

# Madison Supportive Housing Project

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707-709 Rethke Avenue  
Madison, Wisconsin 53714

## Plan Commission Application

City of Madison

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September 24, 2014  
October 27, 2014 - revised

Engberg Anderson Project Number 142324.01

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305 W. Washington Ave.  
Madison, WI 53703  
608.250.0100  
[www.engberganderson.com](http://www.engberganderson.com)

**HEARTLAND**  
**ALLIANCE**  
HOUSING

Engberg  
Anderson 





House - South Elevation



House - North Elevation



Garage - West Elevation



Garage - North Elevation



House - West Elevation



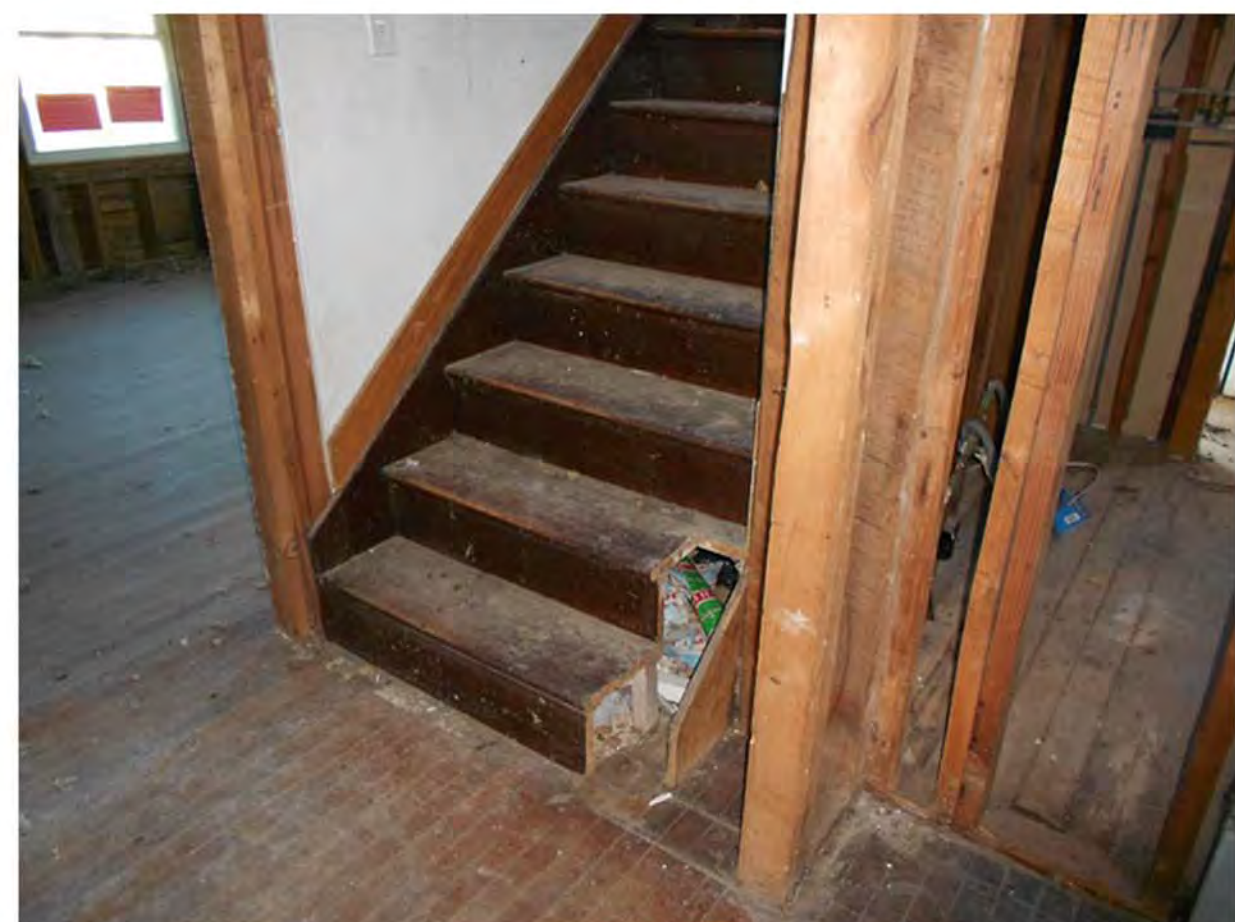
House - East Elevation



Garage - Interior



Garage - Interior



House - Interior



House - Interior



House - Interior



Garage - Interior



House - Interior



House - Interior

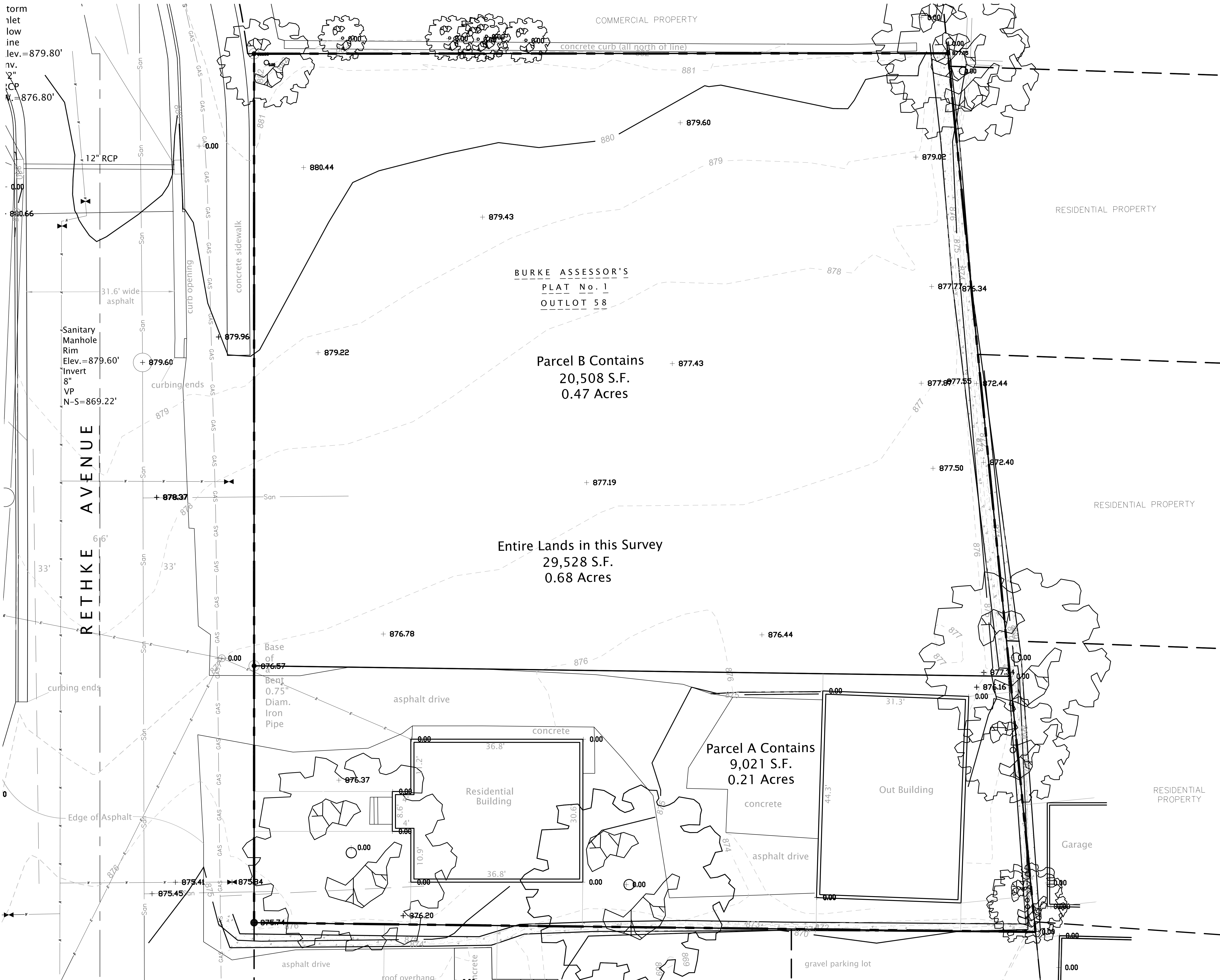


House - Interior



House - Interior





BURKE ASSESSOR'S  
PLAT No. 1  
OUTLOT 58

Parcel B Contains  
20,508 S.F.  
0.47 Acres

Entire Lands in this Survey  
29,528 S.F.  
0.68 Acres

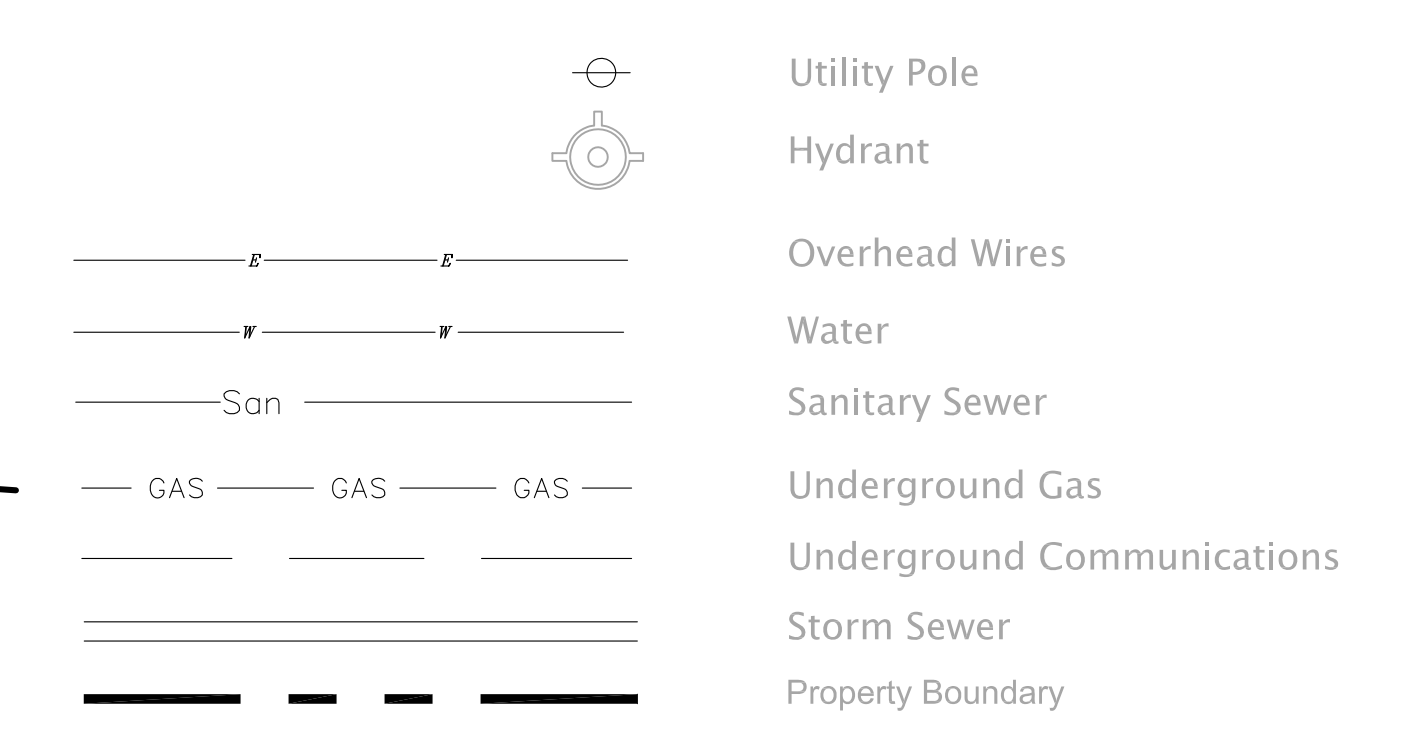
Parcel A Contains  
9,021 S.F.  
0.21 Acres

SURVEYED FOR:  
HEARTLAND HOUSING  
208 S. LASALLE STREET, Suite 1300  
CHICAGO, IL 60604  
(JULY 22, 2014)

SURVEYED BY:  
ISTHMUS SURVEYING, LLC  
450 NORTH BALDWIN STREET  
MADISON, WI 53703  
(608) 244.1090  
www.isthmussurveying.com

**LEGEND**

- SOLID IRON ROD FOUND (0.75" Dia. unless noted)
- IRON PIPE FOUND (1" Dia. unless Noted)
- 3/4"x18" SOLID IRON ROD SET 1.50lbs./LINEAL FOOT.
- ( ) INDICATES RECORDED AS DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.



# MADISON SUPPORTIVE HOUSING PROJECT

EXISTING CONDITIONS  
1/8" = 1'-0"

## C100

OCTOBER 27, 2014  
Engberg Anderson Project No. 142324.01

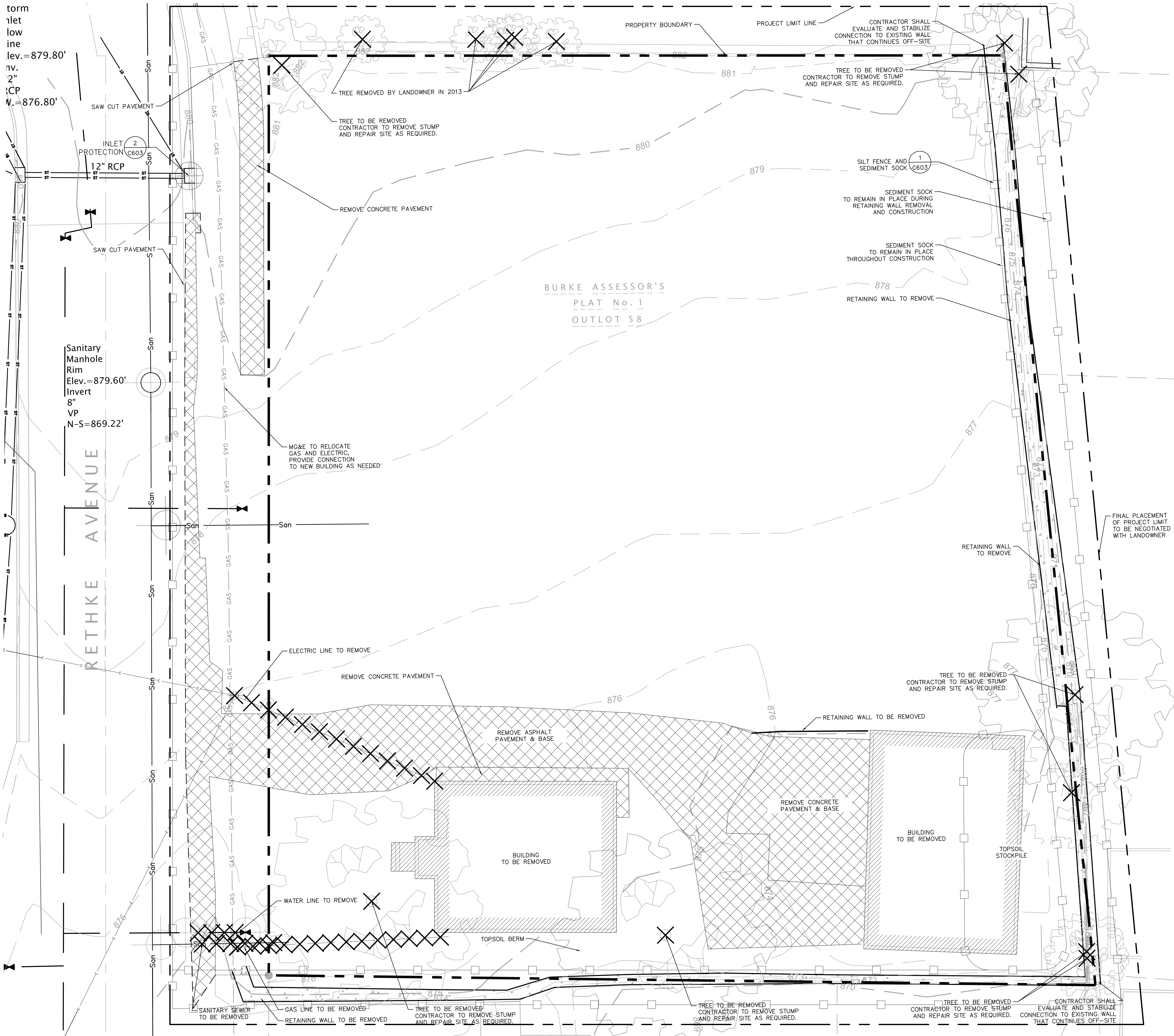




form  
let  
low  
ine  
lev. = 879.80'  
2"  
CP  
N = 876.80'

Sanitary  
Manhole  
Rim  
Elev. = 879.60'  
Invert  
8"  
VP  
N-S = 869.22'

RETHKE AVENUE



- EROSION CONTROL NOTES:**
1. EROSION CONTROL ITEMS SHALL BE IN PLACE PRIOR TO CONSTRUCTION AND SHALL BE MAINTAINED UNTIL SUCH TIME THAT THE ENGINEER DEEMS THE DEVICES NO LONGER NECESSARY.
  2. EROSION CONTROL ITEMS AT THE BASE OF THE RETAINING WALL MAY BE REMOVED UPON COMPLETION OF NEW RETAINING WALL CONSTRUCTION ASSUMING EROSION CONTROL ITEMS AT THE TOP OF THE RETAINING WALL ARE IN PLACE.
  3. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
  4. DISTURBED AREAS SHALL BE STABILIZED WITH SOIL STABILIZER TYPE B IF THERE IS A DELAY OF MORE THAN 7 CALENDAR DAYS BETWEEN INITIAL GRADING AND FINAL TOPSOIL AND SEEDING. SOIL STABILIZER APPLICATION SHALL BE AT THE CONTRACTOR'S EXPENSE.
  5. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS OF THE END OF DISTURBANCE, OR RE-DISTURBANCE.
  6. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
  7. DUE TO THE LIMITED AREA OF THIS PROJECT AND THE AMOUNT OF EXISTING PAVEMENT, A TRACKING MAT PER DNR TECHNICAL STANDARD 1057 WILL NOT BE REQUIRED AT THE SITE ACCESS POINT.
  8. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY.
  9. CARE SHALL BE TAKEN TO MINIMIZE EXPORT OF EXCESS MATERIAL FROM BASEMENT EXCAVATION. CONTRACTOR SHALL ROUGH GRADE THE SITE TO PROPOSED SUBGRADES FIRST, THEN EXCAVATE THE BASEMENT AND HAUL EXCESS MATERIAL OFFSITE TO THE CONTRACTOR'S PRE-ARRANGED DUMP SITE.
  10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PERMITS AND RESTORATION REQUIRED FOR THE DUMP SITE.

- DEMOLITION NOTES:**
1. ALL BUILDINGS, FOUNDATIONS, STRUCTURES AND ABOVE GROUND APPURTENANCES WITHIN THE PROPERTY LINE SHALL BE REMOVED AS A PART OF THE DEMOLITION WORK UNLESS OTHERWISE NOTED.
  2. CONTRACTOR TO LOCATE AND VERIFY EXISTING UTILITY LOCATIONS PRIOR TO BEGINNING DEMOLITION.
  3. REMOVE PAVEMENT BASE MATERIAL TO SUBGRADE IN AREAS TO RECEIVE LAWN OR PLANTINGS.
  4. SAWCUT EDGE OF PAVEMENT AND CURB TO BE REMOVED.
  5. CONTRACTOR TO COORDINATE REMOVAL OF ELECTRIC UTILITY WITH APPROPRIATE AGENCY/COMPANY PRIOR TO THE START OF CONSTRUCTION.
  6. REMOVE ANY EXISTING SITE ELEMENT THAT CONFLICTS WITH THE PROPOSED CONSTRUCTION INCLUDING, BUT NOT LIMITED TO SIGNS, WALLS, FENCING, LANDSCAPING, PAVEMENTS AND CURBS AND GUTTER.
  7. PROTECT EXISTING UTILITIES DURING DEMOLITION & CONSTRUCTION

- ANTICIPATED CONSTRUCTION SCHEDULE:**
1. INSTALL PROPOSED EROSION CONTROL MEASURES AS SPECIFIED IN THE PLAN.
  2. REMOVE EXISTING STORM SEWER & ENSURE OTHER UTILITIES HAVE BEEN RELOCATED OUT OF THE BUILDING AREAS.
  3. STRIP & STOCKPILE TOPSOIL. IF TOPSOIL STOCKPILE IS TO REMAIN UNDISTURBED FOR MORE THAN 30 DAYS, THE CONTRACTOR MUST SEED & STABILIZE IT.
  4. REMOVE PAVEMENT IN AREAS THAT NEED FILL TO ACHIEVE SUBGRADE ONLY. LEAVE OTHER PAVEMENT AREAS IN PLACE UNTIL FINAL PAVING OR RESTORATION IS TO TAKE PLACE IN ORDER TO MINIMIZE OVERALL SITE DISTURBANCE.
  5. BEGIN BASEMENT EXCAVATION AND BRING FILL AREAS TO SUBGRADE. ONCE PAVEMENT AREAS ARE TO SUBGRADE, COMPLETE BASEMENT EXCAVATION AND EXPORT OF SPOIL MATERIAL.
  6. CONTRACTOR TO PLACE GRAVEL ON AREAS AS NEEDED TO PROTECT SUBGRADE.
  7. BEGIN BUILDING CONSTRUCTION.
  8. CONSTRUCT UTILITIES.
  9. INSTALL INLET PROTECTION ON ALL NEWLY INSTALLED INLETS.
  10. RE-SPREAD TOPSOIL, FERTILIZE, SEED AND MULCH ALL DISTURBED AREAS WITHIN 7 DAYS OF FINAL GRADING. REMOVE TREE PROTECTION
  11. ASPHALT AND CONCRETE CONSTRUCTION. ONCE THE SITE IS 70% RE-VEGETATED, THE CONTRACTOR SHALL REMOVE SILT FENCE AND INLET PROTECTION.
  12. SEEDING AND STABILIZATION DEADLINES ARE AS FOLLOWS:  
 AFTER MONTH XXTH, A COOL WEATHER SEEDING COVER CROP MUST BE APPLIED (I.E. OATS)  
 AFTER MONTH XXXTH, A DORMANT SEEDING COVER CROP MUST BE APPLIED (I.E. WINTER WHEAT)  
 AFTER MONTH XXTH, A DORMANT SEEDING MUST BE APPLIED WITH AN ACCEPTABLE SOIL STABILIZER. (POLYACRYLAMIDE)

LEGEND	
	SILT FENCE
	EXISTING RETAINING WALL
	SAWCUT PAVEMENT
	REMOVE TREE
	PROJECT LIMIT LINE
	PROPERTY BOUNDARY
	BUILDING REMOVAL
	REMOVE PAVEMENT
	INLET PROTECTION

# MADISON SUPPORTIVE HOUSING PROJECT

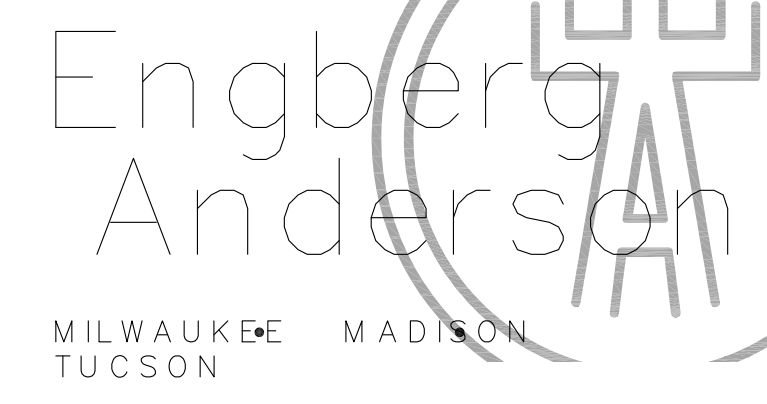
EROSION CONTROL & DEMOLITION PLAN

1/8" = 1'-0"

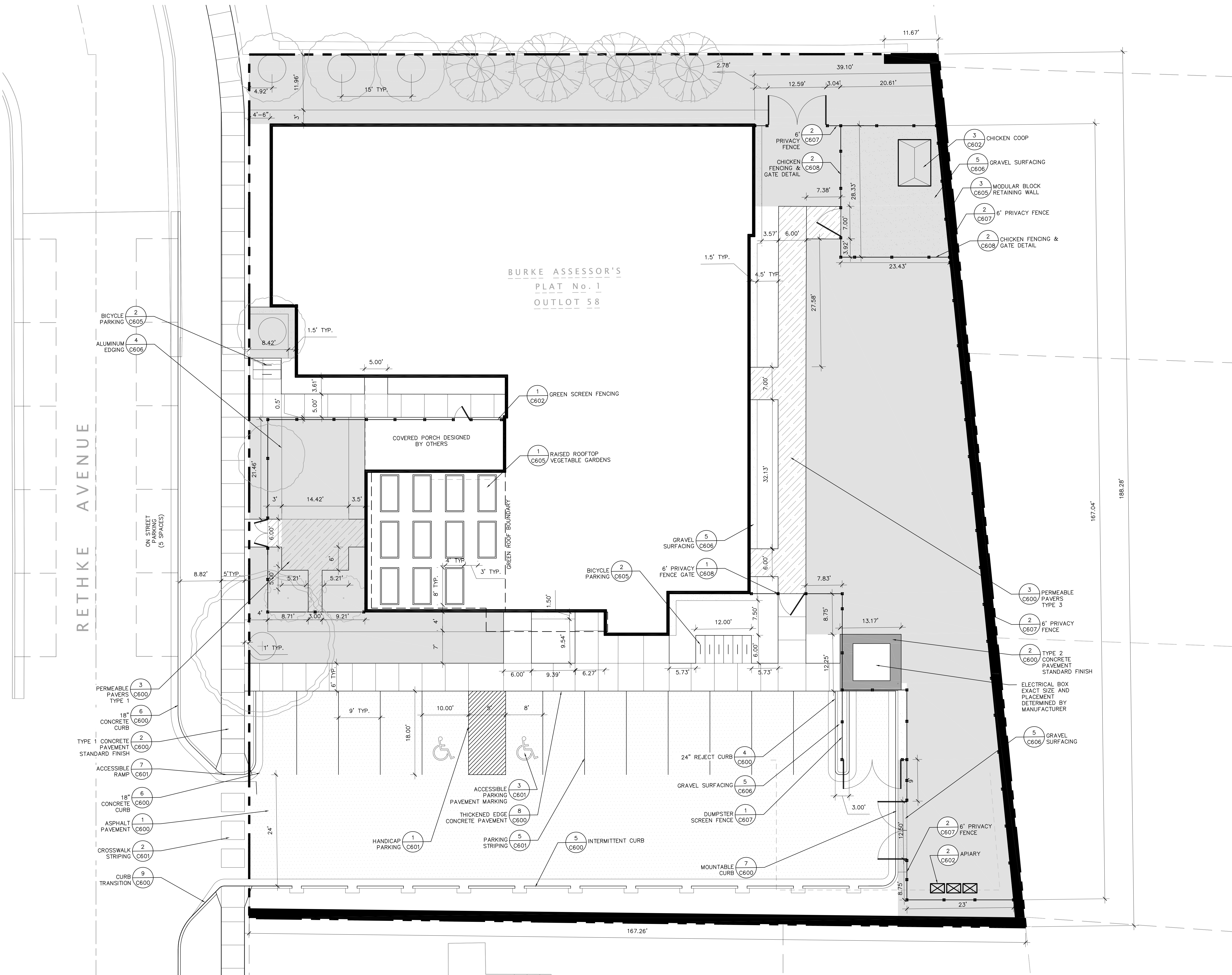
OCTOBER 27, 2014

Engberg Anderson Project No. 142324.01

## C101







BURKE ASSESSOR'S  
PLAT No. 1  
OUTLOT 58

**MADISON ZONING CODE SPATIAL REQUIREMENTS FOR KEEPING OF CHICKENS (SEC. 28.151) (4-6 CHICKENS)**

KEEPING OF UP TO 4 CHICKENS IS ALLOWED AS AN ACCESSORY USE ON LOTS WITH UP TO FOUR DWELLING UNITS

KEEPING OF UP TO 6 CHICKENS IS ALLOWED AS AN ACCESSORY USE TO A MUSEUM OR SCHOOL IN THE DC DISTRICT

THE CHICKENS SHALL BE PROVIDED WITH A COVERED ENCLOSURE AND MUST BE KEPT IN COVERED ENCLOSURE OR A FENCED ENCLOSURE AT ALL TIMES

THE ENCLOSURE SHALL BE LOCATED AT LEAST 25 FEET FROM ANY RESIDENTIAL STRUCTURE ON AN ADJACENT LOT

**MADISON ZONING CODE SPATIAL REQUIREMENTS FOR KEEPING OF HONEYBEES (SEC. 28.151) (20-60,000 BEES)**

NO HIVE SHALL EXCEED 20 CUBIC FEET IN VOLUME

NO HIVE SHALL BE CLOSER THAN 3 FEET FROM ANY PROPERTY LINE

NO HIVE SHALL BE LOCATED CLOSER THAN 10 FEET FROM A PUBLIC SIDEWALK OR 25 FEET FROM A PRINCIPAL BUILDING ON AN ADJOINING LOT

A FLYWAY BARRIER AT LEAST 6 FEET IN HEIGHT SHALL SHIELD ANY PART OF A PROPERTY LINE WITHIN 25 FEET OF A HIVE

NO MORE THAN 6 HIVES MAY BE LOCATED ON A LOT UNLESS THE PRINCIPAL USE OF THE LOT IS AN AGRICULTURAL USE

OPEN SPACE		
	EQUATION	SQUARE FEET
	REQUIRED	
160 SF/UNIT	60x160	9600.0
	PROPOSED	
GROUND LEVEL OPEN SPACE	9056.7 X 1	9056.7
GREEN ROOF	819.6 X 0.75	614.7
	TOTAL	9671.4

- NOTES:
- ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS
  - CONTRACTOR SHALL INSTALL EXPANSION JOINTS BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES, IN ADDITION TO AREAS SPECIFIED ON PLANS
  - THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS. CAD FILE TO BE PROVIDED UPON REQUEST.

