

Madison Supportive Housing Project

707-709 Rethke Avenue
Madison, Wisconsin 53714

Plan Commission Application

City of Madison

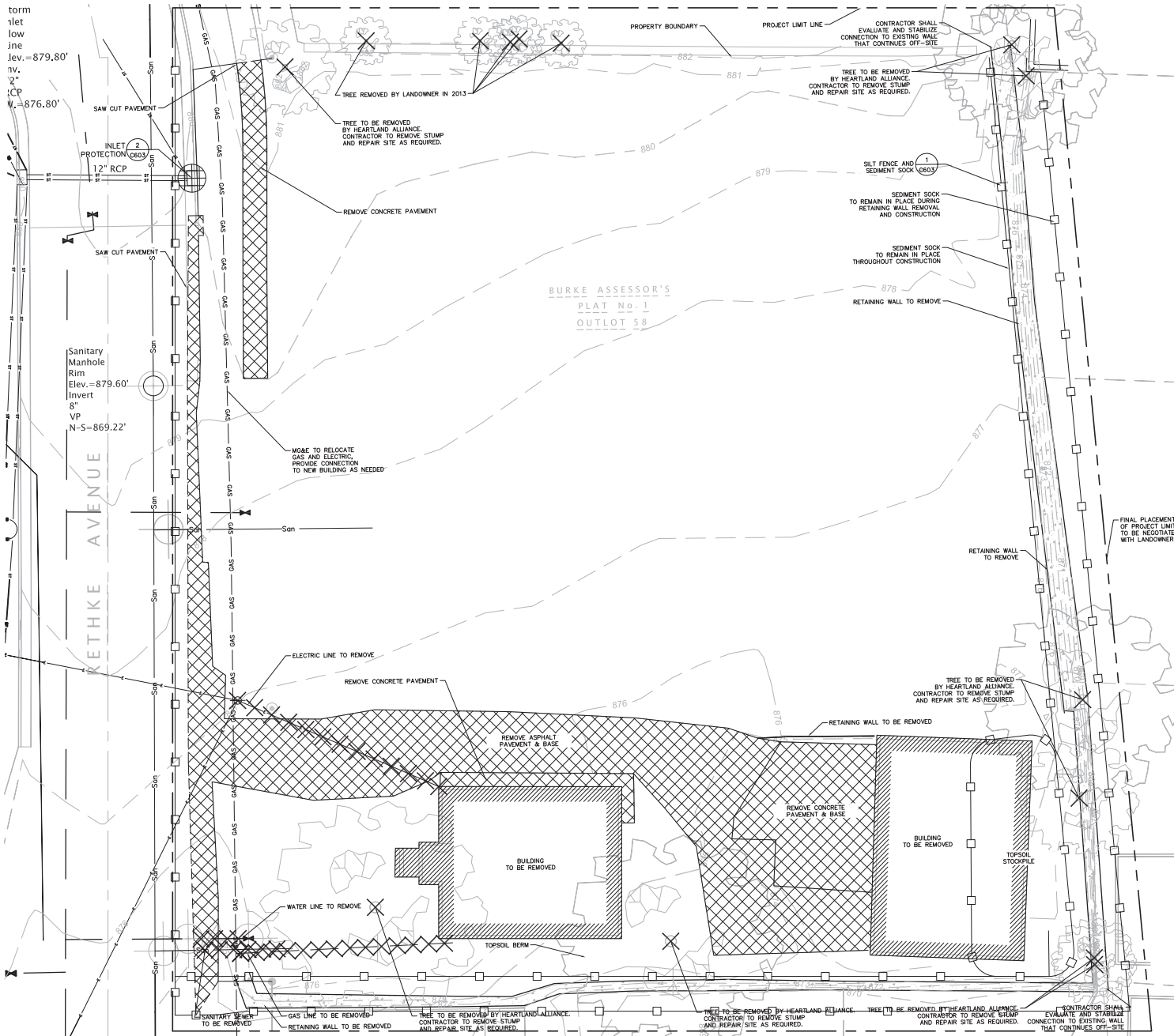
September 24, 2014

Engberg Anderson Project Number 142324.01

305 W. Washington Ave.
Madison, WI 53703
608.250.0100
www.engberganderson.com

HEARTLAND
ALLIANCE
HOUSING

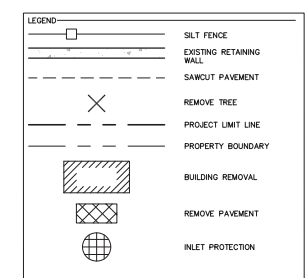
Engberg
Anderson 



- EROSION CONTROL NOTES:**
1. EROSION CONTROL ITEMS SHALL BE IN PLACE PRIOR TO CONSTRUCTION AND SHALL BE MAINTAINED UNTIL SUCH TIME THAT THE ENGINEER DEEMS THE DEVICES NO LONGER NECESSARY.
 2. EROSION CONTROL ITEMS AT THE BASE OF THE RETAINING WALL MAY BE REMOVED UPON COMPLETION OF NEW RETAINING WALL CONSTRUCTION ASSUMING EROSION CONTROL ITEMS AT THE TOP OF THE RETAINING WALL ARE IN PLACE.
 3. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
 4. DISTURBED AREAS SHALL BE STABILIZED WITH SOIL STABILIZER TYPE B IF THERE IS A DELAY OF MORE THAN 7 CALENDAR DAYS BETWEEN INITIAL GRADING AND FINAL TOPSOIL AND SEEDING. SOIL STABILIZER APPLICATION SHALL BE AT THE CONTRACTOR'S EXPENSE.
 5. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS OF THE END OF DISTURBANCE, OR RE-DISTURBANCE.
 6. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
 7. DUE TO THE LIMITED AREA OF THIS PROJECT AND THE AMOUNT OF EXISTING PAVEMENT, A TRACKING MAT PER OMR TECHNICAL STANDARD 1057 WILL NOT BE REQUIRED AT THE SITE ACCESS POINT.
 8. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY.
 9. CARE SHALL BE TAKEN TO MINIMIZE EXPORT OF EXCESS MATERIAL FROM BASEMENT EXCAVATION. CONTRACTOR SHALL ROUGH GRADE THE SITE TO PROPOSED SUBGRADES FIRST, THEN EXCAVATE THE BASEMENT AND Haul EXCESS MATERIAL OFFSITE TO THE CONTRACTOR'S PRE-ARRANGED DUMP SITE.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PERMITS AND RESTORATION REQUIRED FOR THE DUMP SITE.

- DEMOLITION NOTES:**
1. ALL BUILDINGS, FOUNDATIONS, STRUCTURES AND ABOVE GROUND APPURTENANCES WITHIN THE PROPERTY LINE SHALL BE REMOVED AS A PART OF THE DEMOLITION WORK UNLESS OTHERWISE NOTED.
 2. CONTRACTOR TO LOCATE AND VERIFY EXISTING UTILITY LOCATIONS PRIOR TO BEGINNING DEMOLITION.
 3. REMOVE PAVEMENT BASE MATERIAL TO SUBGRADE IN AREAS TO RECEIVE LAWN OR PLANTINGS.
 4. SAWCUT EDGE OF PAVEMENT AND CURB TO BE REMOVED.
 5. CONTRACTOR TO COORDINATE REMOVAL OF ELECTRIC UTILITY WITH APPROPRIATE AGENCY/COMPANY PRIOR TO THE START OF CONSTRUCTION.
 6. REMOVE ANY EXISTING SITE ELEMENT THAT CONFLICTS WITH THE PROPOSED CONSTRUCTION INCLUDING, BUT NOT LIMITED TO SIGNS, WALLS, FENCING, LANDSCAPING, PAVEMENTS AND CURBA AND GUTTERS.
 7. PROTECT EXISTING UTILITIES DURING DEMOLITION & CONSTRUCTION.

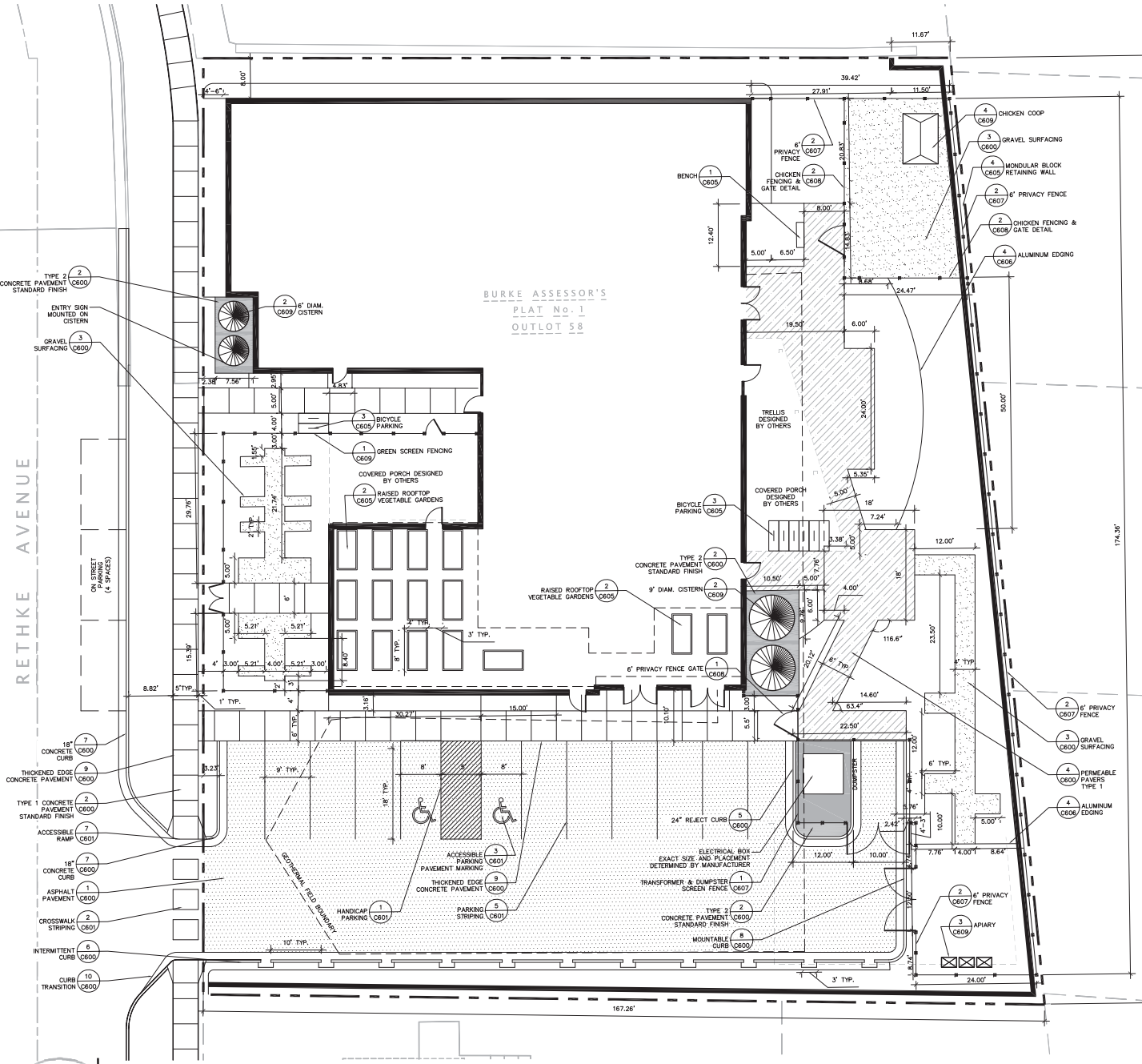
- ANTICIPATED CONSTRUCTION SCHEDULE:**
1. INSTALL PROPOSED EROSION CONTROL MEASURES AS SPECIFIED IN THE PLAN.
 2. REMOVE EXISTING STORM SEWER & ENSURE OTHER UTILITIES HAVE BEEN RELOCATED OUT OF THE BUILDING AREAS.
 3. STRIP & STOCKPILE TOPSOIL. IF TOPSOIL STOCKPILE IS TO REMAIN UNDISTURBED FOR MORE THAN 30 DAYS, THE CONTRACTOR MUST SEED & STABILIZE IT.
 4. REMOVE PAVEMENT IN AREAS THAT NEED FILL TO ACHIEVE SUBGRADE ONLY. LEAVE OTHER PAVEMENT AREAS IN PLACE UNTIL FINAL PAVING OR RESTORATION IS TO TAKE PLACE IN ORDER TO MINIMIZE OVERALL SITE DISTURBANCE.
 5. BEGIN BASEMENT EXCAVATION AND BRING FILL AREAS TO SUBGRADE. ONCE PAVEMENT AREAS ARE TO SUBGRADE, COMPLETE BASEMENT EXCAVATION AND EXPORT OF SPOIL MATERIAL.
 6. CONTRACTOR TO PLACE GRAVEL ON AREAS AS NEEDED TO PROTECT SUBGRADE.
 7. BEGIN BUILDING CONSTRUCTION.
 8. CONSTRUCT UTILITIES.
 9. INSTALL INLET PROTECTION ON ALL NEWLY INSTALLED INLETS.
 10. RE-SPREAD TOPSOIL, FERTILIZE, SEED AND MULCH ALL DISTURBED AREAS WITHIN 7 DAYS OF FINAL GRADING. REMOVE TREE PROTECTION.
 11. ASPHALT AND CONCRETE CONSTRUCTION.
 12. SEEDING AND STABILIZATION DEADLINES ARE AS FOLLOWS:
 AFTER MONTH XXXIX, A COOL WEATHER SEEDING COVER CROP MUST BE APPLIED (I.E. OATS)
 AFTER MONTH XXXIX, A DORMANT SEEDING COVER CROP MUST BE APPLIED (I.E. WINTER WHEAT)
 AFTER MONTH XXXIX, A DORMANT SEEDING MUST BE APPLIED WITH AN ACCEPTABLE SOIL STABILIZER. (POLYACRYLAMIDE)



