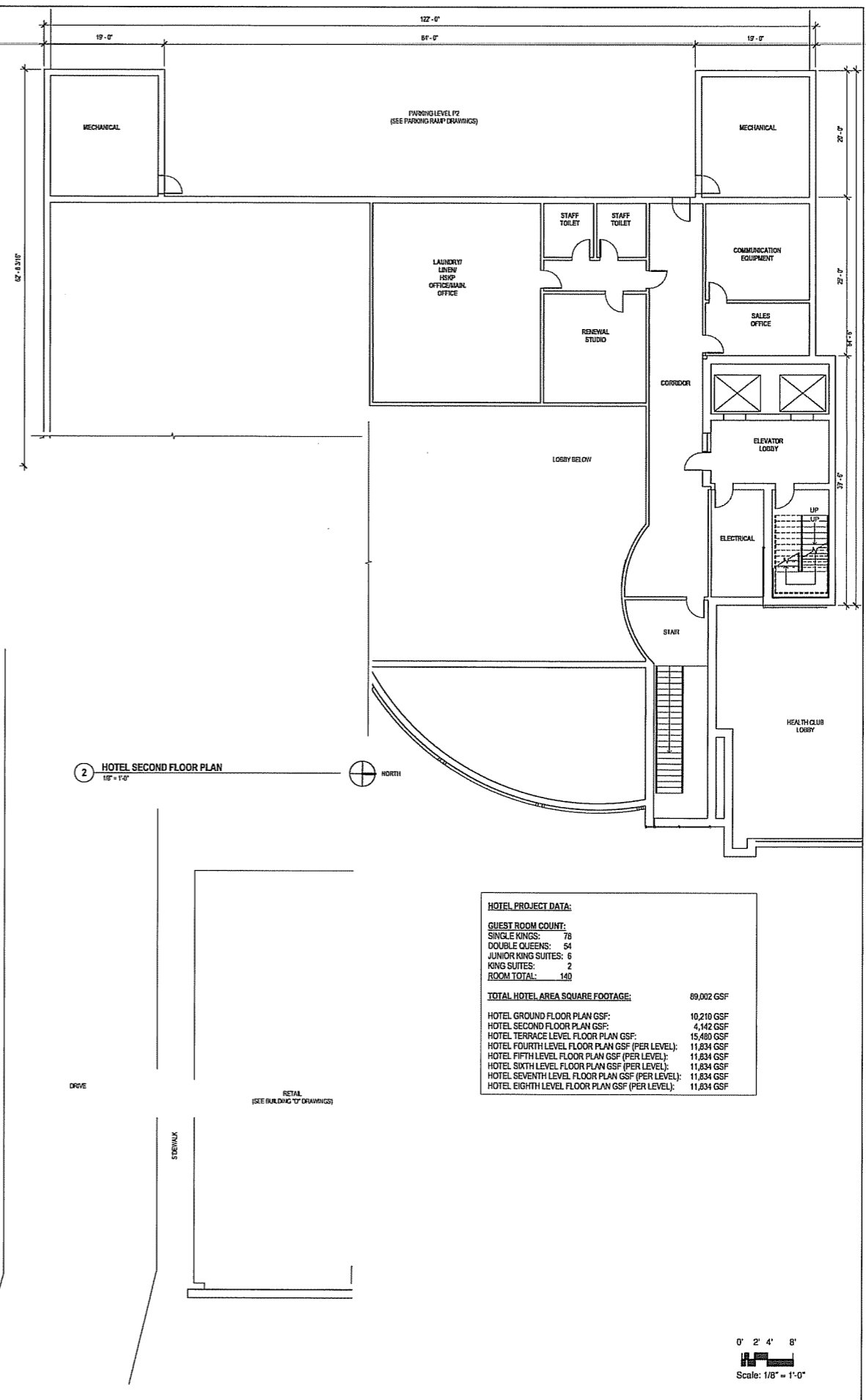
Project Number: 060297
 Date Issued: 10/17/07
 Drawn By: JML
 Reviewed By: A&O