**LEGEND**

	GRAVEL SURFACING
	CONCRETE PERMEABLE PAVERS
	CONCRETE PAVEMENT TYPE 1 - PEDESTRIAN LOAD, STANDARD FINISH
	CONCRETE PAVEMENT TYPE 2 - HEAVY LOAD, STANDARD FINISH
	ASPHALT PAVEMENT
	OPEN SPACE AREA
	WALL
	FENCE
	PROJECT BOUNDARY

**MADISON SUPPORTIVE HOUSING PROJECT**

SITE LAYOUT PLAN

1/8" = 1'-0"

OCTOBER 27, 2014

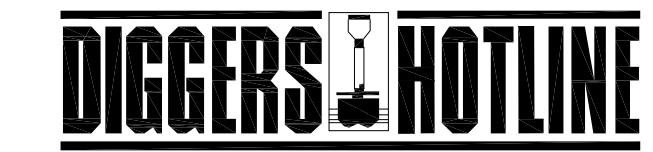
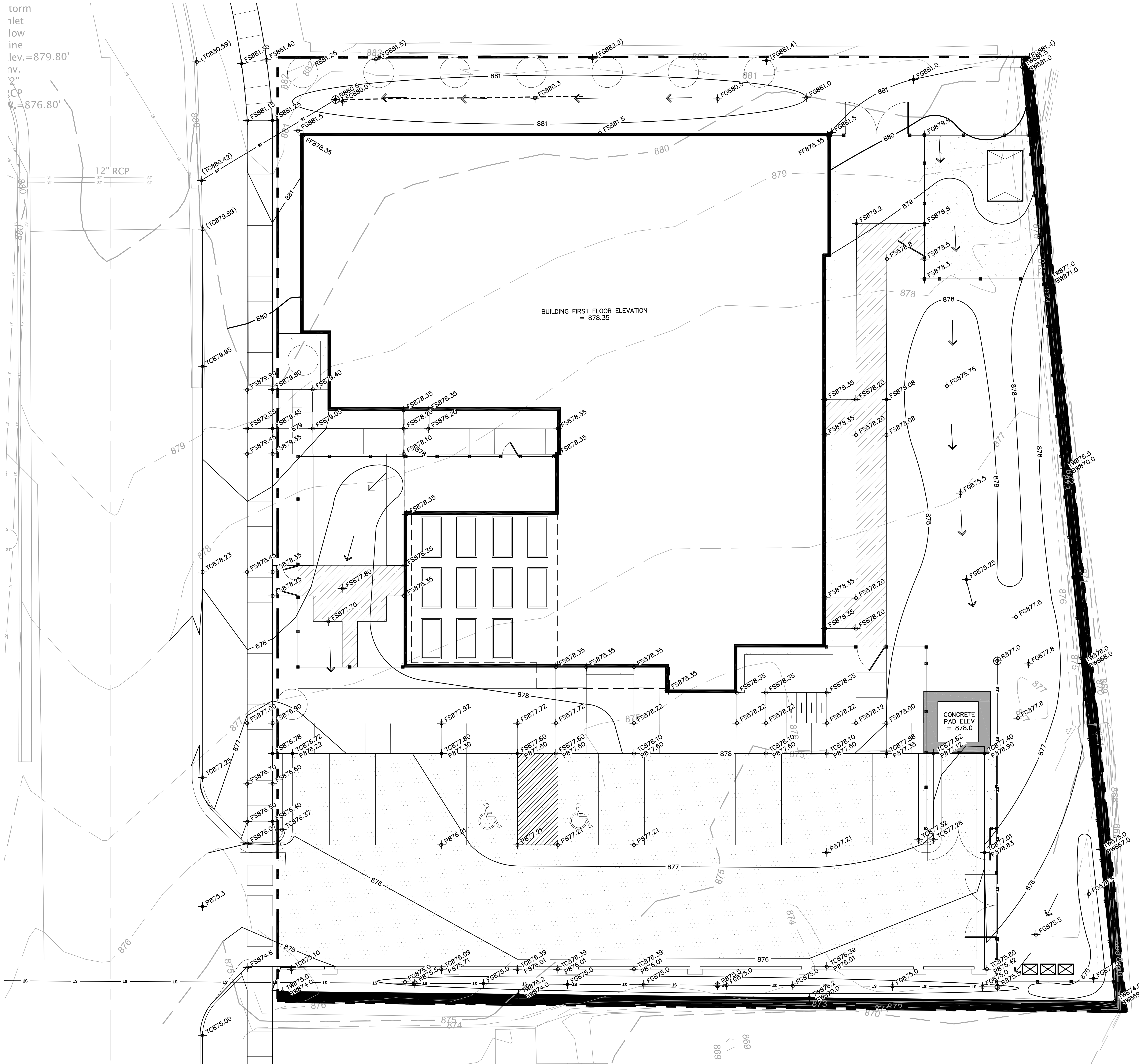
Engberg Anderson Project No. 142324.01

**C200**





form  
 1let  
 low  
 line  
 lev.=879.80'  
 nv.  
 2"  
 CP  
 Y.=876.80'



Toll Free (800) 242-8511  
 Milwaukee Area (414) 259-1181  
 Hearing Impaired TDD (800) 542-2289  
 www.DiggersHotline.com

**GRADING NOTES**

1. CONTRACTOR SHALL FINE GRADE FOR GRADES AND SWALES AS SHOWN AND SHALL OBTAIN 2% MINIMUM DRAINAGE, UNLESS OTHERWISE DIRECTED.
2. CONTRACTOR SHALL MEET EXISTING GRADE AT PROJECT LIMITS WITH A SMOOTH AND CONTINUOUS TRANSITION.
3. CONTOURS SHOWN ON FINISH SURFACE INDICATE FINAL GRADE.
4. CONTOUR INTERVAL IS ONE (1) FOOT.
5. CONTOURS AND SPOT ELEVATIONS REPRESENT THE DESIGN INTENT OF FINISH GRADES AND FINISH SURFACES. SUBGRADES SHALL BE PER DETAIL DRAWINGS. THERE SHALL BE A MINIMUM OF 8" OF TOPSOIL IN ALL LAWN AND LANDSCAPE AREAS UNLESS OTHERWISE NOTED.
6. INSTALL CLASS I URBAN TYPE A EROSION MAT ON ALL SLOPES STEEPER THAN 4:1 AND IN ALL DRAINAGE SWALE AREAS.
7. SIDEWALK CROSS SLOPE MAY VARY BETWEEN MIN 0.5% TO MAX 2%. CONTRACTOR SHALL CONSTRUCT A 2% CROSS SLOPE WHERE EVER POSSIBLE.

**SPOT ELEVATION ABBREVIATIONS:**

- P = PROPOSED ASPHALT
- FS = FINISHED SURFACE
- FG = FINISHED GRADE
- TW = TOP OF WALL
- BW = BOTTOM OF WALL
- TC = TOP OF CURB
- TR = TOP OF ROOF
- TS = TOP OF STAIRS
- BS = BOTTOM OF STAIRS
- IE = INVERT ELEVATION
- R = RIM
- (XXX.X) = EXISTING ELEVATION

LEGEND	
	GRAVEL SURFING
	CONCRETE PAVEMENT TYPE 1 - PERMEABLE
	CONCRETE PAVEMENT TYPE 2 - HEAVY LOAD, STANDARD FINISH
	CONCRETE PAVEMENT TYPE 3 - PEDESTRIAN LOAD, STANDARD FINISH
	ASPHALT PAVEMENT
	EXISTING ELEVATION CONTOUR
	MINOR ELEVATION CONTOUR
	MAJOR ELEVATION CONTOUR
	WALL
	FENCE
	PROJECT BOUNDARY

# MADISON SUPPORTIVE HOUSING PROJECT

GRADING PLAN

1/8" = 1'-0"

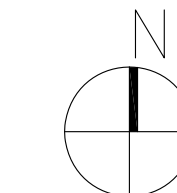
OCTOBER 27, 2014

Engberg Anderson Project No. 142324.01

## C300

Engberg  
 Anderson

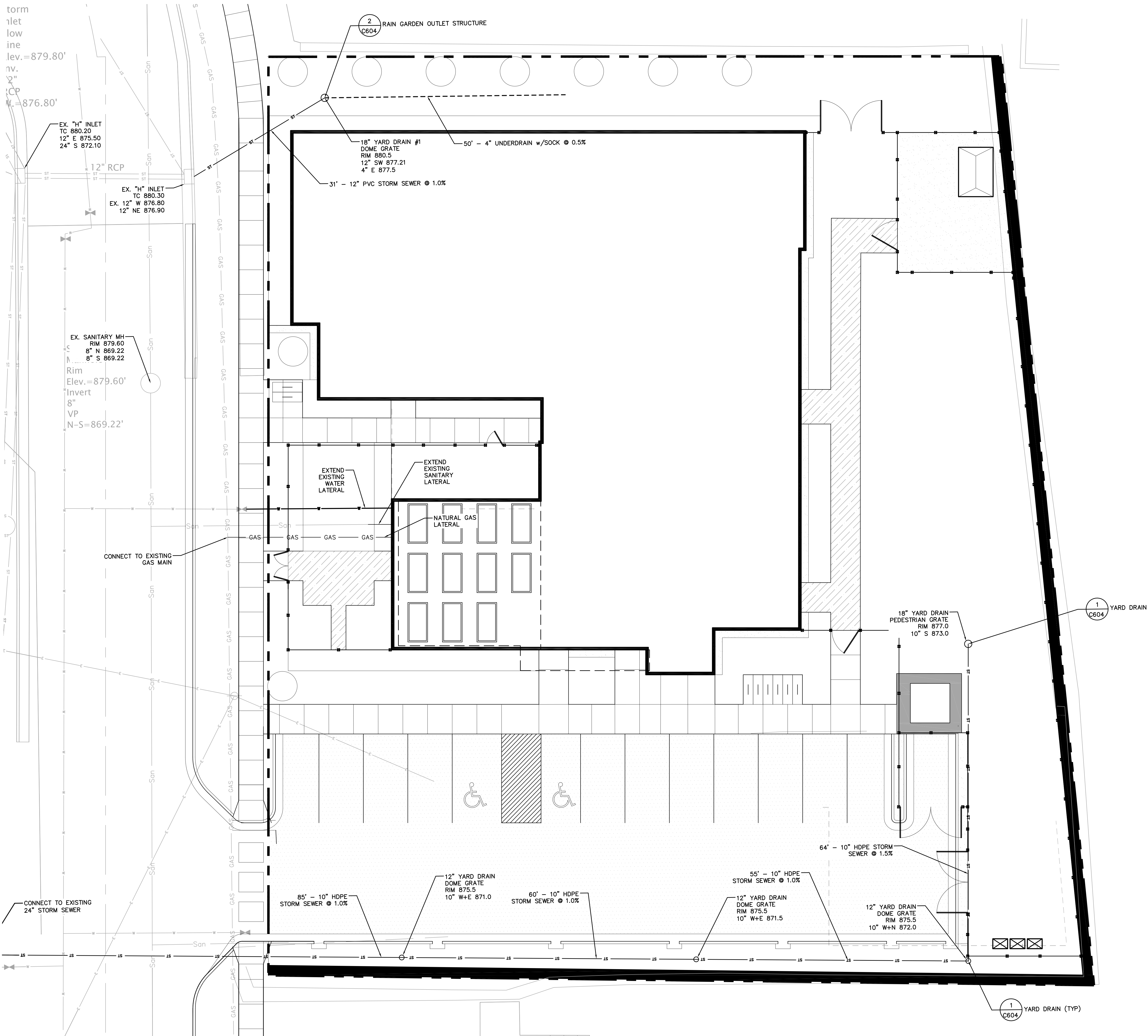
MILWAUKEE MADISON  
 TUCSON



**SAA** DESIGN GROUP  
 SAA Design Group, Inc.  
 101 East Badger Road  
 Madison, WI 53713  
 Ph. 608.255.0800  
 Fx. 608.255.7750  
 www.saa-design.com

**HEARTLAND ALLIANCE HOUSING**





**UTILITY NOTES:**

THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

STANDARD SPECIFICATIONS: PERFORM ALL WORK IN ACCORDANCE WITH THE PROVISIONS OF:

- "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" (WSWS) LATEST EDITION

- STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (WSDOT) LATEST EDITION

- CONTRACTOR SHALL OBTAIN A CURRENT COPY OF THE CITY OF MADISON'S STANDARD SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION, INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND OTHER REVISIONS TO DATE, UNLESS OTHERWISE SPECIFIED IN THE SPECIFICATIONS.

WITHIN THE RIGHT-OF-WAY OR UNDERNEATH PAVEMENTS OR BUILDINGS, GRANULAR TRENCH BACKFILL MUST BE USED TO FILL THE TRENCH. ALL OTHER AREAS MAY UTILIZE EXCAVATED TRENCH SPOIL FOR BACKFILL PROVIDING THAT THE MATERIAL IS FREE OF ORGANIC MATERIAL AND STONES LARGER THAN 6" IN DIAMETER.

A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES.

**WATER DISTRIBUTION SYSTEM:**

**MAIN:**  
- DUCTILE IRON (D.I.) AWWA C-151 CLASS 52 WITH CABLE BOND CONDUCTORS, FURNISHED AND INSTALLED PER CHAPTER 8.180 (WSWS) OR

- POLYVINYL CHLORIDE (PVC) AWWA C-900, FURNISHED AND INSTALLED PER CHAPTER 8.20.0 (WSWS)

- ALL WATER MAIN JOINTS SHALL BE RESTRAINED.

**LATERALS:**

- 3" OR LARGER - PVC AWWA, C-900, CL150, SDR 18 OR DUCTILE IRON AWWA C-151, CLASS-52

- 2" & SMALLER - HIGH DENSITY POLYETHYLENE (HDPE) AWWA C-901, SDR 11

- WATER LATERAL AND HYDRANT TEES SHALL BE ANCHORED.

**SANITARY SEWER**

**MAIN:**  
- 8" & 12" - POLYVINYL CHLORIDE (PVC) ASTM D 3034, SDR-35 (BURY DEPTH 16" OR LESS)  
- 8" & 12" - POLYVINYL CHLORIDE (PVC) ASTM D 3034, SDR-18 (BURY DEPTH 22" TO 16")

**STORM SEWER:**

- STORM SEWER SPECIFIED AS RCP SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO THE FOLLOWING SPECIFICATIONS:

- 12" DIA - CLASS V RCP
- 15" DIA - CLASS IV RCP
- 18+" DIA - CLASS III RCP

- STORM SEWER SPECIFIED AS HDPE SHALL BE CORRUGATED HDPE, SMOOTH INTERIOR.

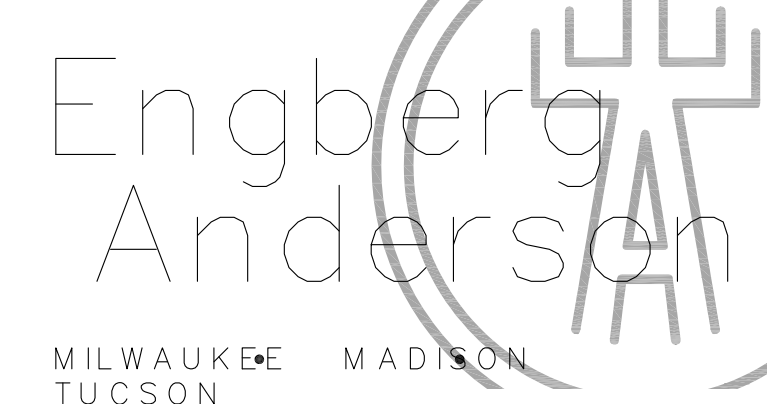
- STORM SEWER PIPE: REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C-76. POLYETHYLENE MATERIAL SHALL CONFORM TO ASTM D3350. AN APPROVED RUBBER GASKET JOINT SHALL BE USED FOR EITHER OPTION. JOINTS FOR RCP SHALL CONFORM TO ASTM D-471. JOINTS FOR HDPE SHALL CONFORM TO ASTM F-477.

LEGEND	
	GRAVEL SURFACING
	CONCRETE PAVEMENT TYPE 1 - PERMEABLE
	CONCRETE PAVEMENT TYPE 2 - HEAVY LOAD, STANDARD FINISH
	CONCRETE PAVEMENT TYPE 3 - PEDESTRIAN LOAD, STANDARD FINISH
	ASPHALT PAVEMENT
	WALL
	FENCE
	PROJECT BOUNDARY

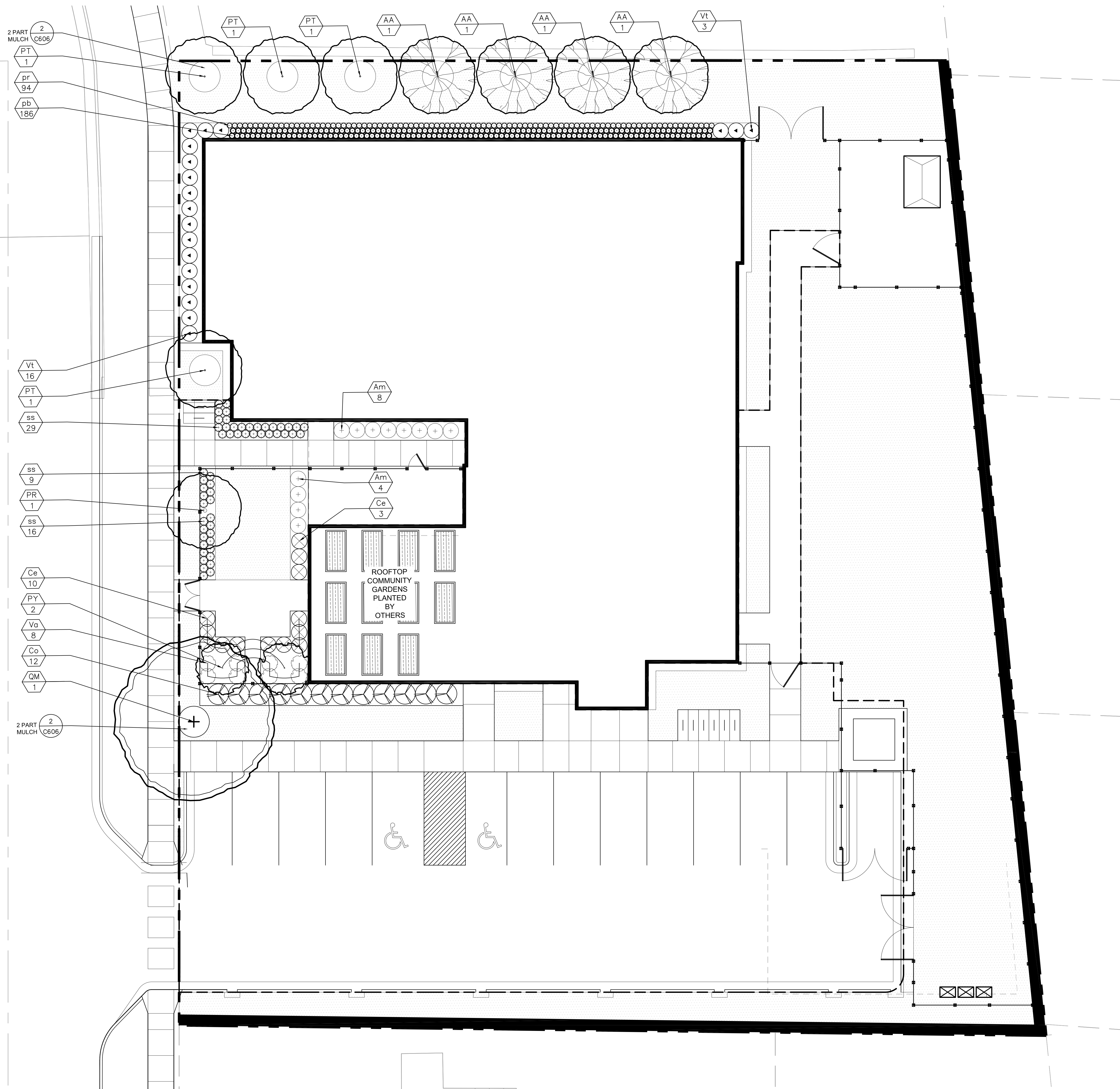
# MADISON SUPPORTIVE HOUSING PROJECT

UTILITY PLAN  
1/8" = 1'-0"  
OCTOBER 27, 2014  
Engberg Anderson Project No. 142324.01

## C400







**LANDSCAPE PLANT SCHEDULE**

Symbol	Botanical Name	Common Name	Size/Root	Qty	Points
<b>TREES</b>					
AA	Amelanchier arborea	Serviceberry	1½" CAL.	4	60
PR	Prunus americana	American Plum	1½" CAL.	1	15
PT	Populus tremuloides	Quaking Aspen	1½" CAL.	4	60
PY	Pyrus pyrifolia	Asian Pear	1½" CAL.	2	30
QM	Quercus macrocarpa	Burr Oak	2½" CAL.	1	35
<b>SHRUBS</b>					
Am	Aronia melanocarpa	Black chokeberry	3 GAL-CG	12	48
Ce	Ceanothus americanus	New Jersey Tea	3 GAL-CG	13	52
Co	Corylus americana	American Hazelnut	3 GAL-CG	12	48
Va	Vaccinium angustifolium	Low Bush Blueberry	2 GAL-CG	8	
Vt	Viburnum trilobum	Highbush Cranberry	3 GAL-CG	19	76
<b>PERENNIALS</b>					
pb	Polygonatum biflorum	Smooth Solomon's Seal	1 GAL-CG	186	372
pr	Polemonium reptans	Jacob's Ladder	1 GAL-CG	94	188
ss	Schyzachyrium scoparium 'Blaze'	Little Bluestem 'Blaze'	1 GAL-CG	54	108

**SEED MIXES**

Botanical Name	Common Name	lbs/acre
<b>NATIVE TURF</b>		
Bouteloua curtipendula	Sideoats Grama	200
Bouteloua gracilis	Blue Grama	27

**LANDSCAPE REQUIREMENTS**

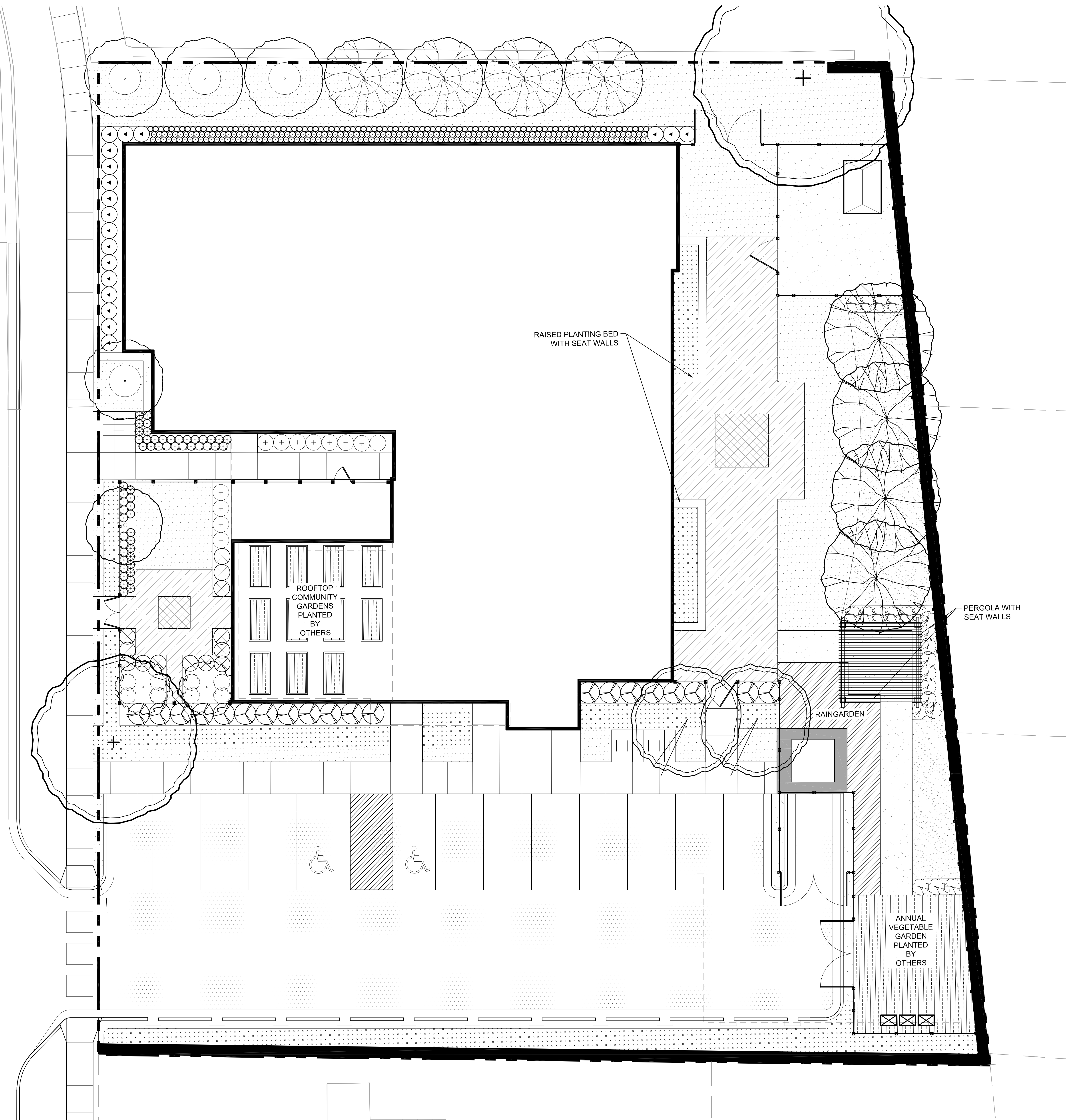
<b>TOTAL DEVELOPED AREA (TDA)</b>		
Required		
5 points/300 sf TDA		
Proposed		
11,090.3 sf TDA	185 points required	1,084 points shown
<b>DEVELOPMENT FRONTAGE (DF)</b>		
Required		
1 Overstory Deciduous Tree + 5 Shrubs/30 lf*		
Proposed		
186.06 lf DF	6.5 Trees + 32.5 Shrubs required	1 Overstory Tree + 8 Ornamental Trees + 212 Shrubs shown
<b>FOUNDATION PLANTINGS</b>		
Required		
Installed along building facades, except where building facade directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consists primarily of shrubs, perennials, and native grasses.		
Proposed		
As shown on plan		

\* 2 Ornamental Trees or 2 Evergreen Trees may be substituted for each deciduous overstory tree

LEGEND	
	NATIVE TURF
	ANNUAL VEGETABLE GARDEN-PLANTED BY OTHERS
	DEVELOPED AREA BOUNDARY

- NOTES:**
- ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS
  - FINISH ALL PLANTING BEDS WITH PLANTING SOIL PER SPECIFICATIONS
  - ALL EDGING TO BE SHOVEL CUT UNLESS NOTED OTHERWISE
  - ALL PLANTING BEDS TO BE MULCHED WITH TWO PART MULCH, NATURAL COLOR, DEPTH PER SPECIFICATIONS
  - BASE BID INCLUDES ALL DISTURBED AREAS TO BE FINISH GRADED AND SEEDED PER SPECIFICATIONS
  - PROPOSED UTILITY LINES SHOWN FOR PLANTING REFERENCE, ACTUAL FIELD LOCATION MAY VARY. ANY DISTURBANCE/DISRUPTION TO PREVIOUSLY PLACED UTILITIES SHALL BE RESPONSIBILITY OF INSTALLING CONTRACTOR.