MADISON SUPPORTIVE HOUSING PROJECT

EROSION CONTROL & DEMOLITION PLAN
 1/8" = 1'-0"
 SEPTEMBER 23, 2014
 Engberg Anderson Project No. 142324.01

C101



BURKE ASSESSOR'S
 PLAT No. 1
 OUTLOT 58

MADISON ZONING CODE SPATIAL REQUIREMENTS FOR KEEPING OF CHICKENS (SEC. 28.151) (4-6 CHICKENS)

KEEPING OF UP TO 4 CHICKENS IS ALLOWED AS AN ACCESSORY USE ON LOTS WITH UP TO FOUR DWELLING UNITS

KEEPING OF UP TO 6 CHICKENS IS ALLOWED AS AN ACCESSORY USE TO A MUSEUM OR SCHOOL IN THE DC DISTRICT

THE ENCLOSURE SHALL BE PROVIDED WITH A COVERED ENCLOSURE AND MUST BE KEPT IN COVERED ENCLOSURE OR A FENCED ENCLOSURE AT ALL TIMES

THE ENCLOSURE SHALL BE LOCATED AT LEAST 25 FEET FROM ANY RESIDENTIAL STRUCTURE ON AN ADJACENT LOT

MADISON ZONING CODE SPATIAL REQUIREMENTS FOR KEEPING OF HONEYBEES (SEC. 28.151) (20-60,000 BEES)

NO HIVE SHALL EXCEED 20 CUBIC FEET IN VOLUME

NO HIVE SHALL BE CLOSER THAN 3 FEET FROM ANY PROPERTY LINE

NO HIVE SHALL BE LOCATED CLOSER THAN 10 FEET FROM A PUBLIC SIDEWALK OR 25 FEET FROM A PRINCIPAL BUILDING ON AN ADJOINING LOT

A FLYWAY BARRIER AT LEAST 6 FEET IN HEIGHT SHALL SHIELD ANY PART OF A PROPERTY LINE WITHIN 25 FEET OF A HIVE

NO MORE THAN 6 HIVES MAY BE LOCATED ON A LOT UNLESS THE PRINCIPAL USE OF THE LOT IS AN AGRICULTURAL USE

Required Open Space:
 160' #units
 (160*60= 9,600 sf)

Shown Open Space
 Green Roof 712.3 sf
 Total 9,796.32 sf

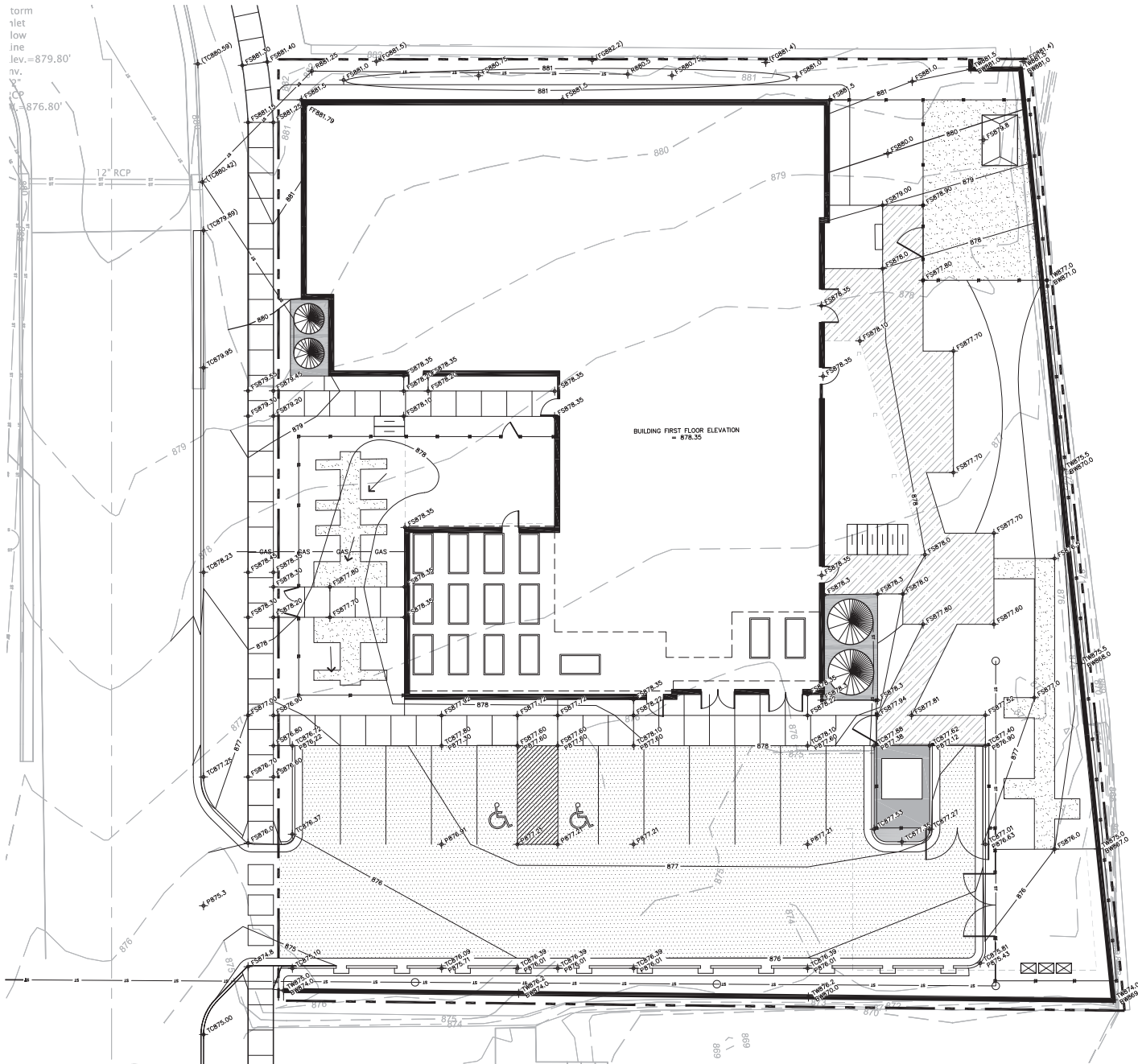
| OPEN SPACE | | |
|-------------------------|---------------|-------------|
| | EQUATION | SQUARE FEET |
| | REQUIRED | |
| 160 SF/UNIT | 60x160 | 9600.0 |
| | PROPOSED | |
| GROUND LEVEL OPEN SPACE | 10789.4 X 1 | 10789.4 |
| GREEN ROOF | 1531.1 X 0.75 | 1148.3 |
| | TOTAL | 11937.7 |

- NOTES**
- ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS
 - CONTRACTOR SHALL INSTALL EXPANSION JOINTS BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES, IN ADDITION TO AREAS SPECIFIED ON PLANS
 - THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS. CAD FILE TO BE PROVIDED UPON REQUEST.

LEGEND

- Gravel Surfacing
- Concrete Pavement Type 1 - Permeable
- Concrete Pavement Type 2 - Heavy Load, Standard Finish
- Concrete Pavement Type 3 - Pedestrian Load, Standard Finish
- Asphalt Pavement
- Wall
- Fence
- Geothermal Field Boundary
- Project Limits

form
let
low
ine
lev. = 879.80'
nv.
= 876.80'



DIGGERS HOTLINE

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Hearing Impaired TDD (608) 542-2289
www.DiggerHotline.com

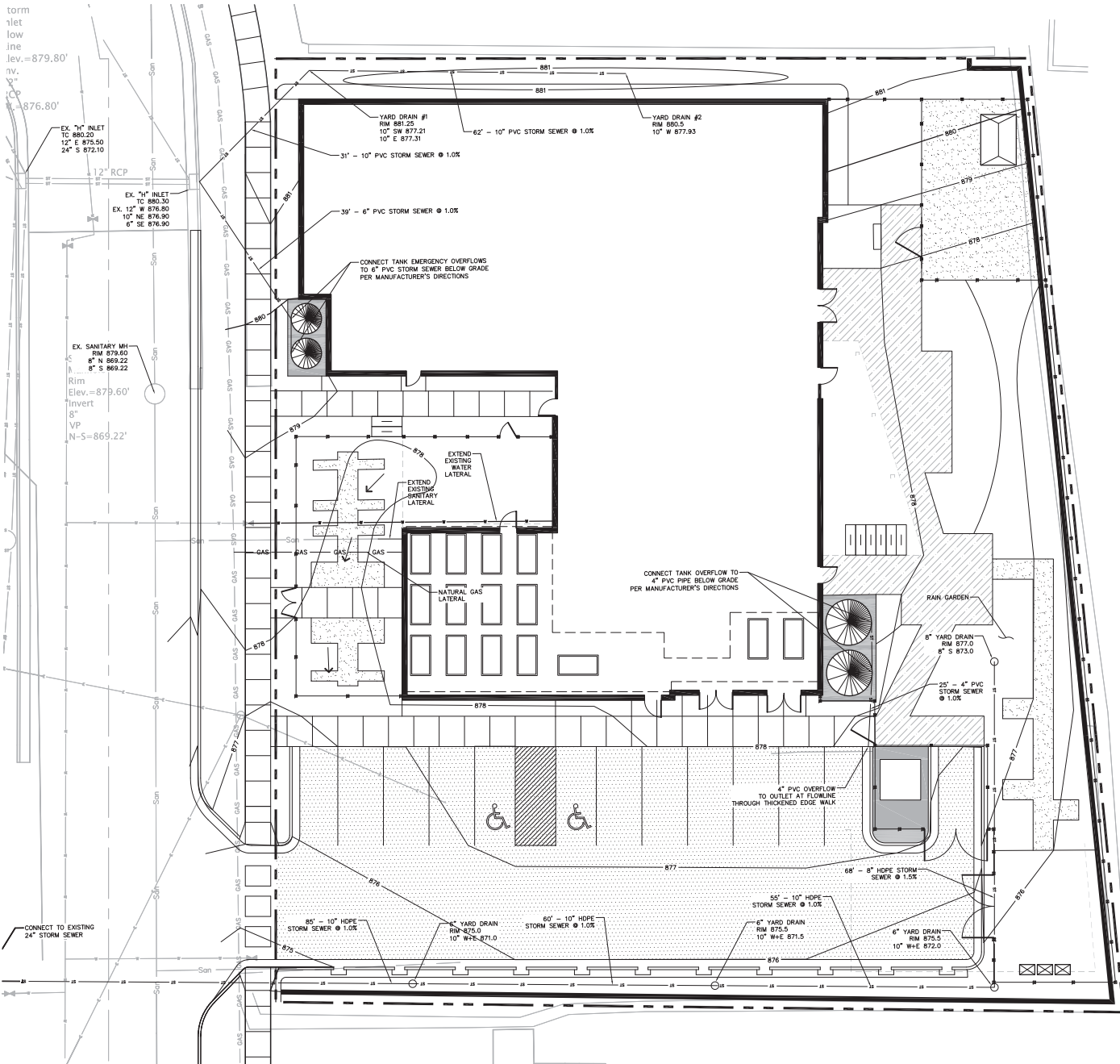
GRADING NOTES

1. CONTRACTOR SHALL FINE GRADE FOR GRADES AND SWALES AS SHOWN AND SHALL OBTAIN 2% MINIMUM DRAINAGE, UNLESS OTHERWISE DIRECTED.
2. CONTRACTOR SHALL MEET EXISTING GRADE AT PROJECT LIMITS WITH A SMOOTH AND CONTINUOUS TRANSITION.
3. CONTOURS SHOWN ON FINISH SURFACE INDICATE FINAL GRADE.
4. CONTOUR INTERVAL IS ONE (1) FOOT.
5. CONTOURS AND SPOT ELEVATIONS REPRESENT THE DESIGN INTENT OF FINISH GRADES AND FINISH SURFACES. SUBGRADES SHALL BE PER DETAIL DRAWINGS. THERE SHALL BE A MINIMUM OF 4" OF TOPSOIL IN ALL LAWN AND LANDSCAPE AREAS UNLESS OTHERWISE NOTED.
6. INSTALL CLASS I URBAN TYPE A EROSION MAT ON ALL SLOPES STEEPER THAN 4:1 AND IN ALL DRAINAGE SWALE AREAS.
7. SIDEWALK CROSS SLOPE MAY VARY BETWEEN MIN 0.5% TO MAX 2%. CONTRACTOR SHALL CONSTRUCT A 2% CROSS SLOPE WHERE EVER POSSIBLE.