Sheet Number:
P200N

UNDERFLOOR PARKING PLAN - EAST
 SCALE: 1/8" = 1'-0"



1 HOTEL GROUND FLOOR PLAN
1/8" = 1'-0"



2 HOTEL SECOND FLOOR PLAN
1/8" = 1'-0"

HOTEL PROJECT DATA:

GUEST ROOM COUNT:	
SINGLE KINGS:	78
DOUBLE QUEENS:	54
JUNIOR KING SUITES:	6
KING SUITES:	2
ROOM TOTAL:	140
TOTAL HOTEL AREA SQUARE FOOTAGE: 69,002 GSF	
HOTEL GROUND FLOOR PLAN GSF:	10,210 GSF
HOTEL SECOND FLOOR PLAN GSF:	4,142 GSF
HOTEL TERRACE LEVEL FLOOR PLAN GSF:	15,489 GSF
HOTEL FOURTH LEVEL FLOOR PLAN GSF (PER LEVEL):	11,834 GSF
HOTEL FIFTH LEVEL FLOOR PLAN GSF (PER LEVEL):	11,834 GSF
HOTEL SIXTH LEVEL FLOOR PLAN GSF (PER LEVEL):	11,834 GSF
HOTEL SEVENTH LEVEL FLOOR PLAN GSF (PER LEVEL):	11,834 GSF
HOTEL EIGHTH LEVEL FLOOR PLAN GSF (PER LEVEL):	11,834 GSF

HILDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI

HILDALE LAND COMPANY LLC

Sheet Title:
HOTEL GROUND AND SECOND FLOOR PLANS

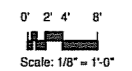
Revisions:

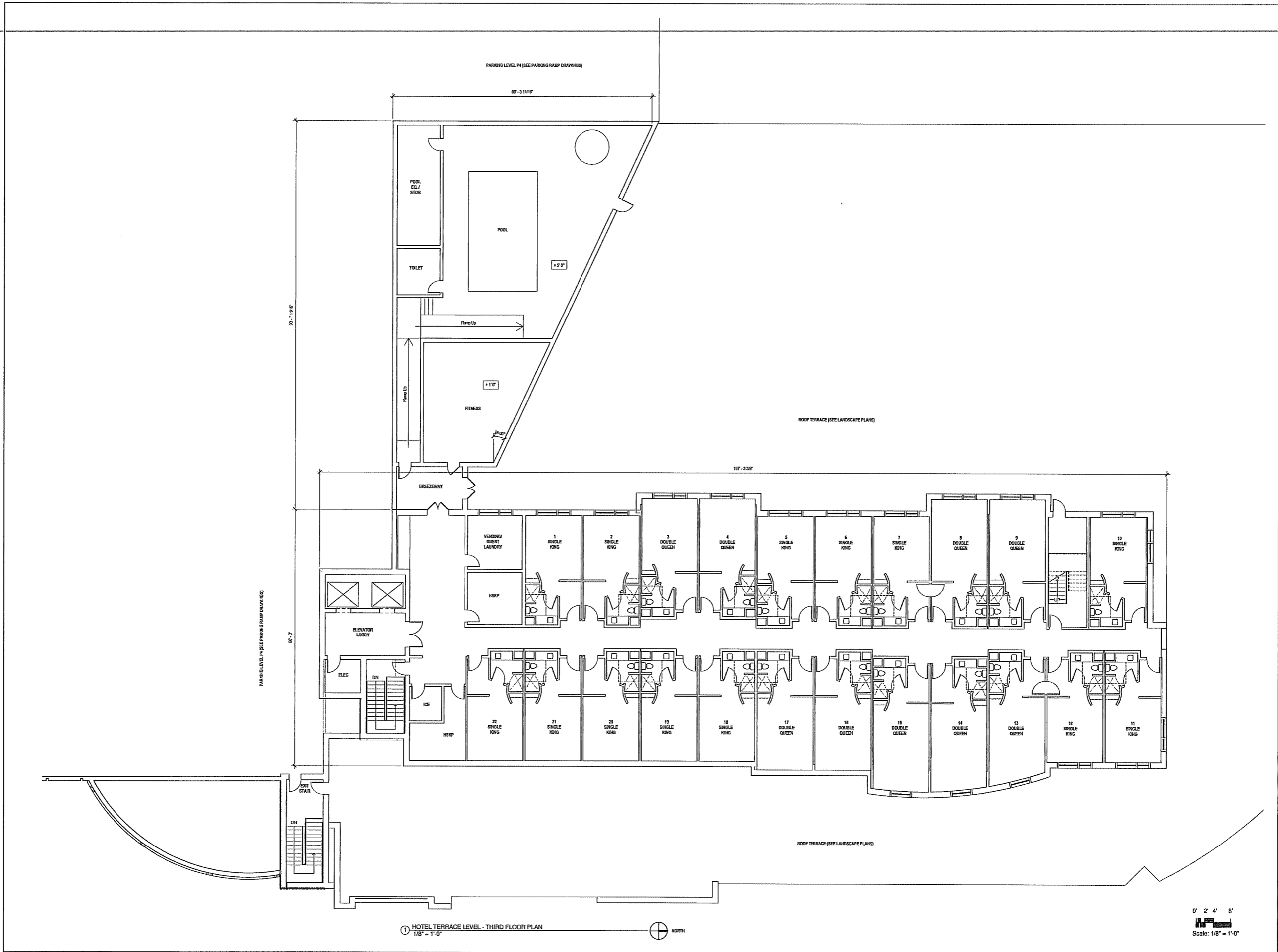
No.	Date	Description	By:

