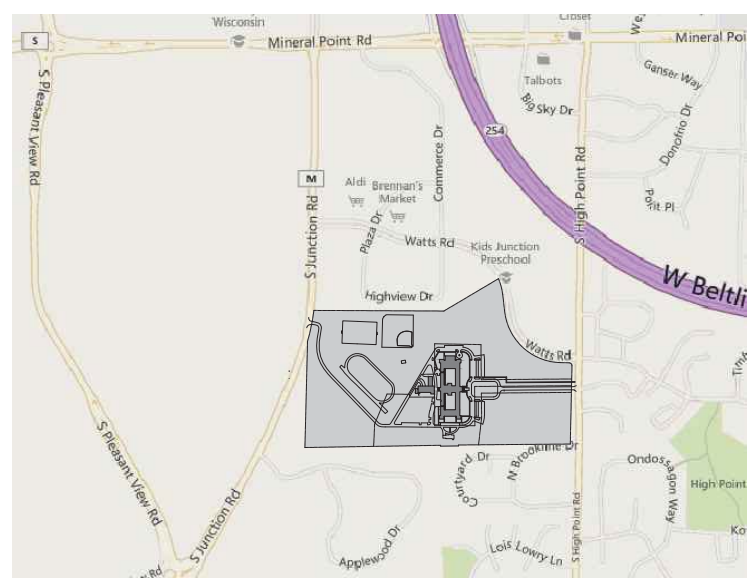
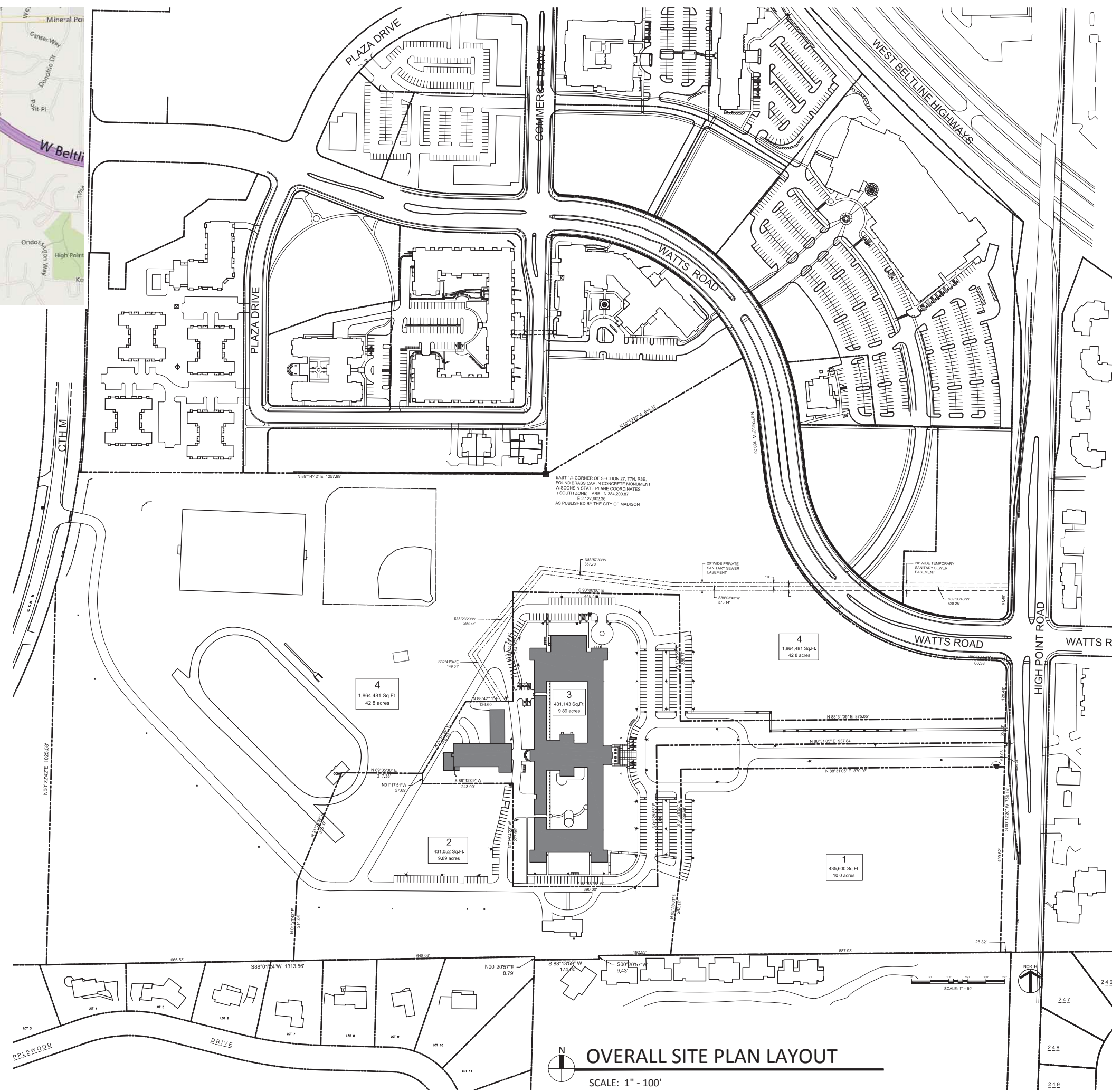


Seal

Consultant



SITE LOCATOR MAP



BISHOP O'CONNOR CENTER

702 S. HIGH POINT ROAD
MADISON, WI 53719

SHEET INDEX

C100	OVERALL SITE PLAN LAYOUT
C101	AERIAL SITE LOCATOR
C102	SITE PLAN LAYOUT
C103	SITE PLAN LAYOUT
C201	GRADING PLAN
C202	GRADING PLAN
L100	LANDSCAPE PLAN
D100	GROUND FLOOR DEMO PLAN
D101	FIRST FLOOR DEMO PLAN
D102	SECOND FLOOR DEMO PLAN
D103	THIRD FLOOR DEMO PLAN
A100	PROPOSED GROUND FLOOR PLAN
A101	PROPOSED FIRST FLOOR PLAN
A102	PROPOSED SECOND FLOOR PLAN
A103	PROPOSED THIRD FLOOR PLAN
A104	ROOF PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A203	EXTERIOR ELEVATIONS

PROJECT DATA

SITE DEVELOPMENT DATA:

SITE DENSITIES:
 LOT AREA: 3,162,276 Sq.Ft./ 72.59 ACRE
 DWELLING UNITS 58 UNITS
 LOT AREA / D.U. 54,522 sq.ft. / D.U.
 DENSITY 1.25 D.U. / ACRE

SITE COVERAGE:
IMPERVIOUS:
 BUILDING: 97,513 sq.ft. (3.1 %)
 PAVEMENT: 264,098 sq.ft. (8.4 %)
 SIDEWALKS: 21,222 sq.ft. (0.7 %)
 TOTAL: 382,833 sq.ft. (12.2%)
OPEN SPACE: 2,779,446 sq.ft. (87.8%)

BUILDING HEIGHT: 3 STORIES, 45 FEET

VEHICLE PARKING STALLS:	BICYCLE PARKING STALLS:
ENCLOSED: 60	ENCLOSED: 13
SURFACE: 292	SURFACE: 48
352 TOTAL	61 TOTAL

DWELLING UNIT MIX:
 GUEST SUITE: 1
 ONE BEDROOM: 32
 TWO BEDROOM: 25
 58 TOTAL

BUILDING AREA:
 DIOCESE OFFICES: 65,211 s.f. (28.4 %)
 DIOCESE APARTMENTS: 3,229 s.f. (1.4 %)
 RELIGIOUS CHAPEL: 13,241 s.f. (5.8 %)
 CATERING KITCHEN: 6,171 s.f. (2.7 %)
 APARTMENTS & AMMENITIES: 21,200 s.f. (9.2 %)
 POOL: 9,666 s.f. (4.2 %)
 GYMNASIUM: 7,554 s.f. (3.3 %)
 MISC. (CORRIDOR, MECH, STAIR): 103,410 s.f. (45.0 %)
 TOTAL: 229,682 s.f.

Project No.	BOC
Plot Date:	09-24-2014
Drawn by:	mott

Date	Issue Description
09-23-2014	Issued UDC Informational
09-24-2014	Issued PD

Sheet Title
OVERALL SITE PLAN LAYOUT

Sheet No.
C100

OVERALL SITE PLAN LAYOUT
SCALE: 1" = 100'

Seal

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BISHOP O'CONNOR CENTER

**702 S. HIGH POINT ROAD
MADISON, WI 53719**

Project No. BOC
Plot Date: 09-24-2014
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Sheet Title
AERIAL SITE LOCATOR PLAN

Sheet No.
C101



 AERIAL SITE LOCATOR PLAN

Seal

Consultant

HIGH POINT ROAD

BISHOP O'CONNOR CENTER

702 S. HIGH POINT ROAD
MADISON, WI 53719

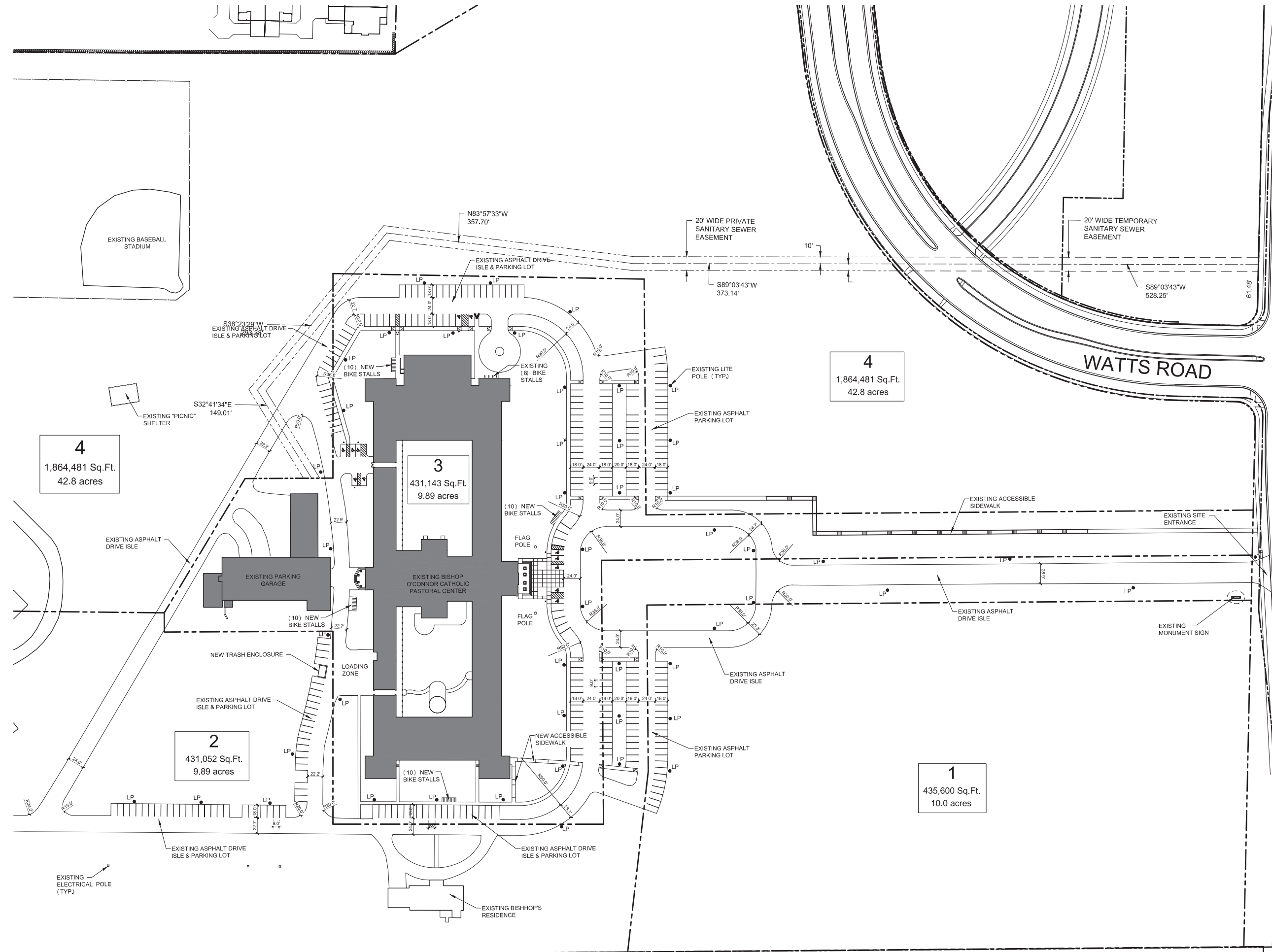
Project No.	BOC
Plot Date:	09-24-2014
Drawn by:	mott
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09-23-2014	Issued UDC Informational
09-24-2014	Issued PD

Sheet Title

SITE PLAN LAYOUT

Sheet No.