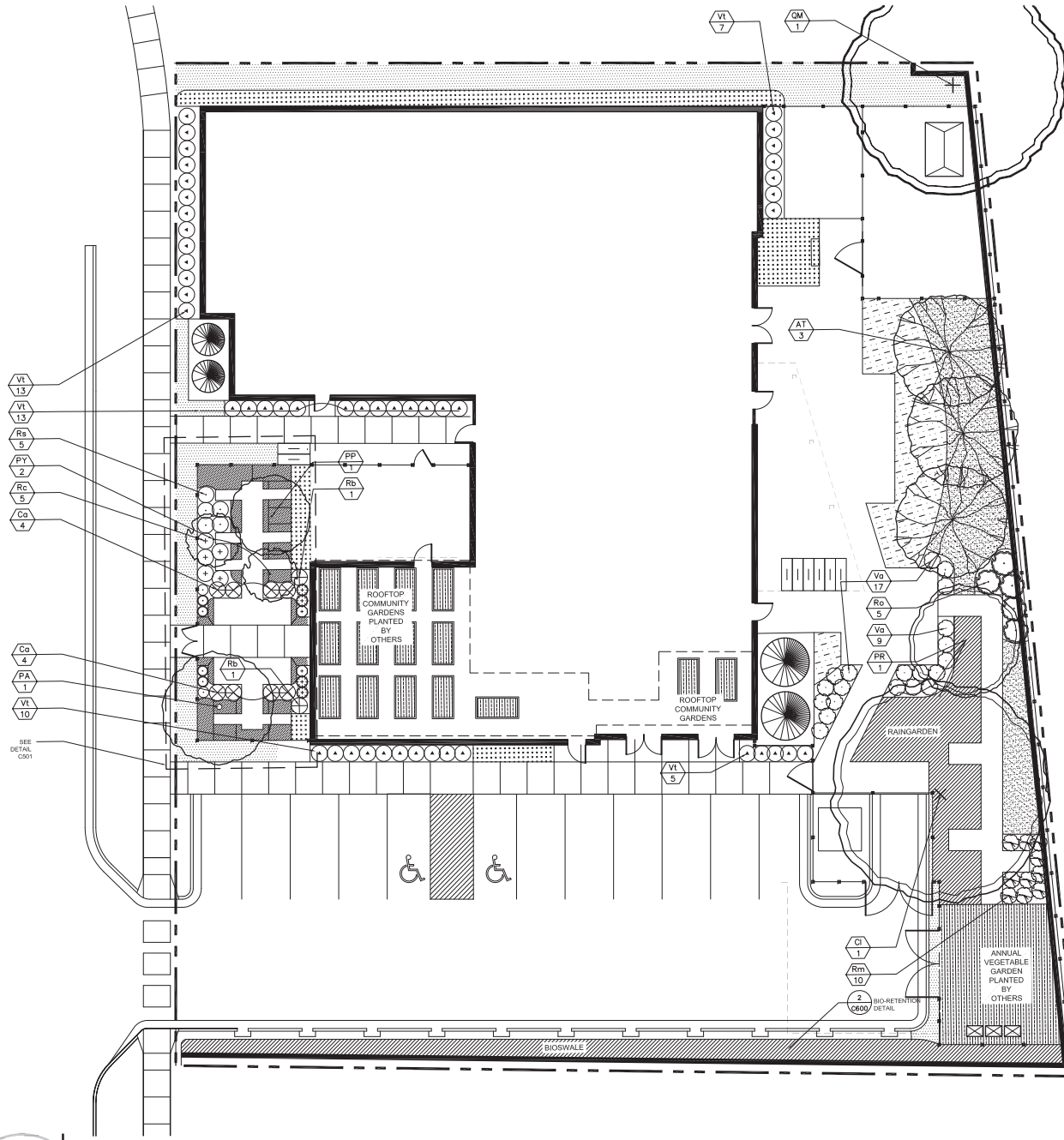
SPOT ELEVATION ABBREVIATIONS:

- P = PROPOSED ASPHALT
- FS = FINISHED SURFACE
- FG = FINISHED GRADE
- TW = TOP OF WALL
- EW = BOTTOM OF WALL
- TR = TOP OF ROCK
- TS = TOP OF STAIRS
- BS = BOTTOM OF STAIRS
- IE = INVERT ELEVATION
- R = RM = EXISTING ELEVATION
- (XXX.X) =

| LEGEND: | |
|---------|---|
| | GRAVEL SURFACING |
| | CONCRETE PAVEMENT TYPE 1 - PERMEABLE |
| | CONCRETE PAVEMENT TYPE 2 - HEAVY LOAD, STANDARD FINISH |
| | CONCRETE PAVEMENT TYPE 3 - PEDESTRIAN LOAD, STANDARD FINISH |
| | ASPHALT PAVEMENT |
| | 1' ELEVATION CONTOUR |
| | WALL |
| | FENCE |
| | GEOTHERMAL FIELD BOUNDARY |
| | PROJECT LIMITS |



- UTILITY NOTES:**
- THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
 - STANDARD SPECIFICATIONS: PERFORM ALL WORK IN ACCORDANCE WITH THE PROVISIONS OF:
 - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (WSWS) LATEST EDITION
 - STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (MSD07) LATEST EDITION
 - CONTRACTOR SHALL OBTAIN A CURRENT COPY OF THE CITY OF MADISON'S STANDARD SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
 - INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND OTHER REVISIONS TO DATE, UNLESS OTHERWISE SPECIFIED IN THE SPECIFICATIONS.
 - WITHIN THE RIGHT-OF-WAY OR UNDERNEATH PAVEMENTS OR BUILDINGS, GRANULAR TRENCH BACKFILL MUST BE USED TO FILL THE TRENCH. ALL OTHER AREAS MAY UTILIZE EXCAVATED TRENCH SOIL FOR BACKFILL PROVIDING THAT THE MATERIAL IS FREE OF ORGANIC MATERIAL AND STONES LARGER THAN 6" IN DIAMETER.
 - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES.
 - WATER DISTRIBUTION SYSTEM:**
 - MAIN:**
 - DUCTILE IRON (D.I.) AWWA C-151 CLASS 52 WITH CABLE BOND CONDUCTORS, FURNISHED AND INSTALLED PER CHAPTER 8.180 (WSWS) OR
 - POLYVINYL CHLORIDE (PVC) AWWA C-900, FURNISHED AND INSTALLED PER CHAPTER 8.200 (WSWS)
 - ALL WATER MAIN JOINTS SHALL BE RESTRAINED.
 - LATERALS:**
 - 3" OR LARGER - PVC AWWA C-900, CL150, SDR 18 OR DUCTILE IRON AWWA C-151, CLASS-52
 - 2" & SMALLER - HIGH DENSITY POLYETHYLENE (HDPE) AWWA C-901, SDR 11
 - WATER LATERAL AND HYDRANT TEES SHALL BE ANCHORED.
 - SANITARY SEWER:**
 - 8" & 12" - POLYVINYL CHLORIDE (PVC) ASTM D 3034, SDR-35 (BURY DEPTH 16' OR LESS)
 - 8" & 12" - POLYVINYL CHLORIDE (PVC) ASTM D 3034, SDR-18 (BURY DEPTH 22' TO 16')
 - STORM SEWER:**
 - STORM SEWER SPECIFIED AS RCP SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO THE FOLLOWING SPECIFICATIONS:
 - 12" DIA - CLASS V RCP
 - 15" DIA - CLASS IV RCP
 - 18" DIA - CLASS III RCP
 - STORM SEWER SPECIFIED AS HDPE SHALL BE CORRUGATED HDPE, SMOOTH INTERIOR.
 - STORM SEWER PIPE, REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C-76, POLYETHYLENE MATERIAL SHALL CONFORM TO ASTM D3350, AN APPROVED RUBBER GASKET JOINT SHALL BE USED FOR EITHER OPTION. JOINTS FOR RCP SHALL CONFORM TO ASTM D-471. JOINTS FOR HDPE SHALL CONFORM TO ASTM F-477.
- LEGEND:**
- GRAVEL SURFACING
 - CONCRETE PAVEMENT TYPE 1 - PERMEABLE
 - CONCRETE PAVEMENT TYPE 2 - HEAVY LOAD, STANDARD FINISH
 - CONCRETE PAVEMENT TYPE 3 - PEDESTRIAN LOAD, STANDARD FINISH
 - ASPHALT PAVEMENT
 - 1" ELEVATION CONTOUR
 - WALL
 - FENCE
 - GEOTHERMAL FIELD BOUNDARY
 - PROJECT LIMITS



LANDSCAPE PLANT SCHEDULE

| Symbol | Botanical Name | Common Name | Size/Root | Qty | Comments |
|---|---------------------------------------|-------------------------------|-----------|-----|----------|
| TREES | | | | | |
| AT | <i>Asimina triloba</i> 'Wilson' | PawPaw | 3 GAL-CG | 3 | |
| CI | <i>Carya illinoensis</i> 'Ecos' | Michigan Pecan | 3 GAL-CG | 1 | |
| PR | <i>Prunus americana</i> | American Plum | 3 GAL-CG | 1 | |
| PA | <i>Prunus americana</i> 'Ecos' | Briana Apricot | 3 GAL-CG | 1 | |
| PY | <i>Pyrus pyrifolia</i> | Asian Pear | 3 GAL-CG | 2 | |
| QM | <i>Quercus macrocarpa</i> | Burr Oak (Sweet It Is) | 3 GAL-CG | 1 | |
| SHRUBS | | | | | |
| Ca | <i>Ceanothus americanus</i> | New Jersey Tea | 3 GAL-CG | 8 | |
| Ra | <i>Rosa blanda</i> | Prairie Rose | 3 GAL-CG | 2 | |
| Rm | <i>Ribes missouriensis</i> | Wild Gooseberry | 2 GAL-CG | 10 | |
| Rc | <i>Rubus canadensis</i> | Chester Thornless Blackberry | 2 GAL-CG | 5 | |
| Ro | <i>Rubus occidentalis</i> | Black Raspberry | 2 GAL-CG | 5 | |
| Rs | <i>Rubus strigosus</i> | Red Raspberry | 2 GAL-CG | 5 | |
| Va | <i>Vaccinium angustifolium</i> | Low Bush Blueberry | 2 GAL-CG | 20 | |
| VI | <i>Viburnum trilobum</i> | Highbush Cranberry | 3 GAL-CG | 47 | |
| PERENNIALS | | | | | |
| PERENNIAL HERB GARDEN (SEE LS01 PLANT SCHEDULE) | | | | | |
| FORAGE GARDEN | | | | | |
| | <i>Allium cernuum</i> | Nodding Onion | Plug | 169 | |
| | <i>Asarum canadense</i> | Wild Ginger | Plug | 126 | |
| | <i>Fragaria vesca</i> 'Intensity' | Wild Strawberry | Plug | 295 | |
| | <i>Mentha arvensis</i> | Wild Mint | Plug | 42 | |
| | <i>Panax quinquefolius</i> | American Ginseng | Plug | 42 | |
| | <i>Viola pedata</i> | Bird's Foot Violet | Plug | 169 | |
| NATIVE ORNAMENTAL PLANTING | | | | | |
| | <i>Achillea millefolium</i> 'Paprika' | Common Yarrow | Plug | 119 | |
| | <i>Bouteloua curtipendula</i> | Sideoats Grama | Plug | 396 | |
| | <i>Coreopsis lanceolata</i> | Sand Coreopsis | Plug | 119 | |
| | <i>Echinacea purpurea</i> | Purple Coneflower | Plug | 119 | |
| | <i>Pulsatilla patens</i> | Poquos Flower | Plug | 40 | |
| RAIN GARDEN/BIOSWALE | | | | | |
| | <i>Caltha palustris</i> | Marsh Marigold | Plug | 57 | |
| | <i>Carex comosa</i> | Longhair Sedge | Plug | 71 | |
| | <i>Carex stricta</i> | Common Tussock Sedge | Plug | 213 | |
| | <i>Carex vulpinoidea</i> | Fox Sedge | Plug | 213 | |
| | <i>Eleocharis acicularis</i> | Needle Spike Rush | Plug | 14 | |
| | <i>Eleocharis obtusa</i> | Blunt Spike Rush | Plug | 57 | |
| | <i>Iris virginica</i> | Blue Flag Iris | Plug | 99 | |
| | <i>Juncus dudleyi</i> | Dudley's Rush | Plug | 43 | |
| | <i>Lysimachia quadriflora</i> | Fourflower Yellow Loosestrife | Plug | 85 | |
| | <i>Spartina pectinata</i> | Prairie Cord Grass | Plug | 567 | |
| SHADE TURF | | | | | |
| | <i>Carex pensylvanica</i> | Pennsylvania Sedge | Plug | 338 | |
| | <i>Carex rosea</i> | Curly-styled Wood Sedge | Plug | 169 | |
| | <i>Hepatica acutiloba</i> | Sharp-lobed Hepatica | Plug | 56 | |