Project Number:
07043

Date Issued:
10-17-07

Sheet Number:
A 101





HILDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI

HILDALE LAND COMPANY LLC

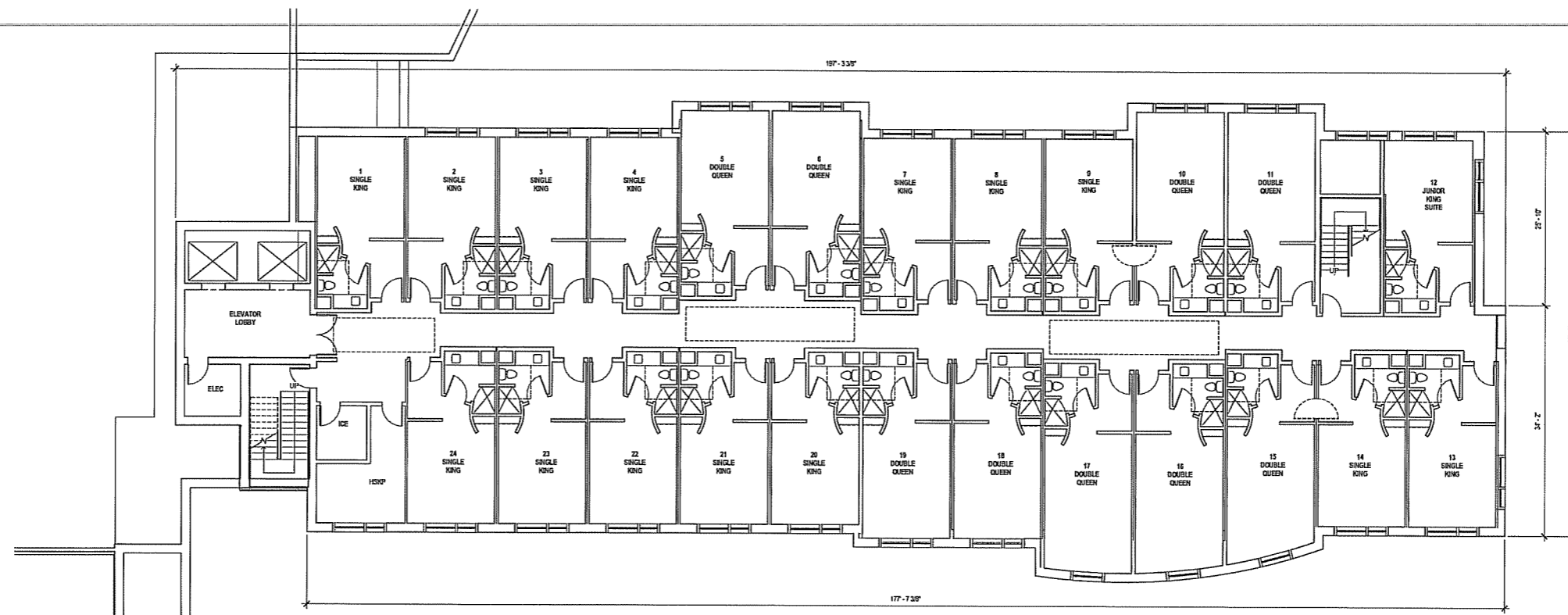
Sheet Title:
HOTEL TERRACE LEVEL -
THIRD FLOOR PLAN