**LEGEND**

	FORAGE GARDEN
	NATIVE ORNAMENTAL PLANTING
	RAIN GARDEN
	NATIVE TURF
	ANNUAL VEGETABLE GARDEN-PLANTED BY OTHERS
	GRAVEL SURFACING
	CONCRETE PERMEABLE PAVERS-TYPE 1
	CONCRETE PERMEABLE PAVERS-TYPE 2
	CONCRETE PAVEMENT TYPE 1 - PEDESTRIAN LOAD, STANDARD FINISH
	CONCRETE PAVEMENT TYPE 2 - HEAVY LOAD, STANDARD FINISH
	ASPHALT PAVEMENT

- NOTES:**
1. ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS
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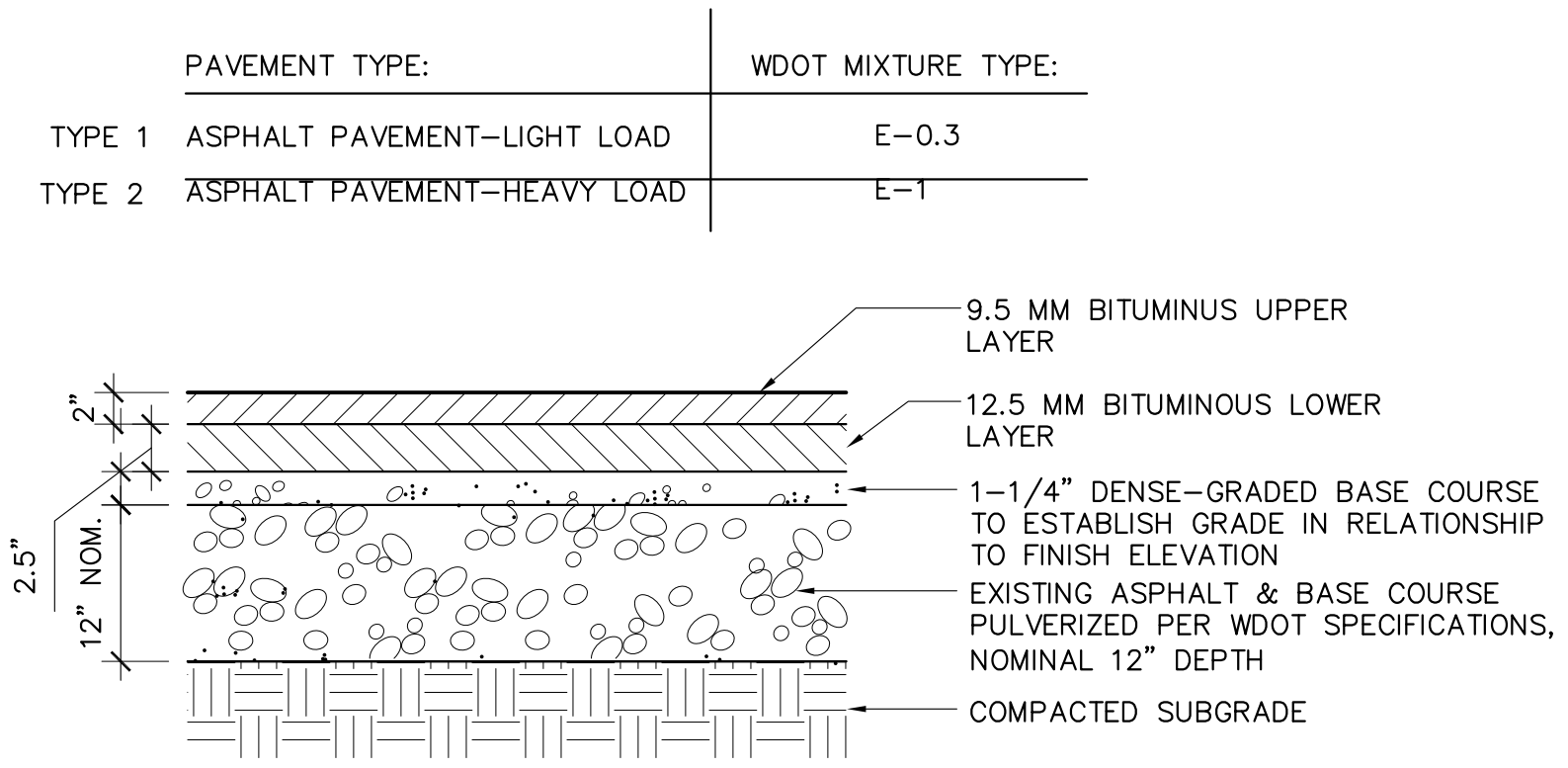
# MADISON SUPPORTIVE HOUSING PROJECT

LANDSCAPE PLAN PHASE 2  
 1/8" = 1'-0" WHEN PRINTED AT 30" X 42"  
 OCTOBER 27, 2014  
 Engberg Anderson Project No. 142324.01

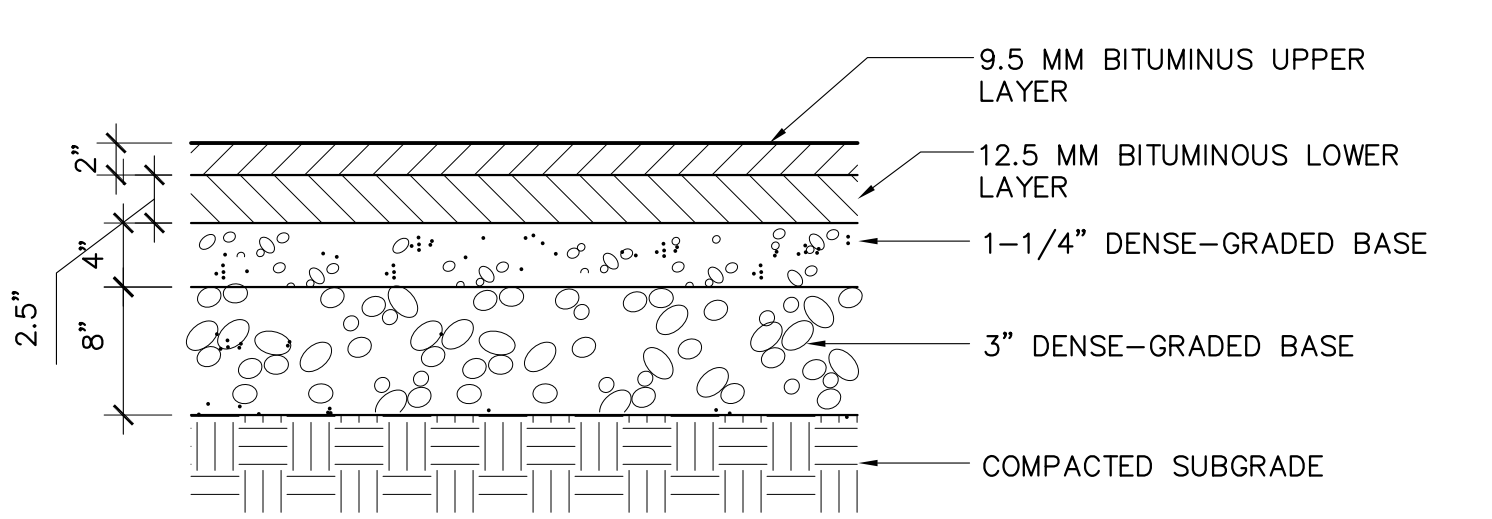
## C501







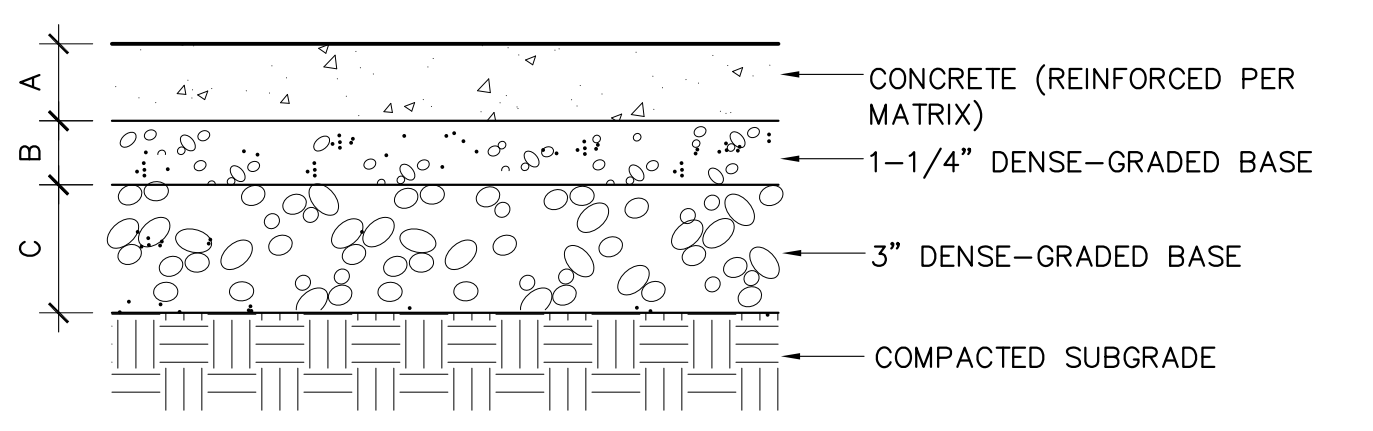
IN AREAS WITH EXISTING ASPHALT PAVEMENT OR BASE MATERIAL



IN AREAS WITHOUT EXISTING BASE MATERIAL

PAVEMENT TYPE:	CONCRETE THICKNESS (A)	BASE THICKNESS (B)	SUBBASE THICKNESS (C)
TYPE 1 CONCR. PAVEMENT-PEDESTRIAN LOAD*	5"	6"	0"
TYPE 2 CONCR. PAVEMENT-VEHICULAR LOAD*	6" FIBER REINFORCED	4"	8"
TYPE 3 CONCR. PAVEMENT-VEHICULAR LOAD WITH GEOTEXTILE	6" FIBER REINFORCED	4"	8"

\* PAVEMENT TYPE MAY BE COLORED, REFER TO PLANS AND SPECIFICATIONS FOR LOCATION AND TYPE



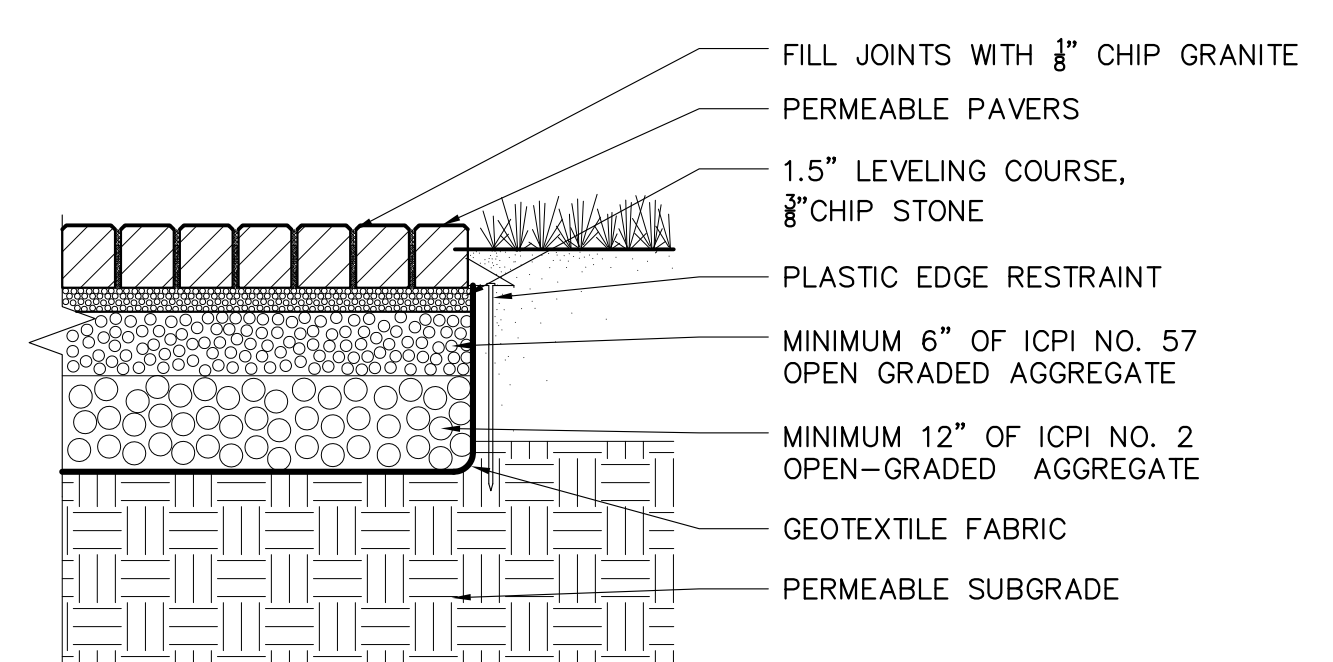
- NOTES:
- MEDIUM BROOM FINISH, PERPENDICULAR TO DIRECTION OF TRAVEL, UNLESS OTHERWISE STATED.
  - PROVIDE EXPANSION JOINTS 30' ALL WAYS, MINIMUM
  - STANDARD COLOR CONCRETE UNLESS NOTED.
  - MEDIUM & HEAVY LOAD CONCRETE: LONGITUDINAL (EXPANSION) JOINTS SHALL HAVE 24" LONG #4 EPOXY COATED REBAR AT 39" O.C. AT A DEPTH OF 3 3/4" ± 1"
  - MEDIUM & HEAVY LOAD CONCRETE: TRANSVERSE JOINTS SHALL HAVE 18" LONG, 1 1/2" DIA. EPOXY COATED, SMOOTH DOWEL BARS AT 72" O.C. AT 4" DEPTH.

1 ASPHALT PAVEMENT  
C600

SCALE 1" = 1'-0"

2 CONCRETE PAVEMENT  
C600

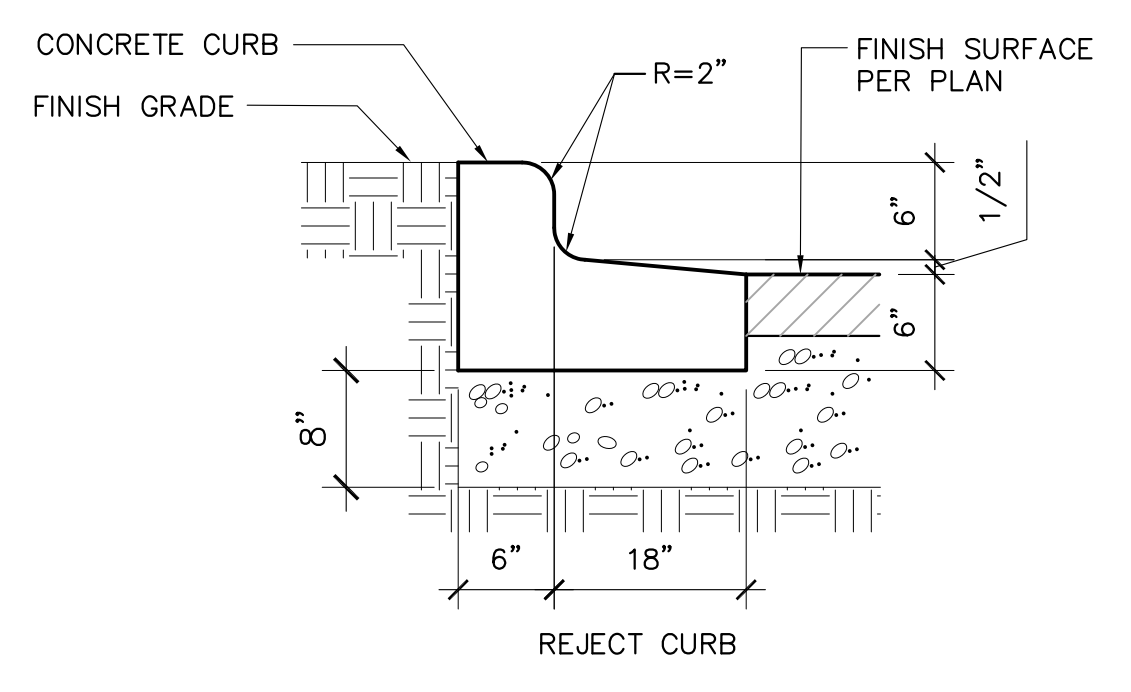
SCALE 1" = 1'-0"



- NOTES:
- SEE LPXXX & LPXXX FOR LAYOUT PATTERN
  - CONTRACTOR TO SUPPLY MADISON CDA WITH ANY SURPLUS PAVERS

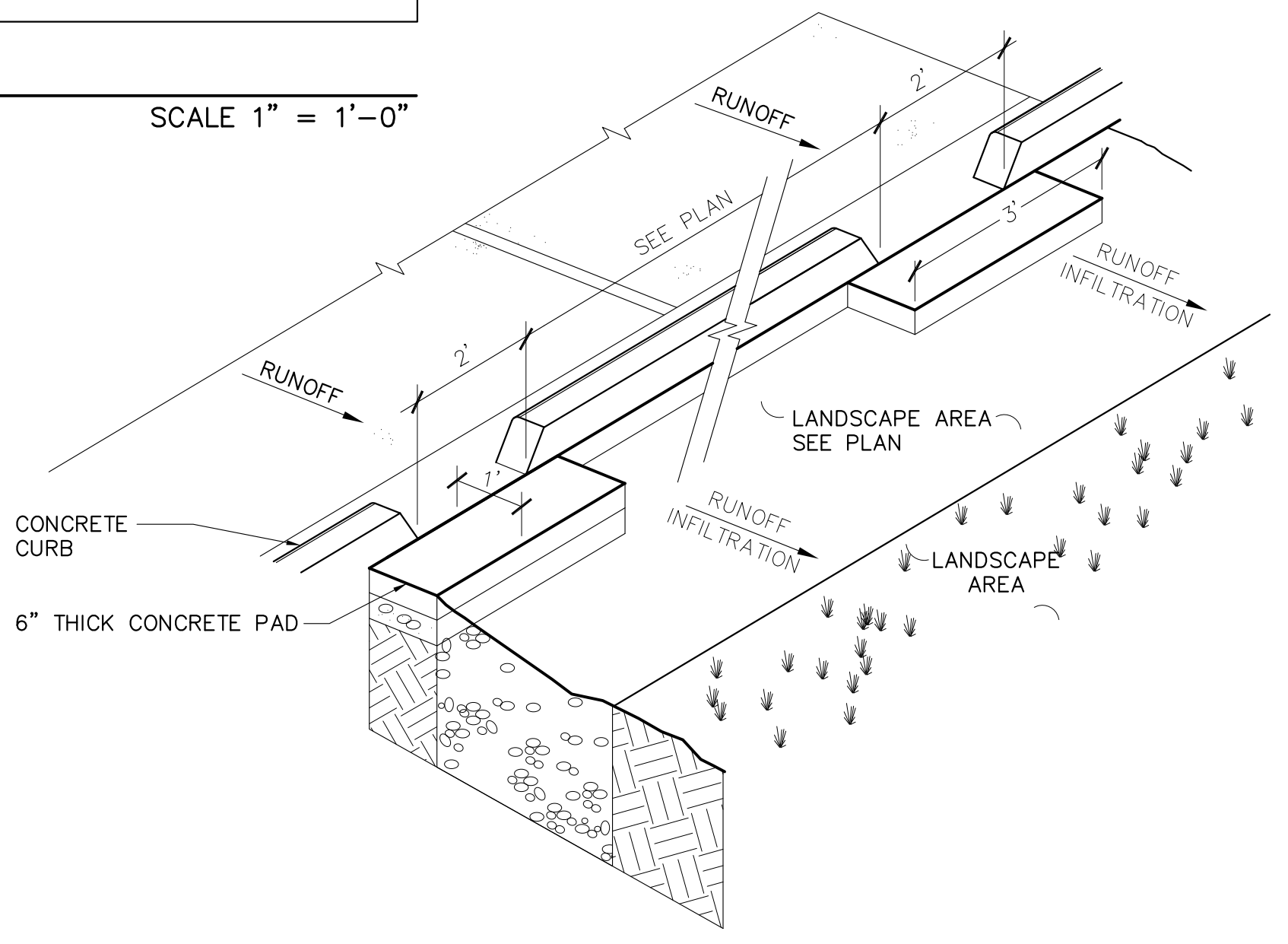
3 PERMEABLE PAVERS-TYPE 1  
C600

SCALE 1" = 1'-0"



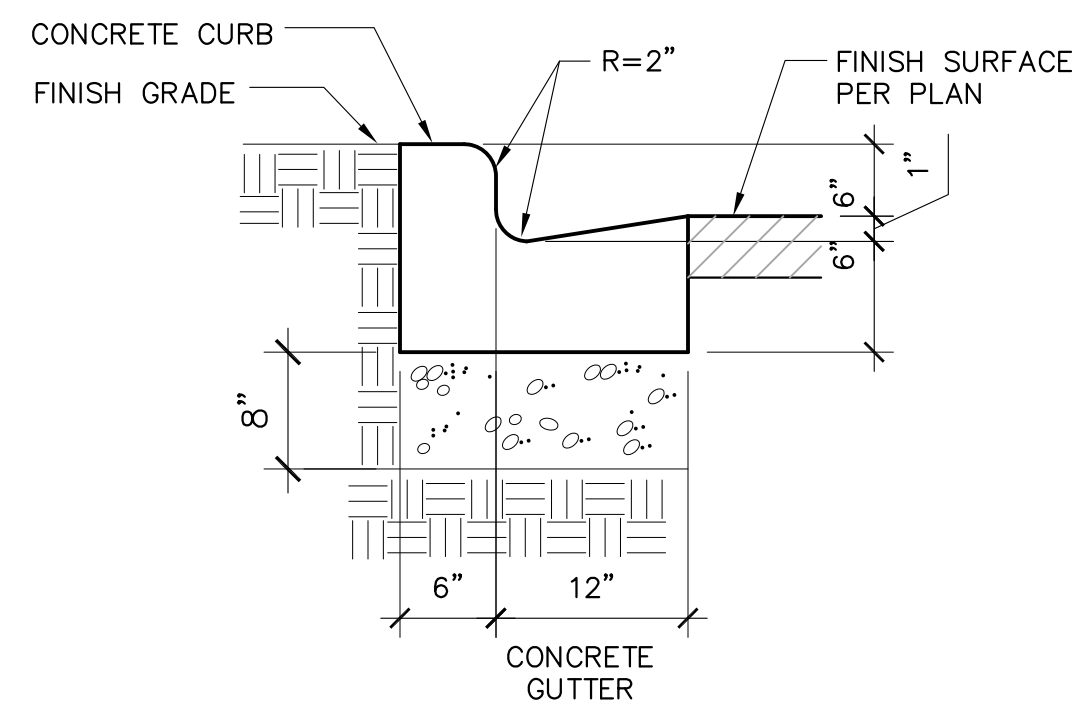
4 24" REJECT CURB  
C600

SCALE: NTS



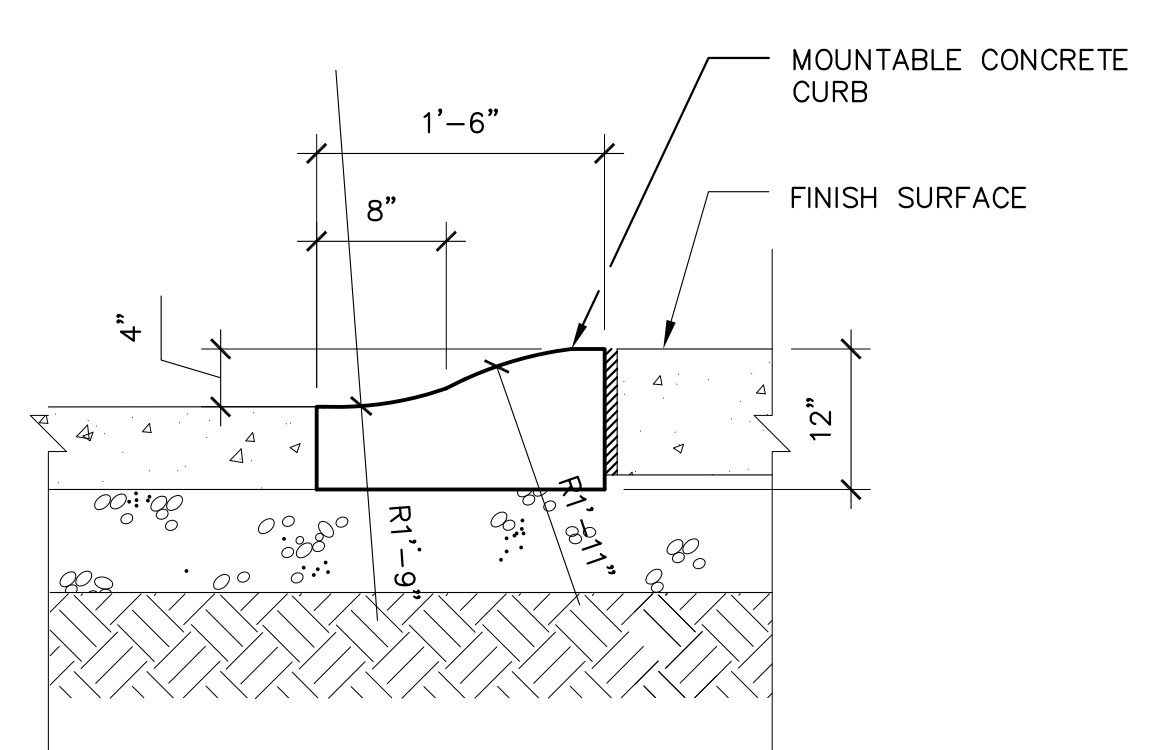
5 INTERMITTENT CURB  
C600

SCALE NTS



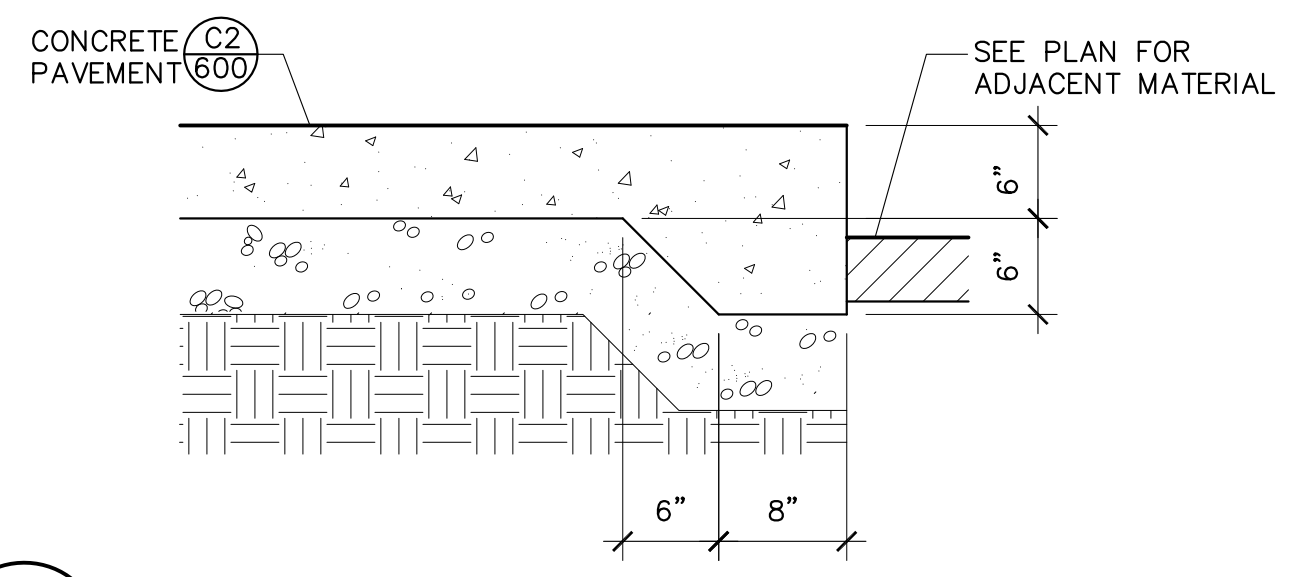
6 18" CONCRETE CURB  
C600

SCALE 1" = 1'-0"