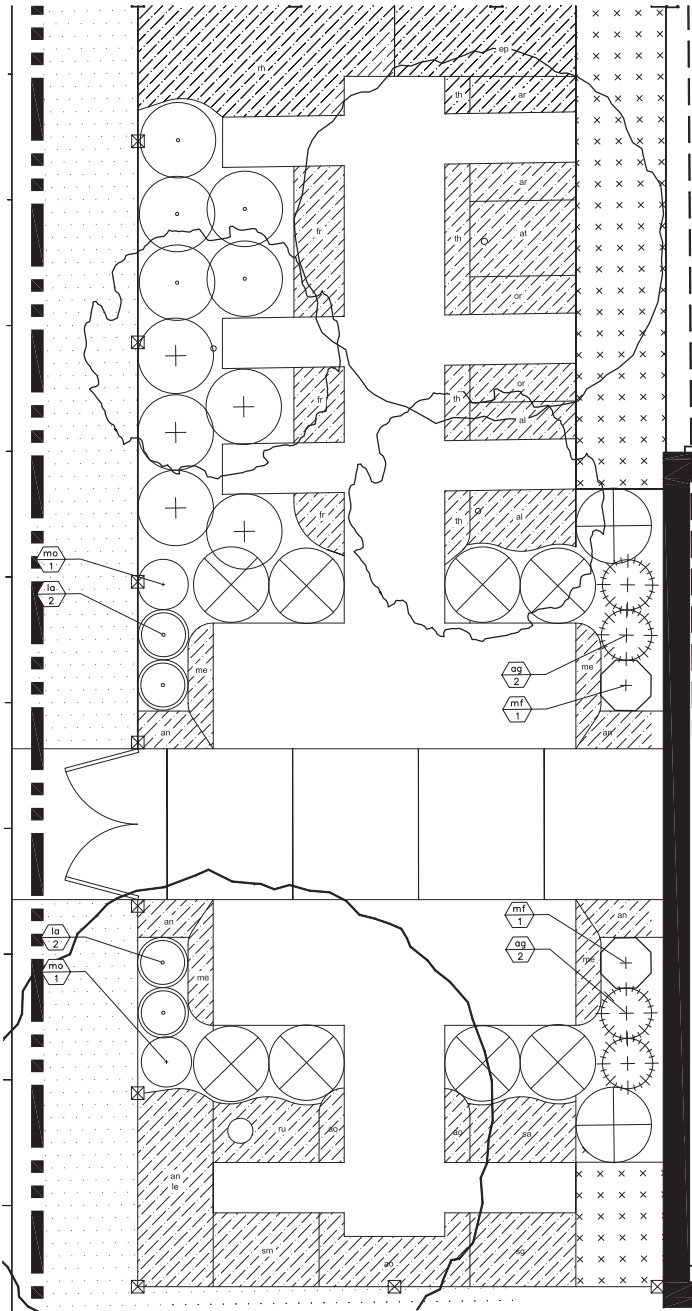
SEED MIXES

| Botanical Name | Common Name | lbs./acre |
|------------------------------------|----------------------|-----------|
| NATIVE TURF | | |
| <i>Bouteloua curtipendula</i> | Sideoats Grama | 200 |
| <i>Bouteloua gracilis</i> | Blue Grama | 27 |
| NATIVE ORNAMENTAL PLANTING | | |
| <i>Bouteloua curtipendula</i> | Sideoats Grama | 150 |
| <i>Schizachyrium scoparium</i> | Little Bluestem | 150 |
| <i>Symphotrichum oolentangense</i> | Sky-blue Aster | 3 |
| <i>Tradescantia ohioensis</i> | Spiderwort | 7 |
| RAIN GARDEN | | |
| <i>Bidens cernuum</i> | Nodding Bur Marigold | 20 |
| <i>Symphotrichum novae-angliae</i> | New England Aster | 3.5 |

LEGEND:

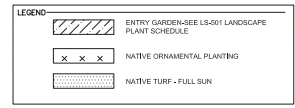
- ENTRY GARDEN-SEE LS-01 LANDSCAPE PLANT SCHEDULE
- FORAGE GARDEN
- NATIVE ORNAMENTAL PLANTING
- RAIN GARDEN
- NATIVE TURF - FULL SUN
- NATIVE TURF - SHADE
- ANNUAL VEGETABLE GARDEN-PLANTED BY OTHERS

- NOTES:**
- ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.
 - FINISH ALL PLANTING BEDS WITH PLANTING SOIL PER SPECIFICATIONS. ALL EDGING TO BE SHOVEL OUT UNLESS NOTED OTHERWISE.
 - ALL PLANTING BEDS TO BE MULCHED WITH DOUBLE SHREDDED HARDWOOD MULCH, NATURAL COLOR, DEPTH PER SPECIFICATIONS.
 - BASE BID INCLUDES ALL DISTURBED AREAS TO BE FINISH GRADED AND SEEDED PER SPECIFICATIONS.
 - PROPOSED UTILITY LINES SHOWN FOR PLANTING REFERENCE. ACTUAL FIELD LOCATION MAY VARY. ANY DISTURBANCE/DISRUPTION TO PREVIOUSLY PLACED UTILITIES SHALL BE RESPONSIBILITY OF INSTALLING CONTRACTOR.



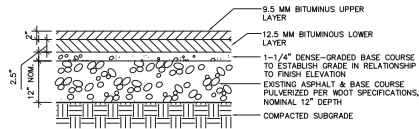
PERENNIAL HERB GARDEN PLANT SCHEDULE

| Symbol | Botanical Name | Common Name | Size/Root | Qty | Comments |
|-------------------|----------------------------|-------------------|-----------|-----|----------|
| PERENNIALS | | | | | |
| ag | Agastache foeniculum | Anise Hyssop | Quart-CG | 4 | |
| al | Allium schoenoprasum | Chives | Quart-CG | 16 | |
| at | Allium tricoccum | Ramps | Quart-CG | 13 | |
| an | Angelica archangelica | Angelica | Quart-CG | 4 | |
| ar | Artemisia dracunculula | French Tarragon | Quart-CG | 22 | |
| ao | Asparagus officinalis | Asparagus | Quart-CG | 19 | |
| ep | Echinacea purpurea | Purple Coneflower | Quart-CG | 15 | |
| fr | Fragaria vesca 'Intensity' | Wild Strawberry | Quart-CG | 22 | |
| la | Lavandula stoechas | Lavender | Quart-CG | 4 | |
| le | Levisticum officinale | Lovage | Quart-CG | 6 | |
| mo | Melissa officinalis | Lemon Balm | Quart-CG | 2 | |
| me | Mentha piperita | Peppermint | Quart-CG | 16 | |
| mf | Monarda fistulosa | Bee Balm | Quart-CG | 2 | |
| or | Origanum vulgare hirtum | Greek Oregano | Quart-CG | 22 | |
| rh | Rheum rhabarbarum | Rhubarb | Quart-CG | 16 | |
| ru | Rumex scutellatus | French Sorrel | Quart-CG | 10 | |
| sa | Salvia officinalis | Sage | Quart-CG | 10 | |
| sg | Sanguisorba minor | Salad Burnet | Quart-CG | 13 | |
| sm | Satureja montana | Winter Savory | Quart-CG | 13 | |
| th | Thymus vulgaris | English Thyme | Quart-CG | 25 | |

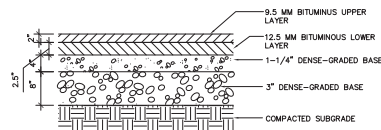


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 - FINISH ALL PLANTING BEDS WITH PLANTING SOIL PER SPECIFICATIONS.
 - ALL EDGING TO BE SHOVEL CUT UNLESS NOTED OTHERWISE.
 - ALL PLANTING BEDS TO BE MULCHED WITH DOUBLE SHREDED HANDWOOD MULCH, NATURAL COLOR, DEPTH PER SPECIFICATIONS.
 - BASE BID INCLUDES ALL DISTURBED AREAS TO BE FINISH GRADED AND SEEDED PER SPECIFICATIONS.
 - PROPOSED UTILITY LINES SHOWN FOR PLANTING REFERENCE, ACTUAL FIELD LOCATION MAY VARY. ANY DISTURBANCE/DISRUPTION TO PREVIOUSLY PLACED UTILITIES SHALL BE RESPONSIBILITY OF INSTALLING CONTRACTOR.

| PAVEMENT TYPE: | WOOT MIXTURE TYPE: |
|------------------------------------|--------------------|
| TYPE 1 ASPHALT PAVEMENT—LIGHT LOAD | E-0.3 |
| TYPE 2 ASPHALT PAVEMENT—HEAVY LOAD | E-1 |



IN AREAS WITH EXISTING ASPHALT PAVEMENT OR BASE MATERIAL



IN AREAS WITHOUT EXISTING BASE MATERIAL

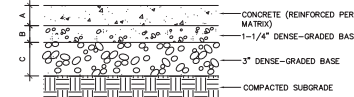
1 ASPHALT PAVEMENT
C600

SCALE 1" = 1'-0"

2 CONCRETE PAVEMENT
C600

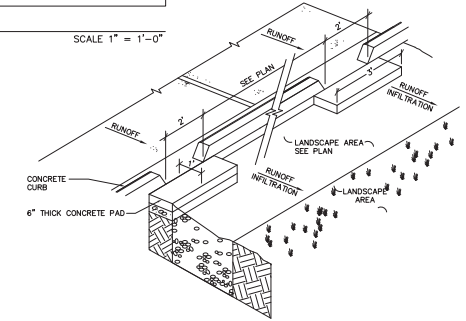
| PAVEMENT TYPE: | CONCRETE THICKNESS (A) | BASE THICKNESS (B) | SUBBASE THICKNESS (C) |
|---|------------------------|--------------------|-----------------------|
| TYPE 1 CONCR. PAVEMENT—PEDESTRIAN LOAD* | 5" | 6" | 0" |
| TYPE 2 CONCR. PAVEMENT—VEHICULAR LOAD* | 6" FIBER REINFORCED | 4" | 8" |
| TYPE 3 CONCR. PAVEMENT—VEHICULAR LOAD WITH GEOTEXTILE | 6" FIBER REINFORCED | 4" | 8" |

* PAVEMENT TYPE MAY BE COLORED, REFER TO PLANS AND SPECIFICATIONS FOR LOCATION AND TYPE



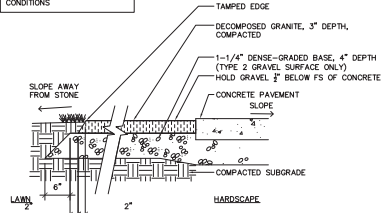
- NOTES:
1. MEDIUM BROOM FINISH, PERPENDICULAR TO DIRECTION OF TRAVEL, UNLESS OTHERWISE STATED.
 2. PROVIDE EXPANSION JOINTS 30' ALL WAYS, MINIMUM STANDARD COLOR CONCRETE UNLESS NOTED.
 3. MEDIUM & HEAVY LOAD CONCRETE: LONGITUDINAL (EXPANSION) JOINTS SHALL HAVE 24" LONG #4 EPOXY COATED REBAR AT 39" O.C. AT A DEPTH OF 3 3/4" ± 1"
 4. MEDIUM & HEAVY LOAD CONCRETE: TRANSVERSE JOINTS SHALL HAVE 18" LONG, 1" DIA. EPOXY COATED, SMOOTH DONEL BARS AT 72" O.C. AT 4" DEPTH.

SCALE 1" = 1'-0"



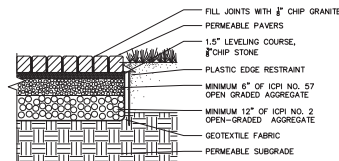
SCALE NTS

NOTE: SEE PLANS FOR ADJACENT SURFACE CONDITIONS



3 GRAVEL SURFACING
C600

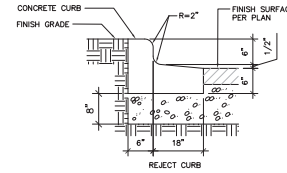
SCALE 1" = 1'-0"



- NOTES:
1. SEE LPXXX & LPXXX FOR LAYOUT PATTERN
 2. CONTRACTOR TO SUPPLY MADISON CDA WITH ANY SURPLUS PAVERS

4 PERMEABLE PAVERS—TYPE 1
C600

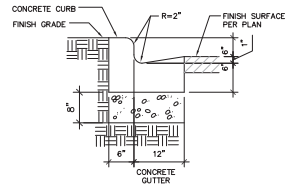
SCALE 1" = 1'-0"



5 24" REJECT CURB
C600

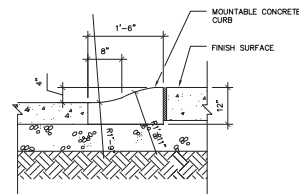
SCALE: NTS

6 INTERMITTENT CURB
C600



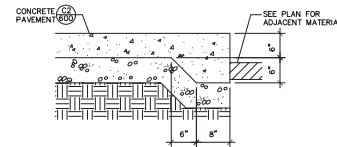
7 18" CONCRETE CURB
C600

SCALE 1" = 1'-0"



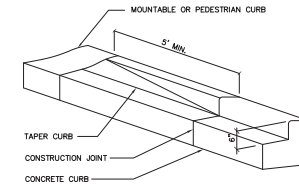
8 MOUNTABLE CURB
C600

SCALE 1" = 1'-0"