Revisions:		
No.	Date:	Description:

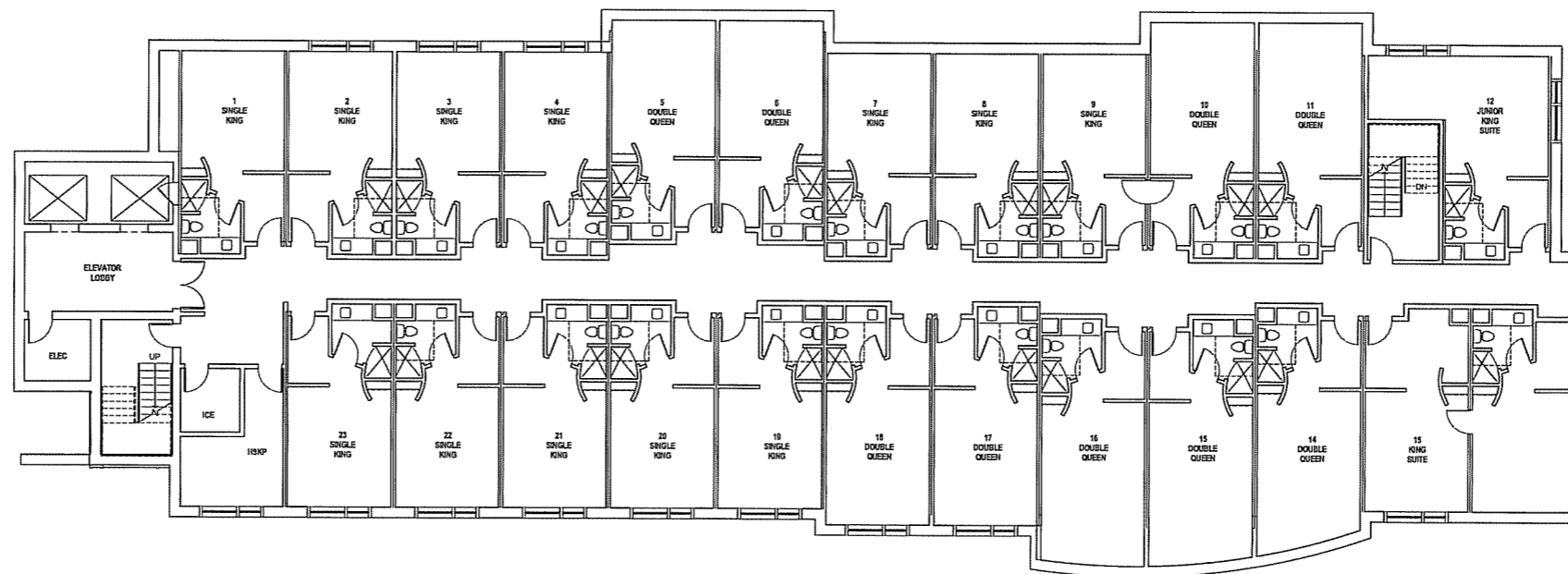
Project Number:
07043

Date Issued:
10-17-07

Sheet Number:
A 102



1 HOTEL FLOOR PLANS 4, 5 & 6
1/8" = 1'-0" NORTH



2 HOTEL FLOOR PLANS 7 & 8
1/8" = 1'-0" NORTH

0' 2' 4' 8'
Scale: 1/8" = 1'-0"

HILDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI

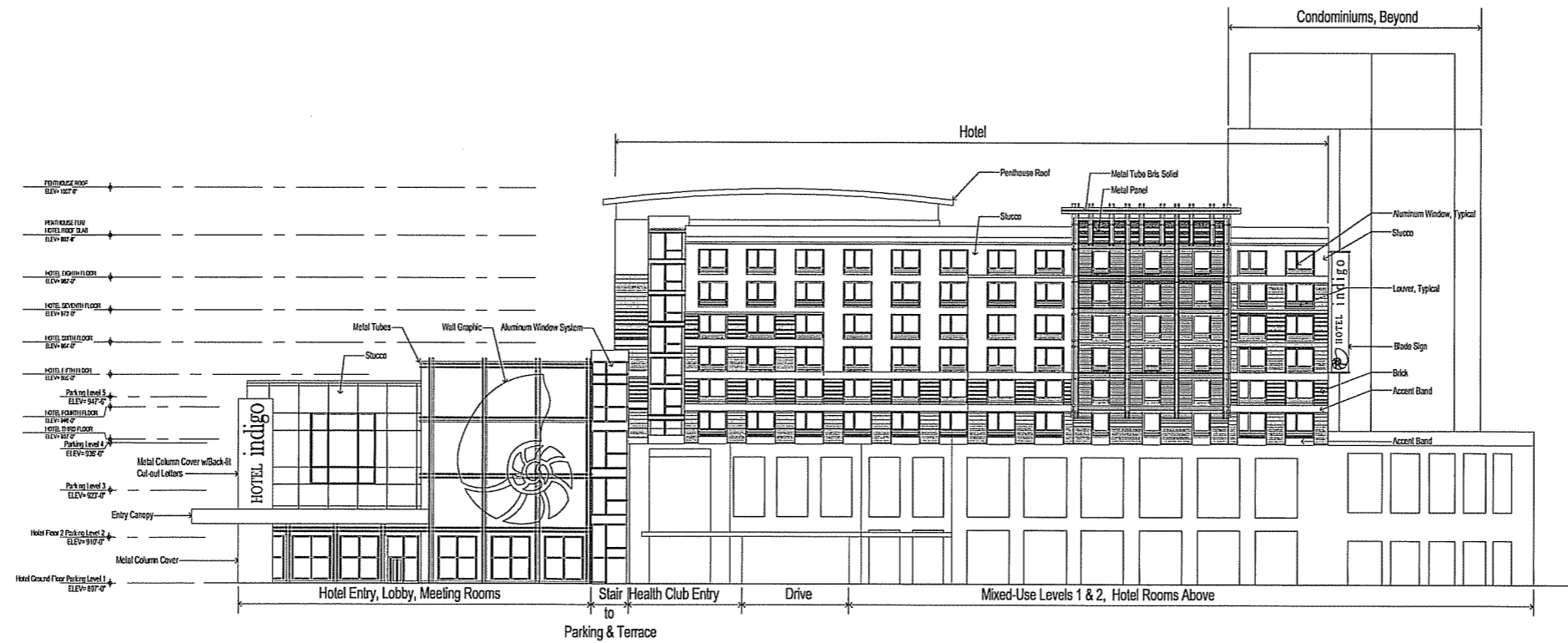
HILDALE LAND COMPANY LLC

Sheet Title:
TYPICAL HOTEL FLOOR PLANS

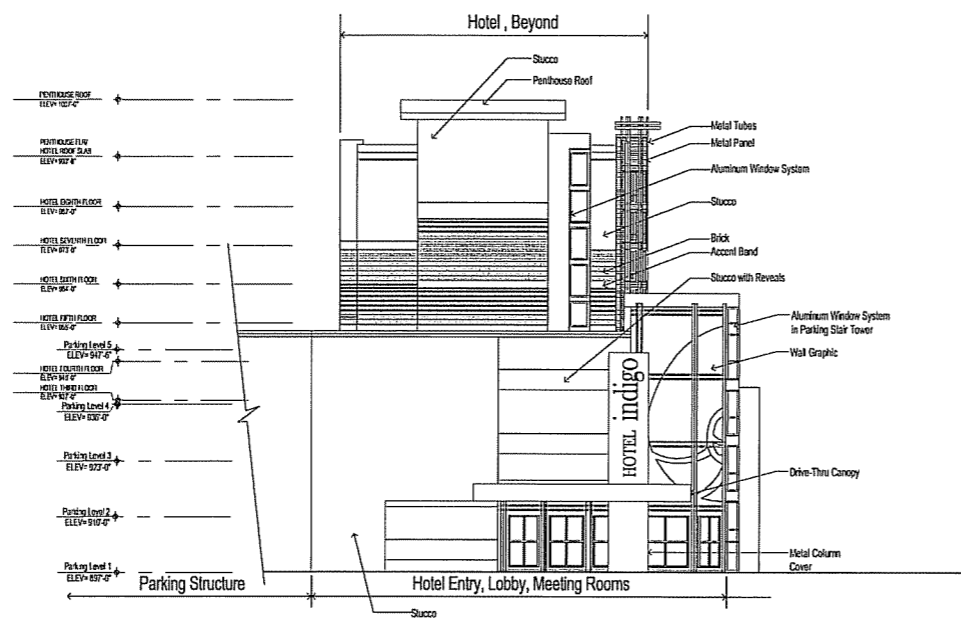
Revisions:		
No.	Date	Description

Project Number:
07043
Date Issued:
10-17-07

Sheet Number:
A 103



1 HOTEL EAST ELEVATION