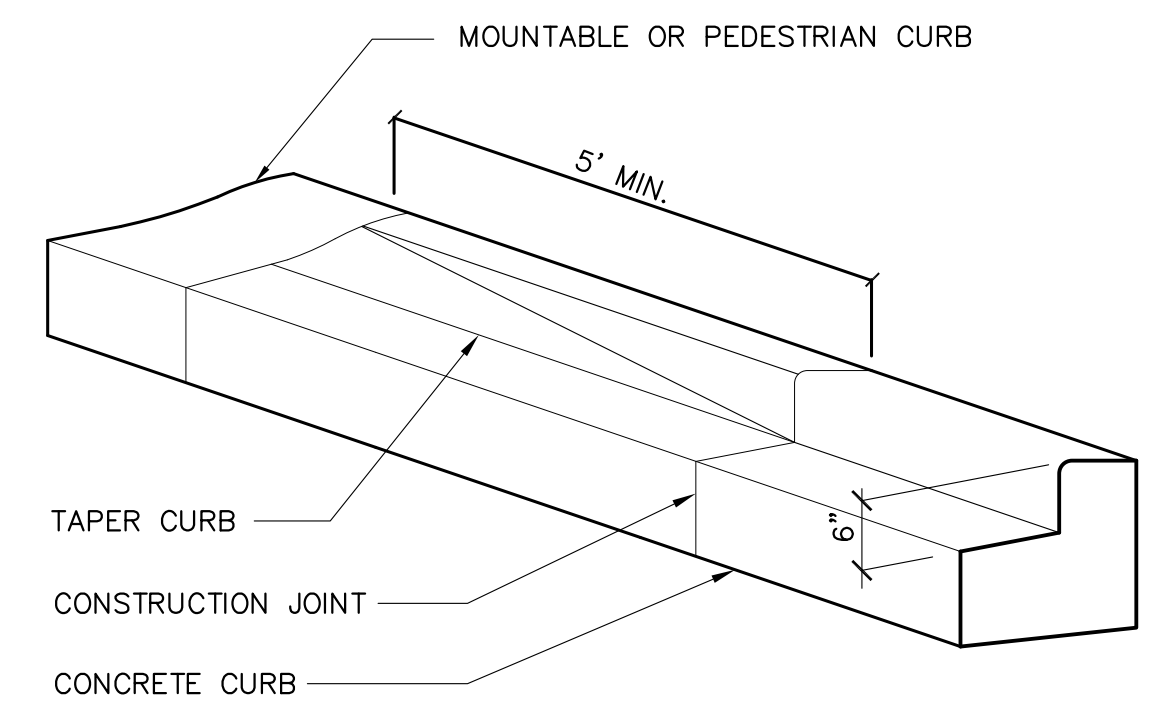
7 MOUNTABLE CURB  
C600

SCALE 1" = 1'-0"



8 THICKENED EDGE WALK  
C600

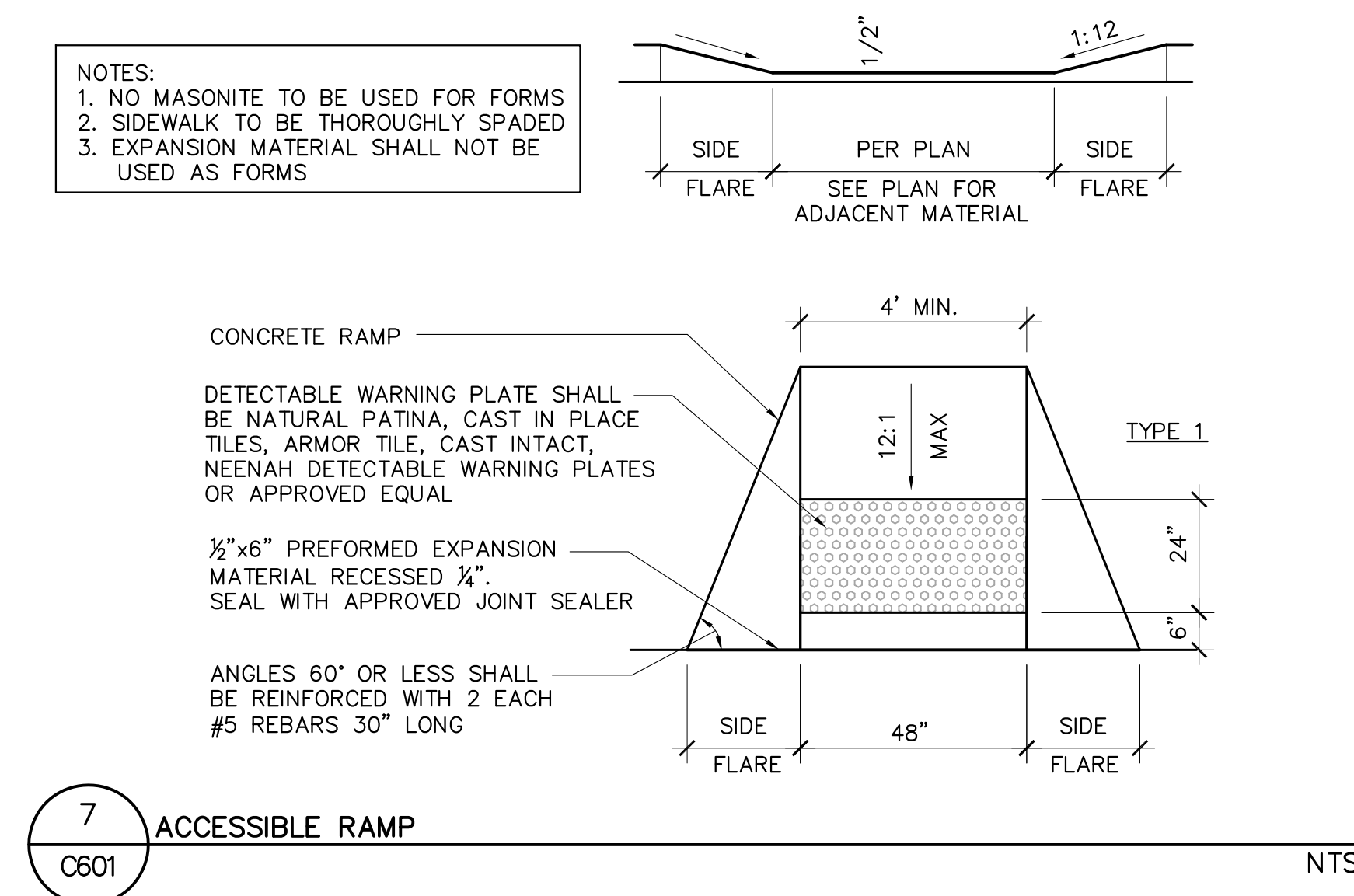
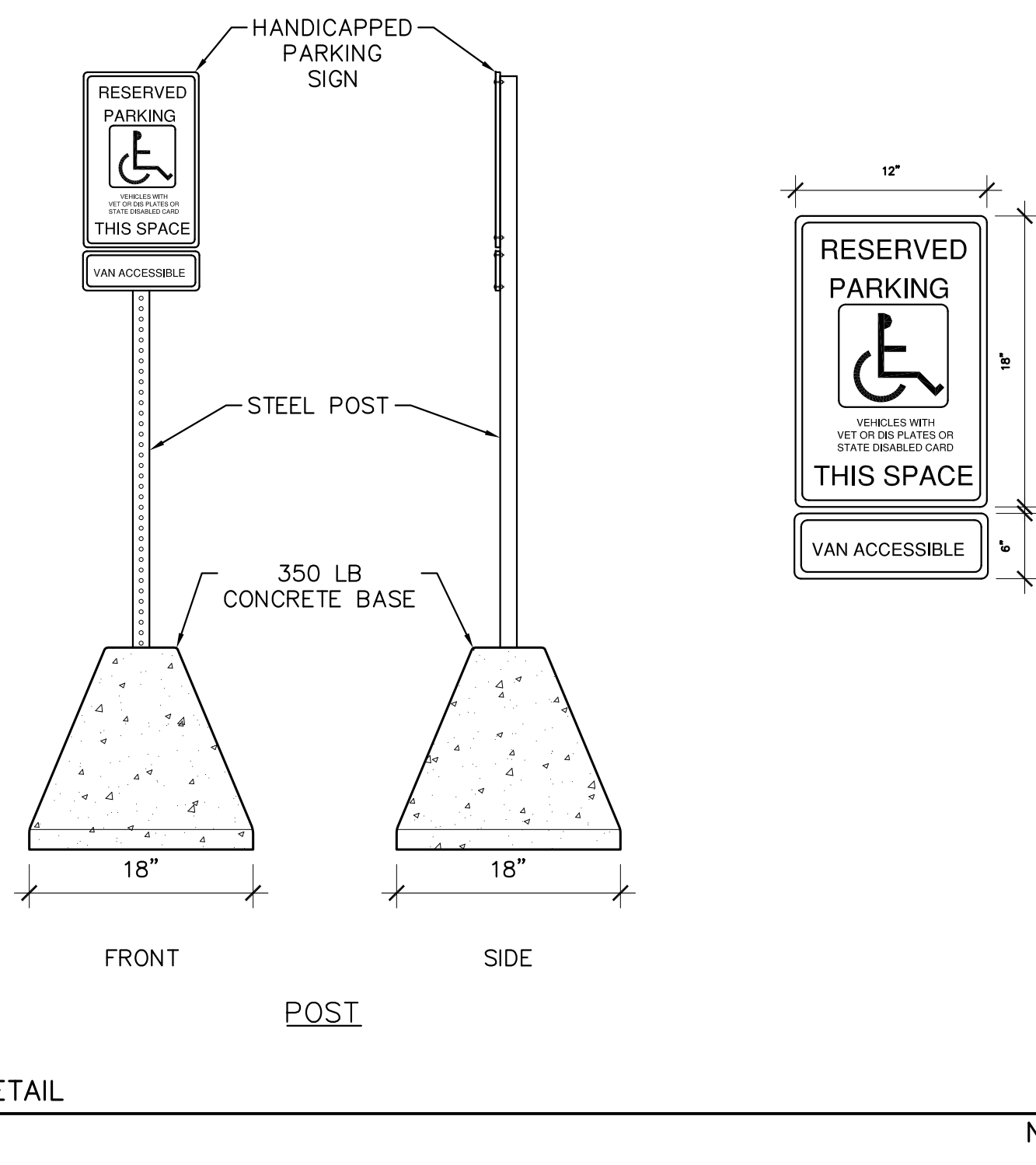
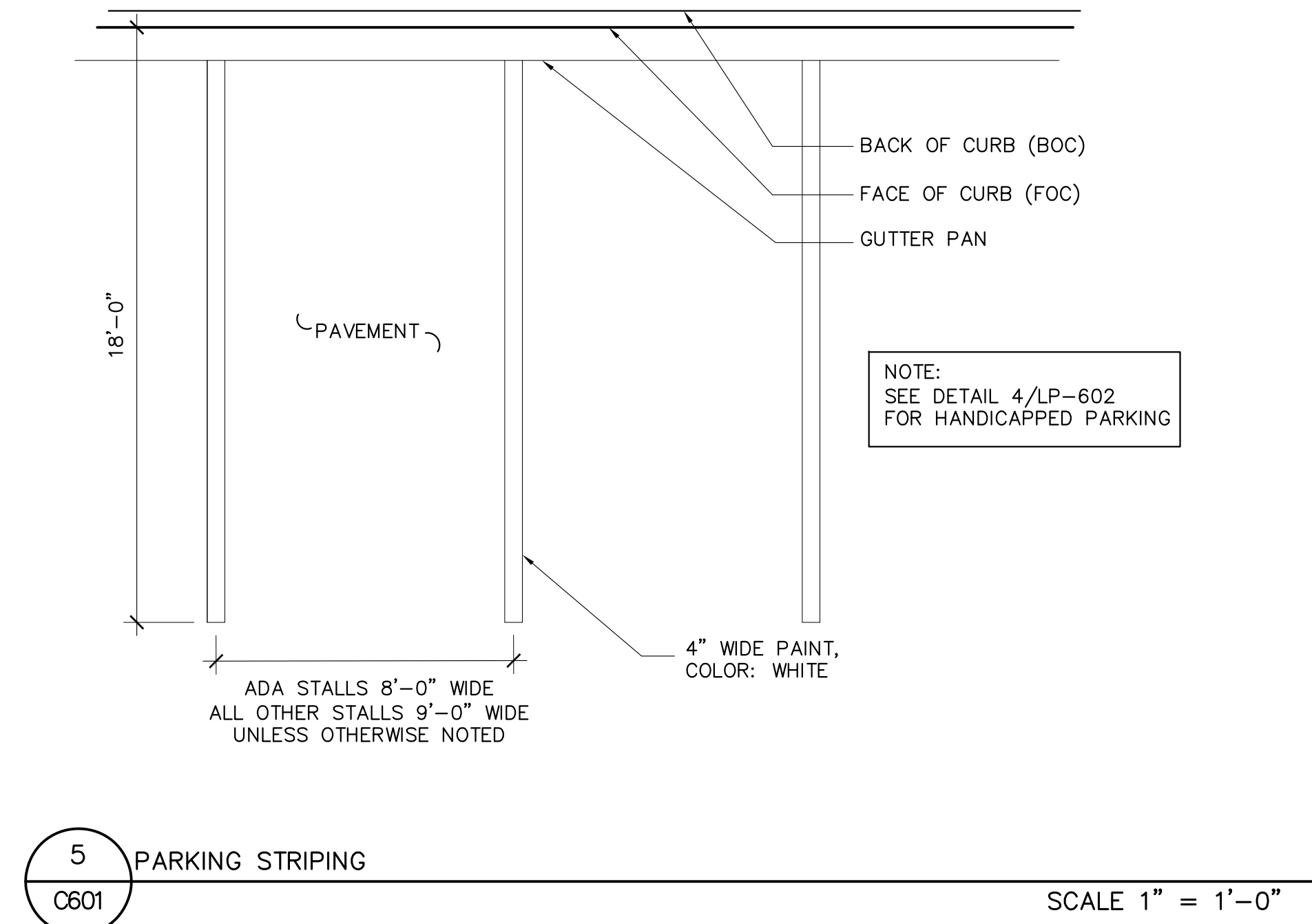
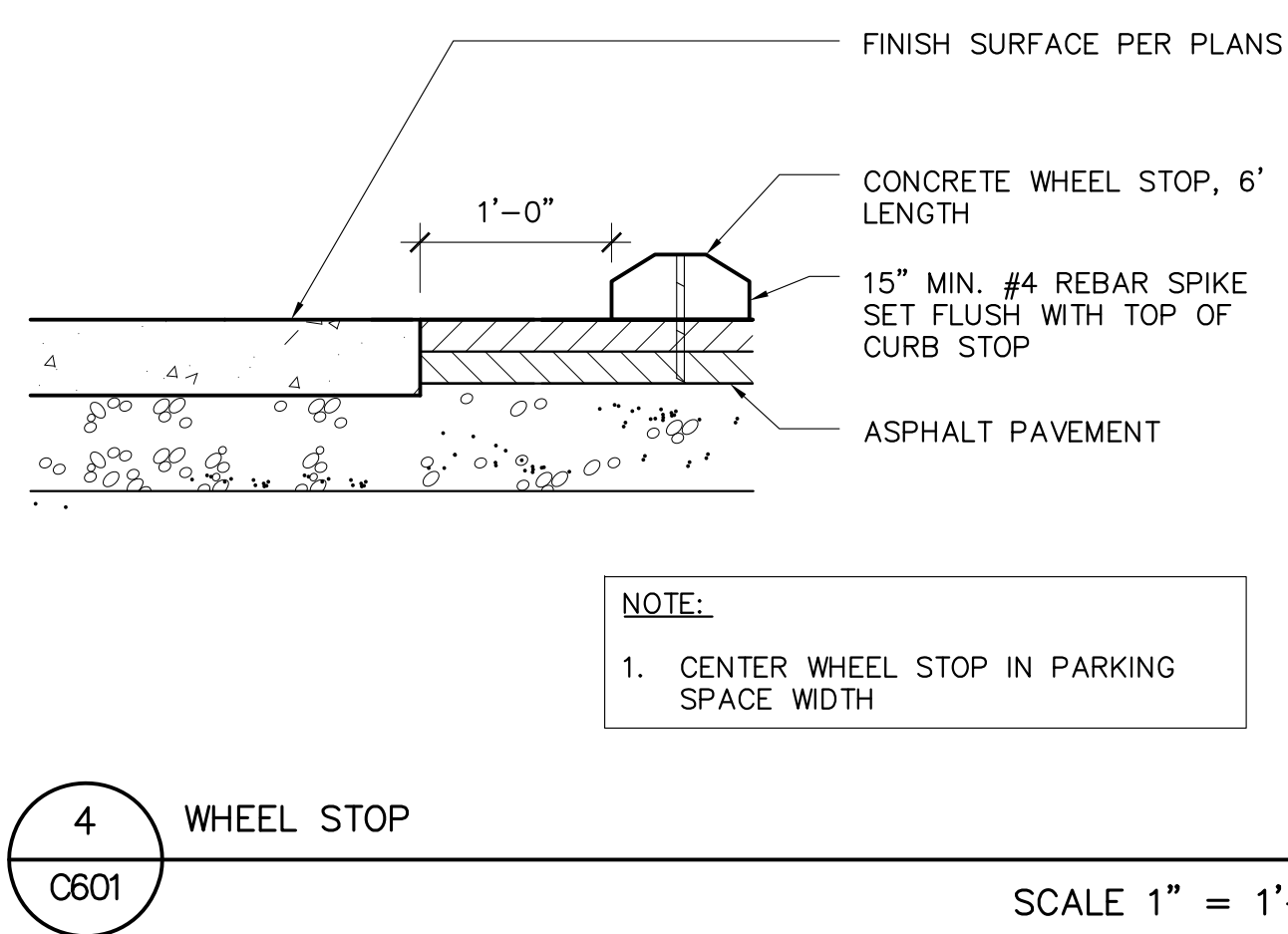
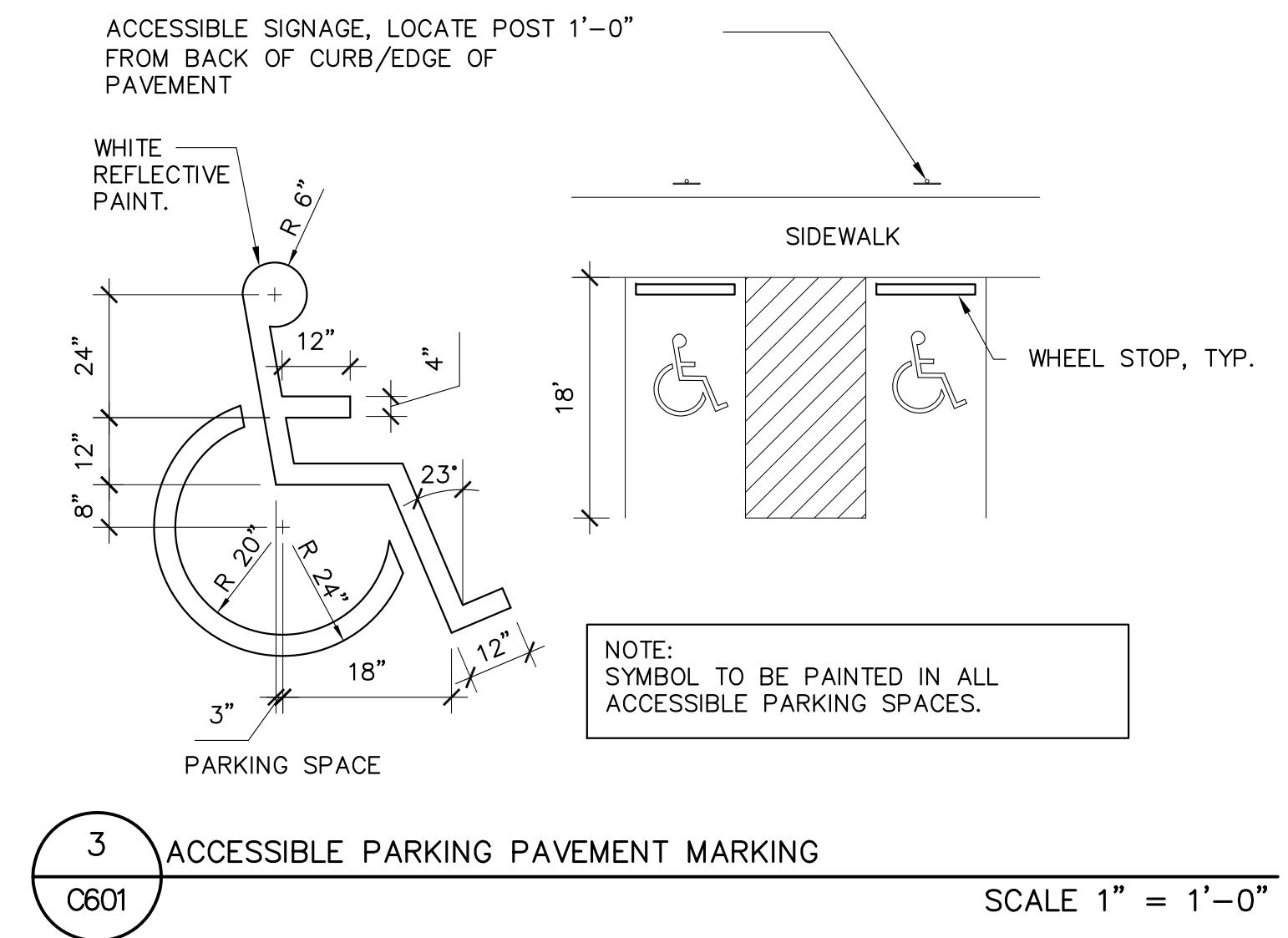
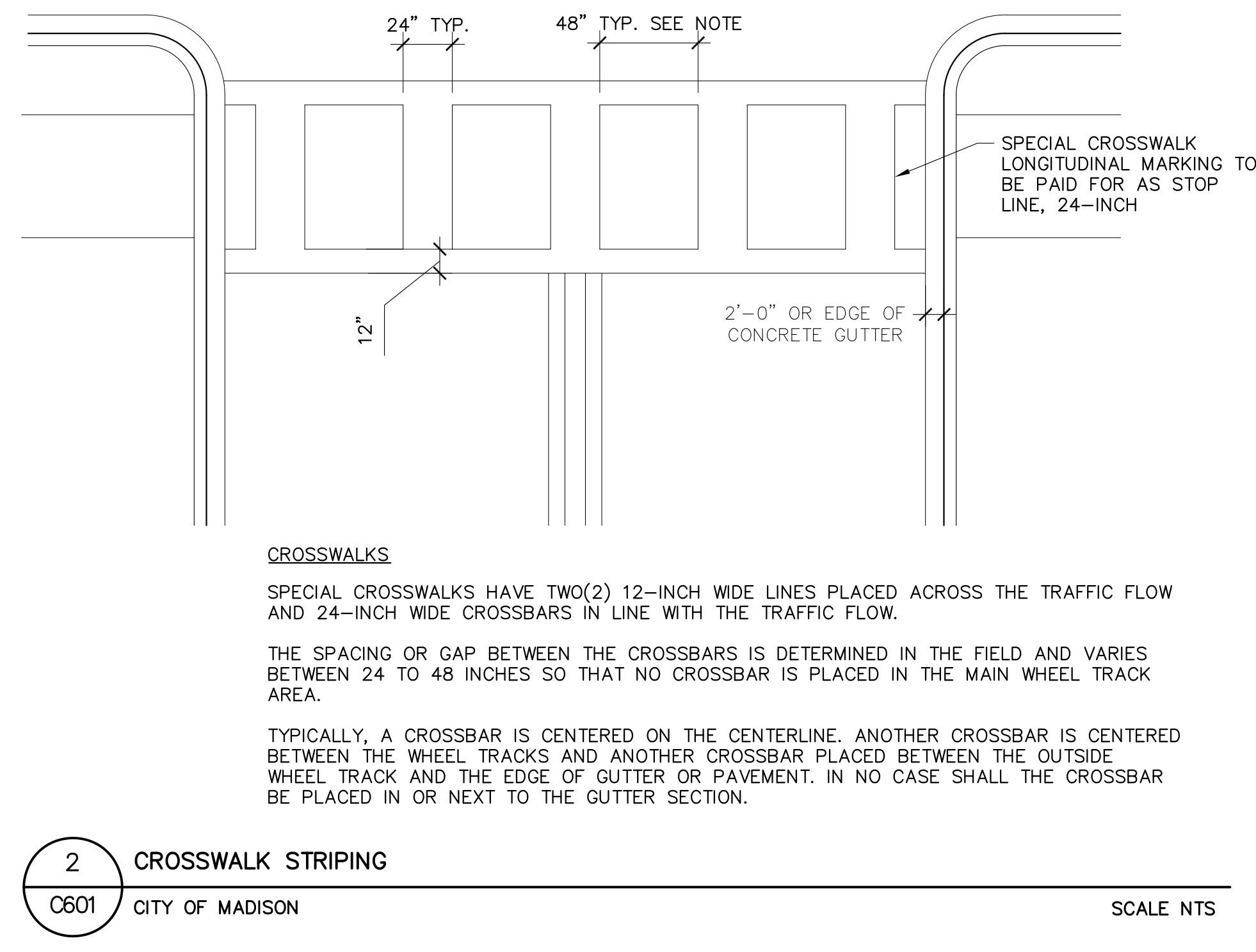
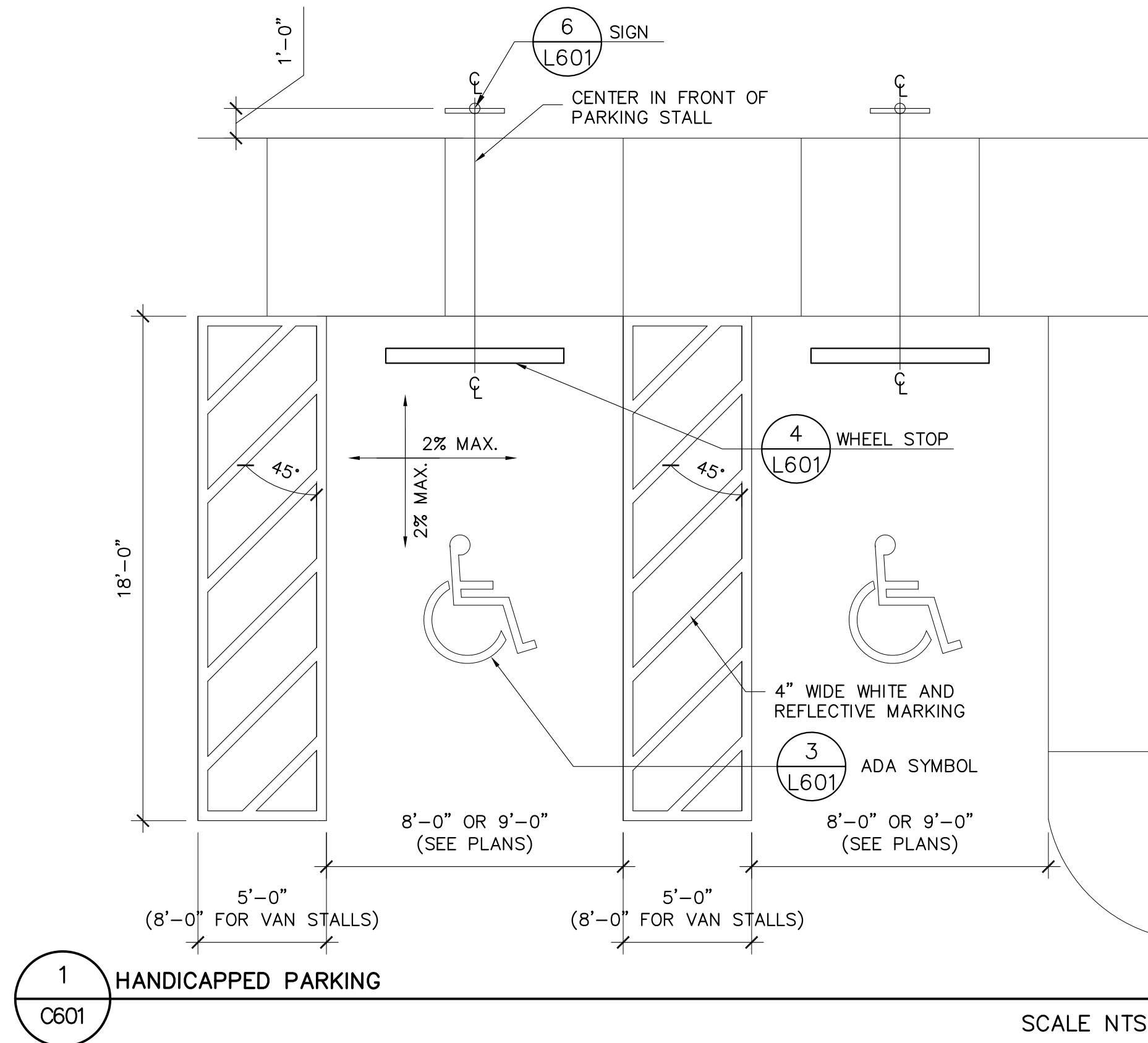
SCALE 1/2" = 1'-0"