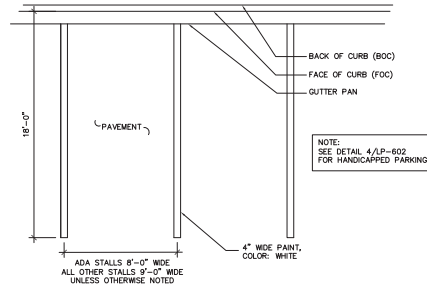
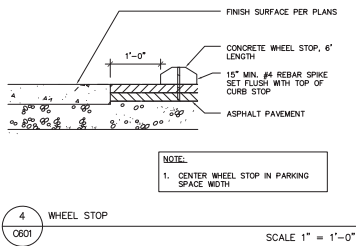
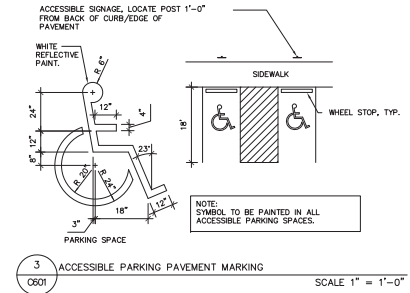
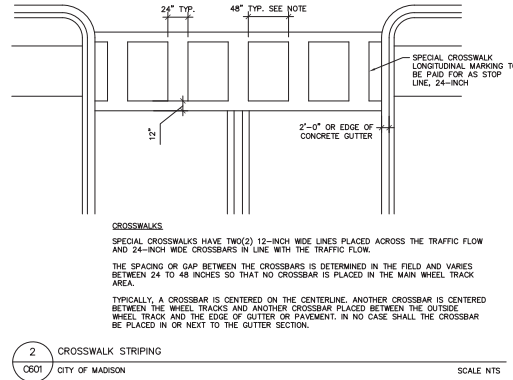
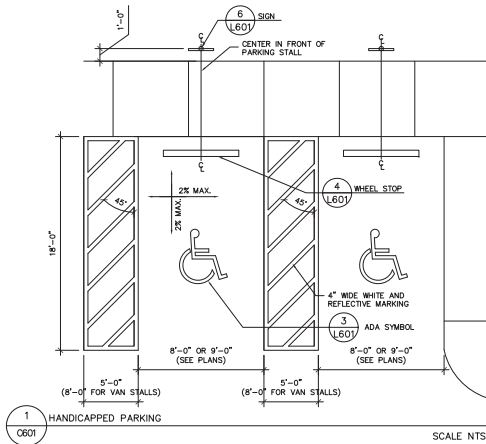
9 THICKENED EDGE WALK
C600

SCALE 1/2" = 1'-0"

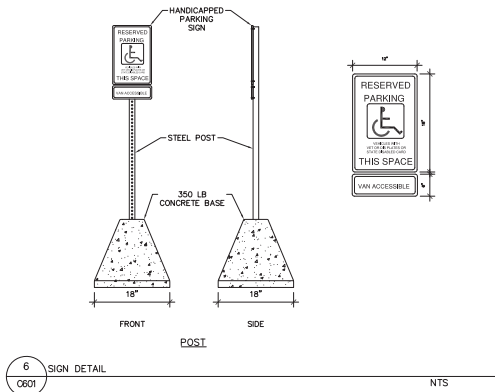
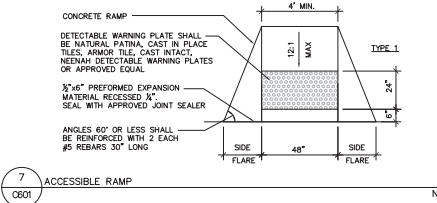
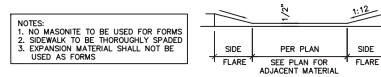


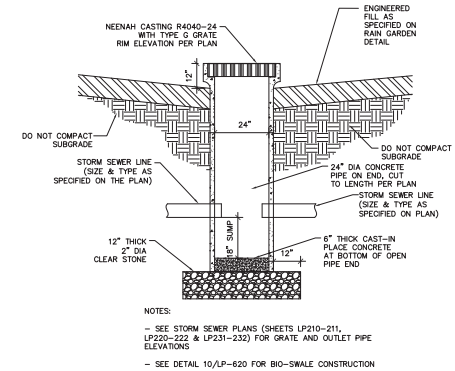
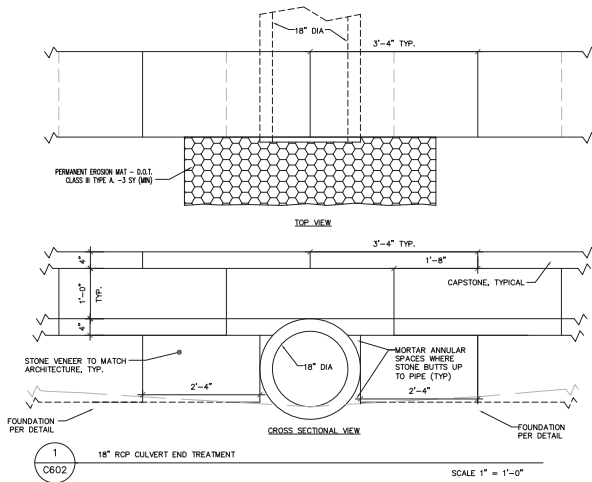
10 CURB TRANSITION
C600

SCALE 1" = 1'-0"



5 PARKING STRIPING
C601
SCALE 1" = 1'-0"





2 BIO-SWALE OUTLET STRUCTURE NTS

UTILITY NOTES:

THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

STANDARD SPECIFICATIONS: PERFORM ALL WORK IN ACCORDANCE WITH THE PROVISIONS OF:

- "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" (WSWS) LATEST EDITION

- STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (MSDOT) LATEST EDITION

- CONTRACTOR SHALL OBTAIN A CURRENT COPY OF THE CITY OF MADISON'S STANDARD SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.

INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND OTHER REVISIONS TO DATE, UNLESS OTHERWISE SPECIFIED IN THE SPECIFICATIONS.

WITHIN THE RIGHT-OF-WAY OR UNDERNEATH PAVEMENTS OR BUILDINGS, GRANULAR TRENCH BACKFILL MUST BE USED TO FILL THE TRENCH. ALL OTHER AREAS MAY UTILIZE EXCAVATED TRENCH SPOTS FOR BACKFILL PROVIDING THAT THE MATERIAL IS FREE OF ORGANIC MATERIAL AND STONES LARGER THAN 6" IN DIAMETER.

WATER DISTRIBUTION SYSTEM:

MAIN:

- DUCTILE IRON (DI) AWWA C-151 CLASS 52 WITH CABLE BOND CONDUCTORS, FURNISHED AND INSTALLED PER CHAPTER B.180 (WSWS) OR

- POLYVINYL CHLORIDE (PVC) AWWA C-900, FURNISHED AND INSTALLED PER CHAPTER B.20.0 (WSWS)

- ALL WATER MAIN JOINTS SHALL BE RESTRAINED.

LATERALS:

- 6" - PVC AWWA C-900, CL150, SDR 18.

- 2" & SMALLER - HIGH DENSITY POLYETHYLENE (HDPE) AWWA C-901, SDR 11

- WATER LATERAL AND HYDRANT TEES SHALL BE ANCHORED.

STORM SEWER:

- STORM SEWER SPECIFIED AS RCP SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO THE FOLLOWING SPECIFICATIONS:

12" DIA - CLASS V RCP

15" DIA - CLASS IV RCP

18" DIA - CLASS III RCP

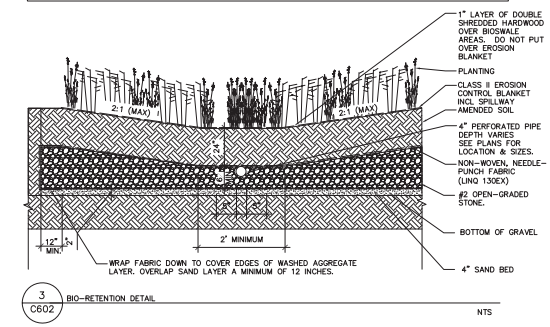
- STORM SEWER SPECIFIED AS HDPE SHALL BE CORRUGATED HDPE, SMOOTH INTERIOR.

- STORM SEWER PIPE, REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C-76, POLYETHYLENE MATERIAL SHALL CONFORM TO ASTM D3350. AN APPROVED RUBBER GASKET JOINT SHALL BE USED FOR EITHER OPTION. JOINTS FOR RCP SHALL CONFORM TO ASTM D-471. JOINTS FOR HDPE SHALL CONFORM TO ASTM F-477.

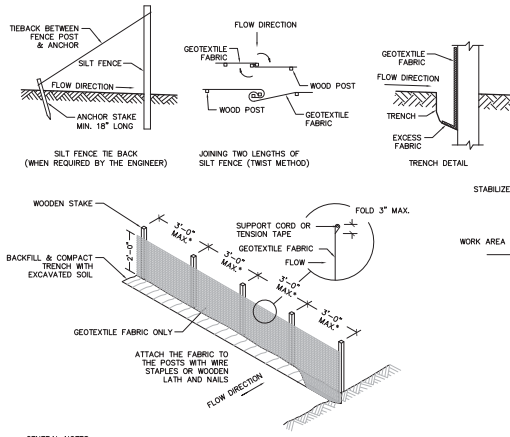
- ALL PERFORATED DRAIN TILE SHALL BE PLASTIC WITHOUT A FILTER SOCK.

- AT EACH POINT WHERE A STORM SEWER "DAYLIGHTS", A MARKER POST EQUIVALENT TO THOSE SPECIFIED BY MSDOT, SHALL BE INSTALLED AT THE END TO MARK THE LOCATION.

- BIO-RETENTION GENERAL NOTES:**
- ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE WDMR TECHNICAL STANDARD 104 - BIORETENTION FOR INFILTRATION OF THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE BIORETENTION DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
 - CONTRACTOR SHALL INSTALL 36" OF ENGINEERED SOIL CONSISTING OF: 75% ASTM C33 SAND AND 25% CERTIFIED COMPOST (S-100). FILL BIO-RETENTION AREA 2-3" ABOVE SURROUNDING FINISH GRADE TO ACCOMMODATE SETTLING OF BIO-RETENTION MATERIAL.
 - CERTIFIED COMPOST SHALL CONSIST OF: ≥40% ORGANIC MATTER, <80% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
 - SAND/NATIVE SOIL INFILTRATION LAYER SHALL BE FORMED BY A LAYER OF SAND 3 INCHES DEEP, WHICH IS VERTICALLY MIXED WITH THE NATIVE SOIL TO A DEPTH OF 2-4 INCHES.
 - FILTER FABRIC SHALL BE PLACED ABOVE THE PERFORATED PIPE, BETWEEN THE PEA GRAVEL AND THE ENGINEERED SOIL, A WIDTH OF 4 FEET CENTERED OVER THE FLOW LINE OF THE PIPE.
 - ANNUAL RYE GRASS SHALL BE SEED AT 40 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL. WHEN BASIN IS BROUGHT ON-LINE, ROOTKILLER AND FLUGES ARE REQUIRED TO ESTABLISH VEGETATION AT THE INVERT OF THE BASIN.
 - RUNOFF MUST INFILTRATE WITHIN 48-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
 - ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
 - OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANTING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.
 - BIO-RETENTION AREAS SHALL BE HAND OR BACK HOE LAID. EQUIPMENT SHALL NOT BE DRIVEN ON SOIL MIX DURING OR AFTER INSTALLATION.
- INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (e.g. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDMR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.



3 BIO-RETENTION DETAIL NTS



GENERAL NOTES:

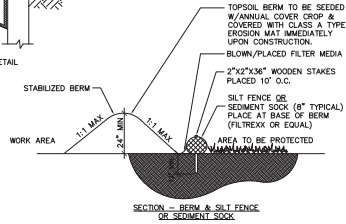
- FOR MANUAL INSTALLATIONS THE TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 3" LENGTH OF OAK OR HICKORY
- ADDITIONAL POST DEPTH OR THE BACKS MAY BE REQUIRED IN UNSTABLE SOILS
- THE MAXIMUM SPACING OF POSTS FOR WOVEN FABRIC SILT FENCE SHALL BE 8 FEET AND FOR NON-WOVEN FABRIC, 3 FEET.
- 8" OF FENCE FABRIC REQUIRED BELOW GRADE IN TRENCH PER DNR TECH STD. 1056
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE MOST PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4".
- EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH MNR TECHNICAL STANDARD.
- CROSS BRACE WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS AS DIRECTED BY THE ENGINEER.
- MINIMUM 14 GAUGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" O.C.
- WIRE SUPPORT FENCE SHALL BE 14 GAUGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C.C. (TYPE B)
- GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. (TYPE A)
- STEEL POSTS SHALL BE STUDDED "TEE" OR "J" TYPE WITH A MINIMUM HEIGHT OF 1.38 LBS./LIN. FT. (WITHOUT ANCHOR) FIN ANCHORS SUFFICIENT TO RESIST POST MOVEMENT ARE REQUIRED. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL, IF POSSIBLE, BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS: A.) TWIST METHOD — OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B.) HOOK METHOD — HOOK THE END OF EACH SILT FENCE LENGTH.