C102



SITE PLAN LAYOUT

SCALE: 1" = 50'



Seal

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BISHOP O'CONNOR CENTER

**702 S. HIGH POINT ROAD
MADISON, WI 53719**

Project No. BOC
Plot Date: 09-24-2014
Drawn by: mott

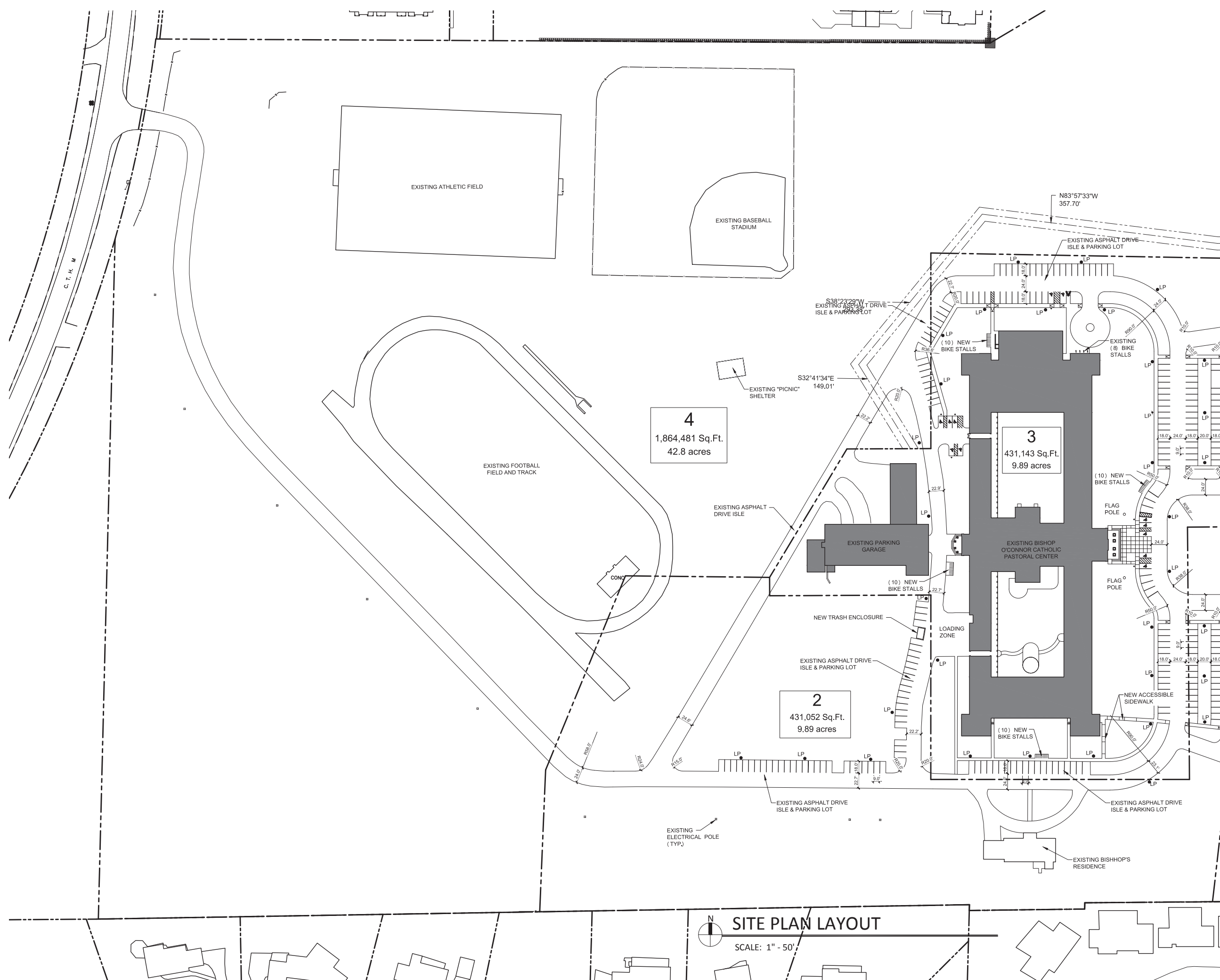
Date	Issue Description
09-23-2014	Issued UDC Informational
09-24-2014	Issued PD

Sheet Title

SITE PLAN LAYOUT

Sheet No.

C103



SITE PLAN LAYOUT
SCALE: 1" = 50'

Seal

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HIGH POINT ROAD

WATTS ROAD

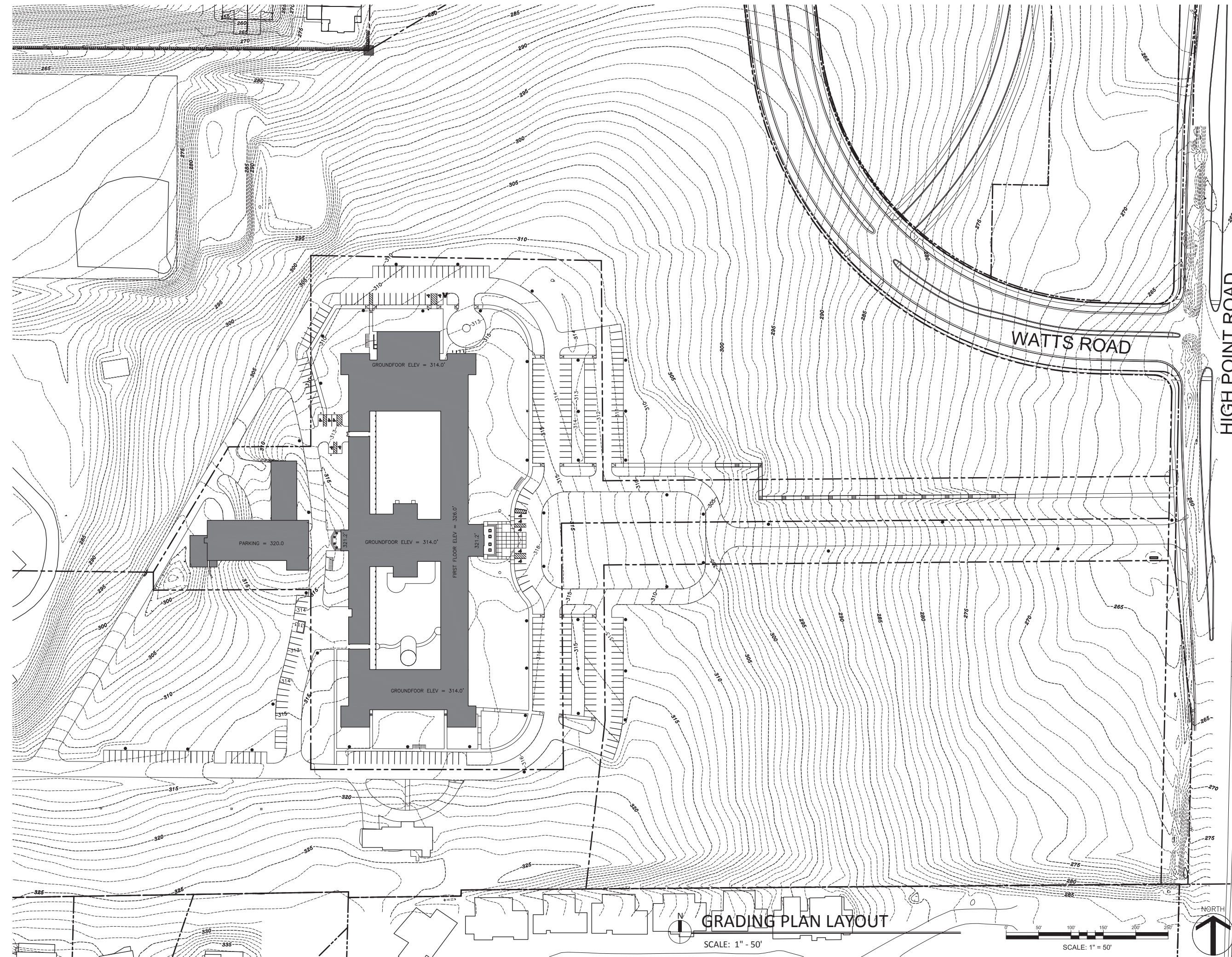
BISHOP O'CONNOR CENTER

702 S. HIGH POINT ROAD
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Project No.	BOC
Plot Date:	09-24-2014
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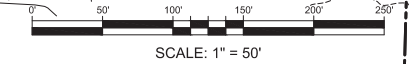
Sheet Title
GRADING PLAN

Sheet No.
C201



GRADING PLAN LAYOUT

SCALE: 1" = 50'



SCALE: 1" = 50'



Seal

Consultant

BISHOP O'CONNOR CENTER

702 S. HIGH POINT ROAD
 MADISON, WI 53719

Project No.	BOC
Plot Date:	09-24-2014
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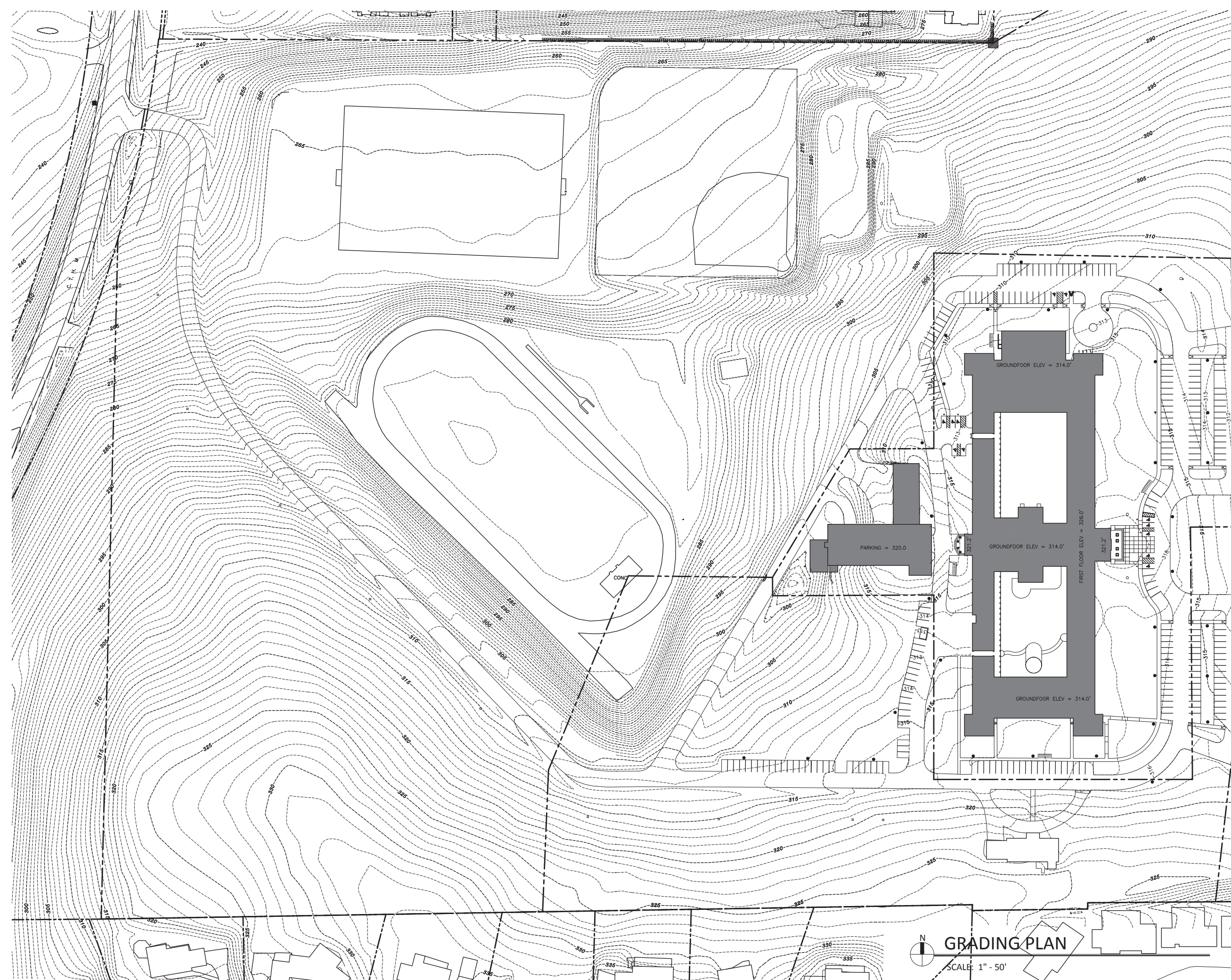
Date	Issue Description
09-23-2014	Issued UDC Informational
09-24-2014	Issued PD

Sheet Title

GRADING PLAN

Sheet No.

C202



GRADING PLAN
 SCALE: 1" = 50'