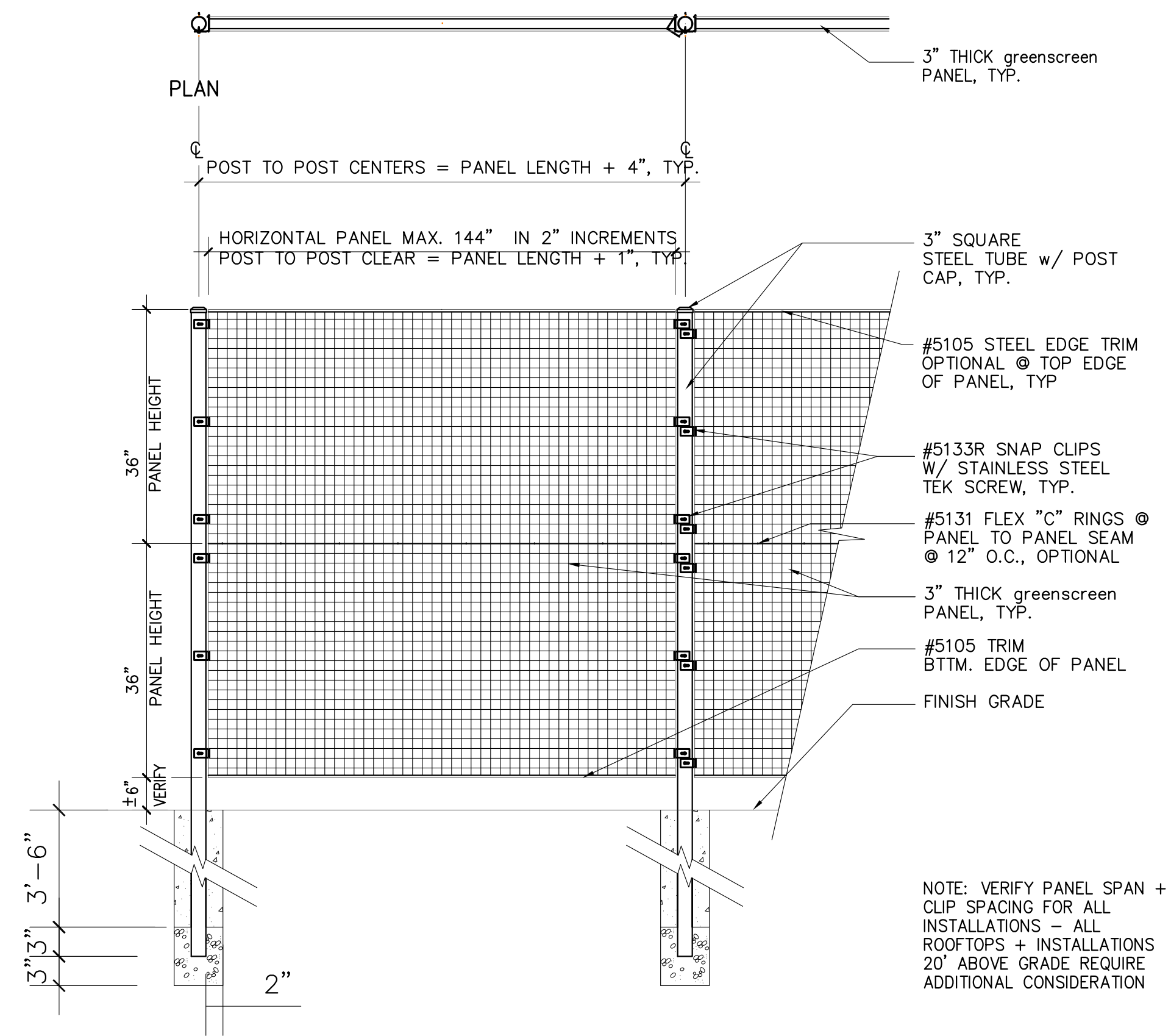
9 CURB TRANSITION  
C600

SCALE 1" = 1'-0"









NOTE: VERIFY PANEL SPAN + CLIP SPACING FOR ALL INSTALLATIONS - ALL ROOFTOPS + INSTALLATIONS 20' ABOVE GRADE REQUIRE ADDITIONAL CONSIDERATION

ELEVATION

1 GREEN SCREEN FENCING  
C602 NTS



NOTE:  
1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS  
2. WALDO OHIO APIARY OR EQUAL  
3. ASSEMBLED AND PLACED PER MANUFACTURER RECOMMENDATIONS

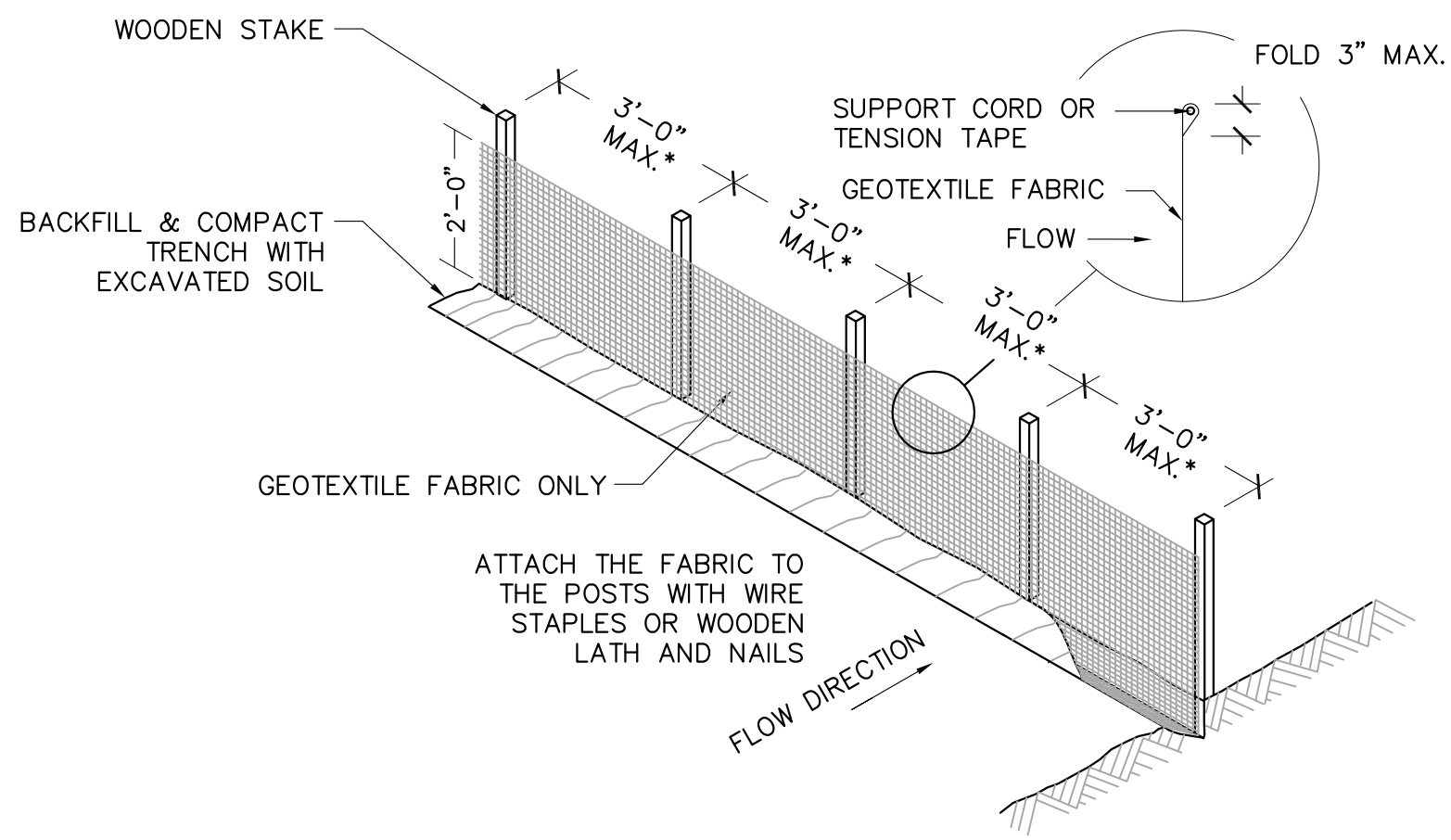
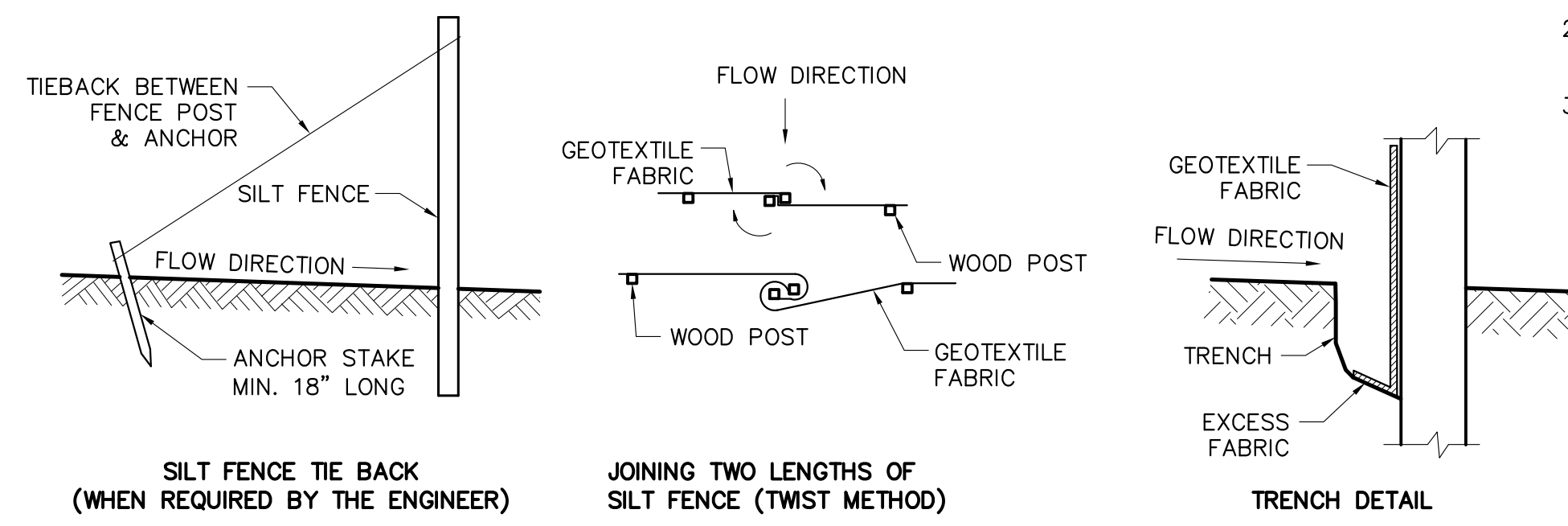
2 APIARY  
C602 NTS



NOTE:  
1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS  
2. MUST PROVIDE 4 SQ FT OF INDOOR LIVING SPACE PER CHICKEN (16-24 SQ FT FOR 4-6 CHICKENS)  
3. ASSEMBLED AND PLACED PER MANUFACTURER RECOMMENDATIONS  
4. CHICKEN COOP SHALL BE 'DOG-HOUSE' STYLE STRUCTURE.

3 CHICKEN COOP  
C602 NTS



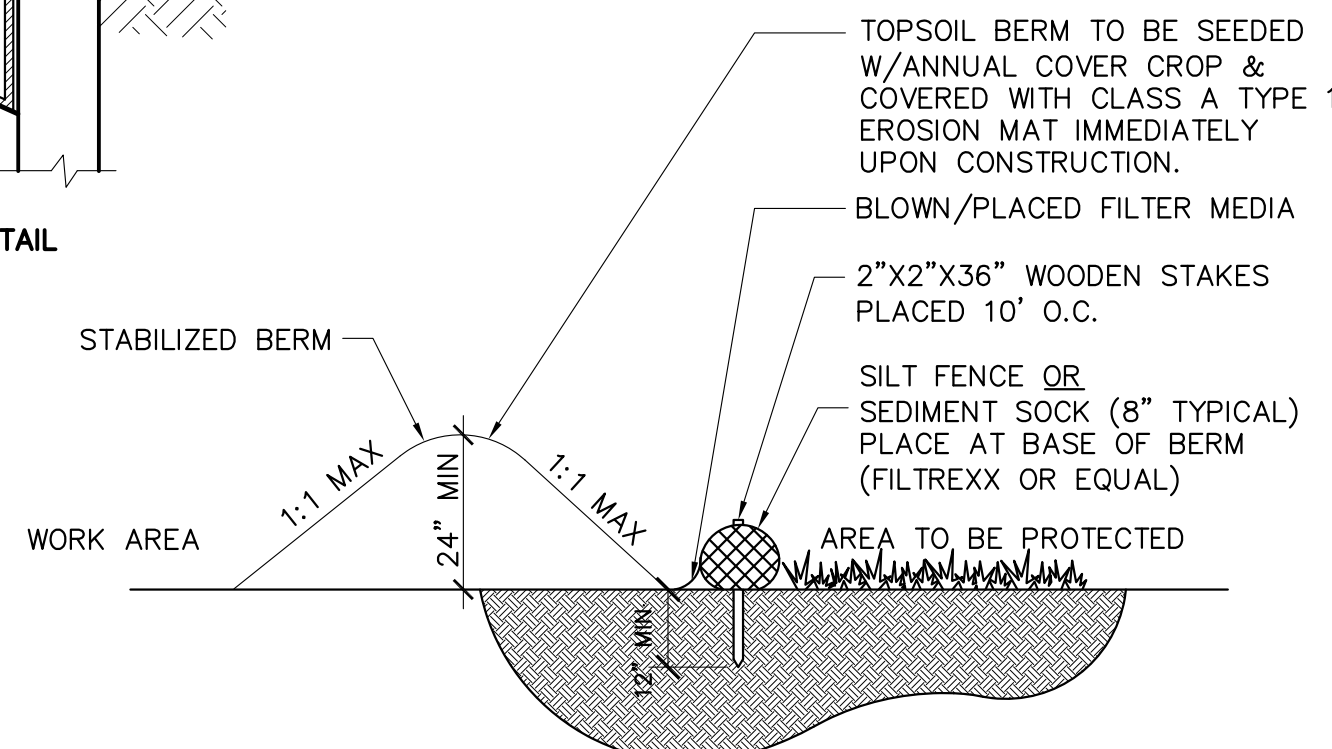


**GENERAL NOTES:**

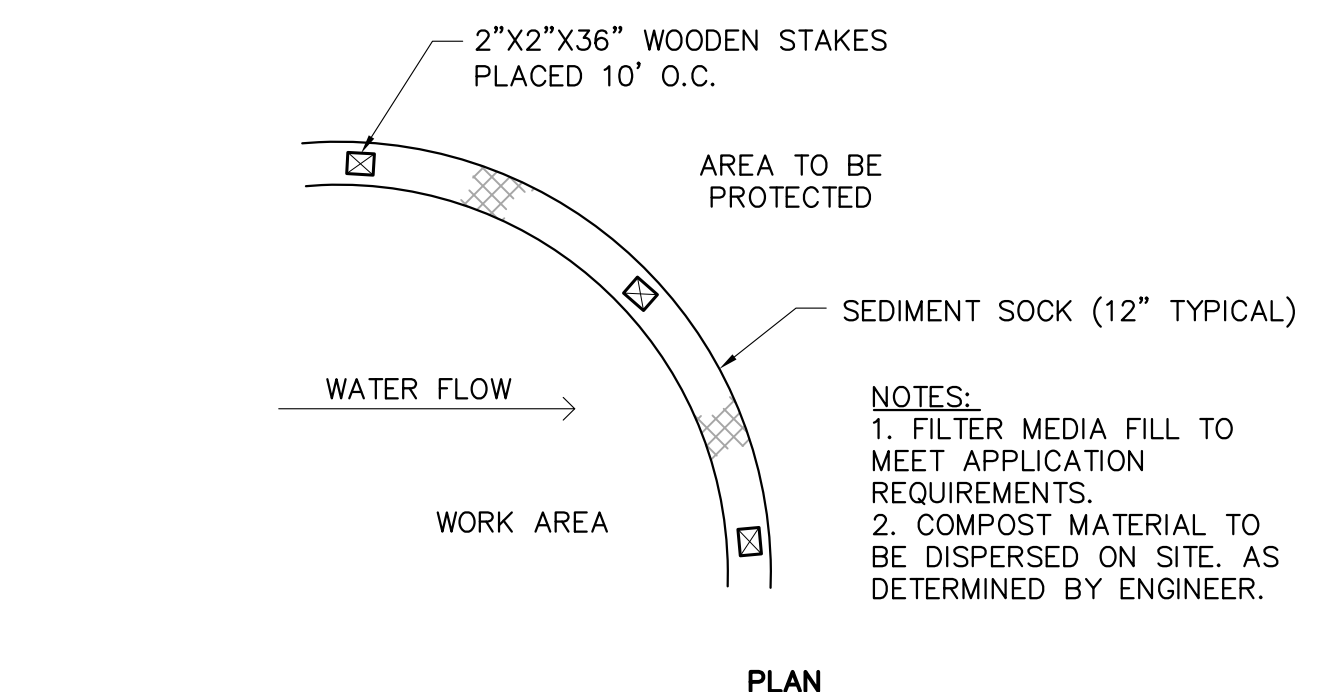
- FOR MANUAL INSTALLATIONS THE TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 3" LENGTH OF OAK OR HICKORY.
- ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.
- THE MAXIMUM SPACING OF POSTS FOR WOVEN FABRIC SILT FENCE SHALL BE 8 FEET AND FOR NON-WOVEN FABRIC, 3 FEET.
- 8" OF FENCE FABRIC REQUIRED BELOW GRADE IN TRENCH PER DNR TECH. STD. 1056
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4".
- EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD.
- CROSS BRACE WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS AS DIRECTED BY THE ENGINEER.
- MINIMUM 14 GAUGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C.C.
- WIRE SUPPORT FENCE SHALL BE 14 GAUGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C.C. (TYPE B)
- GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. (TYPE A)
- STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.28 LBS./LIN. FT. (WITHOUT ANCHOR) FIN ANCHORS SUFFICIENT TO RESIST POST MOVEMENT ARE REQUIRED. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL, IF POSSIBLE, BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS: A.) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B.) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.

**STABILIZED BERM NOTES:**

- SEDIMENT SHOULD BE REMOVED FROM BEHIND BERM ONCE THE ACCUMULATED HEIGHT HAS REACHED 1/2 THE HEIGHT OF THE BERM.
- BERM SHALL BE DIRECT SEEDED AND STABILIZED AT THE TIME OF INSTALLATION.
- STABILIZED BERM SHALL HAVE STONE OVERFLOW WEIRS PLACED IN LOCATIONS AS SPECIFIED IN THE PLANS. OVERFLOW WEIR SHALL BE A MINIMUM OF 4" WIDE AND CONSTRUCTED COMPLETELY OF #2 CLEAR STONE. TOP ELEVATION OF STONE WEIR SHALL BE 6-12" BELOW TOP OF ADJACENT STABILIZED BERM.

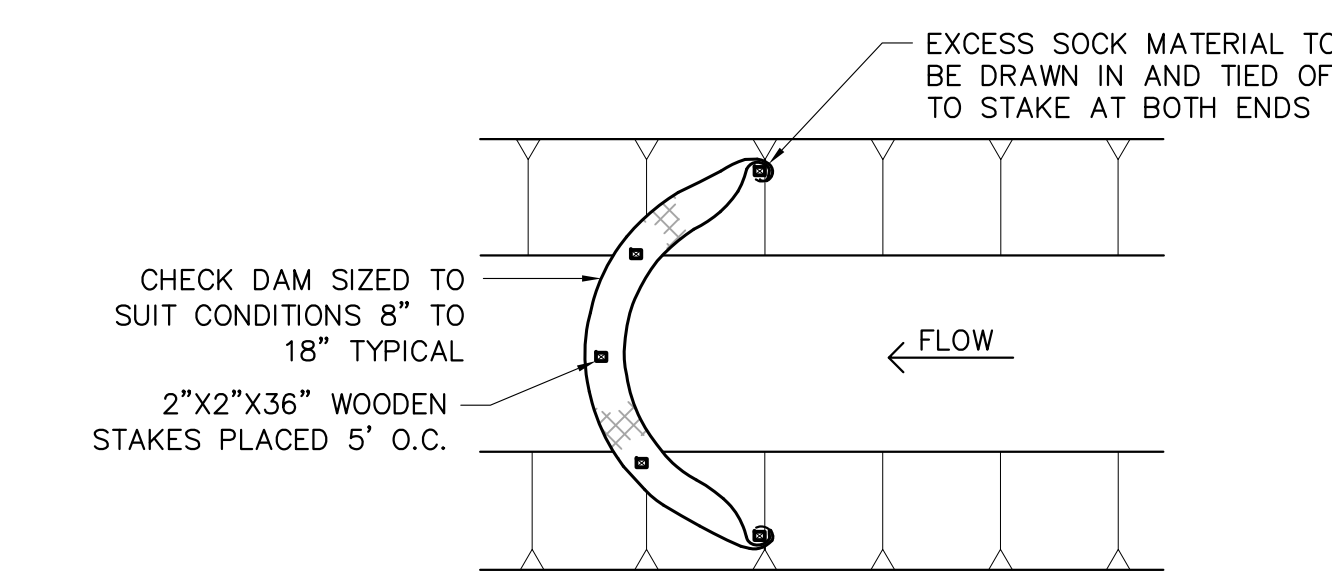


**SECTION - BERM & SILT FENCE OR SEDIMENT SOCK**



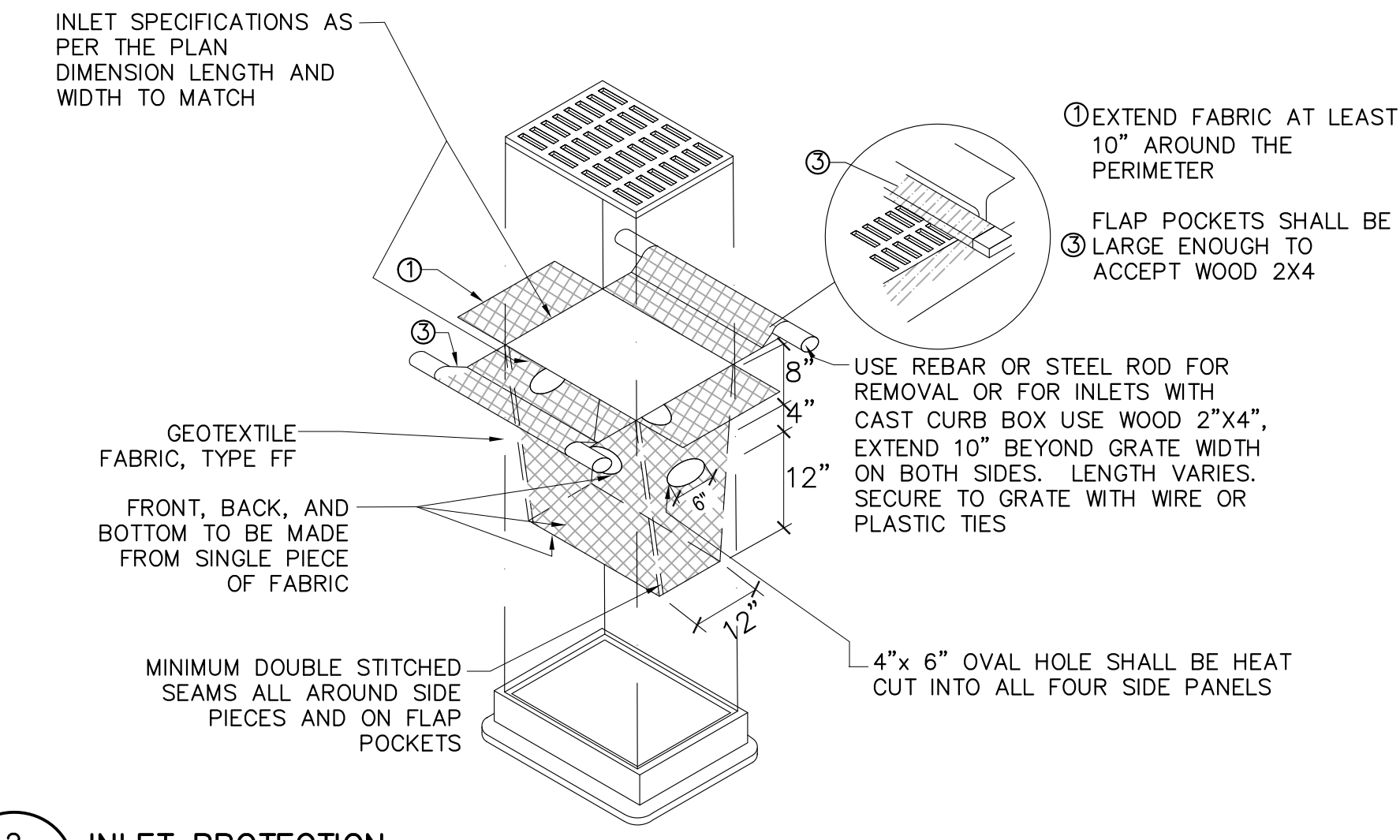
- NOTES:**
- FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
  - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

**PLAN**



**NOTES:**

- SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED 1/2 THE HEIGHT OF THE CHECK DAM.
- CHECK DAM CAN BE DIRECT SEEDED AT THE TIME OF INSTALLATION.