1 SILT FENCE AND SEDIMENT SOCK W/STABILIZED BERM

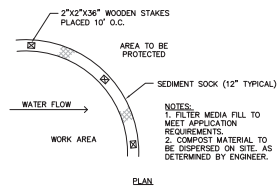
C603

NTS

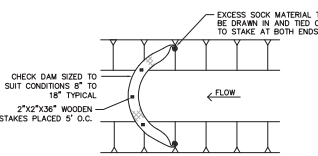
- STABILIZED BERM NOTES:**
- SEDIMENT SHOULD BE REMOVED FROM BEHIND BERM ONCE THE ACCUMULATED HEIGHT HAS REACHED 3/4 THE HEIGHT OF THE BERM.
 - BERM SHALL BE DIRECT SEEDED AND STABILIZED AT THE TIME OF INSTALLATION.
 - STABILIZED BERM SHALL HAVE STONE OVERFLOW WEIRS PLACED IN LOCATIONS AS SPECIFIED IN THE PLANS. OVERFLOW WEIR SHALL BE A MINIMUM OF 4" WIDE AND CONSTRUCTED COMPLETELY OF #2 CLEAR STONE. TOP ELEVATION OF STONE WEIR SHALL BE 4-12" BELOW TOP OF ADJACENT STABILIZED BERM.



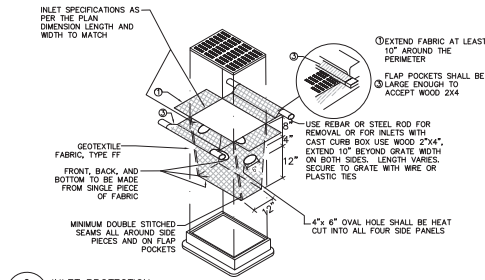
SECTION — BERM & SILT FENCE OR SEDIMENT SOCK



PLAN



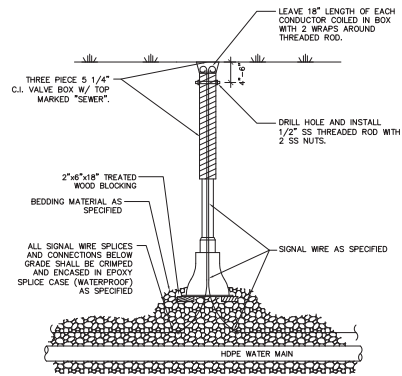
- NOTES:**
- SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED 3/4 THE HEIGHT OF THE CHECK DAM.
 - CHECK DAM CAN BE DIRECT SEEDED AT THE TIME OF INSTALLATION.



2 INLET PROTECTION

C603

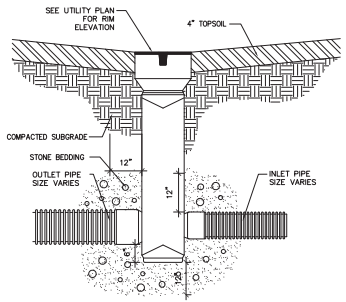
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3 TRACER WIRE SIGNAL CONNECTION BOX

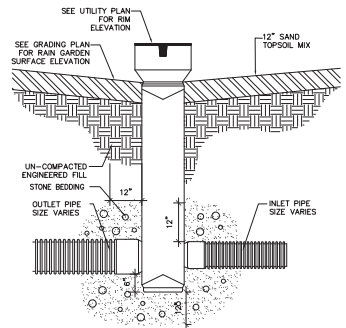
C603

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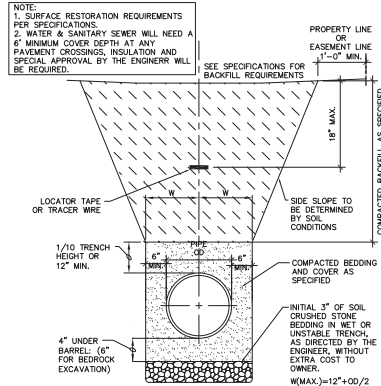
NOTE:
1. SEE UTILITY PLANS FOR GRATE AND OUTLET PIPE ELEVATIONS
2. SEE MANUFACTURER'S SPECIFICATIONS FOR PROPER DRAIN INSTALLATION

1 YARD DRAIN NTS
C604

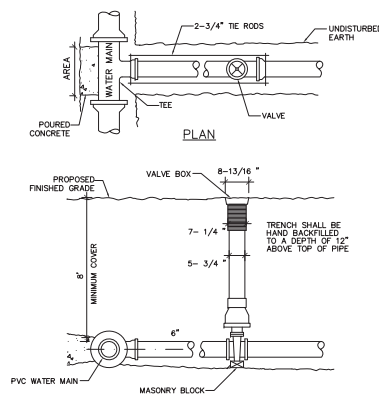


NOTE:
1. SEE UTILITY PLANS FOR GRATE AND OUTLET PIPE ELEVATIONS
2. SEE MANUFACTURER'S SPECIFICATIONS FOR PROPER DRAIN INSTALLATION

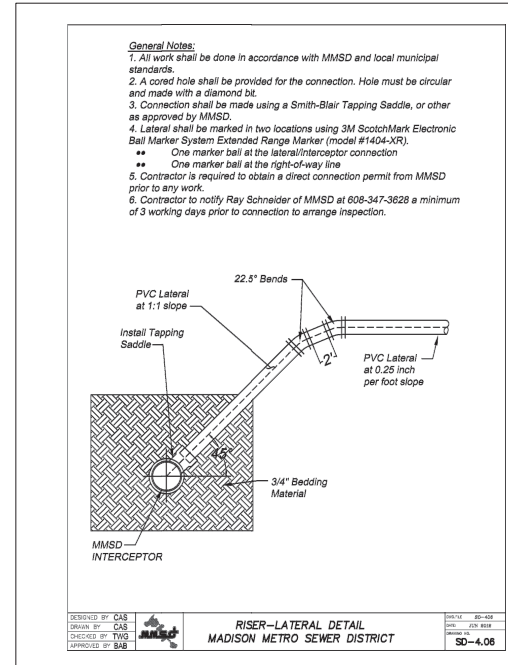
2 RAIN GARDEN OUTLET STRUCTURE NTS
C604



4 UNDERGROUND UTILITY BEDDING & TRENCH SECTION NTS
C604

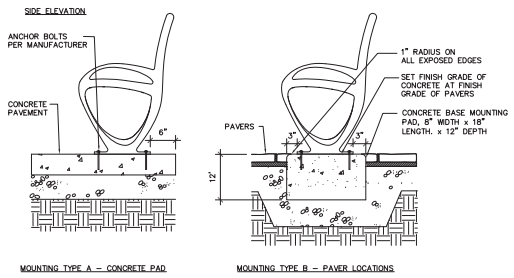
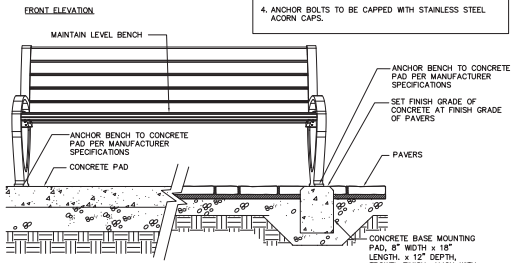


5 WATER VALVE NTS
C604

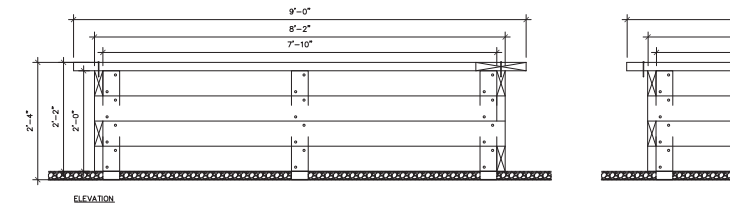
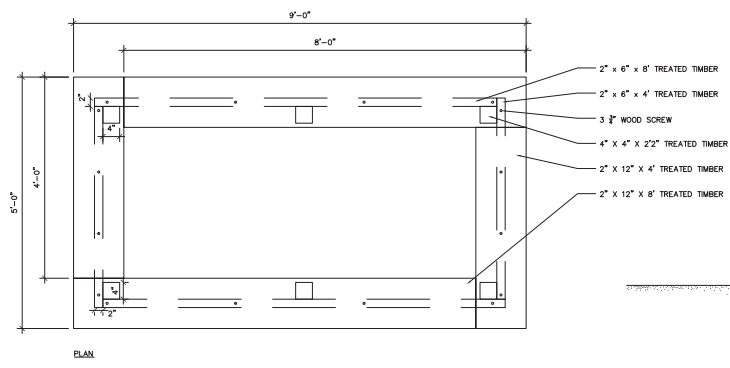


6 SANITARY SEWER RISER NTS
C604

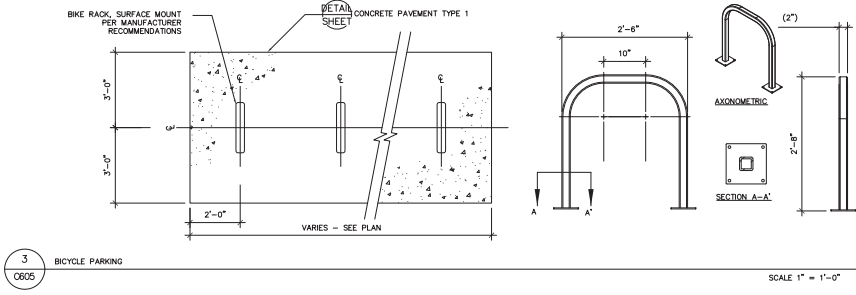
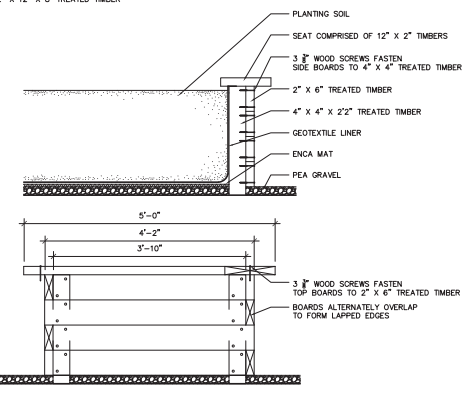
- NOTES:**
1. MOUNT ACCORDING TO MANUFACTURER RECOMMENDATIONS
 2. CONCRETE BASE SUPPORTS ONLY NECESSARY WHERE BENCHES ARE MOUNTED ON PAVERS
 3. CENTER BENCH HORIZONTALLY ON CONCRETE PAD
 4. ANCHOR BOLTS TO BE CAPPED WITH STAINLESS STEEL ACORN CAPS.



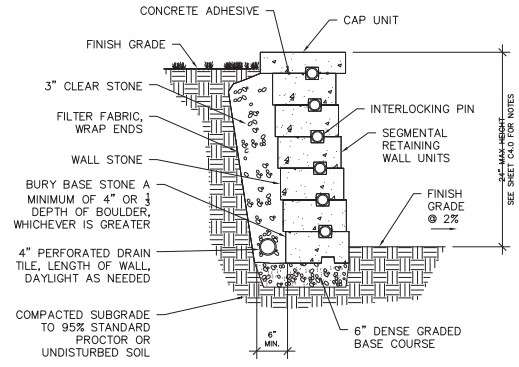
1 BENCH
C605
SCALE 1" = 1'-0"



2 RAISED VEGETABLE PLANTER
C605 AT COMMUNITY GARDEN AREA
SCALE: 1" = 1'-0"

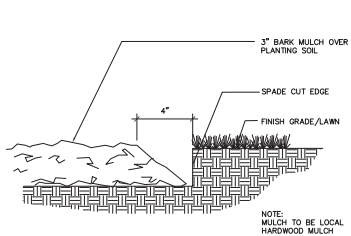


3 BICYCLE PARKING
C605
SCALE 1" = 1'-0"

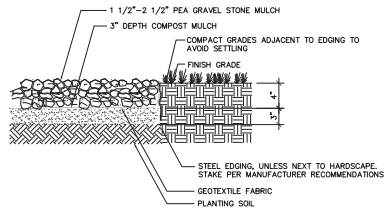


*CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE CITY FOR APPROVAL PRIOR TO CONSTRUCTING THE WALL.