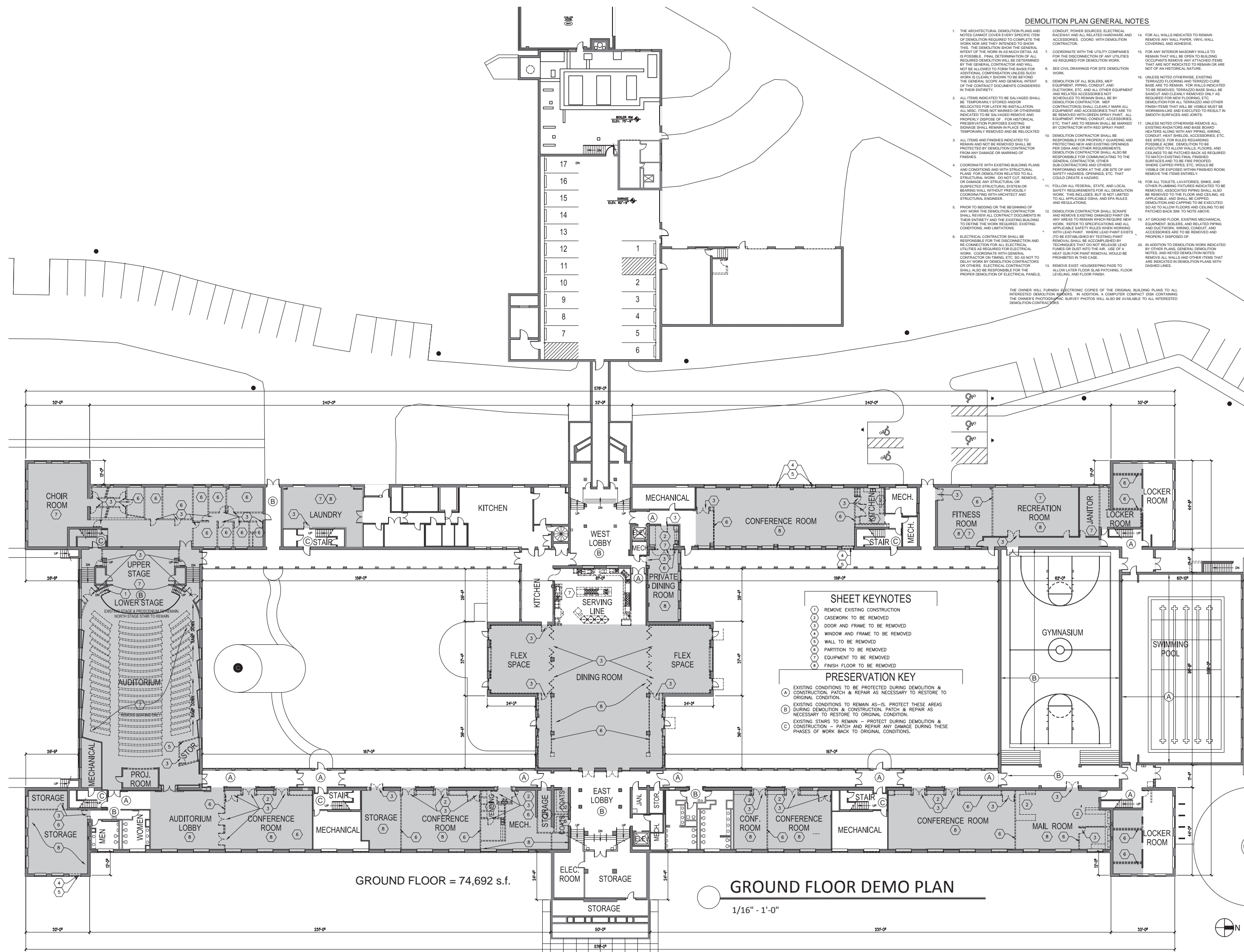
Seal

Consultant

DEMOLITION PLAN GENERAL NOTES

- THE ARCHITECTURAL DEMOLITION PLANS AND NOTES CANNOT COVER EVERY SPECIFIC ITEM OF DEMOLITION REQUIRED TO COMPLETE THE WORK NOR ARE THEY INTENDED TO SHOW THIS. THE DEMOLITION SHOW THE GENERAL INTENT OF THE WORK IN AS MUCH DETAIL AS IS POSSIBLE. FINAL DETERMINATION OF ALL REQUIRED DEMOLITION WILL BE DETERMINED BY THE GENERAL CONTRACTOR AND WILL NOT BE ALLOWED TO FORM THE BASIS FOR ADDITIONAL COMPENSATION UNLESS SUCH WORK IS CLEARLY SHOWN TO BE BEYOND THE GENERAL SCOPE AND GENERAL INTENT OF THE CONTRACT DOCUMENTS CONSIDERED IN THEIR ENTIRETY.
- ALL ITEMS INDICATED TO BE SALVAGED SHALL BE TEMPORARILY STORED AND/OR RELOCATED FOR LATER RE-INSTALLATION. ALL MISC. ITEMS NOT MARKED OR OTHERWISE INDICATED TO BE SALVAGED REMOVE AND PROPERLY DISPOSE OF. FOR HISTORICAL PRESERVATION PURPOSES EXISTING SIGNAGE SHALL REMAIN IN PLACE OR BE TEMPORARILY REMOVED AND BE RELOCATED.
- ALL ITEMS AND FINISHES INDICATED TO REMAIN AND NOT BE REMOVED SHALL BE PROTECTED BY DEMOLITION CONTRACTOR FROM ANY DAMAGE OR MARKING OF FINISHES.
- COORDINATE WITH EXISTING BUILDING PLANS AND CONDITIONS AND WITH STRUCTURAL PLANS FOR DEMOLITION RELATED TO ALL STRUCTURAL WORK. DO NOT CUT, REMOVE, OR DAMAGE ANY STRUCTURAL OR SUSPECTED STRUCTURAL SYSTEM OR BEARING WALL WITHOUT PREVIOUSLY COORDINATING WITH ARCHITECT AND STRUCTURAL ENGINEER.
- PRIOR TO BIDDING OR THE BEGINNING OF ANY WORK THE DEMOLITION CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY AND THE EXISTING BUILDING TO DEFINE THE WORK REQUIRED, EXISTING CONDITIONS, AND LIMITATIONS.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION AND RE-CONNECTION FOR ALL ELECTRICAL UTILITIES AS REQUIRED FOR ELECTRICAL WORK. COORDINATE WITH GENERAL CONTRACTOR ON TRIMMS, ETC. DO NOT DELAY WORK BY DEMOLITION CONTRACTORS OR OTHERS. ELECTRICAL CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PROPER DEMOLITION OF ELECTRICAL PANELS.
- CONDUIT, POWER SOURCES, ELECTRICAL RACEWAY AND ALL RELATED HARDWARE AND ACCESSORIES. COORD. WITH DEMOLITION CONTRACTOR.
- COORDINATE WITH THE UTILITY COMPANIES FOR THE DISCONNECTION OF ANY UTILITIES AS REQUIRED FOR DEMOLITION WORK.
- SEE CIVIL DRAWINGS FOR SITE DEMOLITION WORK.
- DEMOLITION OF ALL BOILERS, MEP EQUIPMENT, PIPING, CONDUIT, AND DUCTWORK, ETC. AND ALL OTHER EQUIPMENT AND RELATED ACCESSORIES NOT SCHEDULED TO REMAIN SHALL BE MARKED BY DEMOLITION CONTRACTOR. MEP CONTRACTORS SHALL CLEARLY MARK ALL EQUIPMENT AND ACCESSORIES THAT ARE TO BE REMOVED WITH GREEN SPRAY PAINT. ALL EQUIPMENT, PIPING, CONDUIT, ACCESSORIES, ETC. THAT ARE TO REMAIN SHALL BE MARKED BY CONTRACTOR WITH RED SPRAY PAINT.
- DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY GUARDING AND PROTECTING NEW AND EXISTING OPENINGS PER OSHA AND OTHER REQUIREMENTS. DEMOLITION CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COMMUNICATING TO THE GENERAL CONTRACTOR, OTHER SUB-CONTRACTORS AND OTHERS PERFORMING WORK AT THE JOB SITE OF ANY SAFETY HAZARDS, OPENINGS, ETC. THAT COULD CREATE A HAZARD.
- FOLLOW ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS FOR ALL DEMOLITION WORK. THIS INCLUDES, BUT IS NOT LIMITED TO ALL APPLICABLE OSHA, AND EPA RULES AND REGULATIONS.
- DEMOLITION CONTRACTOR SHALL SCRAPE AND REMOVE EXISTING DAMAGED PAINT ON ANY AREAS TO REMAIN WHICH REQUIRE NEW WORK. REFER TO SPECIFICATIONS AND ALL APPLICABLE SAFETY RULES WHEN WORKING WITH LEAD PAINT. WHERE LEAD PAINT EXISTS (TO BE ESTABLISHED BY TESTING) PAINT REMOVAL SHALL BE ACCOMPANIED BY TECHNIQUES THAT DO NOT RELEASE LEAD FUMES OR DUST INTO THE AIR. USE OF A HEAT GUN FOR PAINT REMOVAL WOULD BE PROHIBITED IN THIS CASE.
- REMOVE EXIST. HOUSEKEEPING PADS TO ALLOW LATER FLOOR SLAB PATCHING, FLOOR LEVELING, AND FLOOR FINISH.
- FOR ALL WALLS INDICATED TO REMAIN REMOVE ANY WALL PAPER, VINYL WALL COVERING, AND ADHESIVE.
- FOR ANY INTERIOR MASONRY WALLS TO REMAIN THAT WILL BE OPEN TO BUILDING OCCUPANTS REMOVE ANY ATTACHED ITEMS THAT ARE NOT INDICATED TO REMAIN OR ARE NOT OF AN HISTORICAL NATURE.
- UNLESS NOTED OTHERWISE, EXISTING TERRAZZO FLOORING AND BASE BOARD SHALL BE REMOVED. TERRAZZO BASE SHALL BE SAWCUT AND CLEANLY REMOVED ONLY AS REQUIRED FOR NEW FLOORING, ETC.
- DEMOLITION FOR ALL TERRAZZO AND OTHER FINISH ITEMS THAT WILL BE VISIBLE MUST BE WORKMAN-LIKE AND EXECUTED TO RESULT IN SMOOTH SURFACES AND JOINTS.
- UNLESS NOTED OTHERWISE REMOVE ALL EXISTING RADIATORS AND BASE BOARD HEATERS ALONG WITH ANY PIPING, WIRING, CONDUIT, HEAT SHIELDS, ACCESSORIES, ETC. SEE SPECS. FOR RULES REGARDING POSSIBLE ACRI. DEMOLITION TO BE EXECUTED TO ALLOW WALLS, FLOORS, AND CEILING TO BE PATCHED BACK AS REQUIRED TO MATCH EXISTING FINAL FINISHED SURFACES AND TO BE FIRE PROOFED, WHERE CAPPED PIPES, ETC. WOULD BE VISIBLE OR EXPOSED WITHIN FINISHED ROOM, REMOVE THE ITEMS ENTIRELY.
- FOR ALL TOILETS, LAVATORIES, SINKS, AND OTHER PLUMBING FIXTURES INDICATED TO BE REMOVED, ASSOCIATED PIPING SHALL ALSO BE REMOVED TO THE FLOOR AND CEILING, AS APPLICABLE, AND SHALL BE CAPPED, DEMOLITION AND CAPPING TO BE EXECUTED SO AS TO ALLOW FLOORS AND CEILING TO BE PATCHED BACK SEE TO NOTE ABOVE.
- AT GROUND FLOOR, EXISTING MECHANICAL EQUIPMENT, BOILERS, AND RELATED PIPING AND DUCTWORK, WIRING, CONDUIT, AND ACCESSORIES ARE TO BE REMOVED AND PROPERLY DISPOSED OF.
- IN ADDITION TO DEMOLITION WORK INDICATED BY OTHER PLANS, GENERAL DEMOLITION NOTES, AND KEYED DEMOLITION NOTES, REMOVE ALL WALLS AND OTHER ITEMS THAT ARE INDICATED IN DEMOLITION PLANS WITH DASHED LINES.

THE OWNER WILL FURNISH ELECTRONIC COPIES OF THE ORIGINAL BUILDING PLANS TO ALL INTERESTED DEMOLITION EXPERTS. IN ADDITION, A COMPUTER COMPACT DISK CONTAINING THE OWNER'S PHOTOGRAPHIC SURVEY PHOTOS WILL ALSO BE AVAILABLE TO ALL INTERESTED DEMOLITION CONTRACTORS.



SHEET KEYNOTES

- 1 REMOVE EXISTING CONSTRUCTION CASEWORK TO BE REMOVED
- 2 DOOR AND FRAME TO BE REMOVED
- 3 WINDOW AND FRAME TO BE REMOVED
- 4 WALL TO BE REMOVED
- 5 PARTITION TO BE REMOVED
- 6 EQUIPMENT TO BE REMOVED
- 7 FINISH FLOOR TO BE REMOVED

PRESERVATION KEY

- (A) EXISTING CONDITIONS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. PATCH & REPAIR AS NECESSARY TO RESTORE TO ORIGINAL CONDITION.
- (B) EXISTING CONDITIONS TO REMAIN AS-IS. PROTECT THESE AREAS DURING DEMOLITION & CONSTRUCTION. PATCH & REPAIR AS NECESSARY TO RESTORE TO ORIGINAL CONDITION.
- (C) EXISTING STAIRS TO REMAIN - PROTECT DURING DEMOLITION & CONSTRUCTION - PATCH AND REPAIR ANY DAMAGE DURING THESE PHASES OF WORK BACK TO ORIGINAL CONDITIONS.

GROUND FLOOR = 74,692 s.f.

GROUND FLOOR DEMO PLAN

1/16" = 1'-0"

Project No.	BOC
Plot Date:	09-24-2014
Drawn by:	mott

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09-24-2014	Issued PD

Sheet Title
 GROUND FLOOR DEMO PLAN

SCALE: 1/16" = 1'-0"

Sheet No.

D100

Consultant

BISHOP O'CONNOR CENTER
 702 S. HIGH POINT ROAD
 MADISON, WI 53719

Seal

Consultant

BISHOP O'CONNOR CENTER
 702 S. HIGH POINT ROAD
 MADISON, WI 53719

Project No. BOC
 Plot Date: 09-24-2014
 Drawn by: mott

Date	Issue Description
09-23-2014	Issued UDC Informational
09-24-2014	Issued PD

Sheet Title
FIRST FLOOR DEMO PLAN

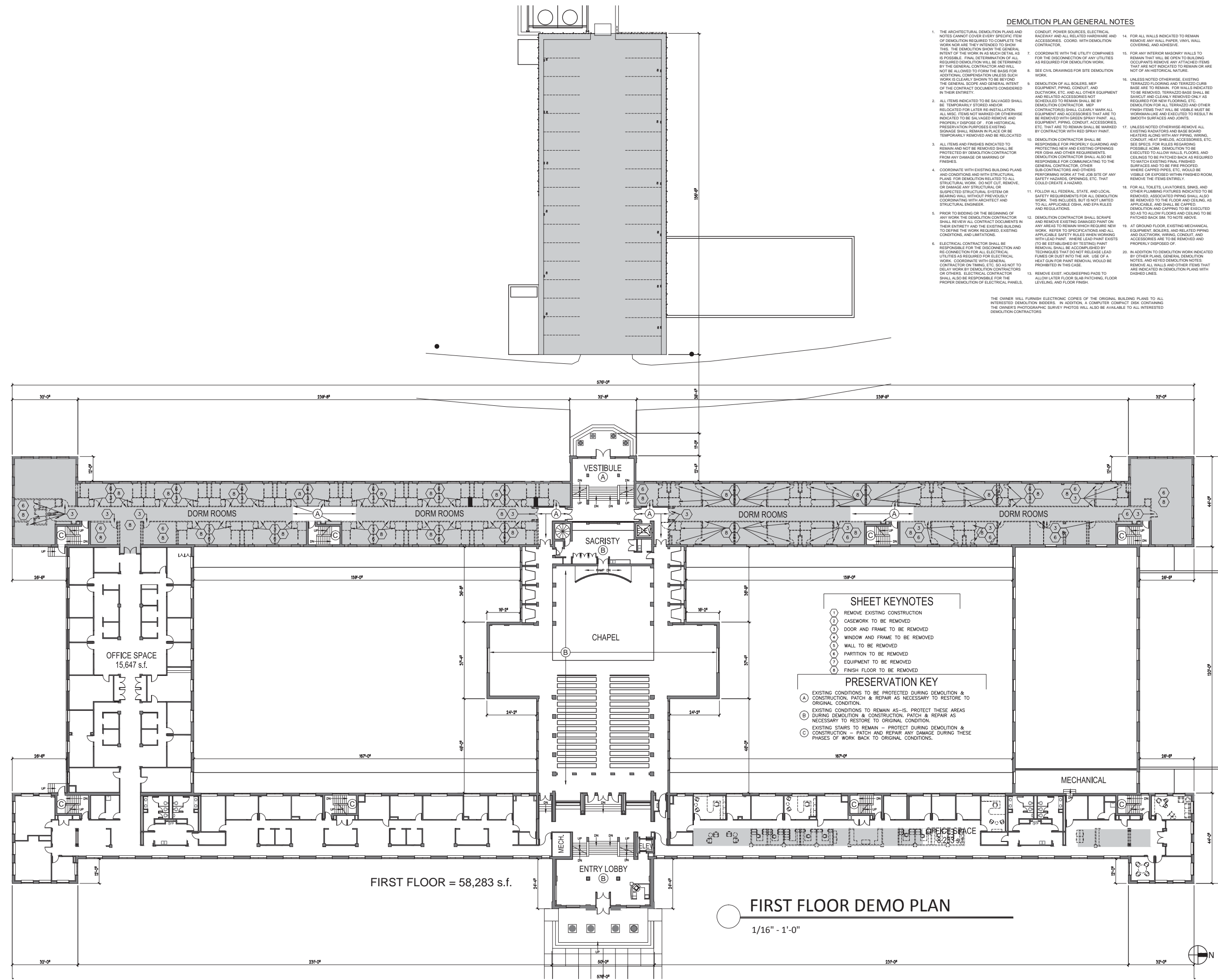
SCALE: 1/16" = 1'-0"