2  
C603

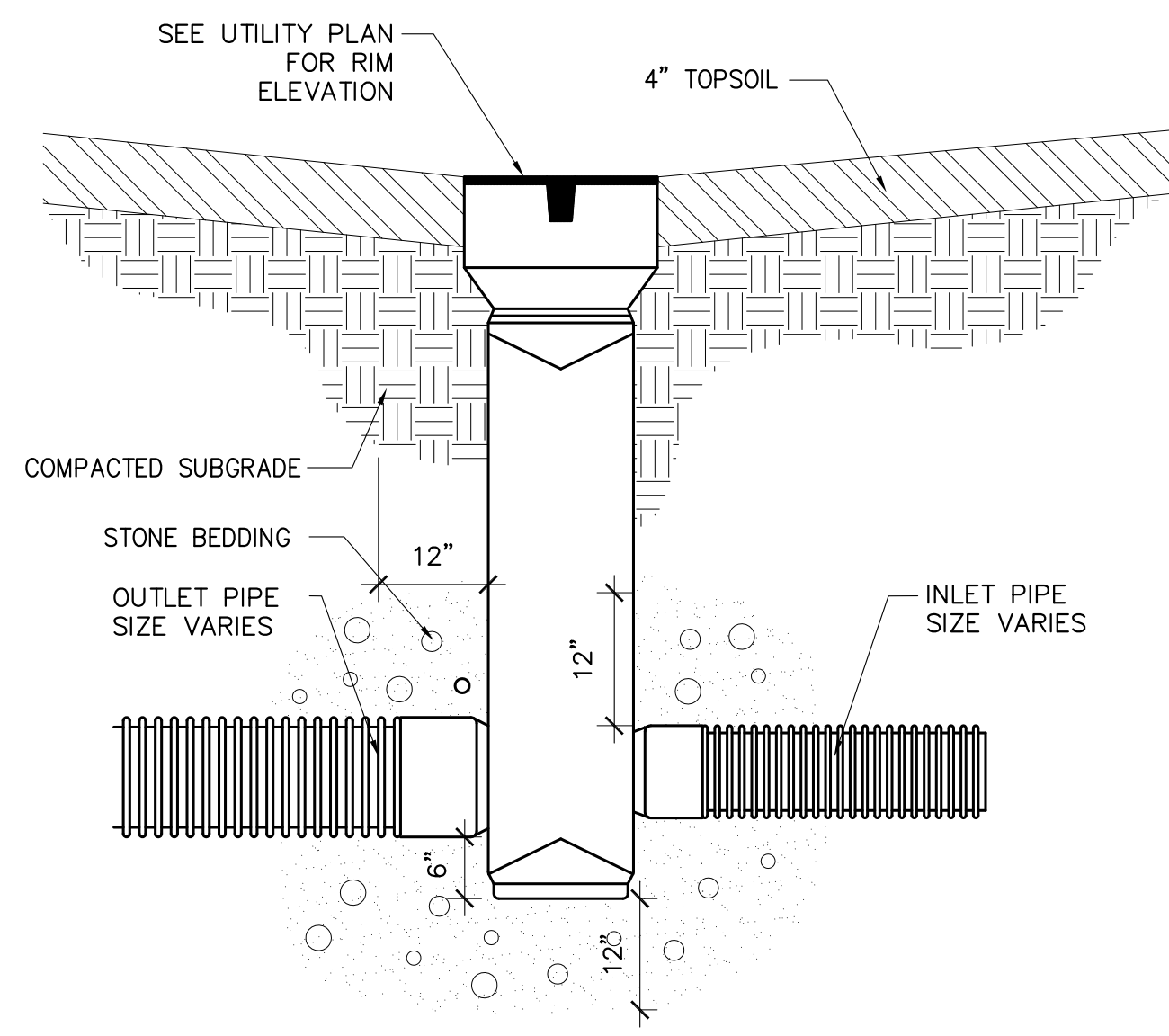
**INLET PROTECTION**

NTS

1  
C603 SILT FENCE AND SEDIMENT SOCK W/STABILIZED BERM

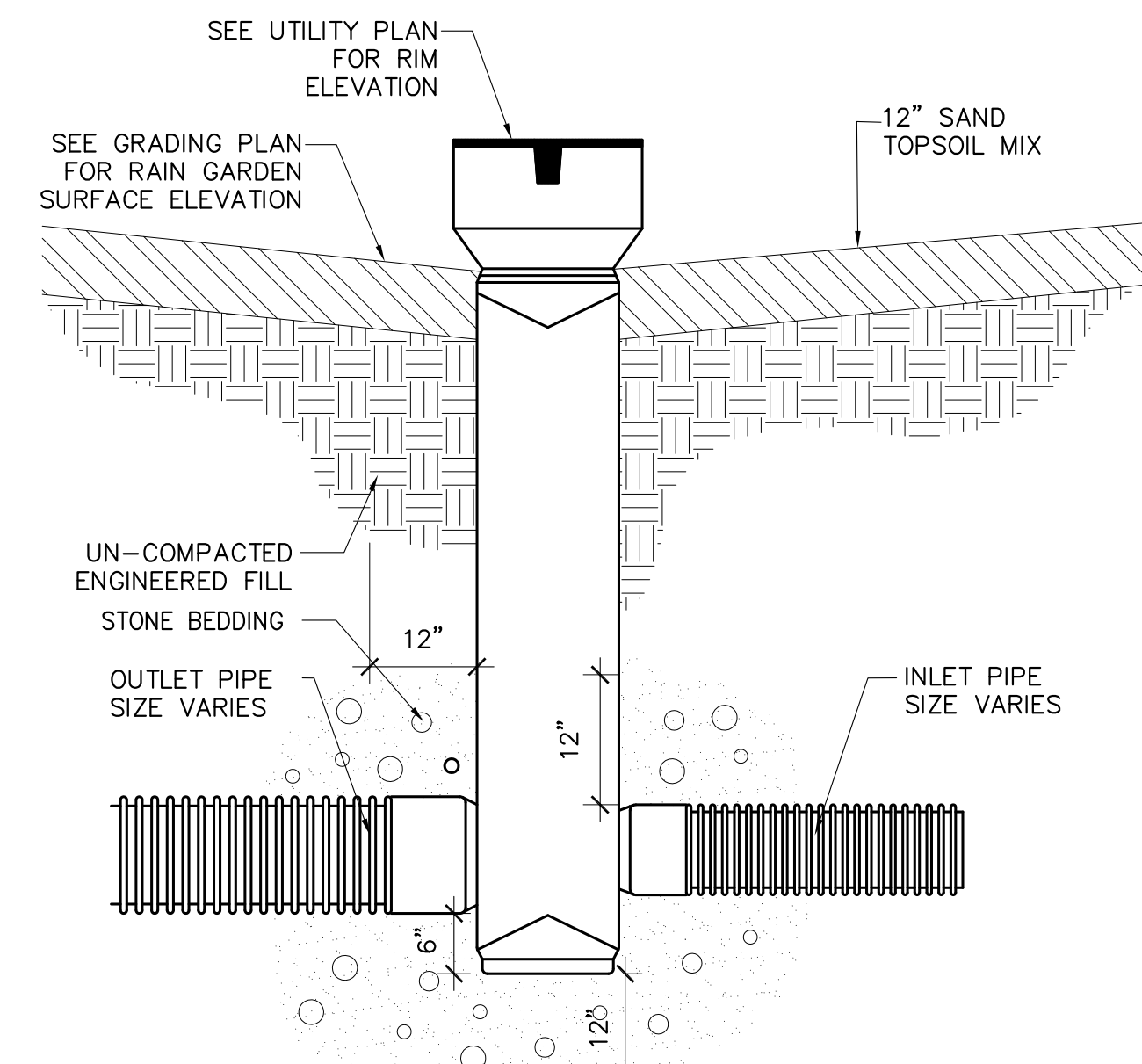
NTS





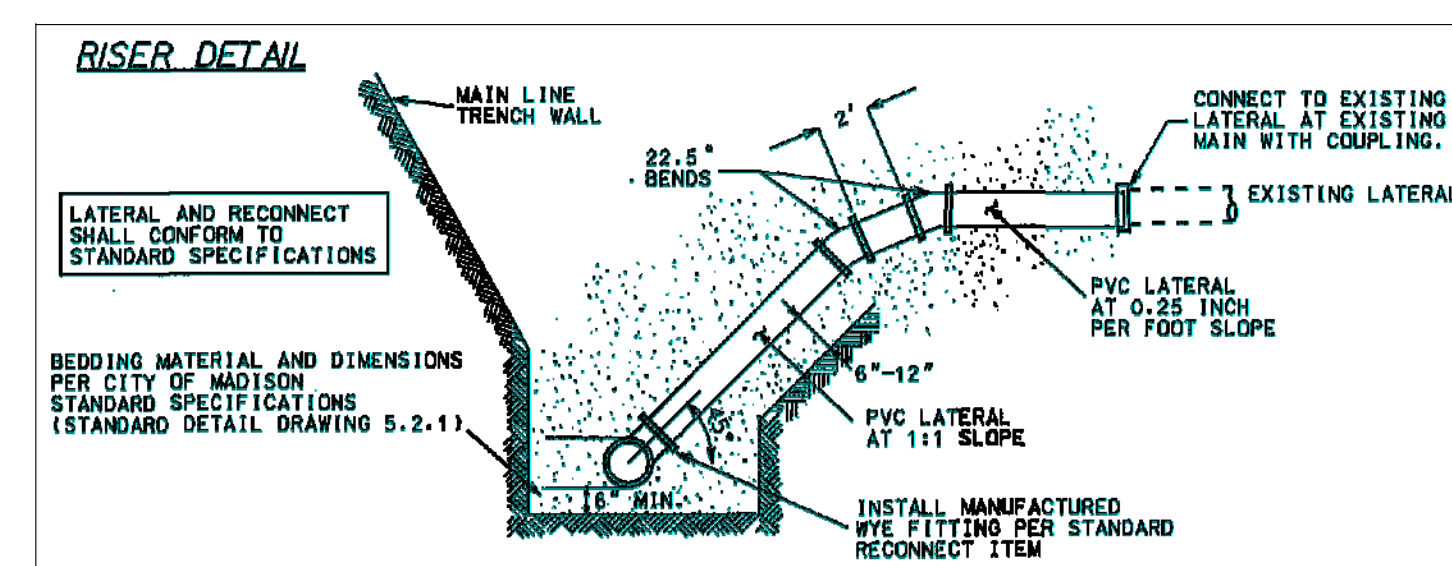
NOTE:  
1. SEE UTILITY PLANS FOR GRATE AND OUTLET PIPE ELEVATIONS  
2. SEE MANUFACTURER'S SPECIFICATIONS FOR PROPER DRAIN INSTALLATION

1 YARD DRAIN  
C604 NTS

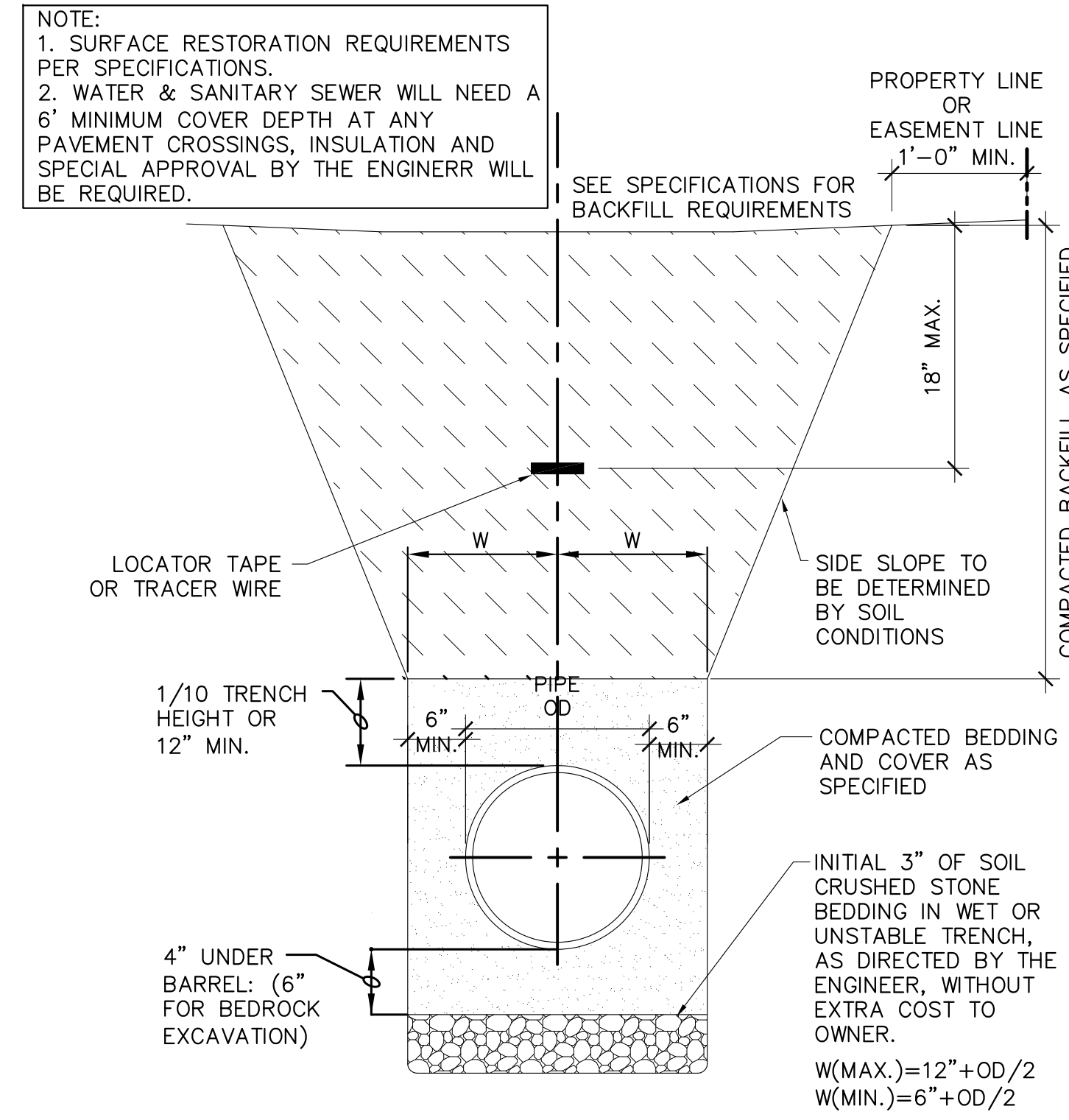


NOTE:  
1. SEE UTILITY PLANS FOR GRATE AND OUTLET PIPE ELEVATIONS  
2. SEE MANUFACTURER'S SPECIFICATIONS FOR PROPER DRAIN INSTALLATION

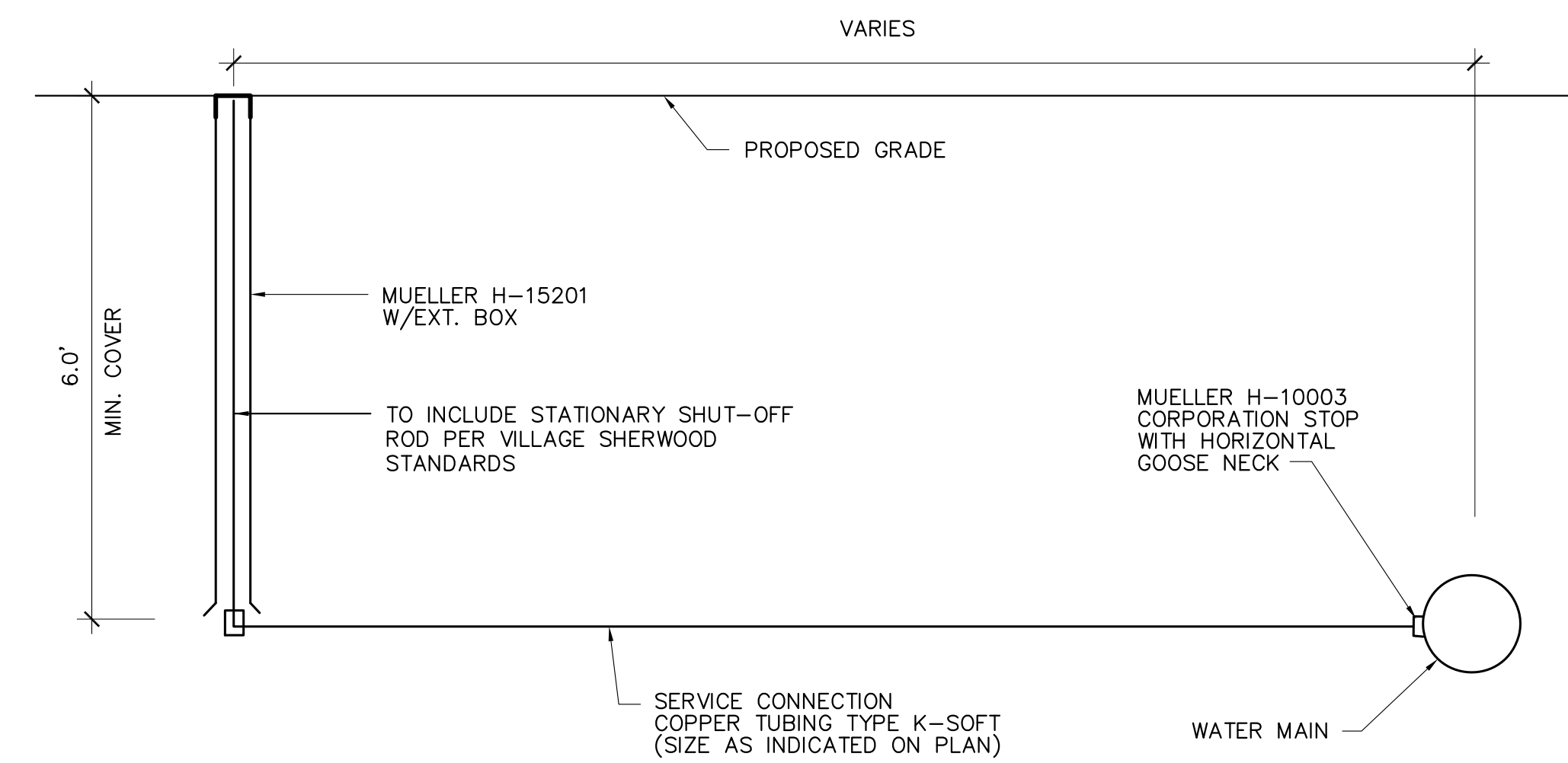
2 RAIN GARDEN OUTLET STRUCTURE  
C604 NTS



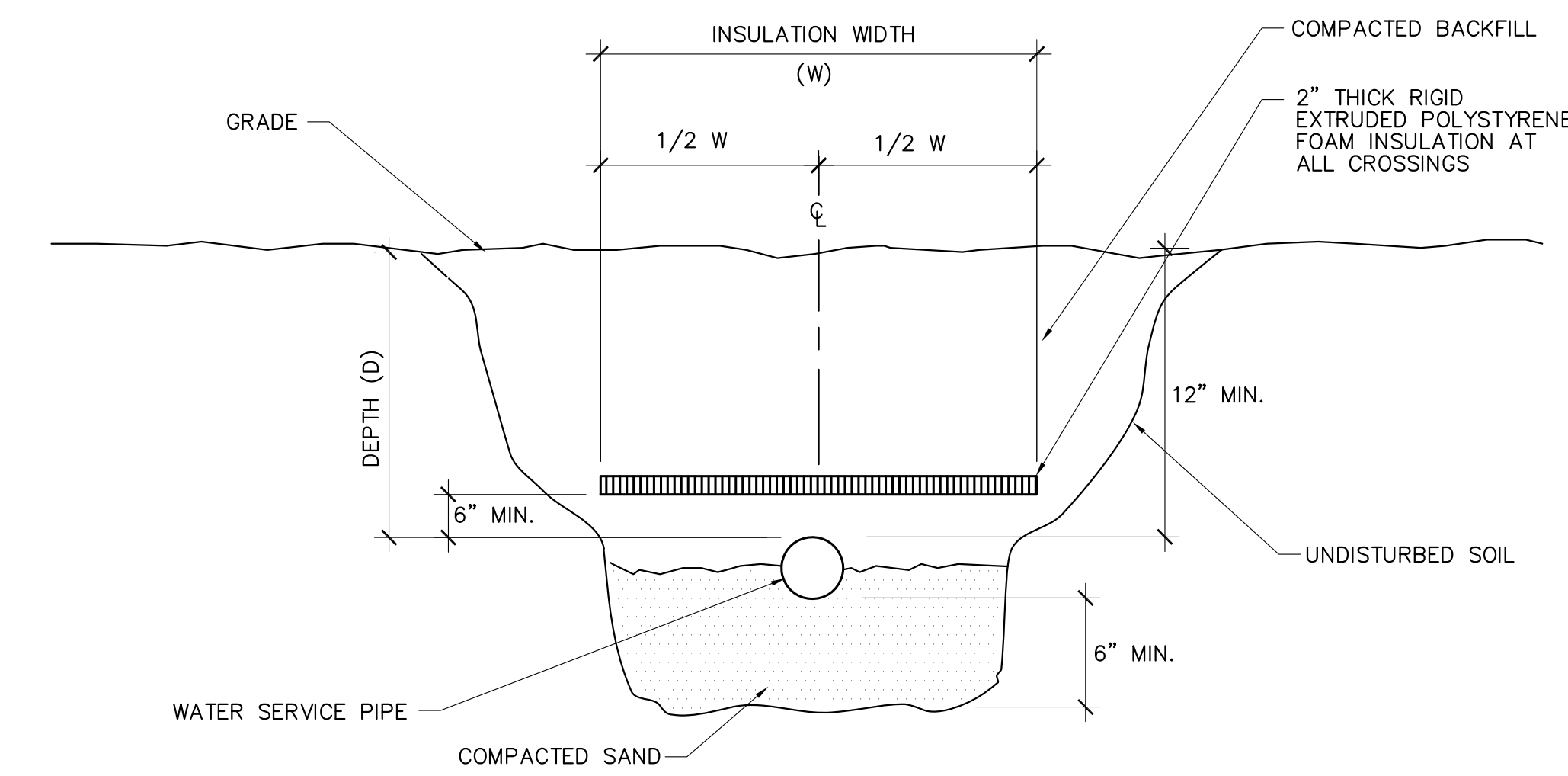
3 SANITARY SEWER RISER  
C604 NTS



4 UNDERGROUND UTILITY BEDDING & TRENCH SECTION  
C604 NTS

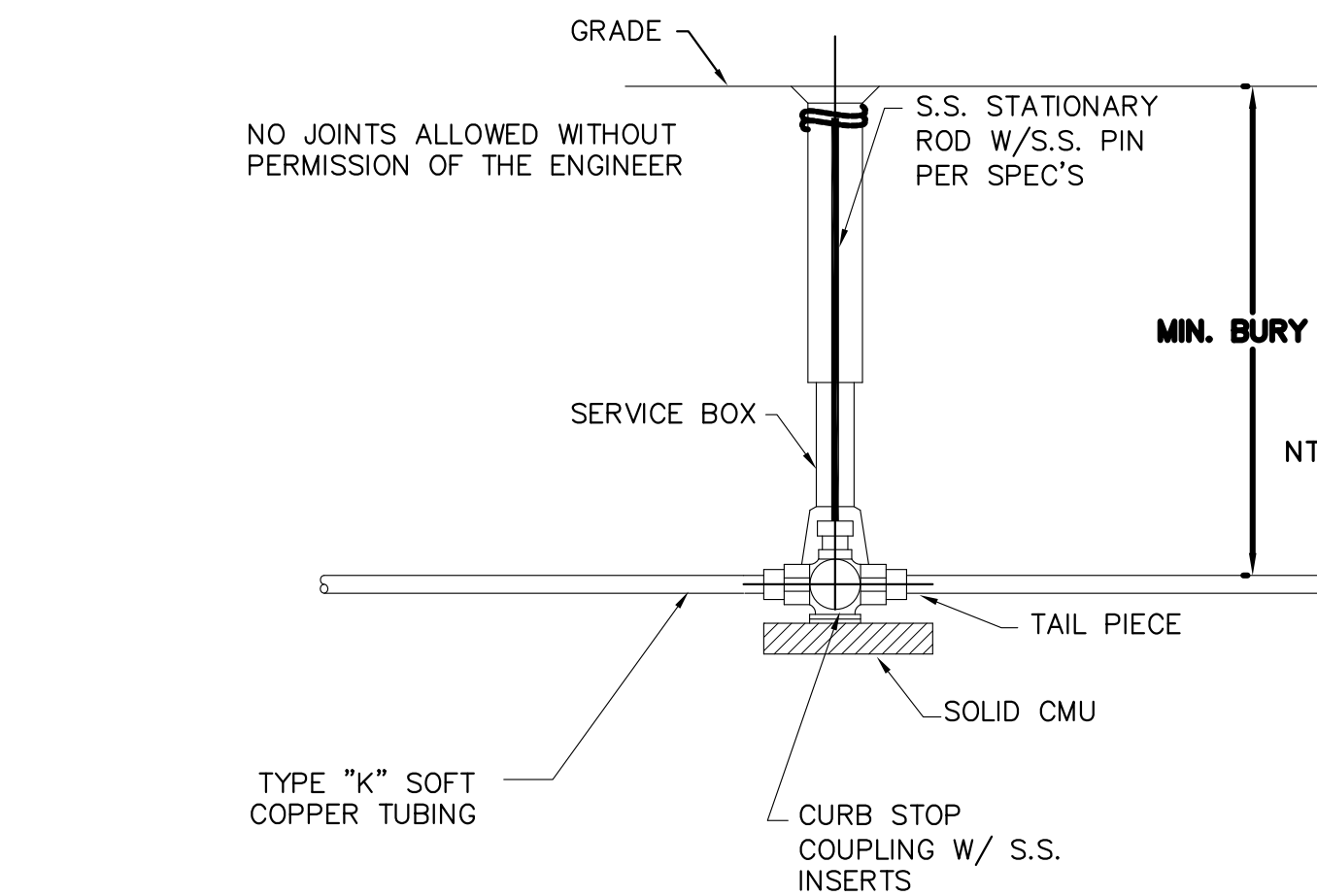
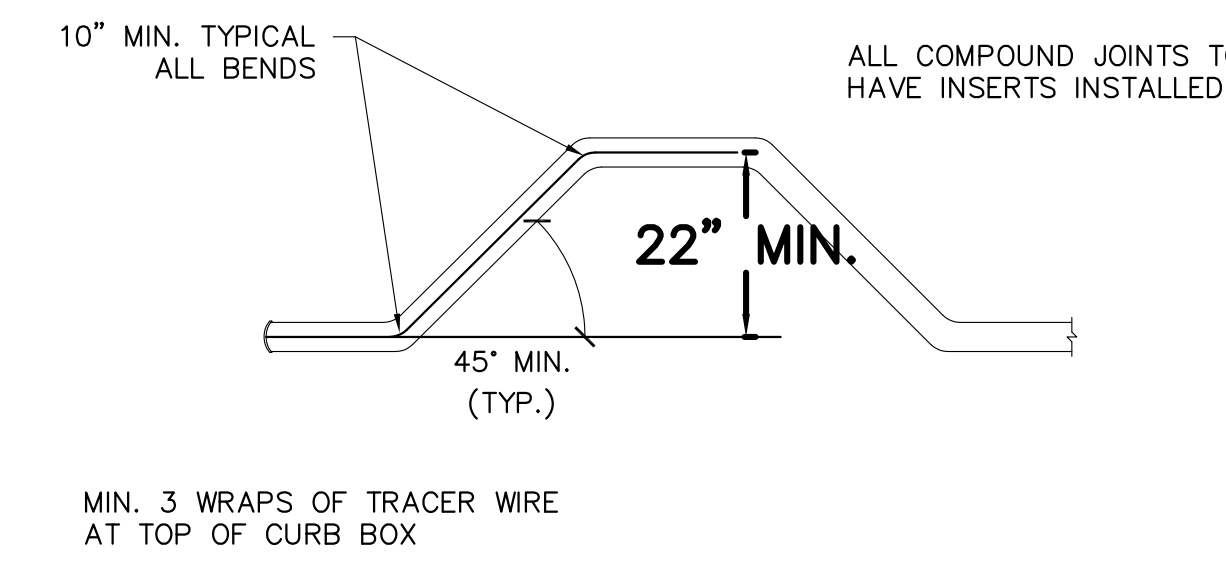


NOTES:  
1. MAINTAIN 6.0' MIN. COVER OVER ENTIRE INSTALLATION.  
2. ALL FITTINGS SHALL CONFORM TO A.W.W.A. STDS.  
3. ALL COPPER COUPLINGS TO BE FLARED OR COMPRESSION JOINT  
4. ALL TAPS TO BE MADE "LIVE" AND BE AT LEAST 18" APART  
5. ALL COPPER TUBING BENDS TO HAVE SMOOTH RADI  
6. SERVICE LATERALS SHALL BE TESTED AT SAME TIME AS MAINLINE TESTING IS DONE  
7. WHERE TOP OF WATER SERVICE PIPE IS LOCATED LESS THAN 6'-0" BELOW THE GROUND SURFACE, PROVIDE INSULATION AS SHOWN ON DETAIL AND BY SCHEDULE BELOW.