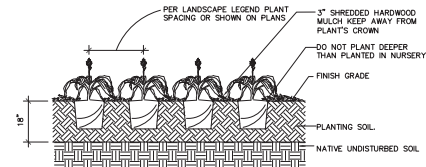
4 MODULAR BLOCK RETAINING WALL
C605
SCALE NTS



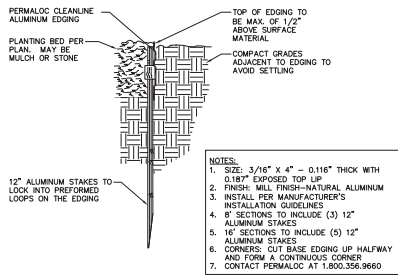
1 SHOVEL CUT EDGE
C606 NTS



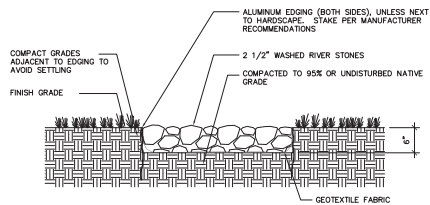
2 2 PART MULCH
C606 SCALE 1" = 1'-0"



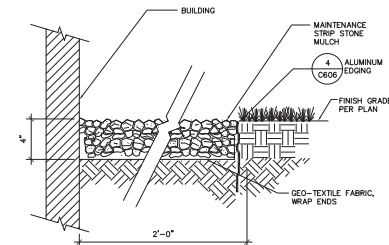
3 GROUNDCOVER/PERENNIAL/BULB PLANTING DETAIL
C606 NTS



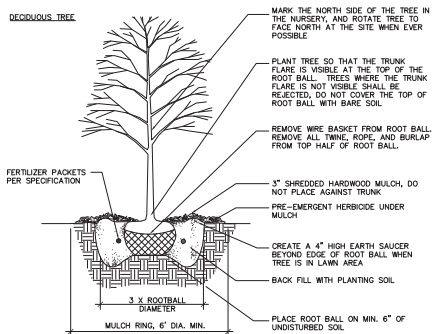
4 ALUMINUM EDGING
C606 NTS



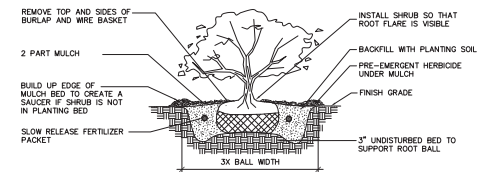
5 RIVER STONE MULCH
C606 NTS



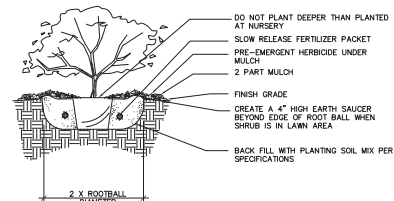
6 MAINTENANCE STRIP
C606 NTS



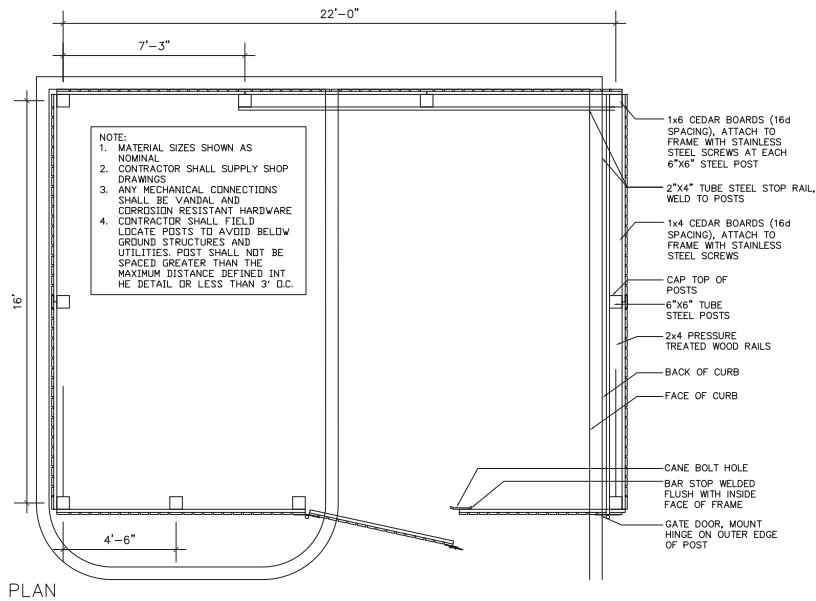
7 B&B TREE PLANTING DETAILS
C606 NTS



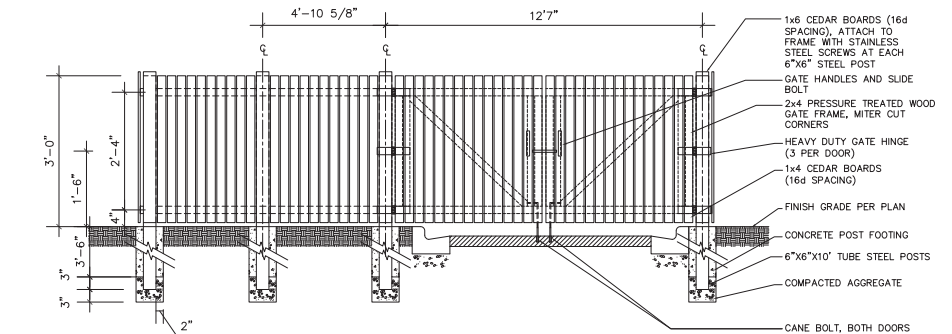
8 B&B SHRUB PLANTING DETAIL
C606 NTS



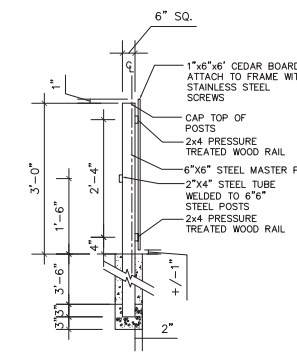
9 CONTAINER SHRUB PLANTING DETAIL
C606 NTS



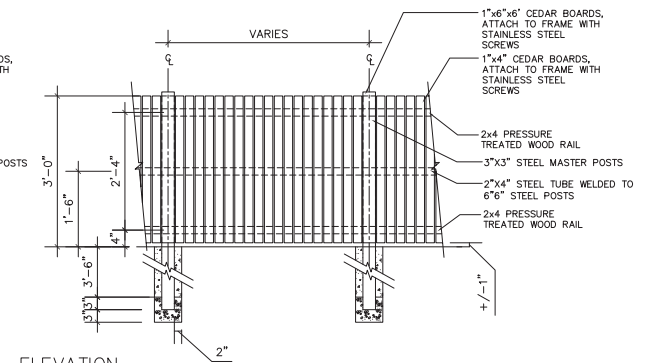
PLAN



ELEVATION



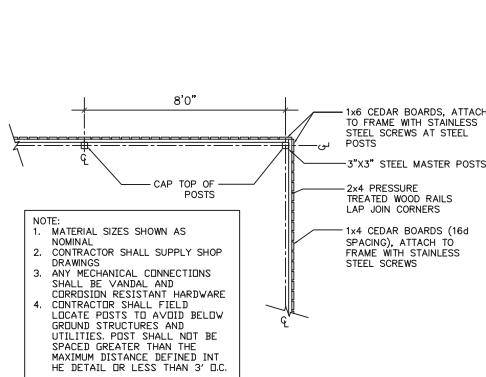
SECTION



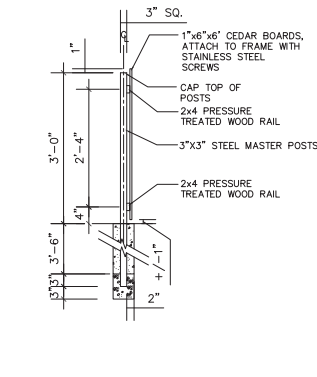
ELEVATION

1 TRANSFORMER AND DUMPSTER SCREEN FENCE
 C607

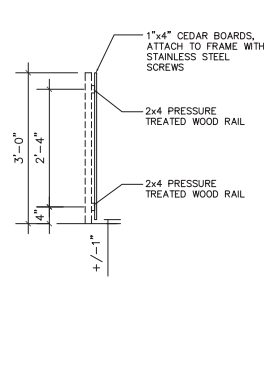
SCALE: 1/2" = 1'-0"



PLAN



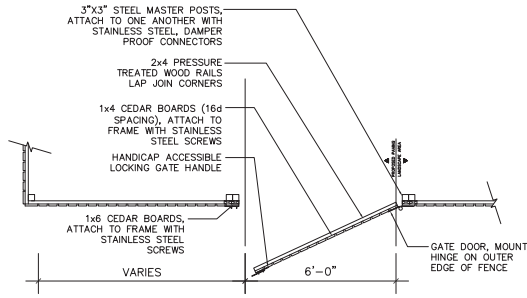
SECTION



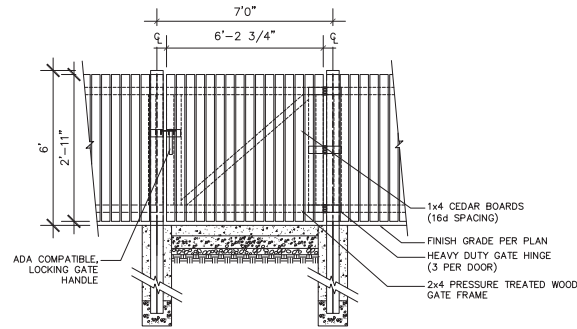
ELEVATION

2 6' PRIVACY FENCE
 C607

SCALE: 1/2" = 1'-0"



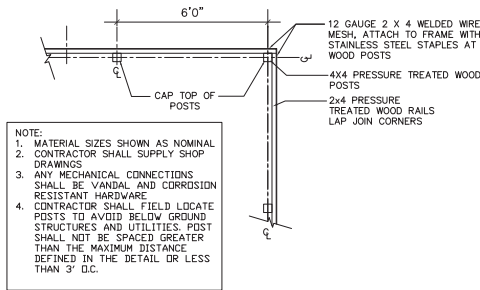
PLAN



ELEVATION

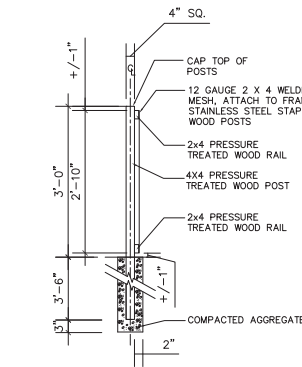
1 6" PRIVACY FENCE GATE

SCALE: 1/2" = 1'-0"

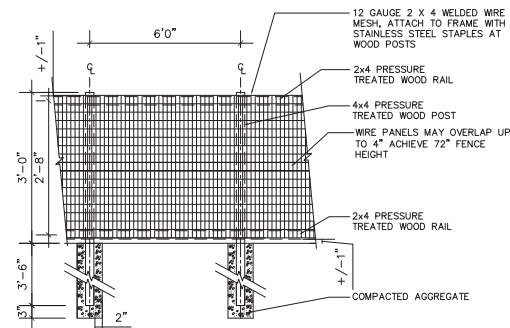


- NOTE:
1. MATERIAL SIZES SHOWN AS NOMINAL
 2. CONTRACTOR SHALL SUPPLY SHOP DRAWINGS
 3. ANY MECHANICAL CONNECTIONS SHALL BE VANDAL AND CORROSION RESISTANT HARDWARE
 4. CONTRACTOR SHALL FIELD LOCATE POSTS TO AVOID BELOW GROUND STRUCTURES AND UTILITIES. POST SHALL NOT BE SPACED GREATER THAN THE MAXIMUM DISTANCE DEFINED IN THE DETAIL OR LESS THAN 3' O.C.

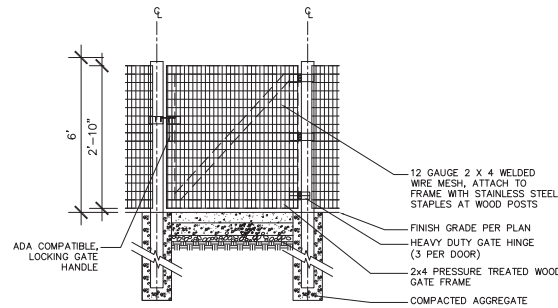
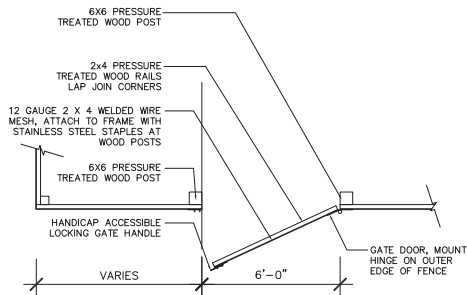
PLAN



SECTION

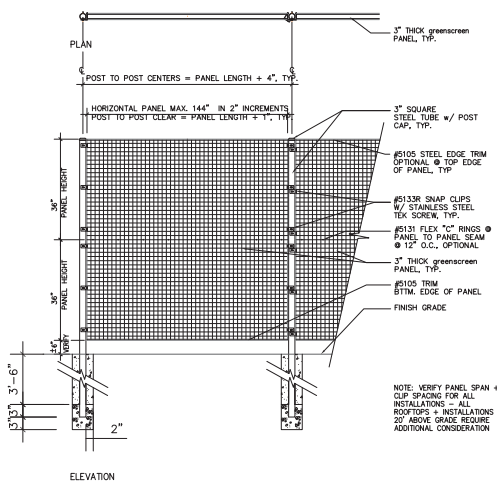


ELEVATION



2 CHICKEN FENCING AND GATE DETAIL

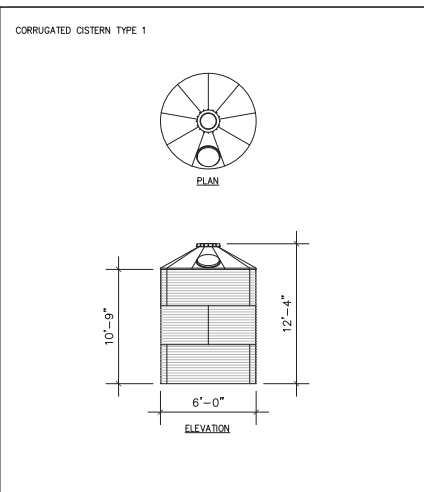
SCALE: 1/2" = 1'-0"



NOTE: VERIFY PANEL SPAN + CLIP SPACING FOR ALL INSTALLATIONS - ALL ROOFTOPS + INSTALLATIONS 20' ABOVE GRADE REQUIRE ADDITIONAL CONSIDERATION

1 GREEN SCREEN FENCING
C609

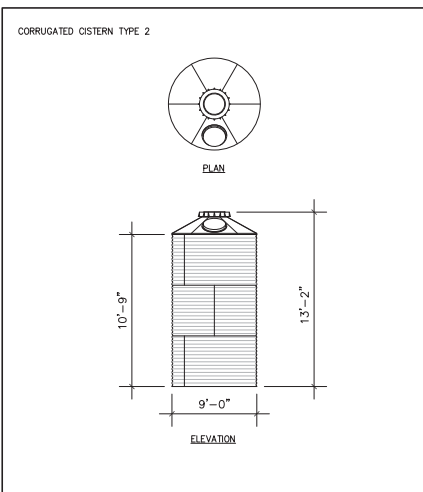
NTS



| BY | DATE | TITLE | MODEL | 0903-WT-FS |
|-----|------|---------|---|------------|
| DWN | JU | 2/15/13 | CORRAL STEEL WATER STORAGE TANK | |
| END | JH | 2/15/13 | NOMINAL CAPACITY - 5,000 GALLONS (U.S.) | |
| END | JH | 2/15/13 | DWG. NO. | 0903-WT-FS |
| | | | REV. NO. | C |

THE DRAWING SPECIFIED ON THIS PRINT AND THE INFORMATION CONTAINED HEREIN ARE PROPRIETARY TO Water Storage Tanks, Inc. AND SHALL NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF Water Storage Tanks, Inc.