Sheet No.
D101

DEMOLITION PLAN GENERAL NOTES

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- ALL ITEMS INDICATED TO BE SALVAGED SHALL BE TEMPORARILY STORED AND/OR RELOCATED FOR LATER RE-INSTALLATION. ALL MISC. ITEMS NOT MARKED OR OTHERWISE INDICATED TO BE SALVAGED REMOVE AND PROPERLY DISPOSE OF. FOR HISTORICAL PRESERVATION PURPOSES EXISTING SIGNAGE SHALL REMAIN IN PLACE OR BE TEMPORARILY REMOVED AND BE RELOCATED.
- ALL ITEMS AND FINISHES INDICATED TO REMAIN AND NOT BE REMOVED SHALL BE PROTECTED BY DEMOLITION CONTRACTOR FROM ANY DAMAGE OR MARRING OF FINISHES.
- COORDINATE WITH EXISTING BUILDING PLANS AND CONDITIONS AND WITH STRUCTURAL PLANS FOR DEMOLITION RELATED TO ALL STRUCTURAL WORK. DO NOT CUT, REMOVE, OR DAMAGE ANY STRUCTURAL OR SUSPECTED STRUCTURAL SYSTEM OR BEARING WALL WITHOUT PREVIOUSLY COORDINATING WITH ARCHITECT AND STRUCTURAL ENGINEER.
- PRIOR TO BIDDING OR THE BEGINNING OF ANY WORK THE DEMOLITION CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY AND THE EXISTING BUILDING TO DEFINE THE WORK REQUIRED, EXISTING CONDITIONS, AND LIMITATIONS.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION AND RECONNECTION FOR ALL ELECTRICAL UTILITIES AS REQUIRED FOR ELECTRICAL WORK. COORDINATE WITH GENERAL CONTRACTOR OR TRING, ETC. SO AS NOT TO DELAY WORK BY DEMOLITION CONTRACTORS OR OTHERS. ELECTRICAL CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PROPER DEMOLITION OF ELECTRICAL PANELS.
- CONDUIT, POWER SOURCES, ELECTRICAL RACEWAY AND ALL RELATED HARDWARE AND ACCESSORIES: COORD. WITH DEMOLITION CONTRACTOR.
- COORDINATE WITH THE UTILITY COMPANIES FOR THE DISCONNECTION OF ANY UTILITIES AS REQUIRED FOR DEMOLITION WORK.
- SEE CIVIL DRAWINGS FOR SITE DEMOLITION WORK.
- DEMOLITION OF ALL BOILERS, MEP EQUIPMENT, PIPING, CONDUIT, AND DUCTWORK, ETC. AND ALL OTHER EQUIPMENT AND RELATED ACCESSORIES NOT SCHEDULED TO REMAIN SHALL BE BY DEMOLITION CONTRACTOR. MEP CONTRACTORS SHALL CLEARLY MARK ALL EQUIPMENT AND ACCESSORIES THAT ARE TO BE REMOVED WITH GREEN SPRAY PAINT. ALL EQUIPMENT, PIPING, CONDUIT, ACCESSORIES, ETC. THAT ARE TO REMAIN SHALL BE MARKED BY CONTRACTOR WITH RED SPRAY PAINT.
- DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY GUARDING AND PROTECTING NEW AND EXISTING OPENINGS PER OSHA AND OTHER REQUIREMENTS. DEMOLITION CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COMMUNICATING TO THE GENERAL CONTRACTOR, OTHER SUB-CONTRACTORS AND OTHERS PERFORMING WORK AT THE JOB SITE OF ANY SAFETY HAZARDS, CRACKS, ETC. THAT COULD CREATE A HAZARD.
- FOLLOW ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS FOR ALL DEMOLITION WORK. THIS INCLUDES, BUT IS NOT LIMITED TO ALL APPLICABLE OSHA, AND EPA RULES AND REGULATIONS.
- DEMOLITION CONTRACTOR SHALL SCRAPE AND REMOVE EXISTING DAMAGED PAINT ON ANY AREAS TO REMAIN WHICH REQUIRE NEW WORK. REFER TO SPECIFICATIONS AND ALL APPLICABLE SAFETY RULES WHEN WORKING WITH LEAD PAINT. WHERE LEAD PAINT EXISTS (TO BE ESTABLISHED BY TESTING) PAINT REMOVAL SHALL BE ACCOMPLISHED BY TECHNIQUES THAT DO NOT RELEASE LEAD FUMES OR DUST INTO THE AIR. USE OF A HEAT GUN FOR PAINT REMOVAL WOULD BE PROHIBITED IN THIS CASE.
- REMOVE EXIST. HOUSEKEEPING PADS TO ALLOW LATER FLOOR SLAB PATCHING, FLOOR LEVELING, AND FLOOR FINISH.
- FOR ALL WALLS INDICATED TO REMAIN REMOVE ANY WALL PAPER, VINYL, WALL COVERING, AND ADHESIVE.
- FOR ANY INTERIOR MASONRY WALLS TO REMAIN THAT WILL BE OPEN TO BUILDING OCCUPANTS REMOVE ANY ATTACHED ITEMS THAT ARE NOT INDICATED TO REMAIN OR ARE NOT OF AN HISTORICAL NATURE.
- UNLESS NOTED OTHERWISE, EXISTING TERRAZZO FLOORING AND TERRAZZO CURB BASE ARE TO REMAIN. FOR WALLS INDICATED TO BE REMOVED, TERRAZZO BASE SHALL BE SAWCUT AND CLEANLY REMOVED ONLY AS REQUIRED FOR NEW FLOORING, ETC.
- DEMOLITION FOR ALL TERRAZZO AND OTHER FINISH ITEMS THAT WILL BE VISIBLE MUST BE WORKMAN-LIKE AND EXECUTED TO RESULT IN SMOOTH SURFACES AND JOINTS.
- UNLESS NOTED OTHERWISE REMOVE ALL EXISTING RADIATORS AND BASE BOARD HEATERS ALONG WITH ANY PIPING, WIRING, CONDUIT, HEAT SHIELDS, ACCESSORIES, ETC. SEE SPECS. FOR RULES REGARDING POSSIBLE HOBI. DEMOLITION TO BE EXECUTED TO ALLOW WALLS, FLOORS, AND CEILING TO BE PATCHED BACK AS REQUIRED TO MATCH EXISTING FINISH. FINISHED SURFACES AND TO BE FIRE PROOFED. WHERE EXPOSED WITHIN FINISHED ROOM, REMOVE THE ITEMS ENTIRELY.
- FOR ALL TOILETS, LAVATORIES, SINKS, AND OTHER PLUMBING FIXTURES INDICATED TO BE REMOVED, ASSOCIATED PIPING SHALL ALSO BE REMOVED TO THE FLOOR AND CEILING, AS APPLICABLE, AND SHALL BE CAPPED. DEMOLITION AND CAPPING TO BE EXECUTED SO AS TO ALLOW FLOORS AND CEILING TO BE PATCHED BACK SEE TO NOTE ABOVE.
- AT GROUND FLOOR, EXISTING MECHANICAL EQUIPMENT, BOILERS, AND RELATED PIPING AND DUCTWORK, WIRING, CONDUIT, AND ACCESSORIES ARE TO BE REMOVED AND PROPERLY DISPOSED OF.
- IN ADDITION TO DEMOLITION WORK INDICATED BY OTHER PLANS, GENERAL DEMOLITION NOTES, AND KEVED DEMOLITION NOTES: REMOVE ALL WALLS AND OTHER ITEMS THAT ARE INDICATED IN DEMOLITION PLANS WITH DASHED LINES.

THE OWNER WILL FURNISH ELECTRONIC COPIES OF THE ORIGINAL BUILDING PLANS TO ALL INTERESTED DEMOLITION BIDDERS. IN ADDITION, A COMPUTER COMPACT DISK CONTAINING THE OWNER'S PHOTOGRAPHIC SURVEY PHOTOS WILL ALSO BE AVAILABLE TO ALL INTERESTED DEMOLITION CONTRACTORS.



SHEET KEYNOTES

- REMOVE EXISTING CONSTRUCTION
- CASEWORK TO BE REMOVED
- DOOR AND FRAME TO BE REMOVED
- WINDOW AND FRAME TO BE REMOVED
- WALL TO BE REMOVED
- PARTITION TO BE REMOVED
- EQUIPMENT TO BE REMOVED
- FINISH FLOOR TO BE REMOVED

PRESERVATION KEY

- A EXISTING CONDITIONS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. PATCH & REPAIR AS NECESSARY TO RESTORE TO ORIGINAL CONDITION.
- B EXISTING CONDITIONS TO REMAIN AS-IS. PROTECT THESE AREAS DURING DEMOLITION & CONSTRUCTION. PATCH & REPAIR AS NECESSARY TO RESTORE TO ORIGINAL CONDITION.
- C EXISTING STAIRS TO REMAIN - PROTECT DURING DEMOLITION & CONSTRUCTION - PATCH AND REPAIR ANY DAMAGE DURING THESE PHASES OF WORK BACK TO ORIGINAL CONDITIONS.