1/8" = 1'-0"



2 HOTEL SOUTH ELEVATION
1/8" = 1'-0"

HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI

HILLDALE LAND COMPANY LLC

Sheet Title:
HOTEL EXTERIOR ELEVATIONS

Revisions:		
No.	Date	Description

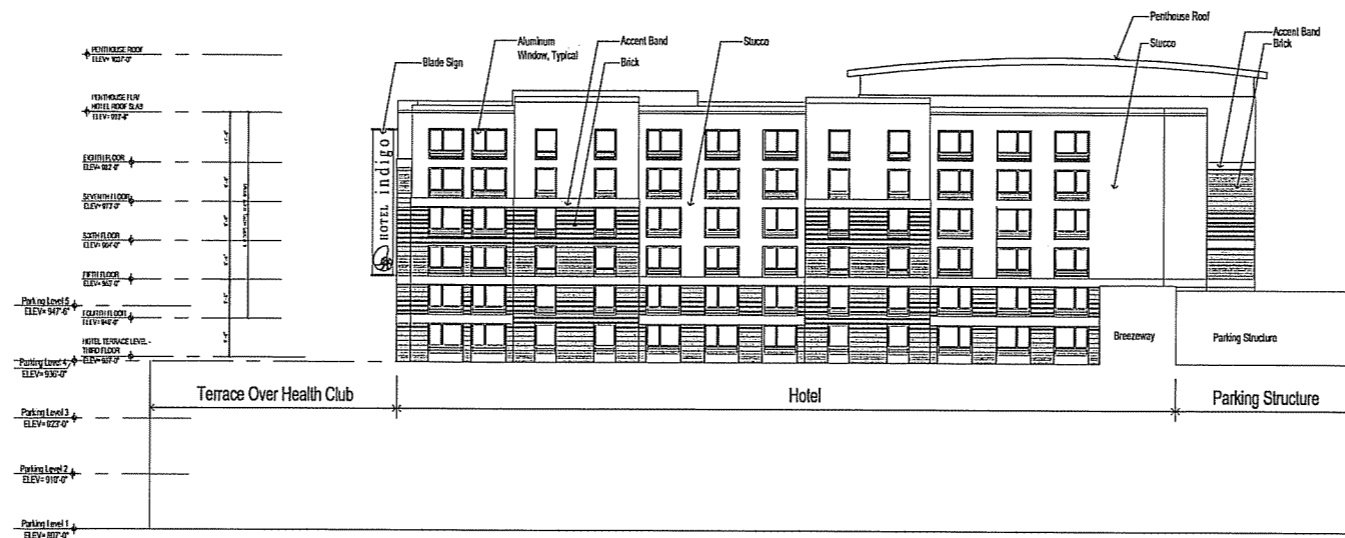
Project Number:
07043

Date Issued:
10-17-07

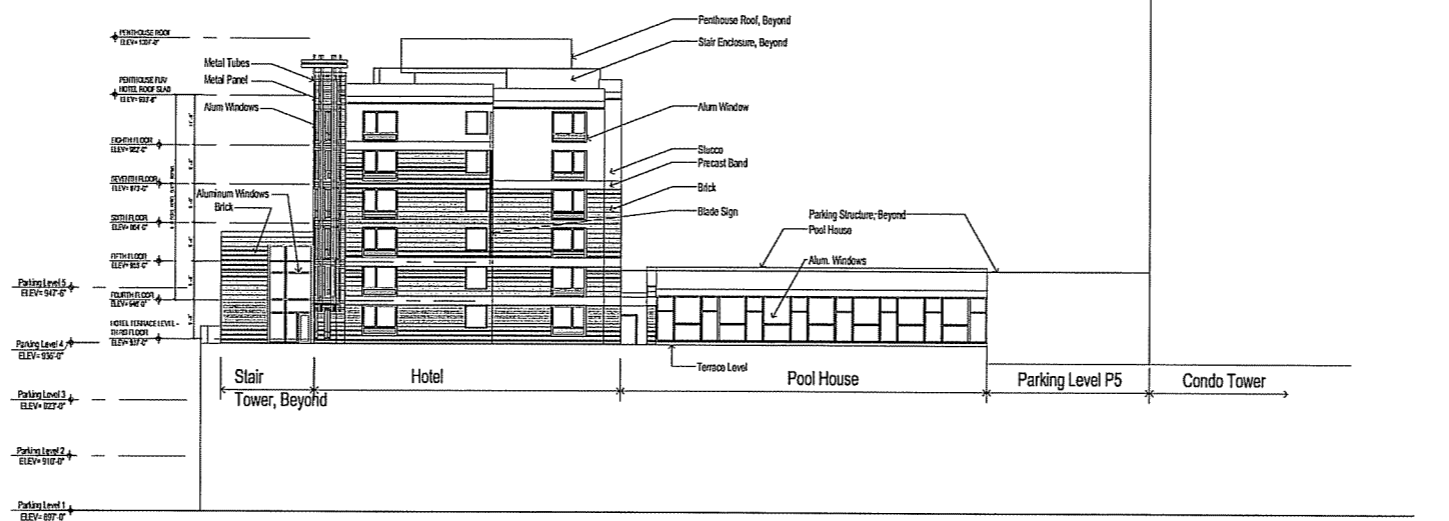
Sheet Number:

A 201





1 HOTEL WEST ELEVATION
1/8" = 1'-0"



2 HOTEL NORTH ELEVATION
1/8" = 1'-0"

HILDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI

HILDALE LAND COMPANY LLC

Sheet Title:
HOTEL EXTERIOR ELEVATIONS

Revisions:		
No.	Date	Description

Project Number:
07043

Date Issued:
10-17-07

Sheet Number:
A 202