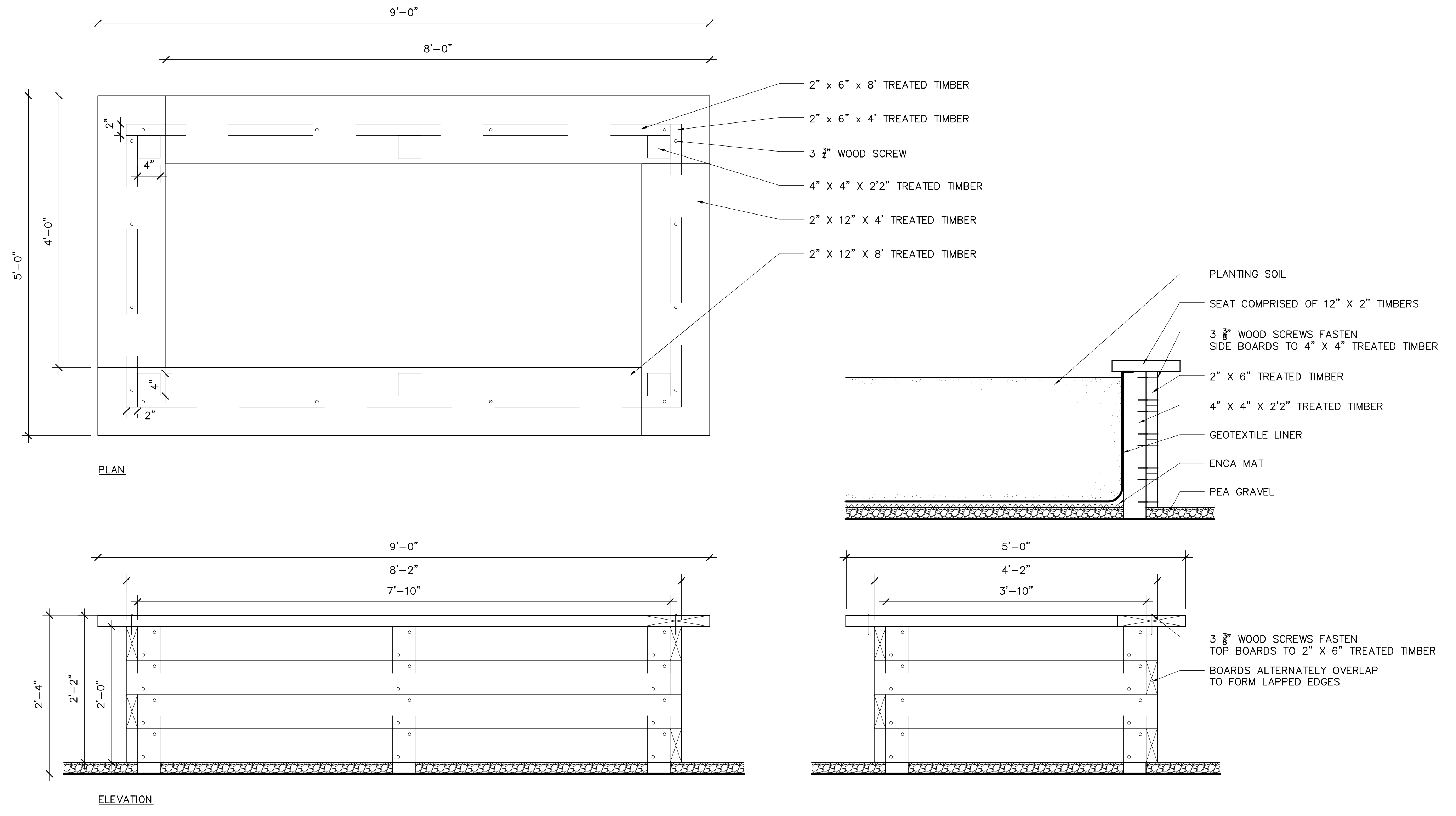
WATER SERVICE DEPTH (D)	2'-0"	2'-6"	3'-0"	3'-6"	4'-0" TO 6'-0"	MORE THAN 6'-0"
INSULATION WIDTH (W)	8'-0"	7'-0"	6'-0"	5'-0"	4'-0"	0'-0"

5 WATER SERVICE INSTALLATION  
C604 NTS



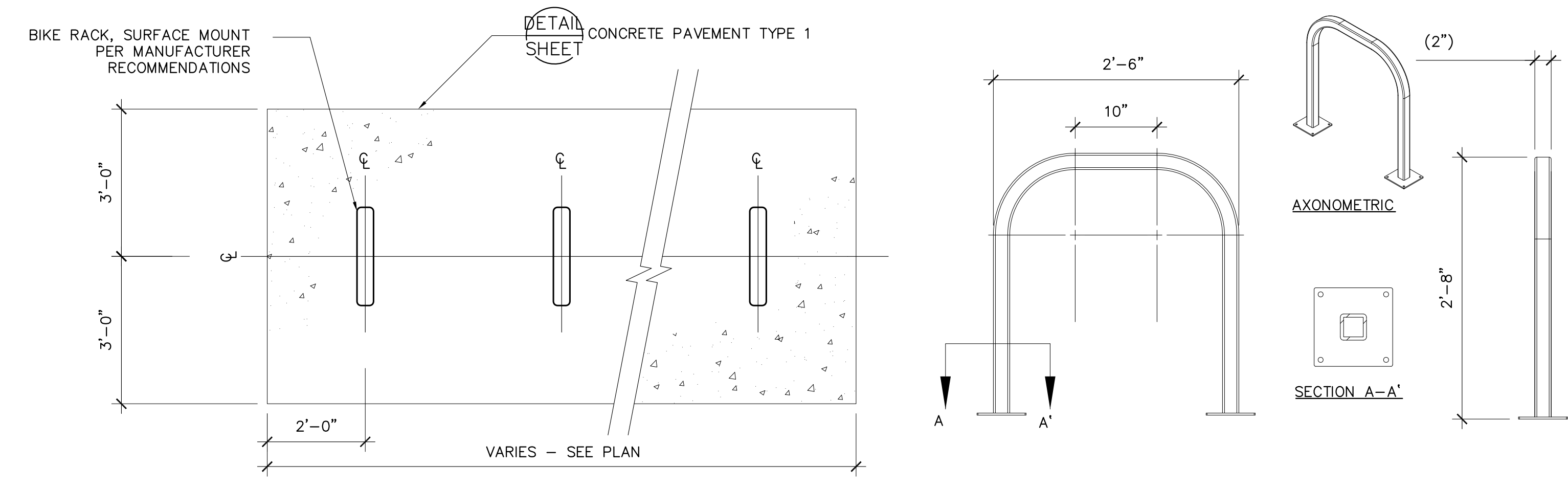
SERVICE PIPE	CURB STOP	SERVICE BOX
1"	1"	2-1/2"
1-1/2"	1-1/2"	3"
2"	2"	3"
3"	3"	3"





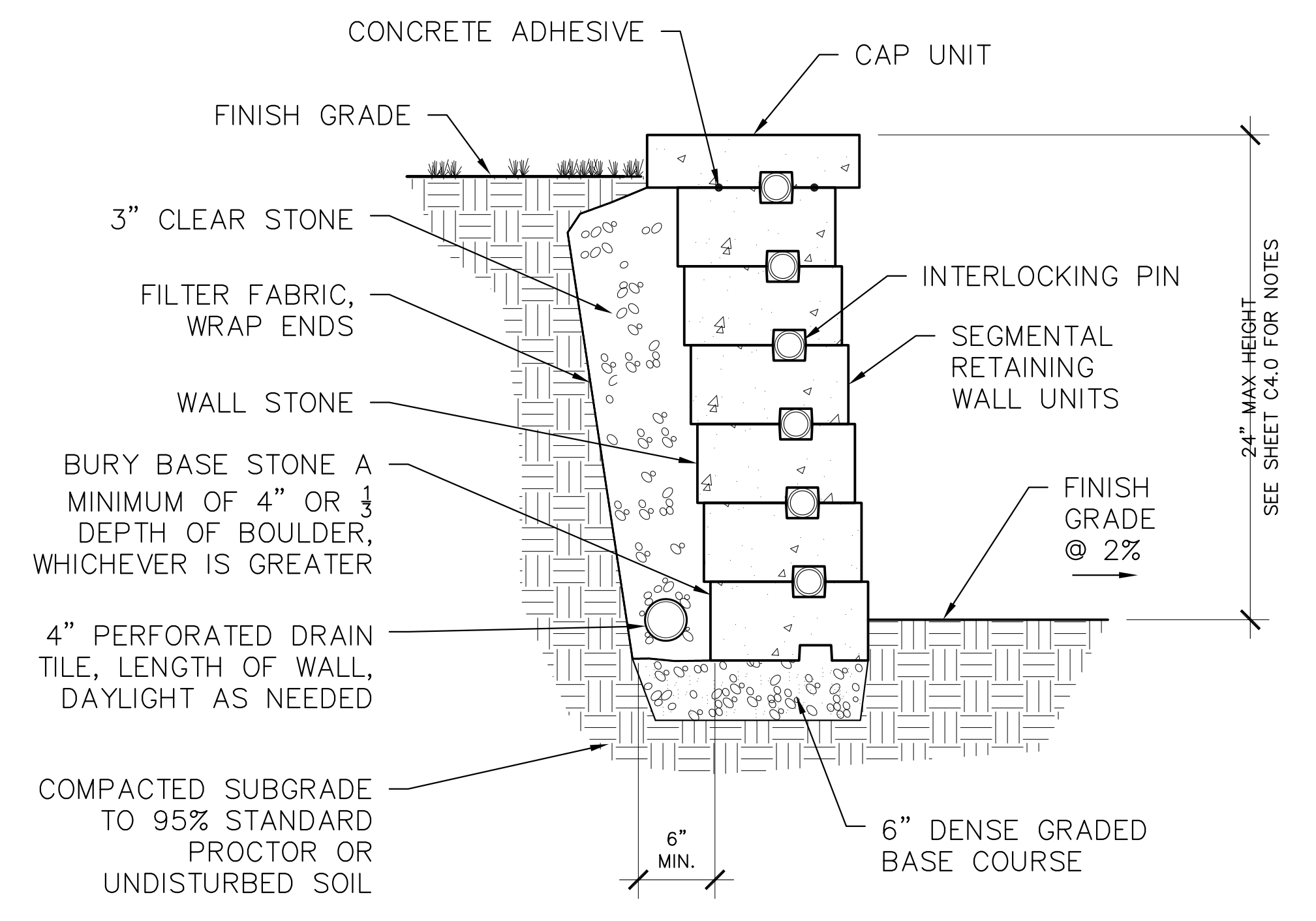
1 RAISED VEGETABLE PLANTER  
C605 AT COMMUNITY GARDEN AREA

SCALE: 1" = 1'-0"



2 BICYCLE PARKING  
C605

SCALE 1" = 1'-0"

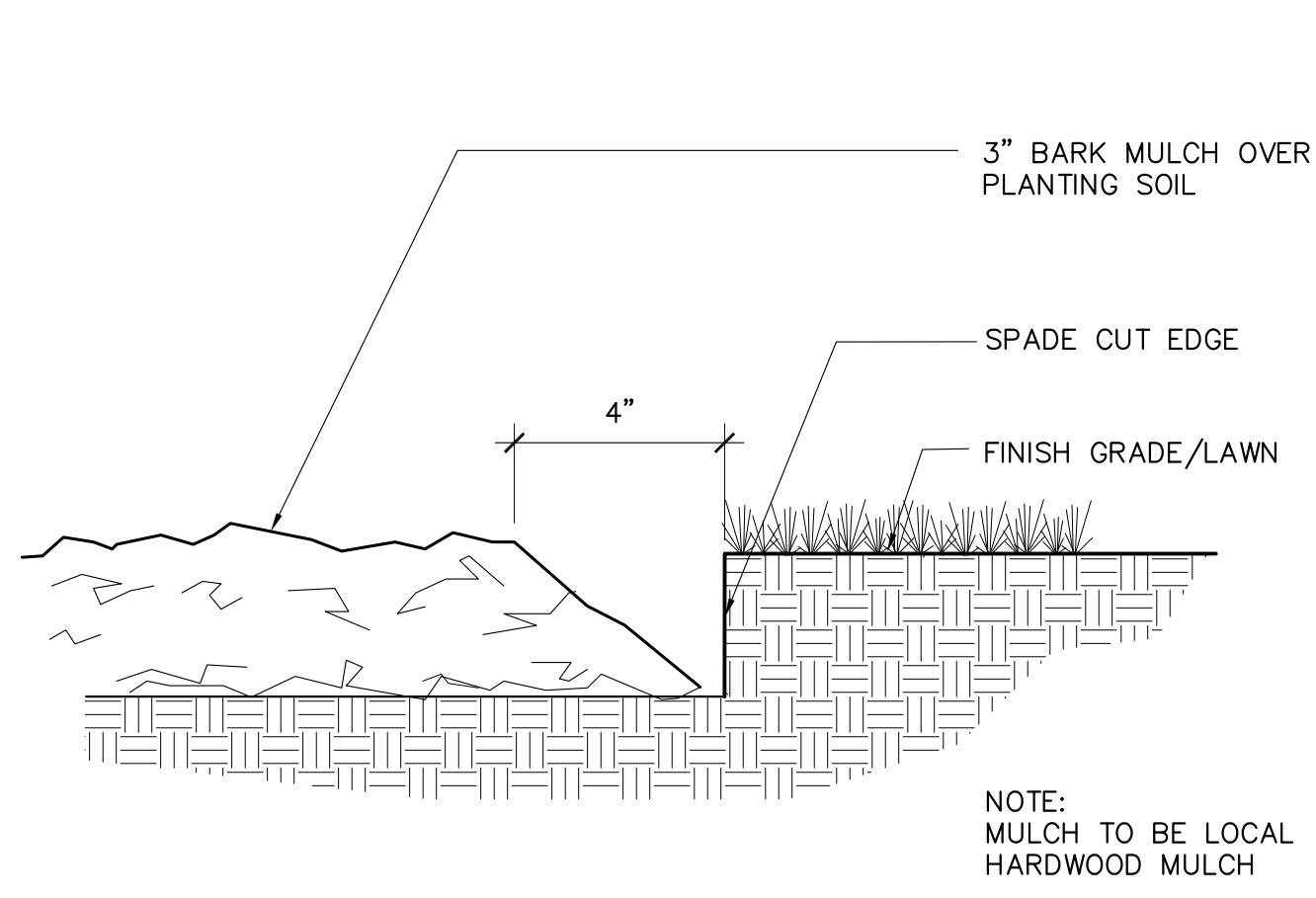


\*CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE CITY FOR APPROVAL PRIOR TO CONSTRUCTING THE WALL.

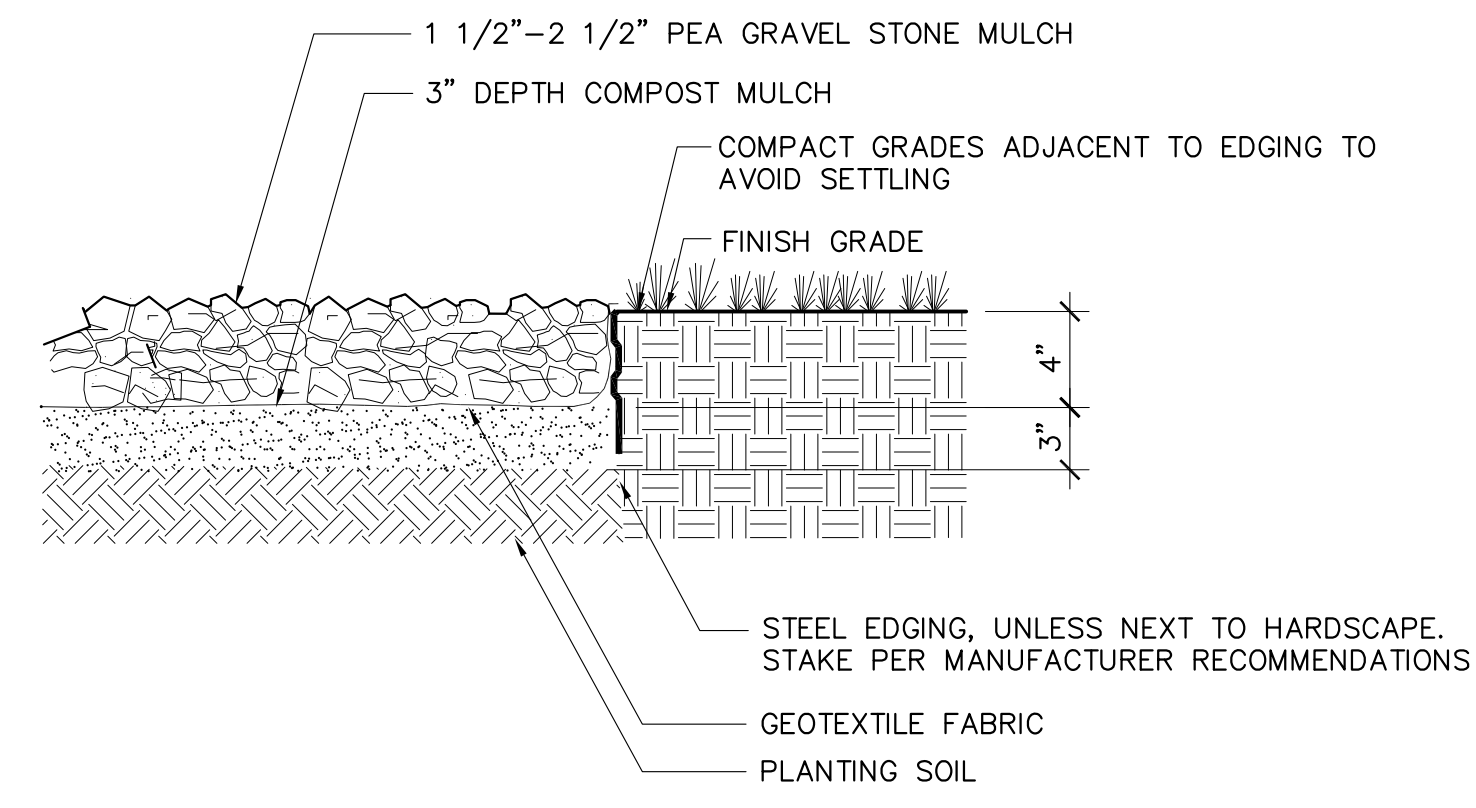
3 MODULAR BLOCK RETAINING WALL  
C605

SCALE NTS

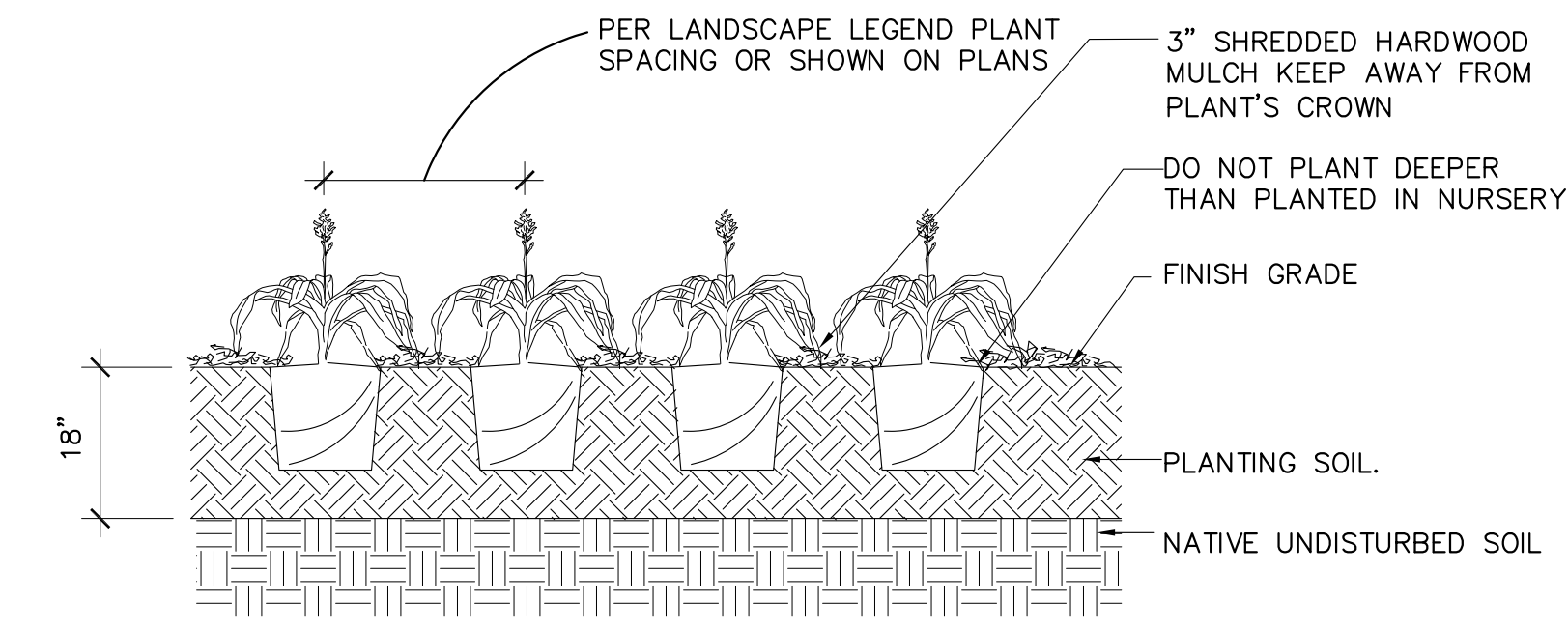




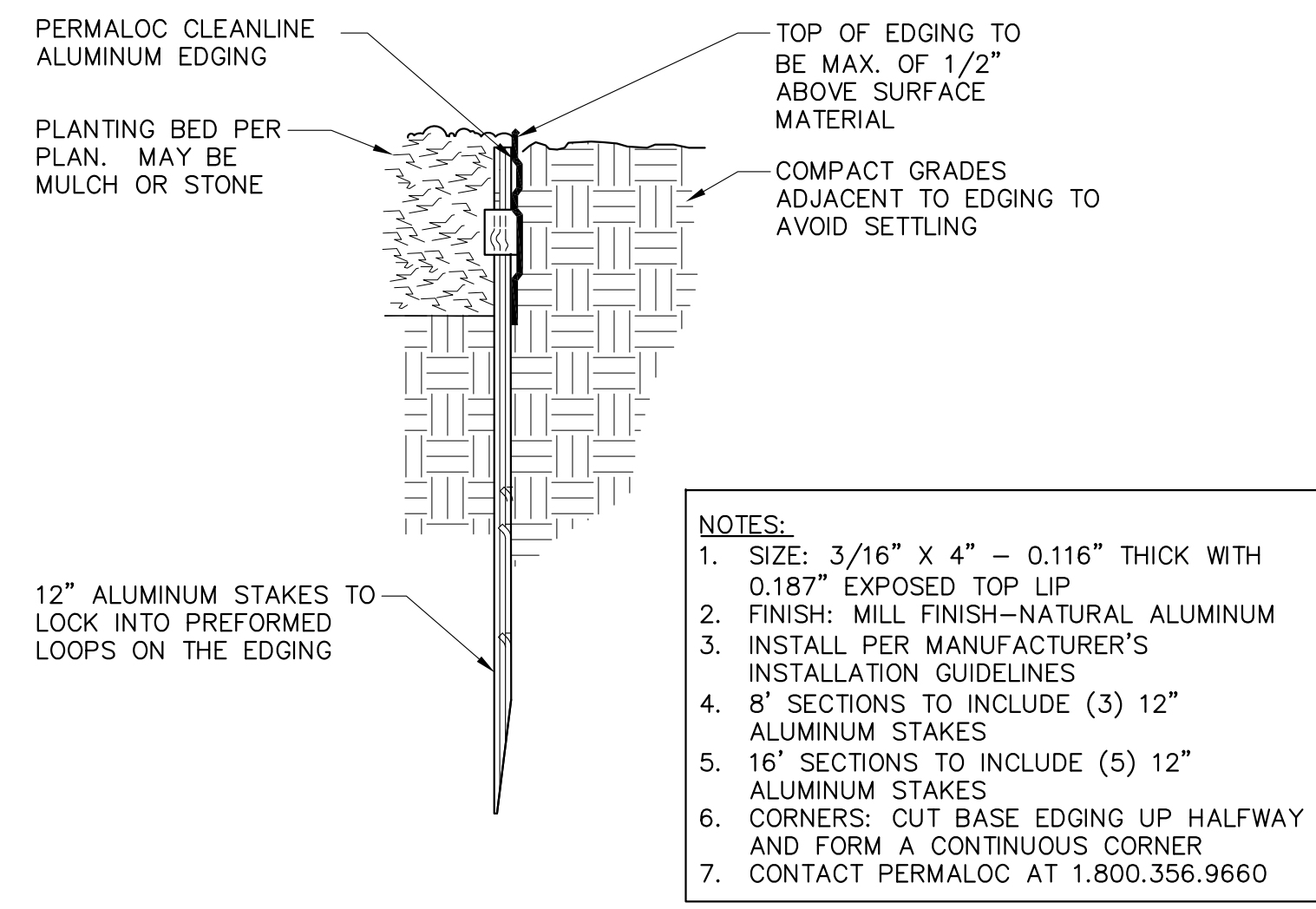
1 SHOVEL CUT EDGE  
C606 NTS



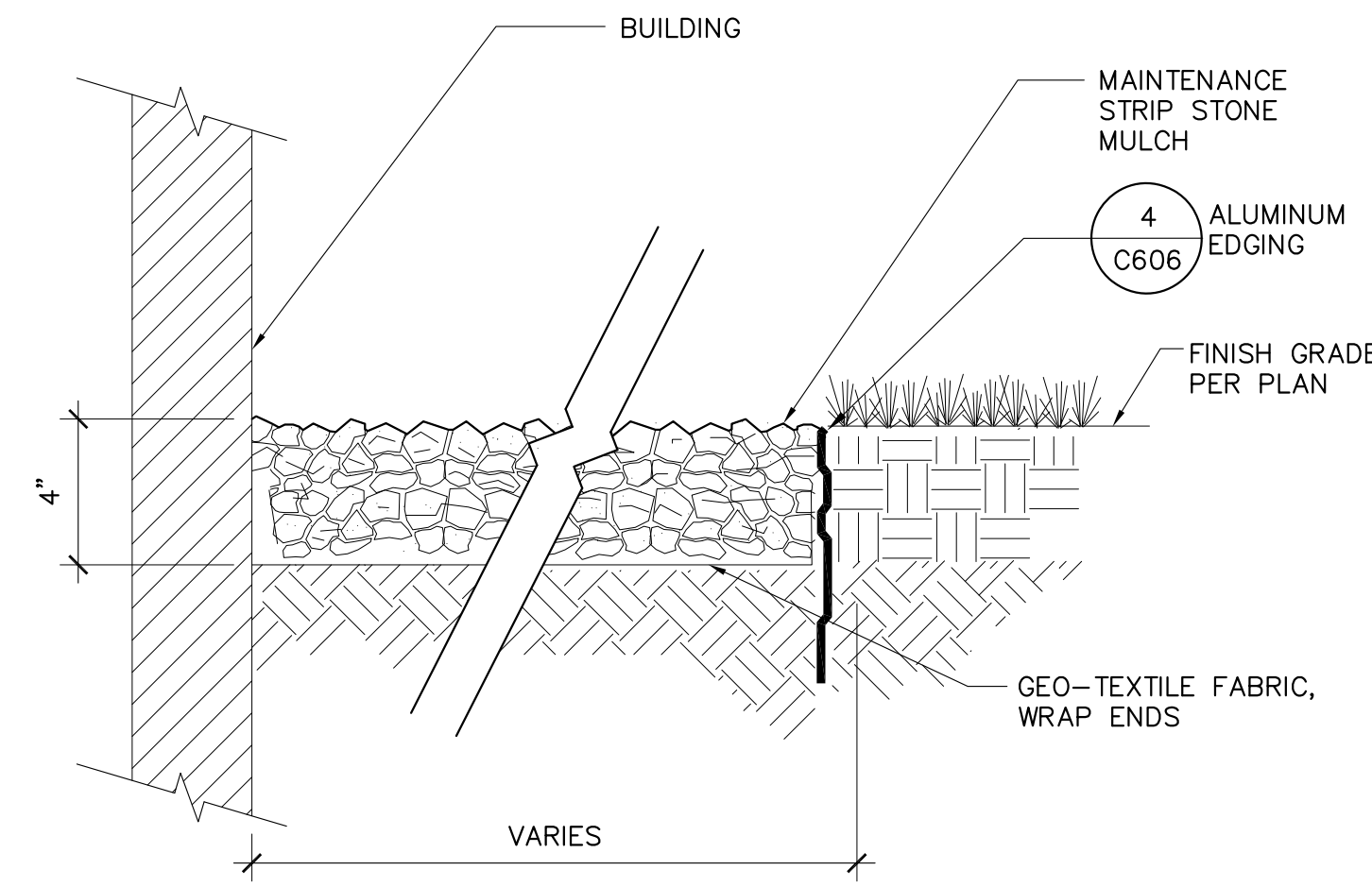
2 2 PART MULCH  
C606 SCALE 1" = 1'-0"



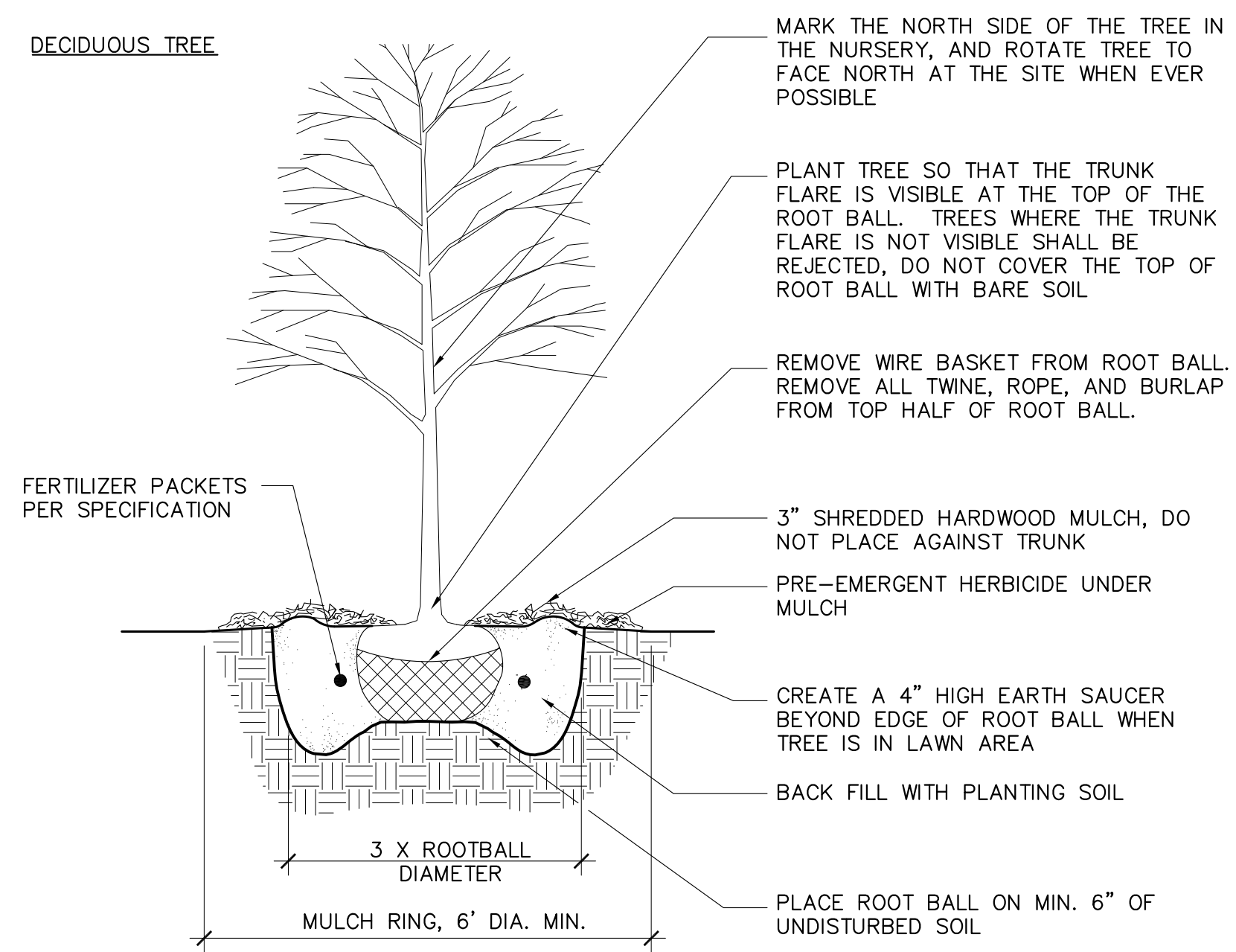
3 GROUNDCOVER/PERENNIAL/BULB PLANTING DETAIL  
C606 NTS