DEMOLITION PLAN GENERAL NOTES

- THE ARCHITECTURAL DEMOLITION PLANS AND NOTES CANNOT COVER EVERY SPECIFIC ITEM OF DEMOLITION REQUIRED TO COMPLETE THE WORK NOR ARE THEY INTENDED TO SHOW THIS. THE DEMOLITION SHOWS THE GENERAL INTENT OF THE WORK IN AS MUCH DETAIL AS IS POSSIBLE. FINAL DETERMINATION OF ALL REQUIRED DEMOLITION WILL BE DETERMINED BY THE GENERAL CONTRACTOR AND WILL NOT BE ALLOWED TO FORM THE BASIS FOR ADDITIONAL COMPENSATION UNLESS SUCH WORK IS CLEARLY SHOWN TO BE BEYOND THE GENERAL SCOPE AND GENERAL INTENT OF THE CONTRACT DOCUMENTS CONSIDERED IN THEIR ENTIRETY.
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- CONDUIT, POWER SOURCES, ELECTRICAL RACEWAY AND ALL RELATED HARDWARE AND ACCESSORIES: COORD. WITH DEMOLITION CONTRACTOR.
- COORDINATE WITH THE UTILITY COMPANIES FOR THE DISCONNECTION OF ANY UTILITIES AS REQUIRED FOR DEMOLITION WORK.
- SEE CIVIL DRAWINGS FOR SITE DEMOLITION WORK.
- DEMOLITION OF ALL BOILERS, MEP EQUIPMENT, PIPING, CONDUIT, AND DUCTWORK, ETC. AND ALL OTHER EQUIPMENT AND RELATED ACCESSORIES NOT REQUIRED TO REMAIN SHALL BE BY DEMOLITION CONTRACTOR. MEP CONTRACTORS SHALL CLEARLY MARK ALL EQUIPMENT AND ACCESSORIES THAT ARE TO BE REMOVED WITH GREEN SPRAY PAINT. ALL EQUIPMENT, PIPING, CONDUIT, ACCESSORIES, ETC. THAT ARE TO REMAIN SHALL BE MARKED BY CONTRACTOR WITH RED SPRAY PAINT.
- DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY GUARDING AND PROTECTING NEW AND EXISTING OPENINGS PER OSHA AND OTHER REQUIREMENTS. DEMOLITION CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COMMUNICATING TO THE GENERAL CONTRACTOR, OTHER SUB-CONTRACTORS AND OTHERS PERFORMING WORK AT THE JOB SITE OF ANY SAFETY HAZARDS, OPENINGS, ETC. THAT COULD CREATE A HAZARD.
- FOLLOW ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS FOR ALL DEMOLITION WORK. THIS INCLUDES, BUT IS NOT LIMITED TO ALL APPLICABLE OSHA, AND EPA RULES AND REGULATIONS.
- DEMOLITION CONTRACTOR SHALL SCRAPE AND REMOVE EXISTING DAMAGED PAINT ON ANY AREAS TO REMAIN WHICH REQUIRE NEW WORK. REFER TO SPECIFICATIONS AND ALL APPLICABLE SAFETY RULES WHEN WORKING WITH LEAD PAINT. WHERE LEAD PAINT EXISTS (TO BE ESTABLISHED BY TESTING) PAINT REMOVAL SHALL BE ACCOMPLISHED BY TECHNIQUES THAT DO NOT RELEASE LEAD FUMES OR DUST INTO THE AIR. USE OF A HEAT GUN FOR PAINT REMOVAL WOULD BE PROHIBITED IN THIS CASE.
- REMOVE EXIST. HOUSEKEEPING PADS TO ALLOW LATER FLOOR SLAB PATCHING, FLOOR LEVELING, AND FLOOR FINISH.
- FOR ALL WALLS INDICATED TO REMAIN REMOVE ANY WALL PAPER, VINYL WALL COVERING, AND ADHESIVE.
- FOR ANY INTERIOR MASONRY WALLS TO REMAIN THAT WILL BE OPEN TO BUILDING OCCUPANTS REMOVE ANY ATTACHED ITEMS THAT ARE NOT INDICATED TO REMAIN OR ARE NOT OF AN HISTORICAL NATURE.
- UNLESS NOTED OTHERWISE, EXISTING TERRAZZO FLOORING AND TERRAZZO CURB BASE ARE TO REMAIN. FOR WALLS INDICATED TO BE REMOVED, TERRAZZO BASE SHALL BE SAWCUT AND CLEANLY REMOVED ONLY AS REQUIRED FOR NEW FLOORING, ETC.
- DEMOLITION FOR ALL TERRAZZO AND OTHER FINISH ITEMS THAT WILL BE VISIBLE MUST BE WORKMAN-LIKE AND EXECUTED TO RESULT IN SMOOTH SURFACES AND JOINTS.
- UNLESS NOTED OTHERWISE REMOVE ALL EXISTING RADIATORS AND BASE BOARD HEATERS ALONG WITH ANY PIPING, WIRING, CONDUIT, HEAT SHIELDS, ACCESSORIES, ETC. SEE SPECS. FOR RULES REGARDING POSSIBLE HOBY. DEMOLITION TO BE EXECUTED TO ALLOW WALLS, FLOORS, AND CEILING TO BE PATCHED BACK AS REQUIRED TO MATCH EXISTING FINAL FINISHED SURFACES AND TO BE FIRE PROOFED, WHERE CAPPED PIPES, ETC. WOULD BE VISIBLE OR EXPOSED WITHIN FINISHED ROOM. REMOVE THE ITEMS ENTIRELY.
- FOR ALL TOILETS, LAVATORIES, SINKS, AND OTHER PLUMBING FIXTURES INDICATED TO BE REMOVED, ASSOCIATED PIPING SHALL ALSO BE REMOVED TO THE FLOOR AND CEILING AS APPLICABLE, AND SHALL BE CAPPED, DEMOLITION AND CAPPING TO BE EXECUTED SO AS TO ALLOW FLOORS AND CEILING TO BE PATCHED BACK SEE TO NOTE ABOVE.
- AT GROUND FLOOR, EXISTING MECHANICAL EQUIPMENT, BOILERS, AND RELATED PIPING AND DUCTWORK, WIRING, CONDUIT, AND ACCESSORIES ARE TO BE REMOVED AND PROPERLY DISPOSED OF.
- IN ADDITION TO DEMOLITION WORK INDICATED BY OTHER PLANS, GENERAL DEMOLITION NOTES, AND KEYED DEMOLITION NOTES, REMOVE ALL WALLS AND OTHER ITEMS THAT ARE INDICATED IN DEMOLITION PLANS WITH DASHED LINES.

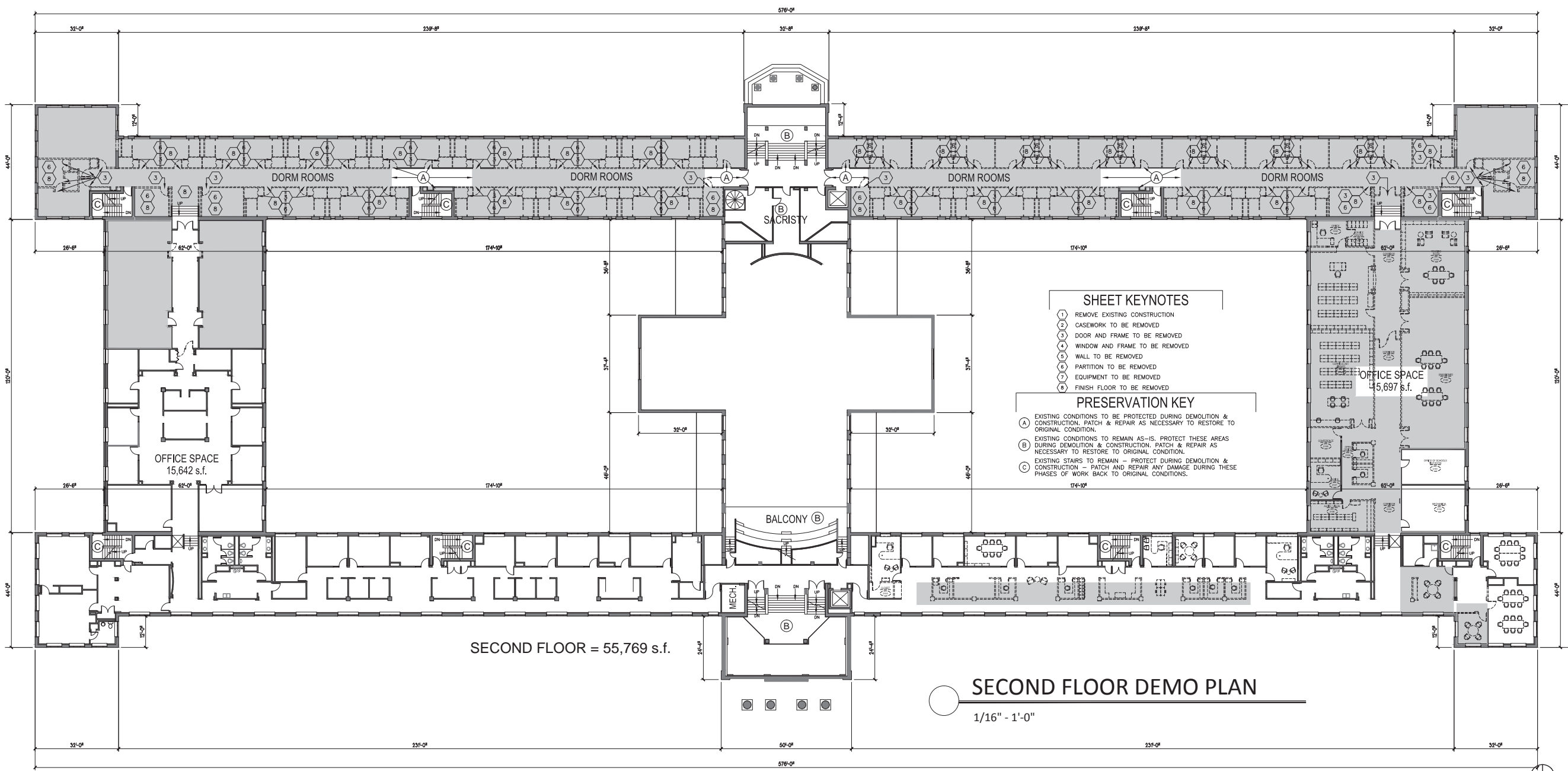
THE OWNER WILL FURNISH ELECTRONIC COPIES OF THE ORIGINAL BUILDING PLANS TO ALL INTERESTED DEMOLITION BIDDERS. IN ADDITION, A COMPUTER COMPACT DISK CONTAINING THE OWNER'S PHOTOGRAPHIC SURVEY PHOTOS WILL ALSO BE AVAILABLE TO ALL INTERESTED DEMOLITION CONTRACTORS.



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SHEET KEYNOTES

- 1 REMOVE EXISTING CONSTRUCTION
- 2 CASEWORK TO BE REMOVED
- 3 DOOR AND FRAME TO BE REMOVED
- 4 WINDOW AND FRAME TO BE REMOVED
- 5 WALL TO BE REMOVED
- 6 PARTITION TO BE REMOVED
- 7 EQUIPMENT TO BE REMOVED
- 8 FINISH FLOOR TO BE REMOVED

PRESERVATION KEY

- A EXISTING CONDITIONS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. PATCH & REPAIR AS NECESSARY TO RESTORE TO ORIGINAL CONDITION.
- B EXISTING CONDITIONS TO REMAIN AS-IS. PROTECT THESE AREAS DURING DEMOLITION & CONSTRUCTION. PATCH & REPAIR AS NECESSARY TO RESTORE TO ORIGINAL CONDITION.
- C EXISTING STAIRS TO REMAIN - PROTECT DURING DEMOLITION & CONSTRUCTION - PATCH AND REPAIR ANY DAMAGE DURING THESE PHASES OF WORK BACK TO ORIGINAL CONDITIONS.

SECOND FLOOR DEMO PLAN

1/16" = 1'-0"

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 MADISON, WI 53719

Project No. BOC
Plot Date: 09-24-2014
Drawn by: mott

Date	Issue Description
09-23-2014	Issued UDC Informational
09-24-2014	Issued PD

Sheet Title
SECOND FLOOR DEMO PLAN

SCALE: 1/16" = 1'-0"

Sheet No.
D102

DEMOLITION PLAN GENERAL NOTES

1. THE ARCHITECTURAL DEMOLITION PLANS AND NOTES CANNOT COVER EVERY SPECIFIC ITEM OF DEMOLITION REQUIRED TO COMPLETE THE WORK NOR ARE THEY INTENDED TO SHOW THIS. THE DEMOLITION SHOW THE GENERAL INTENT OF THE WORK IN AS MUCH DETAIL AS IS POSSIBLE. FINAL DETERMINATION OF ALL REQUIRED DEMOLITION WILL BE DETERMINED BY THE GENERAL CONTRACTOR AND WILL NOT BE ALLOWED TO FORM THE BASIS FOR ADDITIONAL COMPENSATION UNLESS SUCH WORK IS CLEARLY SHOWN TO BE BEYOND THE GENERAL SCOPE AND GENERAL INTENT OF THE CONTRACT DOCUMENTS CONSIDERED IN THEIR ENTIRETY.
2. ALL ITEMS INDICATED TO BE SALVAGED SHALL BE TEMPORARILY STORED AND/OR RELOCATED FOR LATER RE-INSTALLATION. ALL MISC. ITEMS NOT MARKED OR OTHERWISE INDICATED TO BE SALVAGED REMOVE AND PROPERLY DISPOSE OF. FOR HISTORICAL PRESERVATION PURPOSES EXISTING SIGNAGE SHALL REMAIN IN PLACE OR BE TEMPORARILY REMOVED AND BE RELOCATED.
3. ALL ITEMS AND FINISHES INDICATED TO REMAIN AND NOT BE REMOVED SHALL BE PROTECTED BY DEMOLITION CONTRACTOR FROM ANY DAMAGE OR MARKING OF FINISHES.
4. COORDINATE WITH EXISTING BUILDING PLANS AND CONDITIONS AND WITH STRUCTURAL PLANS FOR DEMOLITION RELATED TO ALL STRUCTURAL WORK. DO NOT CUT, REMOVE, OR DAMAGE ANY STRUCTURAL OR SUSPECTED STRUCTURAL SYSTEM OR BEARING WALL WITHOUT PREVIOUSLY COORDINATING WITH ARCHITECT AND STRUCTURAL ENGINEER.
5. PRIOR TO BIDDING OR THE BEGINNING OF ANY WORK THE DEMOLITION CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY AND THE EXISTING BUILDING TO DEFINE THE WORK REQUIRED, EXISTING CONDITIONS, AND LIMITATIONS.
6. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION AND RE-CONNECTION FOR ALL ELECTRICAL UTILITIES AS REQUIRED FOR ELECTRICAL WORK. COORDINATE WITH GENERAL CONTRACTOR ON TRUNKING, ETC. SO AS NOT TO DELAY WORK BY DEMOLITION CONTRACTORS OR OTHERS. ELECTRICAL CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PROPER DEMOLITION OF ELECTRICAL PANELS, CONDUIT, POWER SOURCES, ELECTRICAL RACEWAY AND ALL RELATED HARDWARE AND ACCESSORIES. COORD. WITH DEMOLITION CONTRACTOR.
7. COORDINATE WITH THE UTILITY COMPANIES FOR THE DISCONNECTION OF ANY UTILITIES AS REQUIRED FOR DEMOLITION WORK.
8. SEE CIVIL DRAWINGS FOR SITE DEMOLITION WORK.
9. DEMOLITION OF ALL BOILERS, MEP EQUIPMENT, PIPING, CONDUIT, AND DUCTWORK, ETC. AND ALL OTHER EQUIPMENT AND RELATED ACCESSORIES THAT ARE TO BE REMOVED WITH GREEN SPRAY PAINT. ALL EQUIPMENT, PIPING, CONDUIT, ACCESSORIES, ETC. THAT ARE TO REMAIN SHALL BE MARKED BY CONTRACTOR WITH RED SPRAY PAINT.
10. DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY GUARDING AND PROTECTING NEW AND EXISTING OPENINGS PER OSHA AND OTHER REQUIREMENTS. DEMOLITION CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COMMUNICATING TO THE GENERAL CONTRACTOR, OTHER SUB-CONTRACTORS AND OTHERS PERFORMING WORK AT THE JOB SITE OF ANY SAFETY HAZARDS, OPENINGS, ETC. THAT COULD CREATE A HAZARD.
11. FOLLOW ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS FOR ALL DEMOLITION WORK. THIS INCLUDES, BUT IS NOT LIMITED TO ALL APPLICABLE OSHA, AND EPA RULES AND REGULATIONS.
12. DEMOLITION CONTRACTOR SHALL SCRAPE AND REMOVE EXISTING DAMAGED PAINT ON ANY AREAS TO REMAIN WHICH REQUIRE NEW WORK. REFER TO SPECIFICATIONS AND ALL APPLICABLE SAFETY RULES WHEN WORKING WITH LEAD PAINT. WHERE LEAD PAINT EXISTS (TO BE ESTABLISHED BY TESTING PAINT REMOVAL SHALL BE ACCOMPLISHED BY TECHNIQUES THAT DO NOT RELEASE LEAD FUMES OR DUST INTO THE AIR. USE OF A HEAT GUN FOR PAINT REMOVAL WOULD BE PROHIBITED IN THIS CASE.
13. REMOVE EXIST. HOUSEKEEPING PADS TO ALLOW LATER FLOOR SLAB PATCHING, FLOOR LEVELING, AND FLOOR FINISH.
14. FOR ALL WALLS INDICATED TO REMAIN REMOVE ANY WALL PAPER, VINYL WALL COVERING, AND ADHESIVE.
15. FOR ANY INTERIOR MASONRY WALLS TO REMAIN THAT WILL BE OPEN TO BUILDING OCCUPANTS REMOVE ANY ATTACHED ITEMS THAT ARE NOT INDICATED TO REMAIN OR ARE NOT OF AN HISTORICAL NATURE.
16. UNLESS NOTED OTHERWISE, EXISTING TERRAZZO FLOORING AND TERRAZZO CURB BASE ARE TO REMAIN. FOR WALLS INDICATED TO BE REMOVED, TERRAZZO BASE SHALL BE SAWCUT AND CLEANLY REMOVED ONLY AS REQUIRED FOR NEW FLOORINGS, ETC. DEMOLITION FOR ALL TERRAZZO AND OTHER FINISH ITEMS THAT WILL BE VISIBLE MUST BE WORKMAN-LIKE AND EXECUTED TO RESULT IN SMOOTH SURFACES AND JOINTS.
17. UNLESS NOTED OTHERWISE REMOVE ALL EXISTING RADIATORS AND BASE BOARD HEATERS ALONG WITH ANY PIPING, WIRING, CONDUIT, HEAT SHIELDS, ACCESSORIES, ETC. SEE SPECS. FOR RULES REGARDING POSSIBLE ACM: DEMOLITION TO BE EXECUTED TO ALLOW WALLS, FLOORS, AND CEILINGS TO BE PATCHED BACK AS REQUIRED TO MATCH EXISTING FINAL FINISHED SURFACES AND TO BE FIRE PROOFED. WHERE CAPPED PIPES, ETC. WOULD BE VISIBLE OR EXPOSED WITHIN FINISHED ROOM, REMOVE THE ITEMS ENTIRELY.
18. FOR ALL TOILETS, LAVATORIES, SINKS, AND OTHER PLUMBING FIXTURES INDICATED TO BE REMOVED, ASSOCIATED PIPING SHALL ALSO BE REMOVED TO THE FLOOR AND CEILING, AS APPLICABLE, AND SHALL BE CAPPED. DEMOLITION AND CAPPING TO BE EXECUTED SO AS TO ALLOW FLOORS AND CEILING TO BE PATCHED BACK. SEE TO NOTE ABOVE.
19. AT GROUND FLOOR, EXISTING MECHANICAL EQUIPMENT, BOILERS, AND RELATED PIPING AND DUCTWORK, WIRING, CONDUIT, AND ACCESSORIES ARE TO BE REMOVED AND PROPERLY DISPOSED OF.
20. IN ADDITION TO DEMOLITION WORK INDICATED BY OTHER PLANS, GENERAL DEMOLITION NOTES, AND KEYED DEMOLITION NOTES, REMOVE ALL WALLS AND OTHER ITEMS THAT ARE INDICATED IN DEMOLITION PLANS WITH DASHED LINES.