2 CORRUGATED CISTERN TYPES 1 AND 2
C609



| BY | DATE | TITLE | MODEL | 0603-WT-FS |
|-----|------|---------|---|------------|
| DWN | JU | 3/12/10 | CORRAL STEEL WATER STORAGE TANK | |
| END | JH | 3/12/10 | NOMINAL CAPACITY - 2,200 GALLONS (U.S.) | |
| END | JH | 3/12/10 | DWG. NO. | 0603-WT-FS |
| | | | REV. NO. | B |

THE DRAWING SPECIFIED ON THIS PRINT AND THE INFORMATION CONTAINED HEREIN ARE PROPRIETARY TO Water Storage Tanks, Inc. AND SHALL NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF Water Storage Tanks, Inc.

NOTE:
1. INSTALLED PER MANUFACTURERS RECOMMENDATIONS
2. CENTER CISTERN HORIZONTALLY ON CONCRETE PAD
3. ALL ANCHORS SHALL BE VANDAL RESISTANT

NTS



NOTE:
1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS
2. WALDO OHIO APIARY OR EQUAL
3. ASSEMBLED AND PLACED PER MANUFACTURER RECOMMENDATIONS

3 APIARY
C609

NTS



NOTE:
1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS
2. MUST PROVIDE 4 SQ FT OF INDOOR LIVING SPACE PER CHICKEN (16-24 SQ FT FOR 4-6 CHICKENS)
3. ASSEMBLED AND PLACED PER MANUFACTURER RECOMMENDATIONS

4 CHICKEN COOP
C609

NTS



AERIAL VIEW OF BUILDING



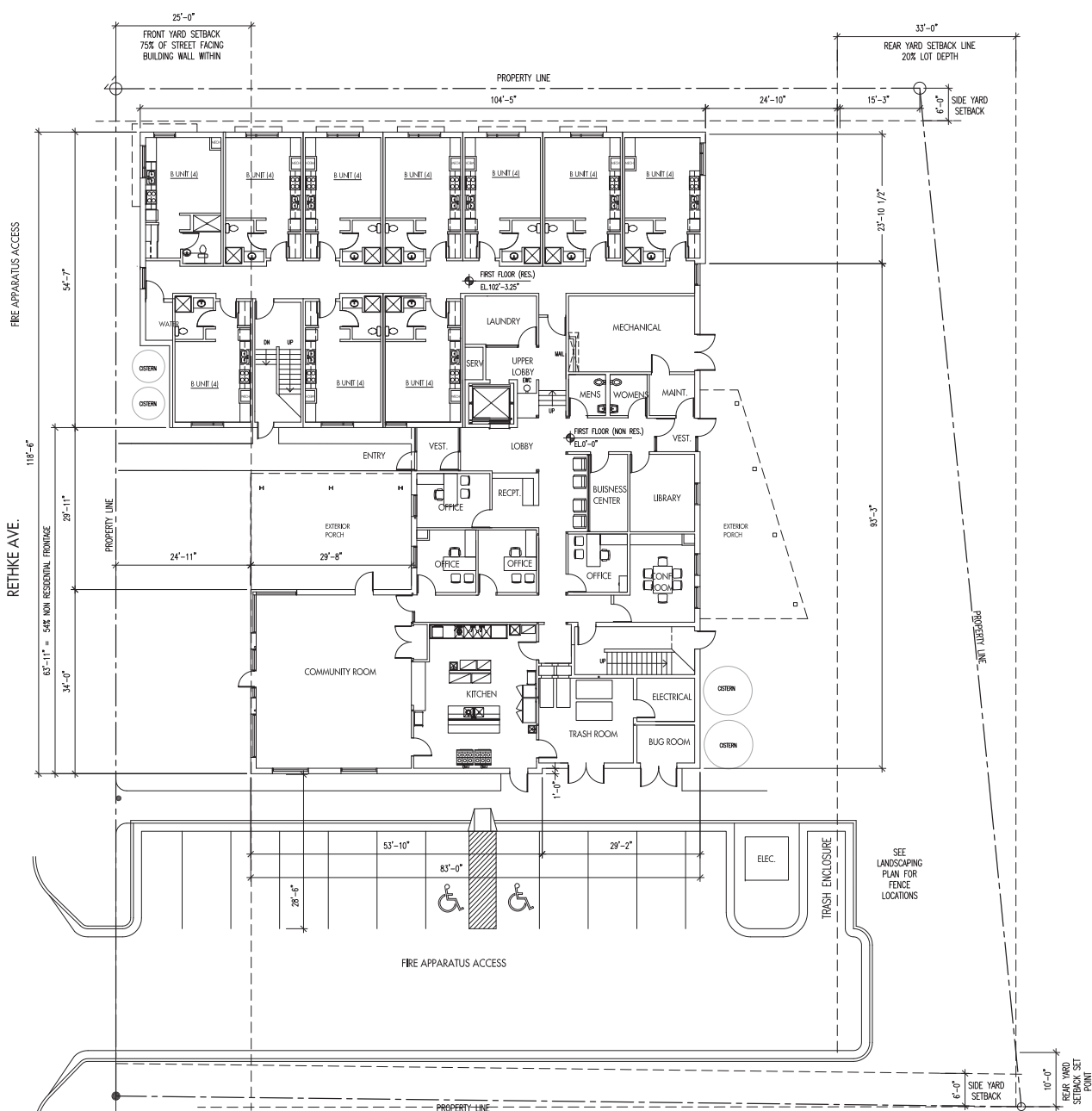
VIEW FROM THE NORTH WEST



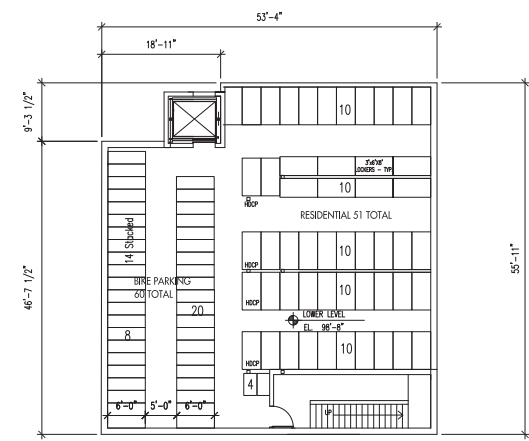
VIEW FROM SOUTH



VIEW ON RETHKE AVENUE



FIRST FLOOR PLAN



LOWER LEVEL PLAN

ZONING: COMMERCIAL CORRIDOR TRANSITIONAL DISTRICT (CC-1)

BUILDING AREA:

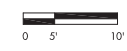
| | |
|---------------------------------|--------------------|
| LOWER LEVEL : | 2,875 SQFT |
| FIRST FLOOR (RESIDENTIAL): | 4,592 SQFT |
| FIRST FLOOR (NON-RESIDENTIAL) : | 5,377 SQFT - (54%) |
| SECOND FLOOR : | 8,316 SQFT |
| THIRD FLOOR : | 8,316 SQFT |
| FOURTH FLOOR : | 8,316 SQFT |
| TOTAL: | 37,792 SQFT |

| | |
|------------------------|---|
| BUILDING STORIES: | 4 (5 ALLOWED) |
| BUILDING HEIGHT: | 46'-5" (68'-0" ALLOWED) |
| LOT COVERAGE: | 34% (85% ALLOWED) |
| OFF STREET PARKING: | 12 STALLS TOTAL (2 HANDICAP) |
| BIKE PARKING: | 60 STALLS (LONG TERM PARKING) 6 STALLS (SHORT TERM PARKING - RESIDENTIAL) 2 STALLS (SHORT TERM PARKING - NON RESIDENTIAL) |
| 68 STALLS TOTAL | (68 RQD.) |

MADISON SUPPORTIVE HOUSING PROJECT

FLOOR PLANS
1/8" = 1'-0"
SEPTEMBER 24, 2014

Engberg Anderson Project No. 142324.01





NORTH ELEVATION

OPENING PERCENTAGE:

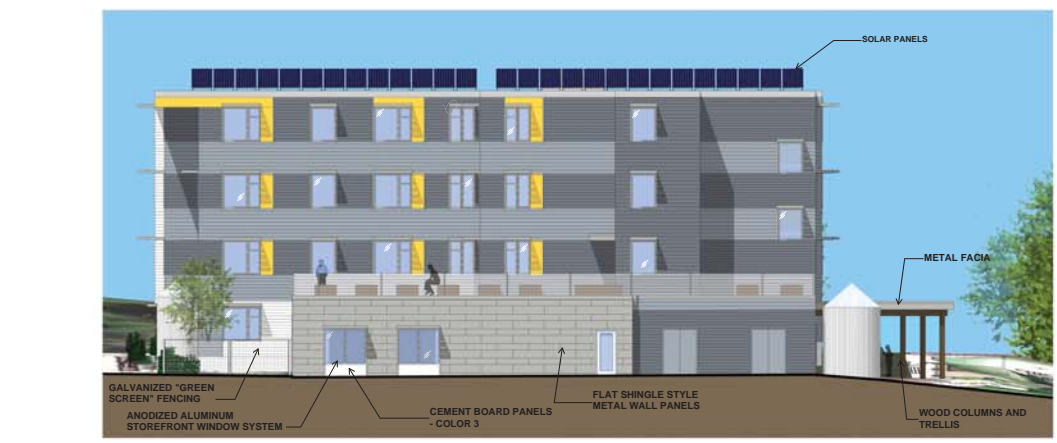
RESIDENTIAL: 561 sqft (516 sqft Required -15%)



WEST ELEVATION

OPENING PERCENTAGE:

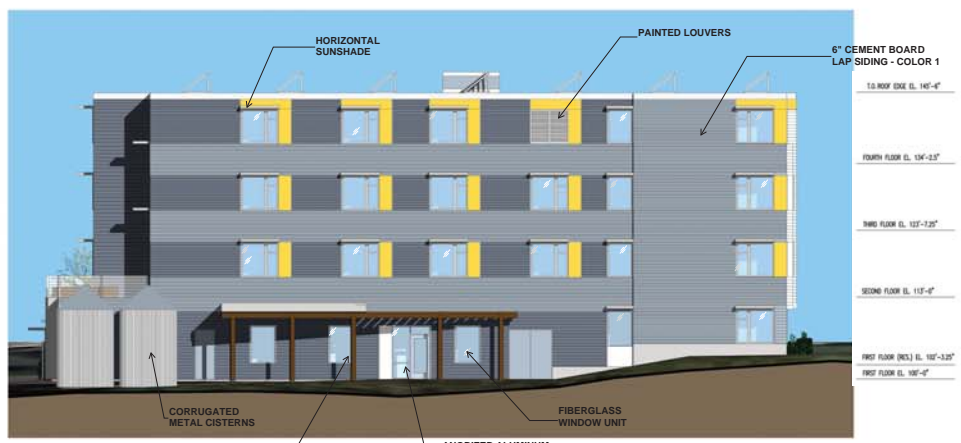
RESIDENTIAL: 640 sqft (633 sqft Required -15%)
NON RESIDENTIAL: 333 sqft (328 sqft Required - 40%)



SOUTH ELEVATION

OPENING PERCENTAGE:

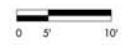
RESIDENTIAL: 627 sqft (613 sqft Required -15%)
NON RESIDENTIAL: 194 sqft (164 sqft Required - 15%)



EAST ELEVATION

OPENING PERCENTAGE:

RESIDENTIAL: 583 sqft (575 sqft Required -15%)
NON RESIDENTIAL: 190 sqft (173 sqft Required - 15%)



MADISON SUPPORTIVE HOUSING PROJECT

ELEVATIONS
1/8" = 1'-0"
SEPTEMBER 24, 2014
Engberg Anderson Project No. 142324.01