THE OWNER WILL FURNISH ELECTRONIC COPIES OF THE ORIGINAL BUILDING PLANS TO ALL INTERESTED DEMOLITION BIDDERS. IN ADDITION, A COMPACT DISK CONTAINING THE OWNER'S PHOTOGRAPHIC SURVEY PHOTOS WILL ALSO BE AVAILABLE TO ALL INTERESTED DEMOLITION CONTRACTORS.



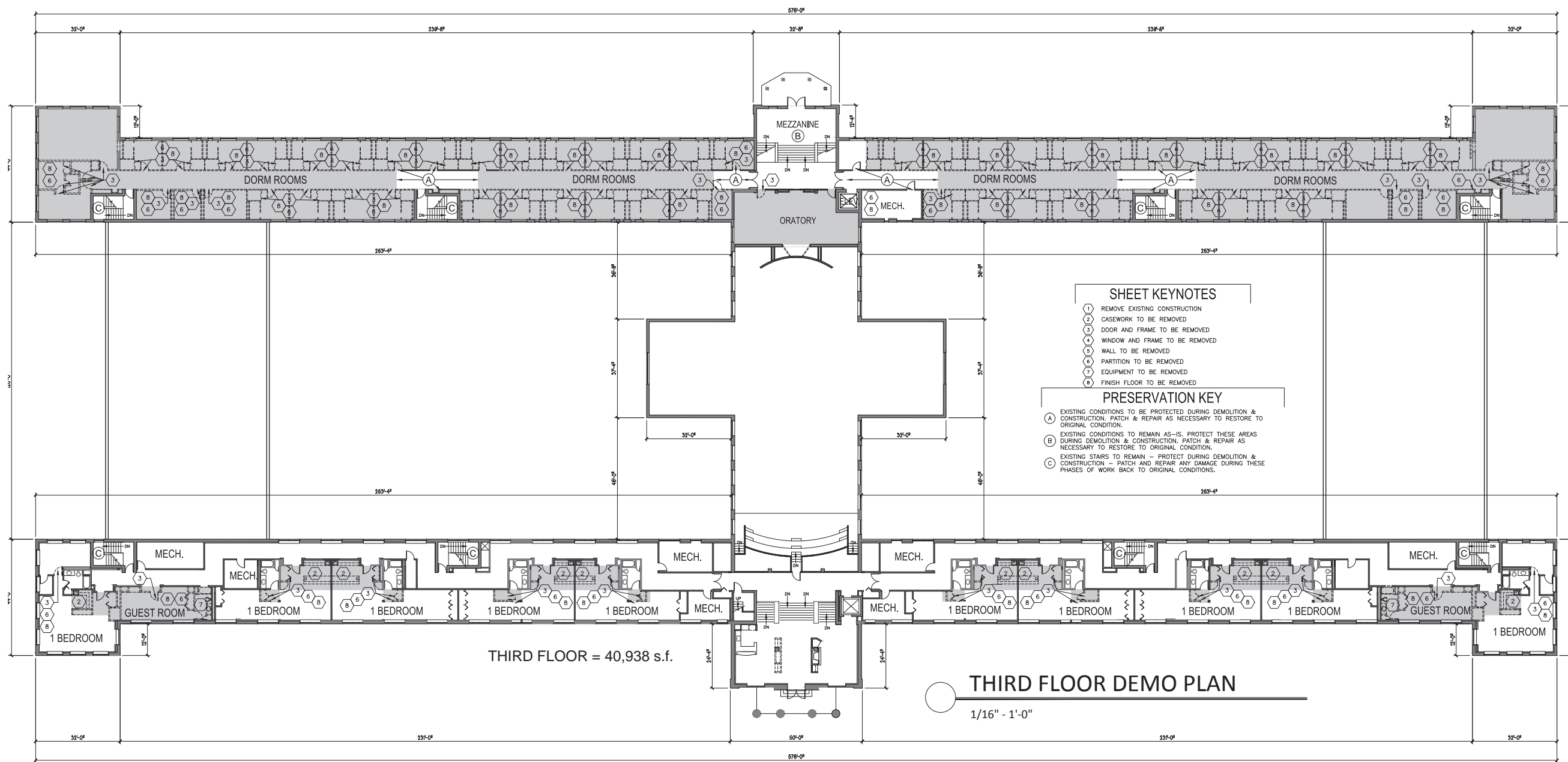
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Project No. BOC
Plot Date: 09-24-2014
Drawn by: mott

Date	Issue Description
09-23-2014	Issued UDC Informational
09-24-2014	Issued PD

Sheet Title
THIRD FLOOR DEMO PLAN

SCALE: 1/16" = 1'-0"

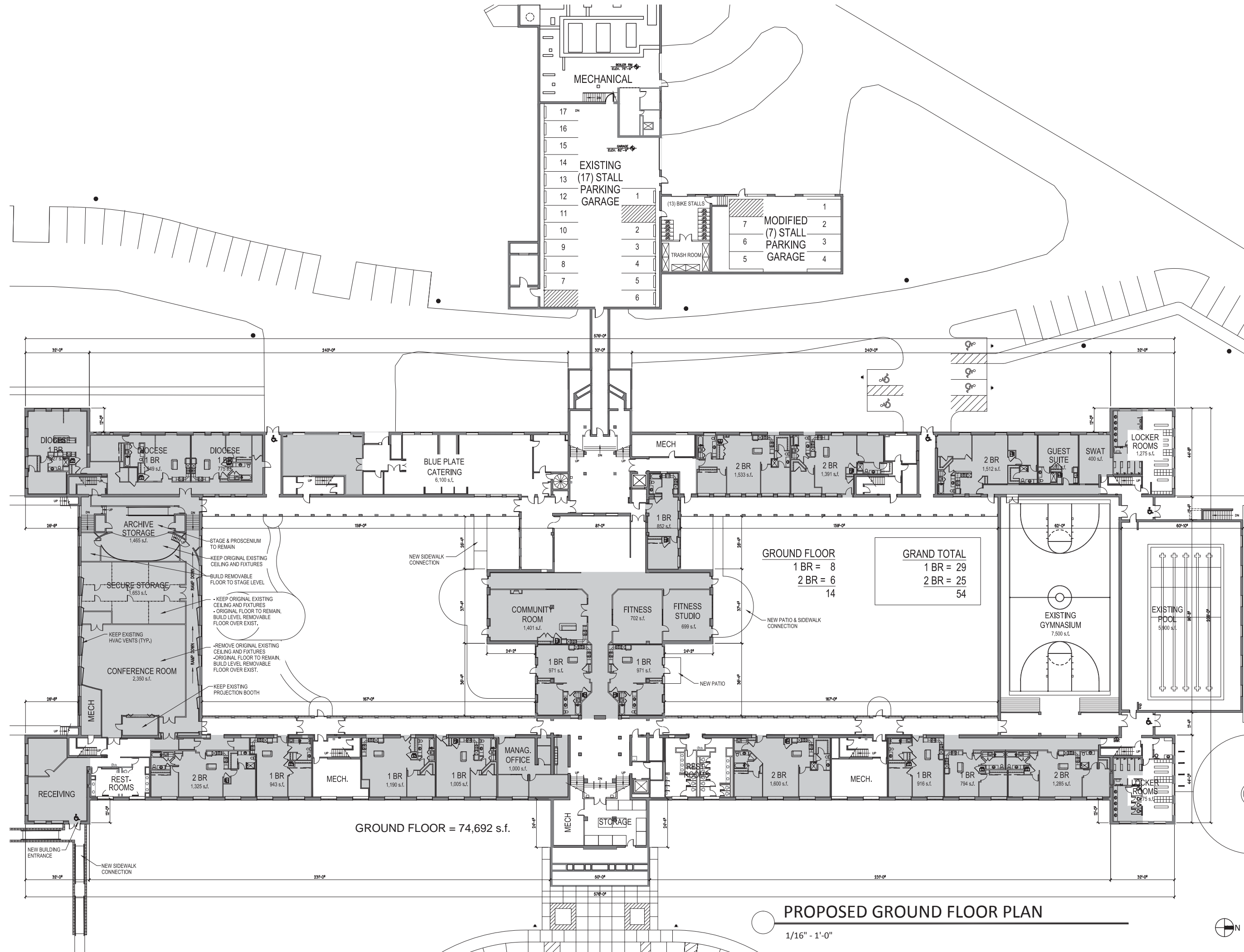
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GROUND FLOOR		GRAND TOTAL	
1 BR =	8	1 BR =	29
2 BR =	6	2 BR =	25
	14		54

GROUND FLOOR = 74,692 s.f.

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Plot Date:	09-24-2014
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Sheet Title
**PROPOSED
GROUND FLOOR PLAN**

SCALE: 1/16" = 1'-0"

Sheet No.



A100

PROPOSED GROUND FLOOR PLAN

1/16" - 1'-0"

SHEET KEYNOTES

1 EXISTING CONDITIONS TO REMAIN AS IS - PROTECT SURFACES DURING DEMO / CONSTRUCTION



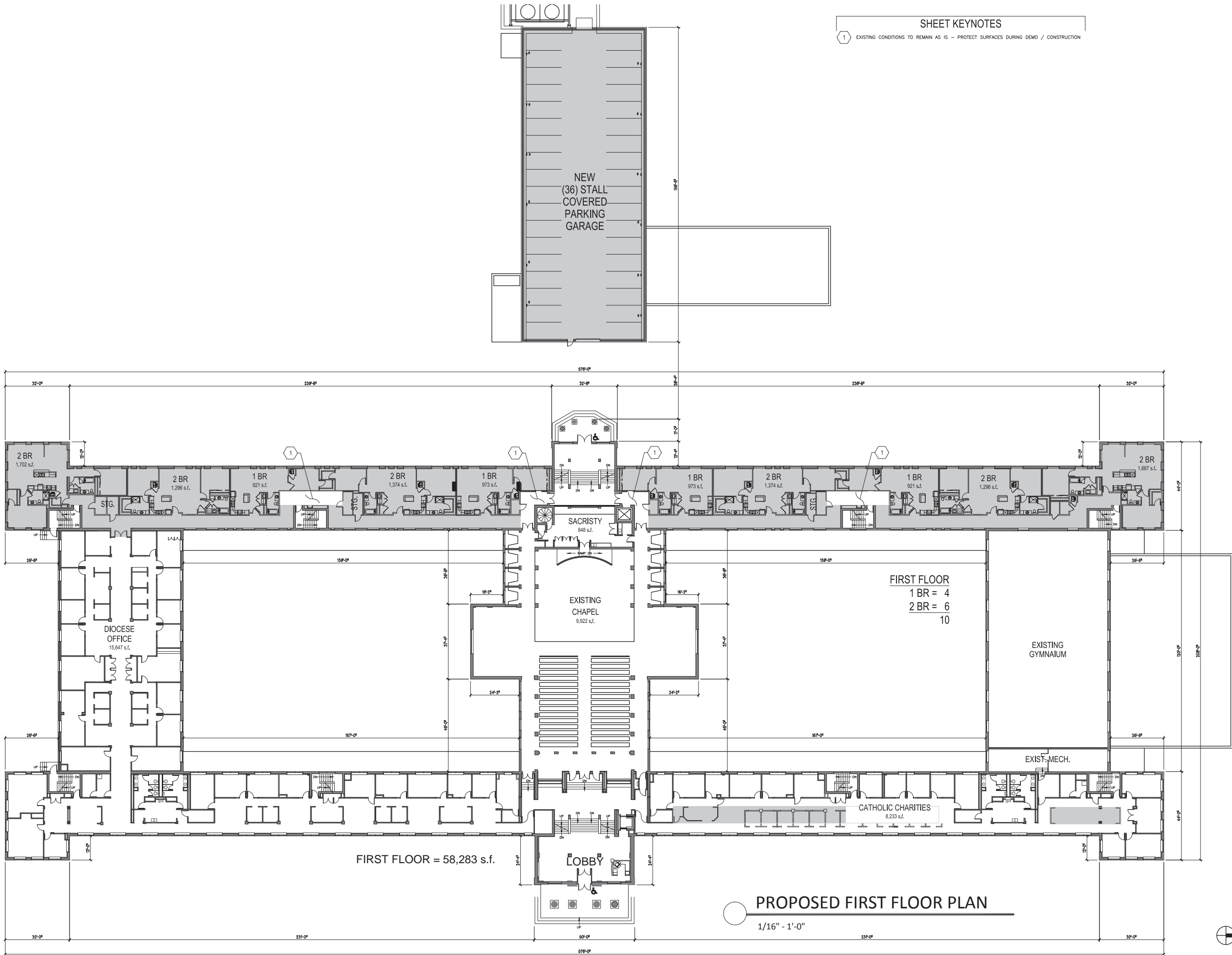
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FIRST FLOOR
1 BR = 4
2 BR = 6
10

FIRST FLOOR = 58,283 s.f.

PROPOSED FIRST FLOOR PLAN



1/16" = 1'-0"

Project No. BOC
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Sheet Title
PROPOSED
FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"

Sheet No.



A101

SHEET KEYNOTES

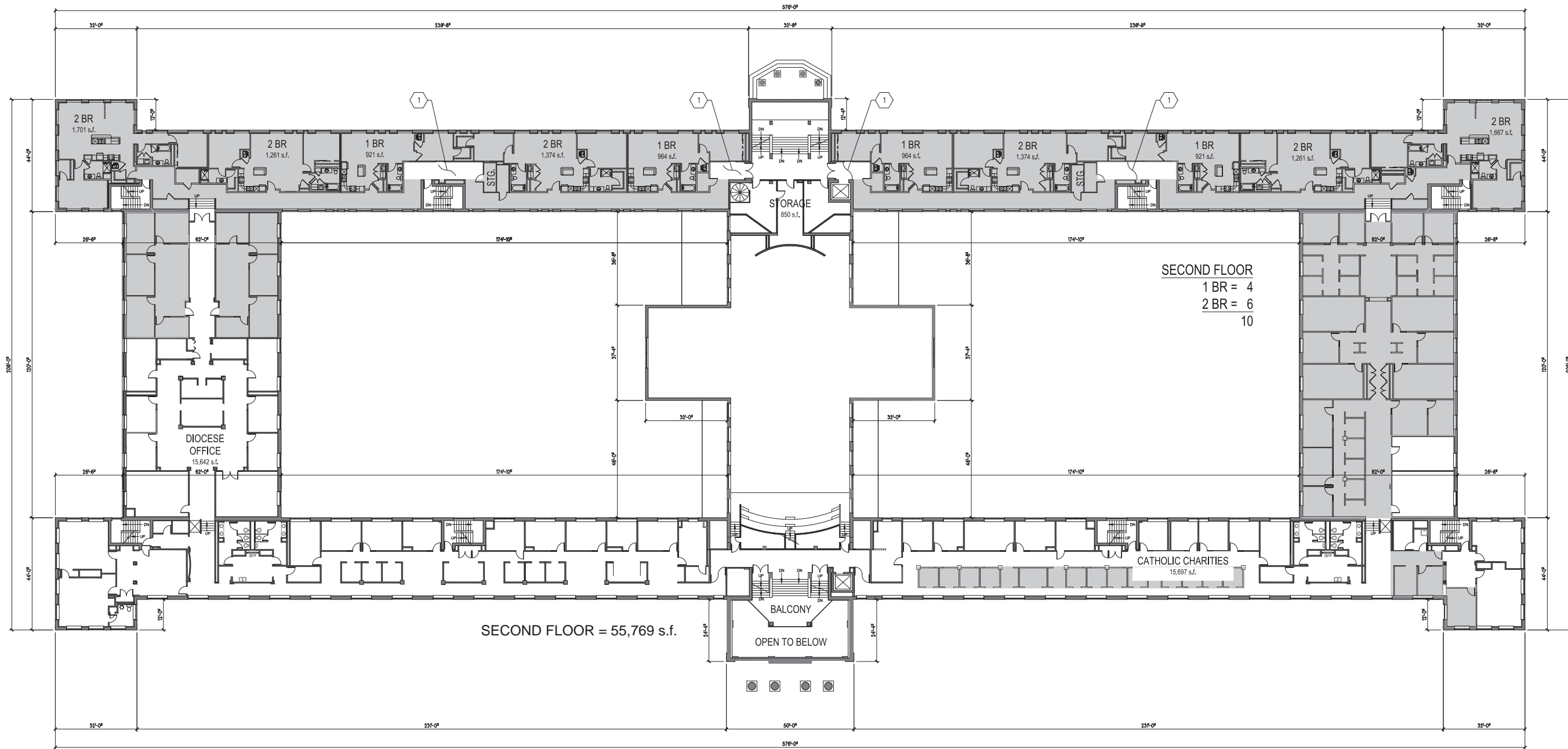
1 EXISTING CONDITIONS TO REMAIN AS IS - PROTECT SURFACES DURING DEMO / CONSTRUCTION



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MADISON, WI 53719

Project No. BOC
Plot Date: 09-24-2014
Drawn by: mott

Date	Issue Description
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09-24-2014	Issued PD

PROPOSED SECOND FLOOR PLAN
1/16" = 1'-0"

Sheet Title
PROPOSED
SECOND FLOOR PLAN

SCALE: 1/16" = 1'-0"
Sheet No.

SHEET KEYNOTES

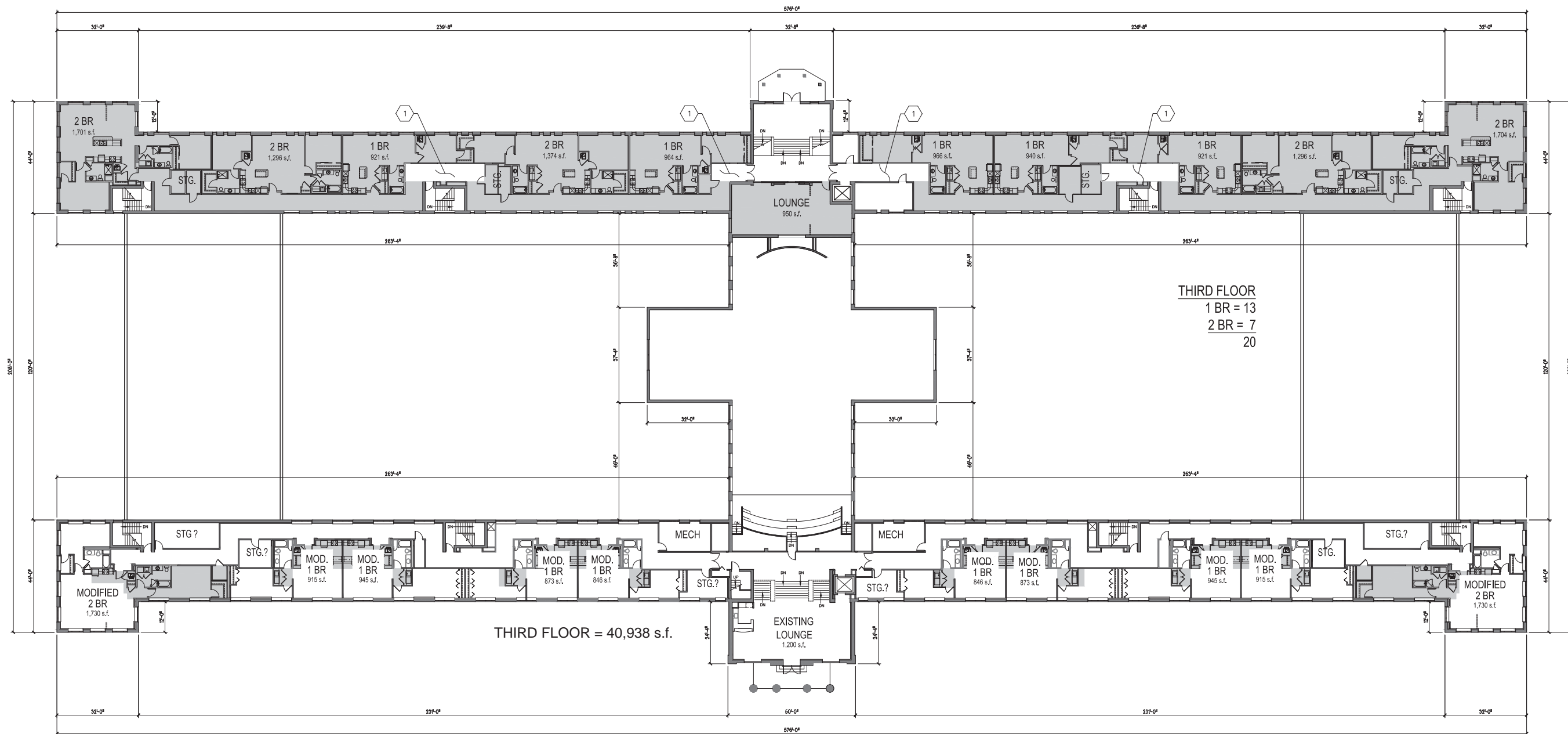
1 EXISTING CONDITIONS TO REMAIN AS IS - PROTECT SURFACES DURING DEMO / CONSTRUCTION



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MADISON, WI 53719

Project No. BOC
Plot Date: 09-24-2014
Drawn by: mott

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09-24-2014	Issued PD

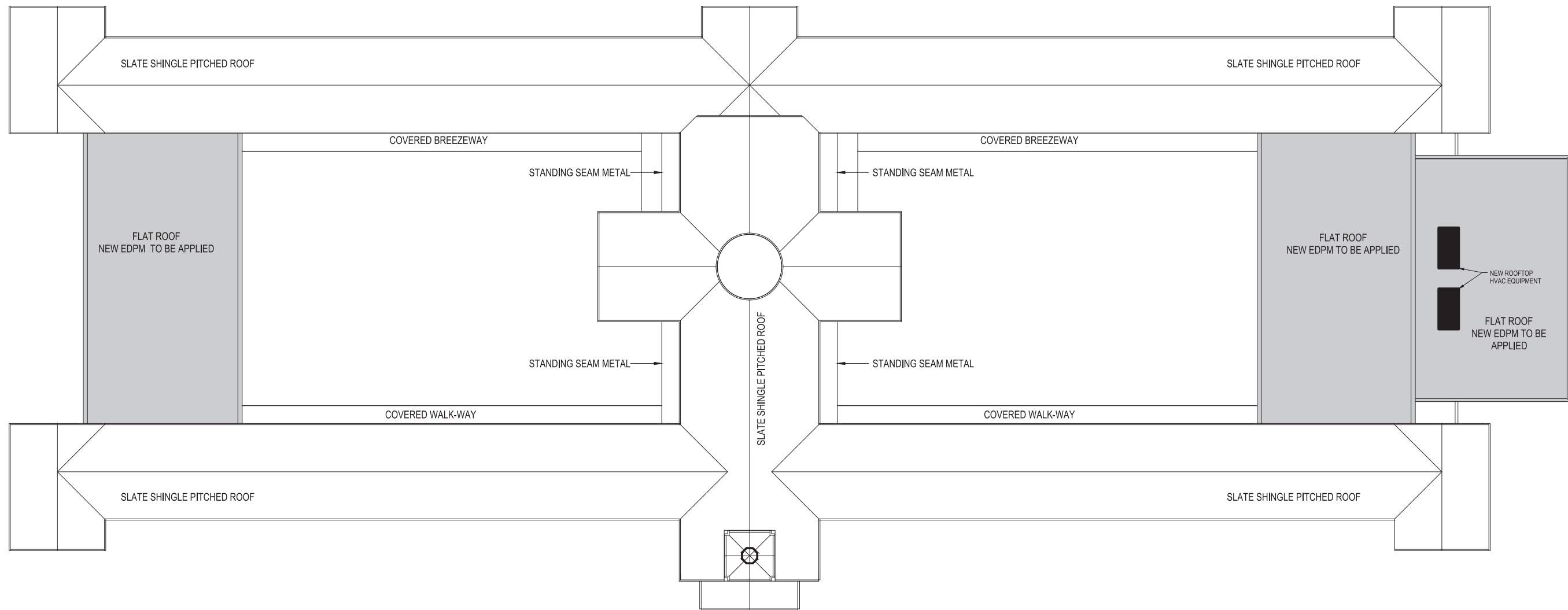
PROPOSED THIRD FLOOR PLAN
1/16" = 1'-0"

Sheet Title
PROPOSED
THIRD FLOOR PLAN

SCALE: 1/16" = 1'-0"
Sheet No.



A103



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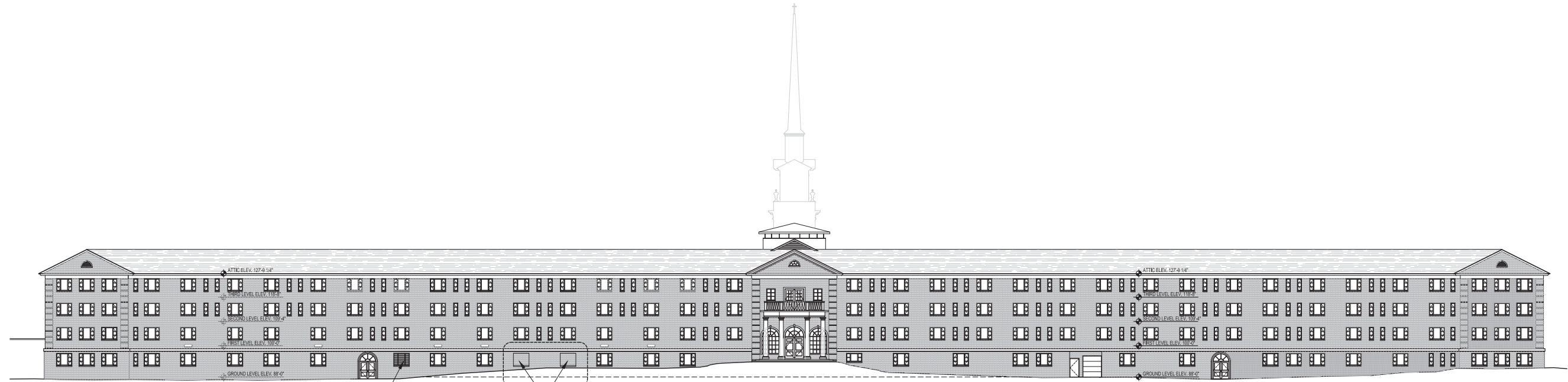
Date	Issue Description
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PROPOSED ROOF PLAN
 1/16" - 1'-0"

Sheet Title
**PROPOSED
 ROOF PLAN**

SCALE: 1/16" = 1'-0"
 Sheet No.

A104



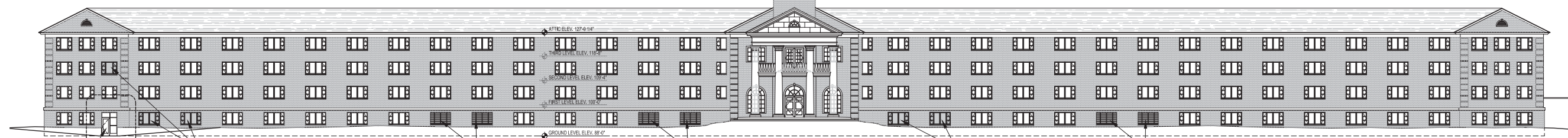
1 WEST ELEVATION
 A201 1/8" = 1'-0"



3 SOUTH ELEVATION
 A201 1/8" = 1'-0"



2 NORTH ELEVATION
 A201 1/8" = 1'-0"

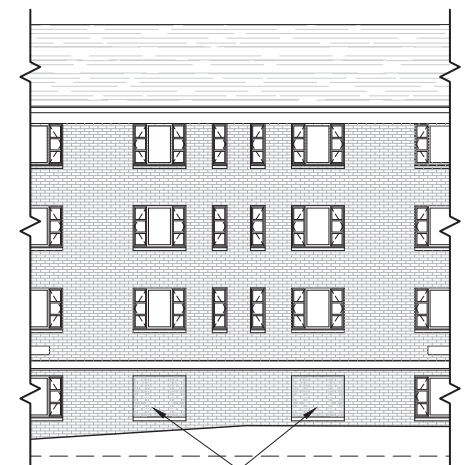


4 EAST ELEVATION
 A201 1/8" = 1'-0"



SCOPE OF WORK:
 • EXCAVATE EXISTING GRADE TO GROUND FLOOR ELEVATION 88'-0"
 • REMOVE EXISTING WINDOW
 • ENLARGE OPENING AND INSTALL NEW ADA ACCESSIBLE DOOR
 • INSTALL ADA RAMP @ 12% MAX SLOPE
 • INSTALL RETAINING WALL AS NEEDED

6 EAST ELEVATION DETAIL
 A201 1/8" = 1'-0"



SCOPE OF WORK:
 • REMOVE EXISTING WINDOW
 • INFILL OPENING WITH MASONRY VENEER TO MATCH EXISTING

5 WEST ELEVATION DETAIL
 A201 1/8" = 1'-0"

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Sheet Title
 EXTERIOR ELEVATIONS

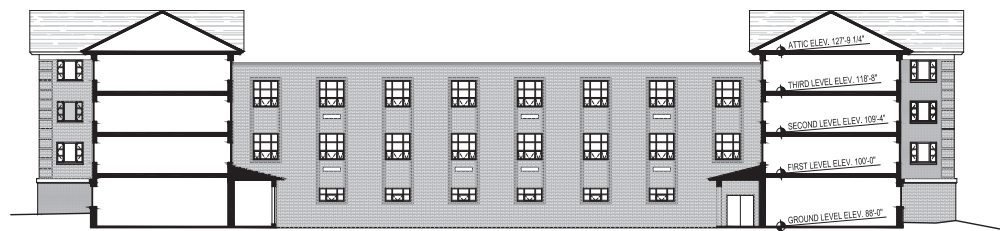
Sheet No.
A201



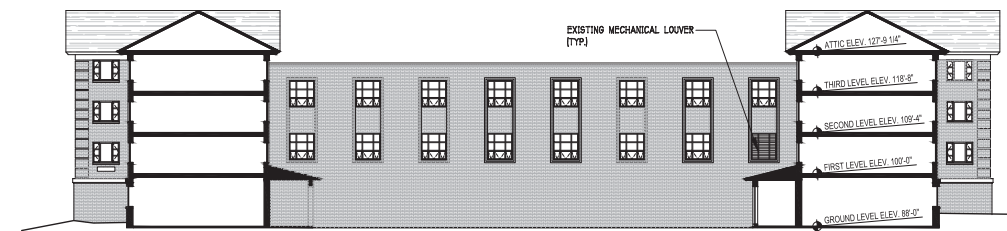
6 SOUTH COURTYARD - NORTH ELEVATION
 A202 1/16" = 1'-0"



5 NORTH COURTYARD - SOUTH ELEVATION
 A202 1/16" = 1'-0"



8 SOUTH COURTYARD - SOUTH ELEVATION
 A202 1/16" = 1'-0"



7 NORTH COURTYARD - NORTH ELEVATION
 A202 1/16" = 1'-0"



9 COURTYARD - EAST ELEVATION
 A202 1/16" = 1'-0"



10 COURTYARD - WEST ELEVATION
 A202 1/16" = 1'-0"

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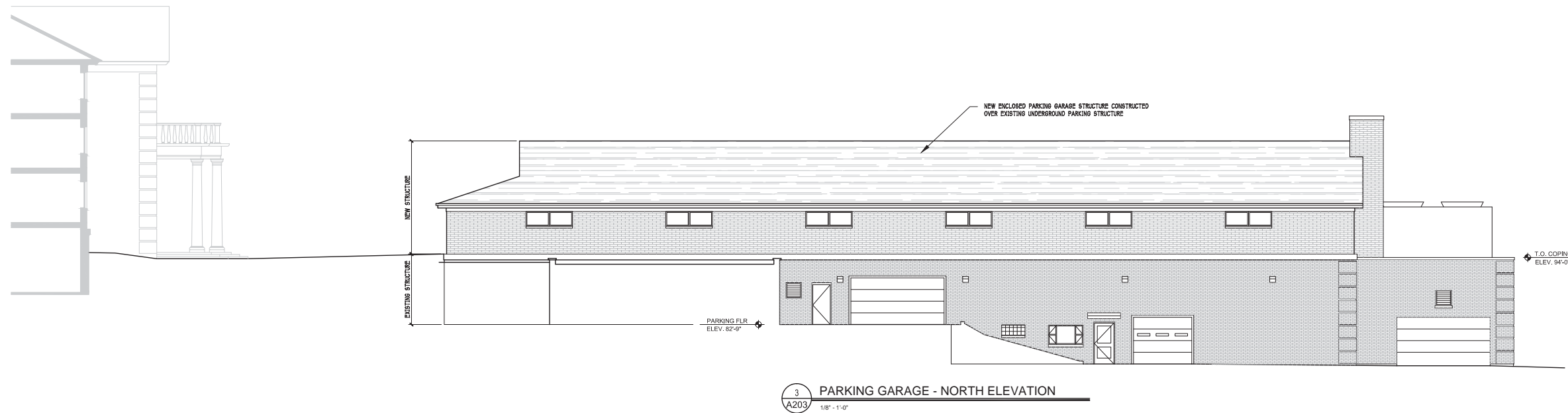
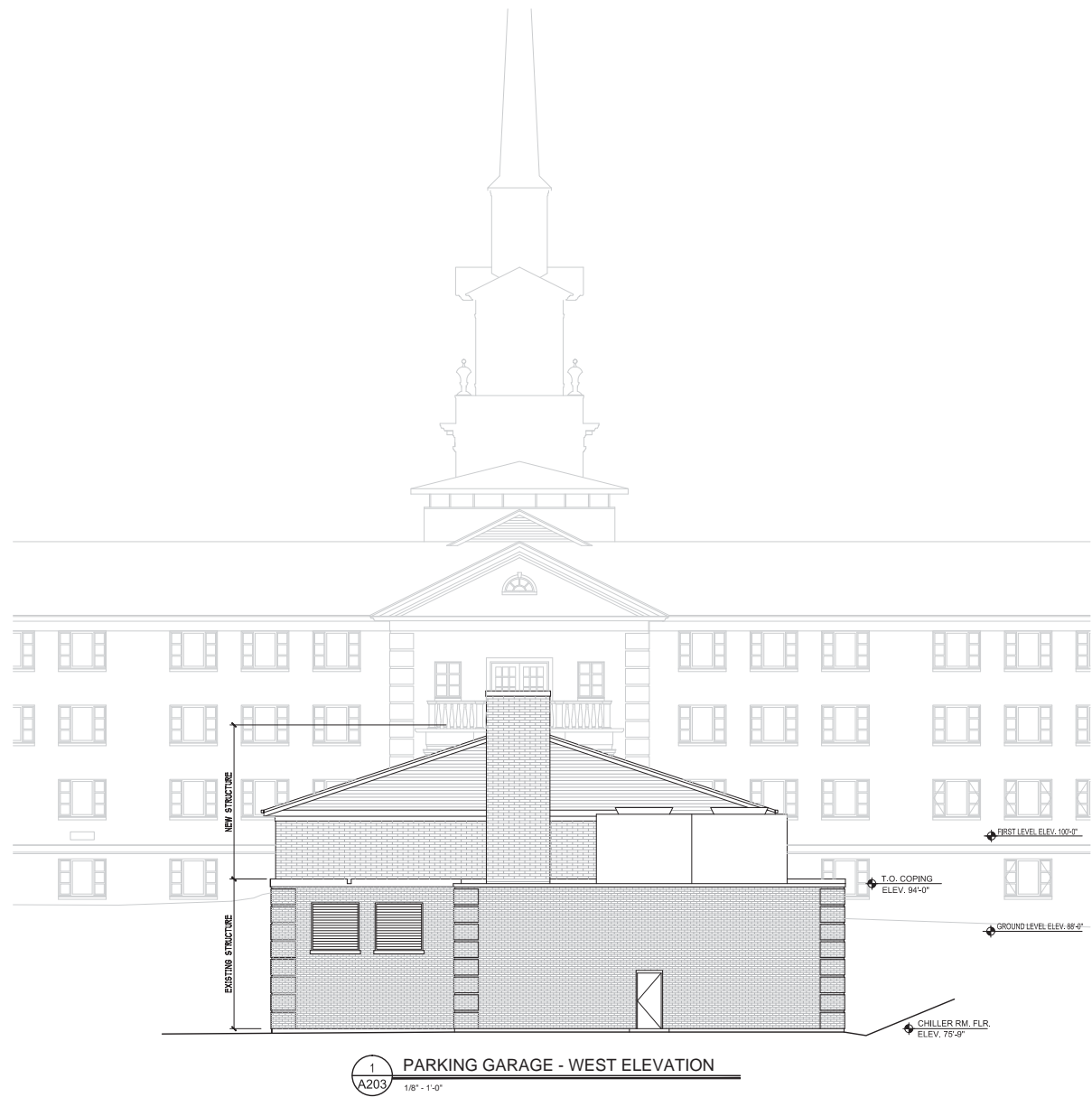
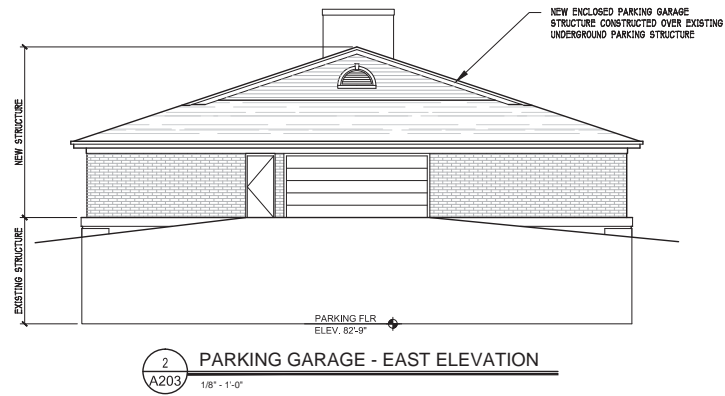
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Date	Issue Description
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Sheet Title
 EXTERIOR ELEVATIONS

Sheet No.
A202

BISHOP O'CONNOR CENTER
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Project No.	BOC
Plot Date:	09-24-2014
Drawn by:	mott

Date	Issue Description
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Sheet Title
 EXTERIOR ELEVATIONS

Sheet No.
A203