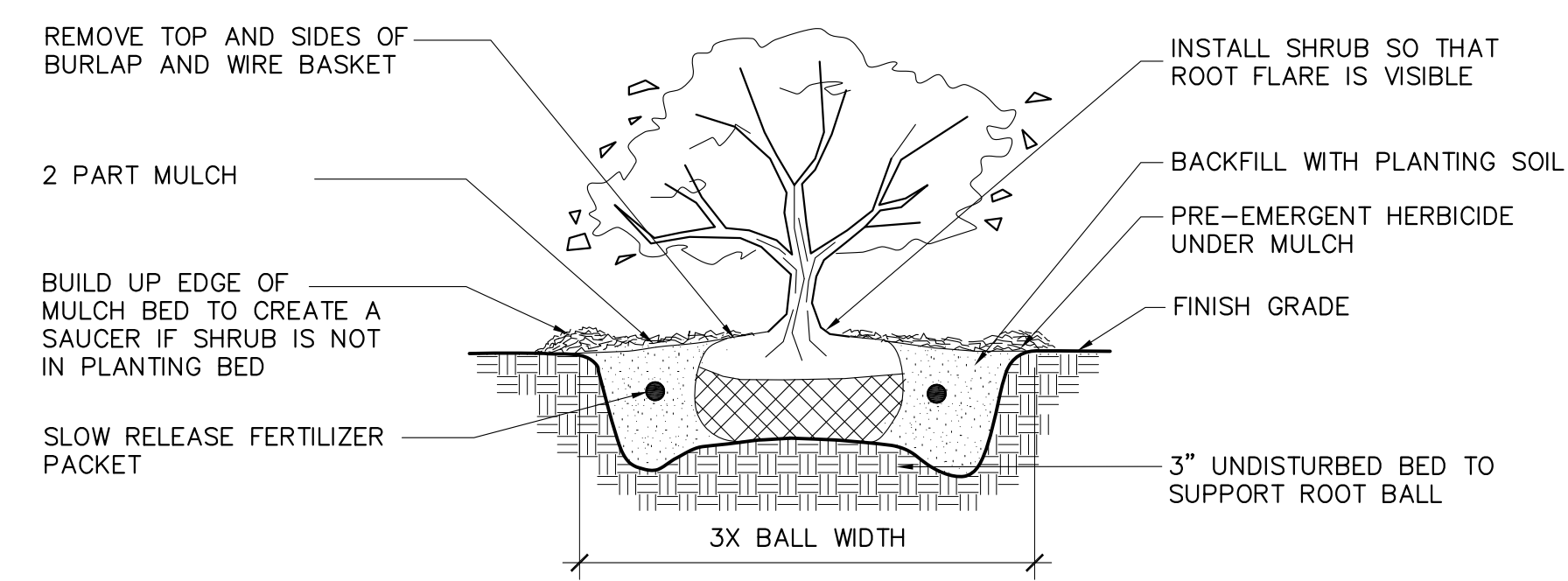
4 ALUMINUM EDGING  
C606



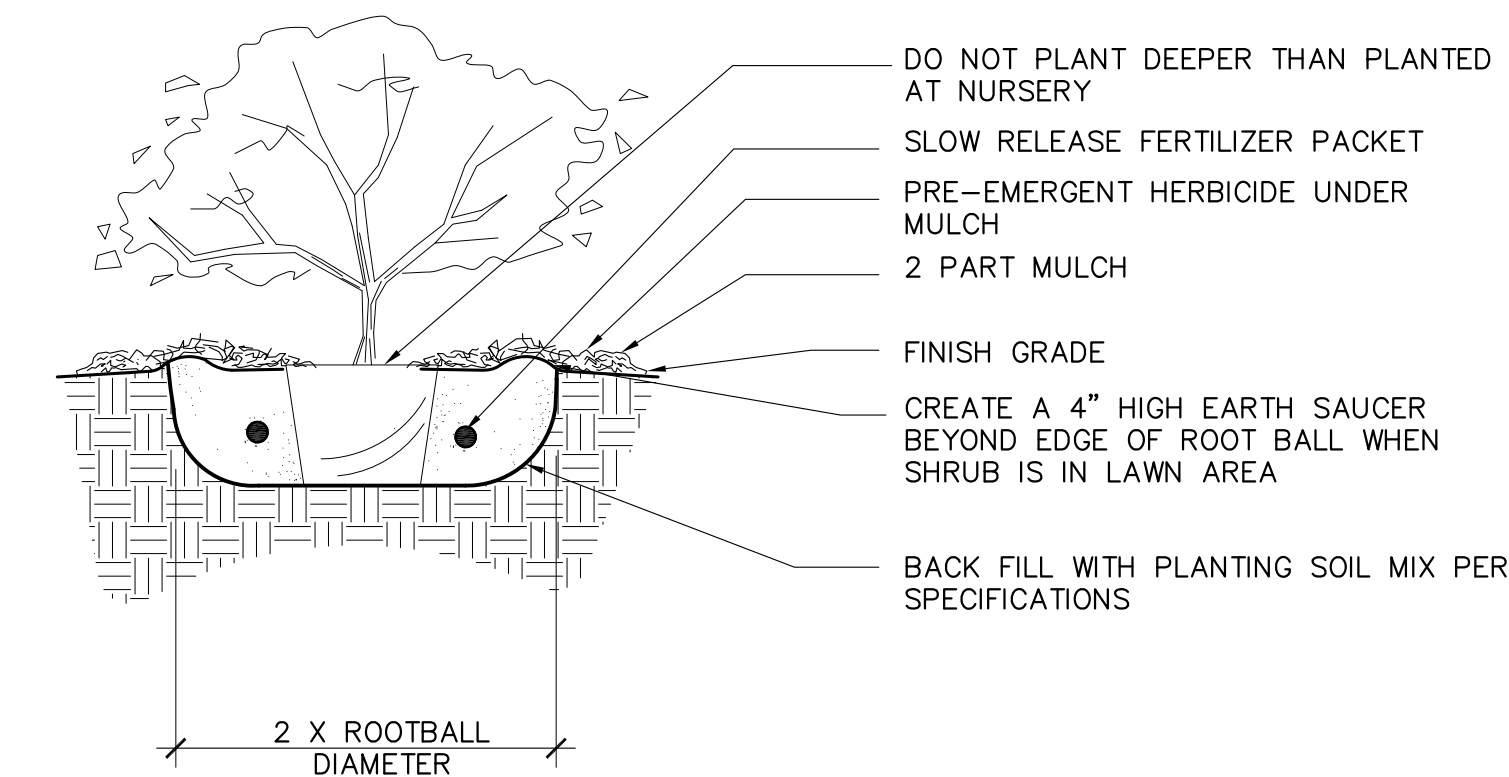
5 GRAVEL SURFACING  
C606 NTS



6 B&B TREE PLANTING DETAILS  
C606 NTS

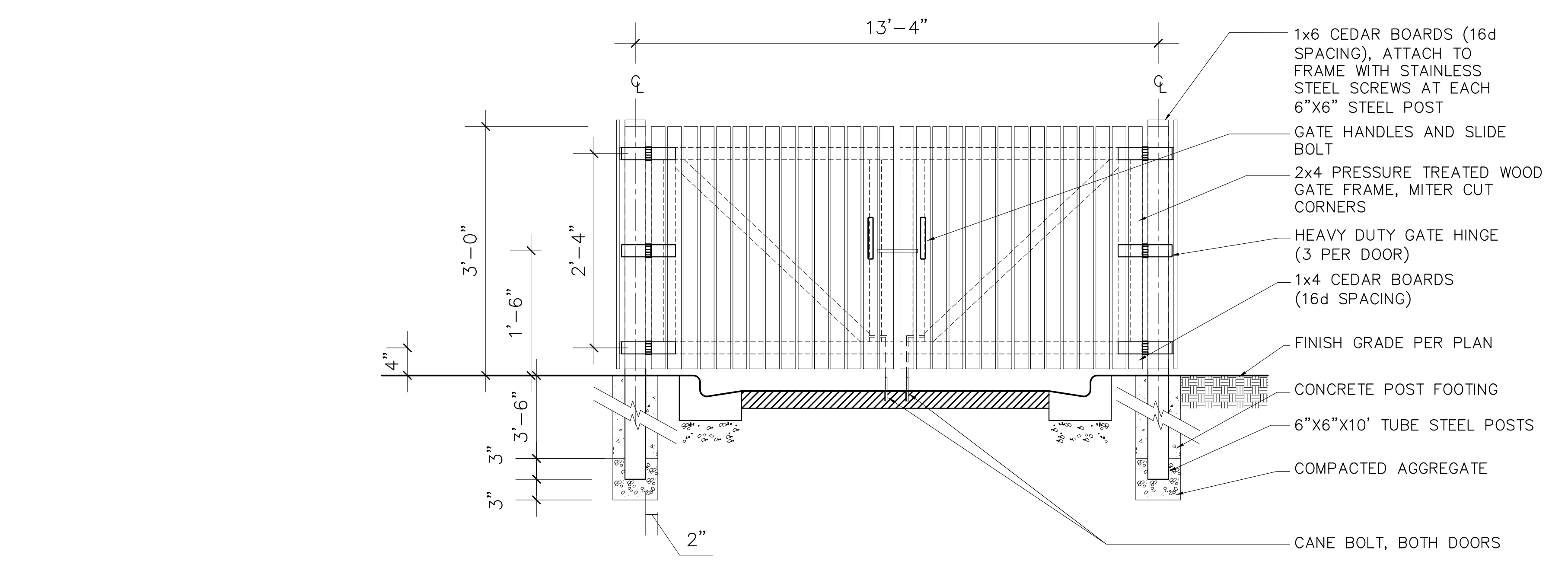
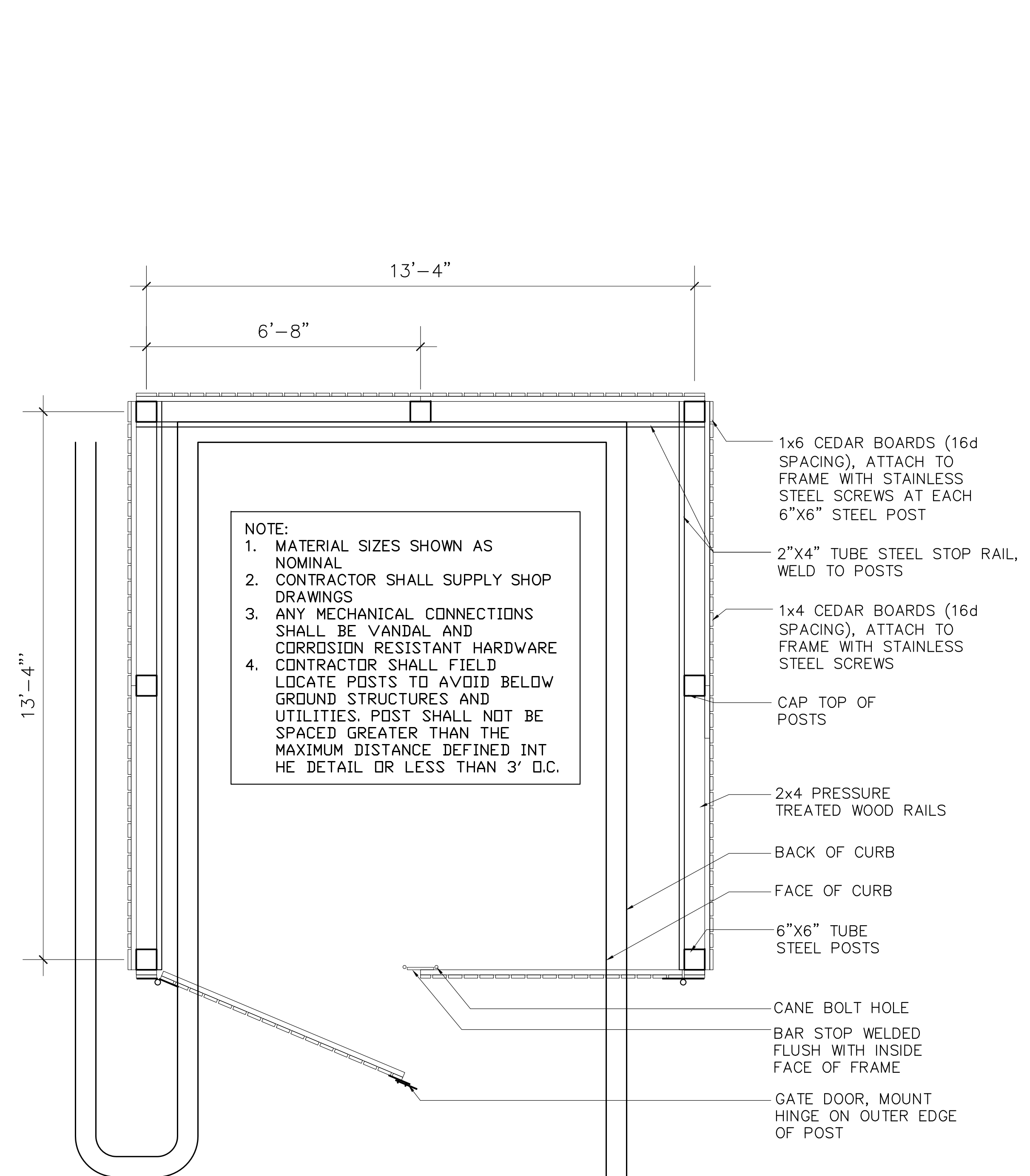


7 B&B SHRUB PLANTING DETAIL  
C606 NTS

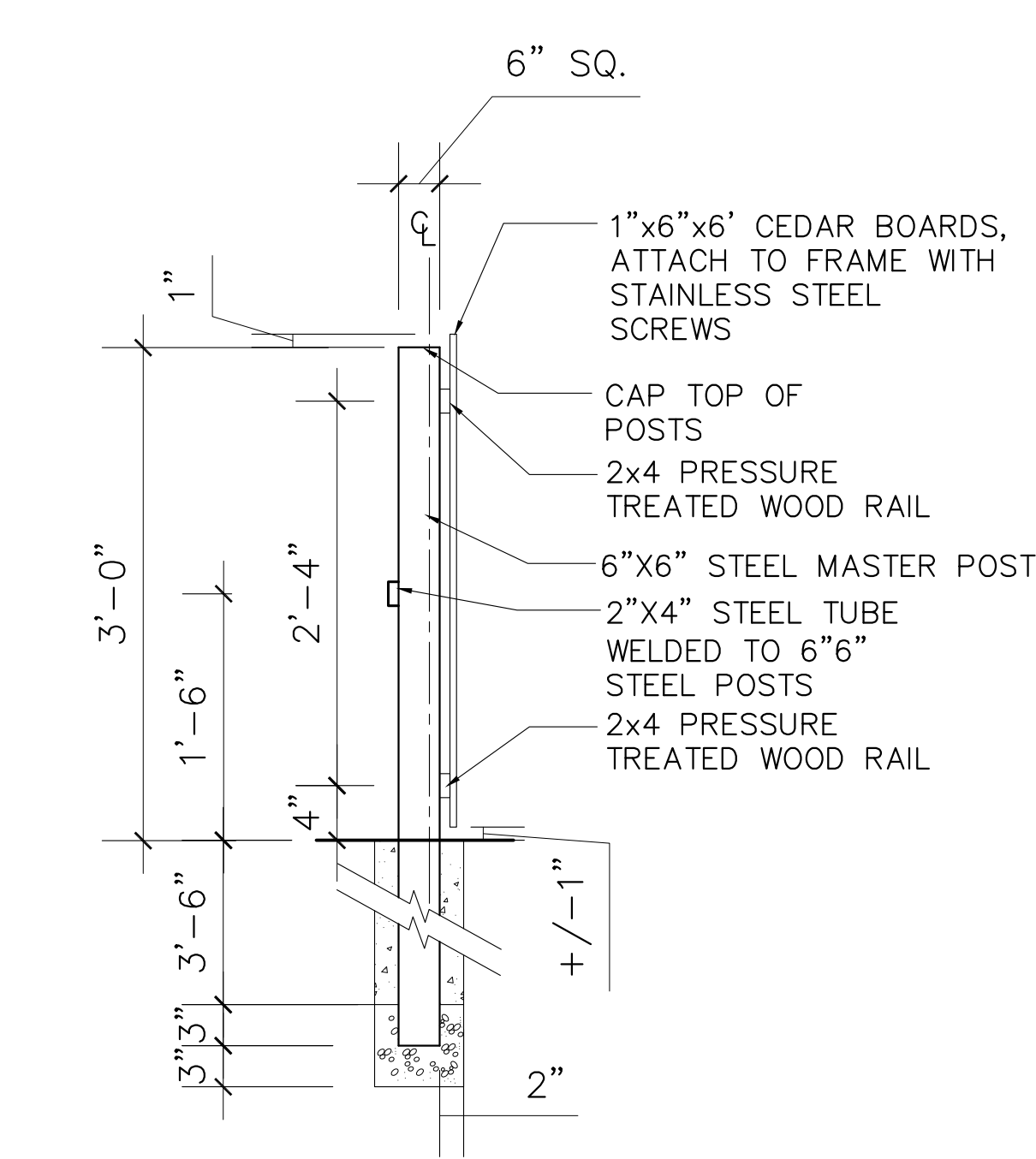


8 CONTAINER SHRUB PLANTING DETAIL  
C606 NTS

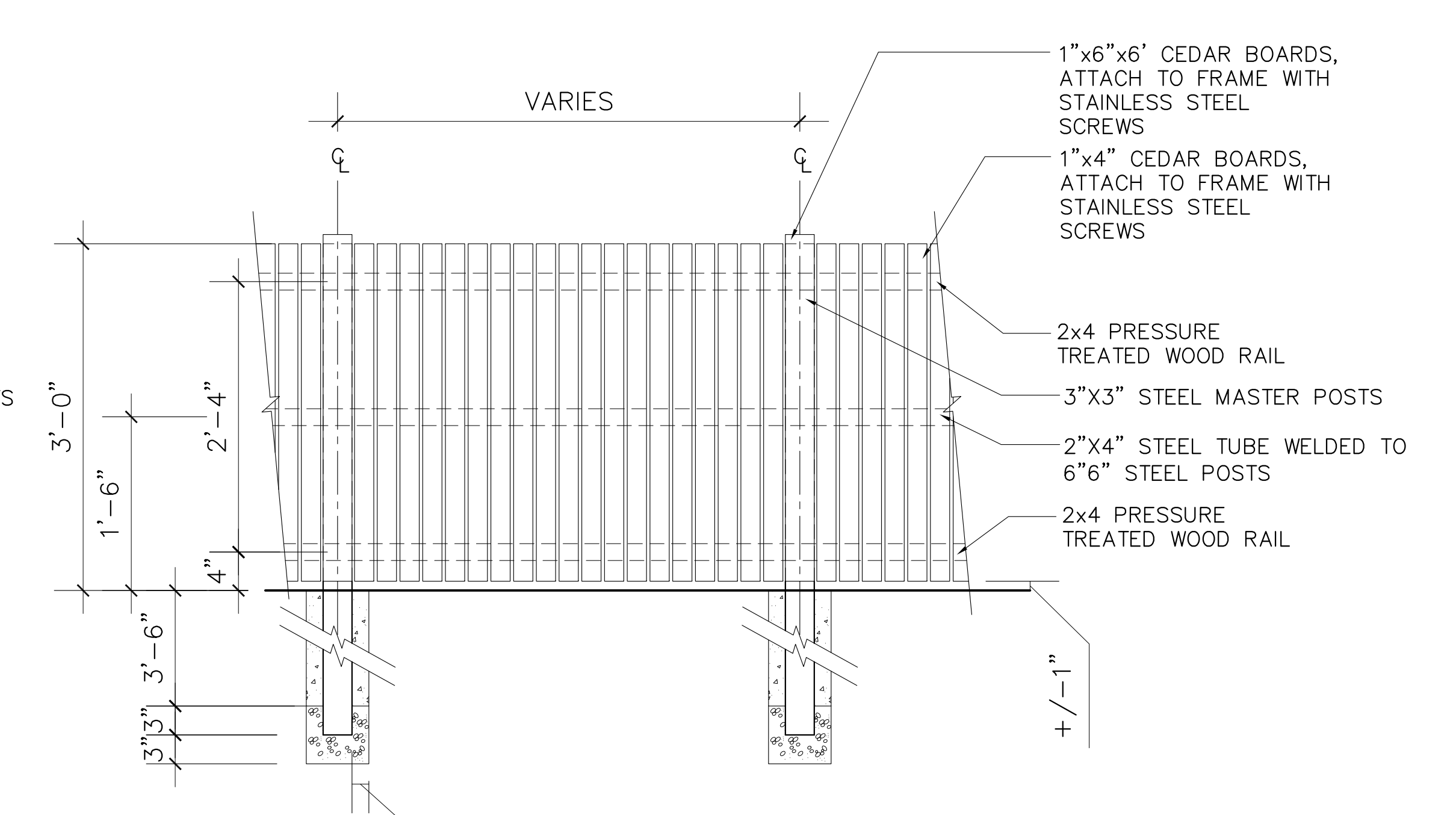




ELEVATION



SECTION

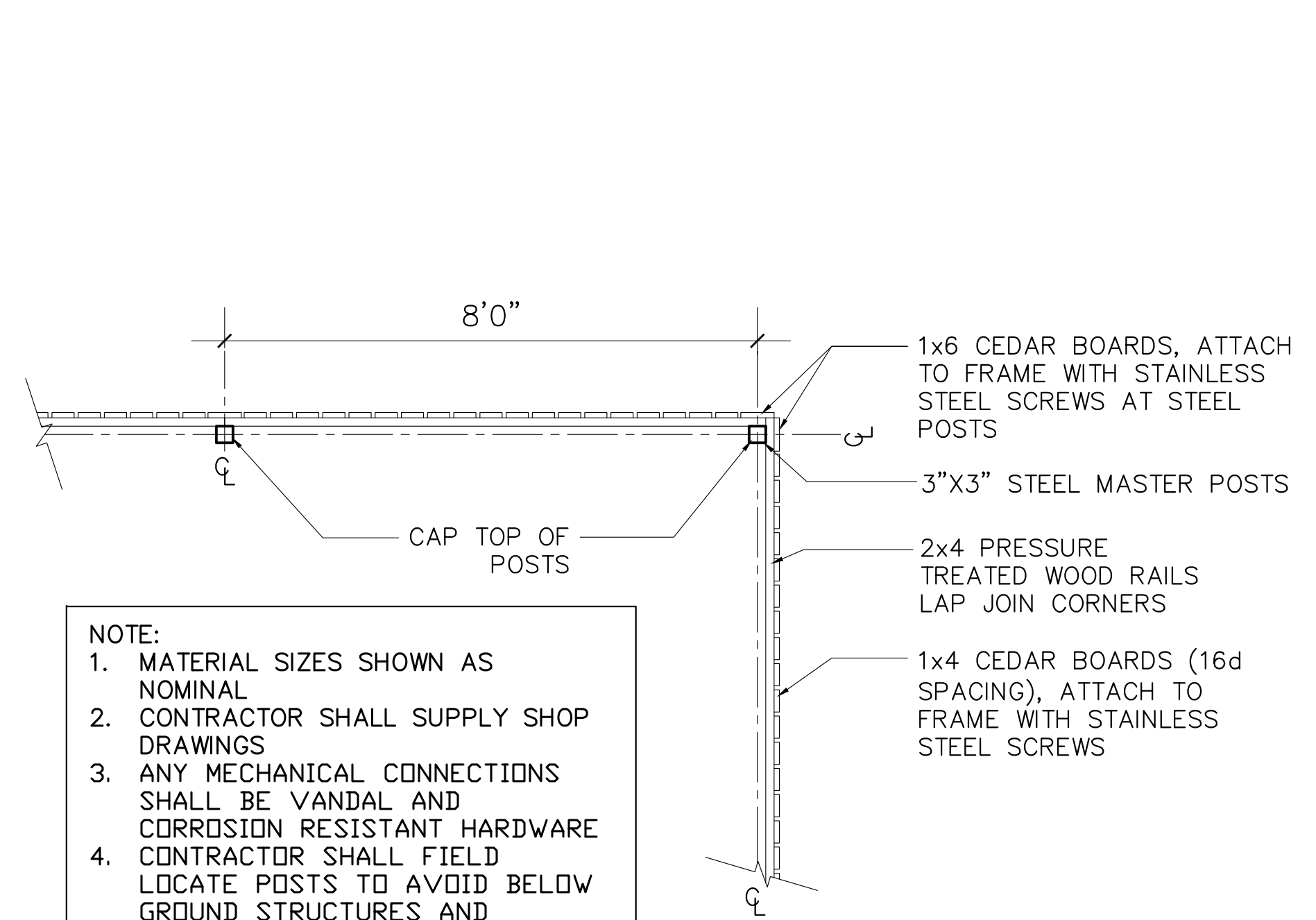


ELEVATION

PLAN

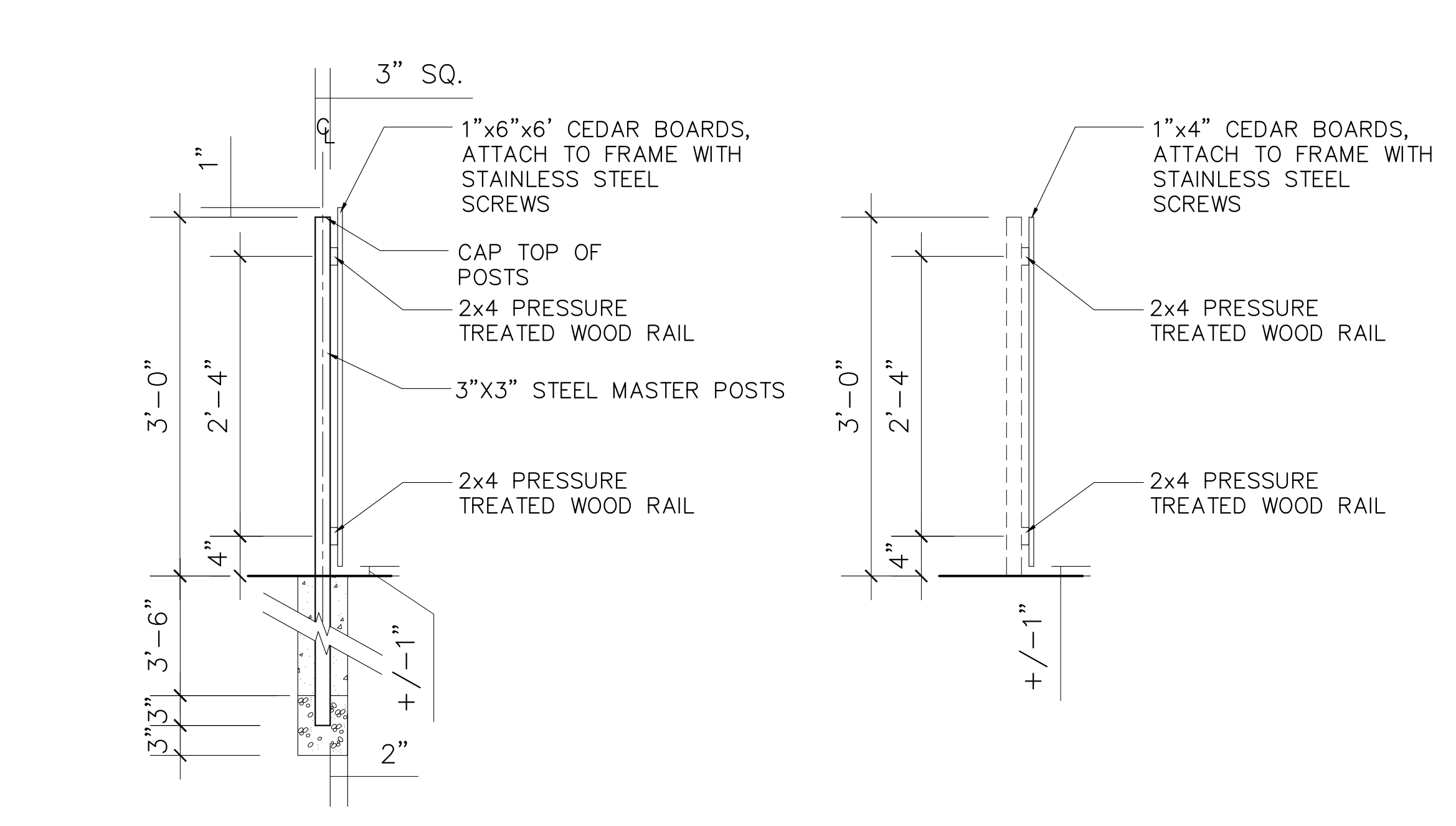
1  
 C607  
 TRANSFORMER AND DUMPSTER SCREEN FENCE

SCALE: 1/2" = 1'-0"

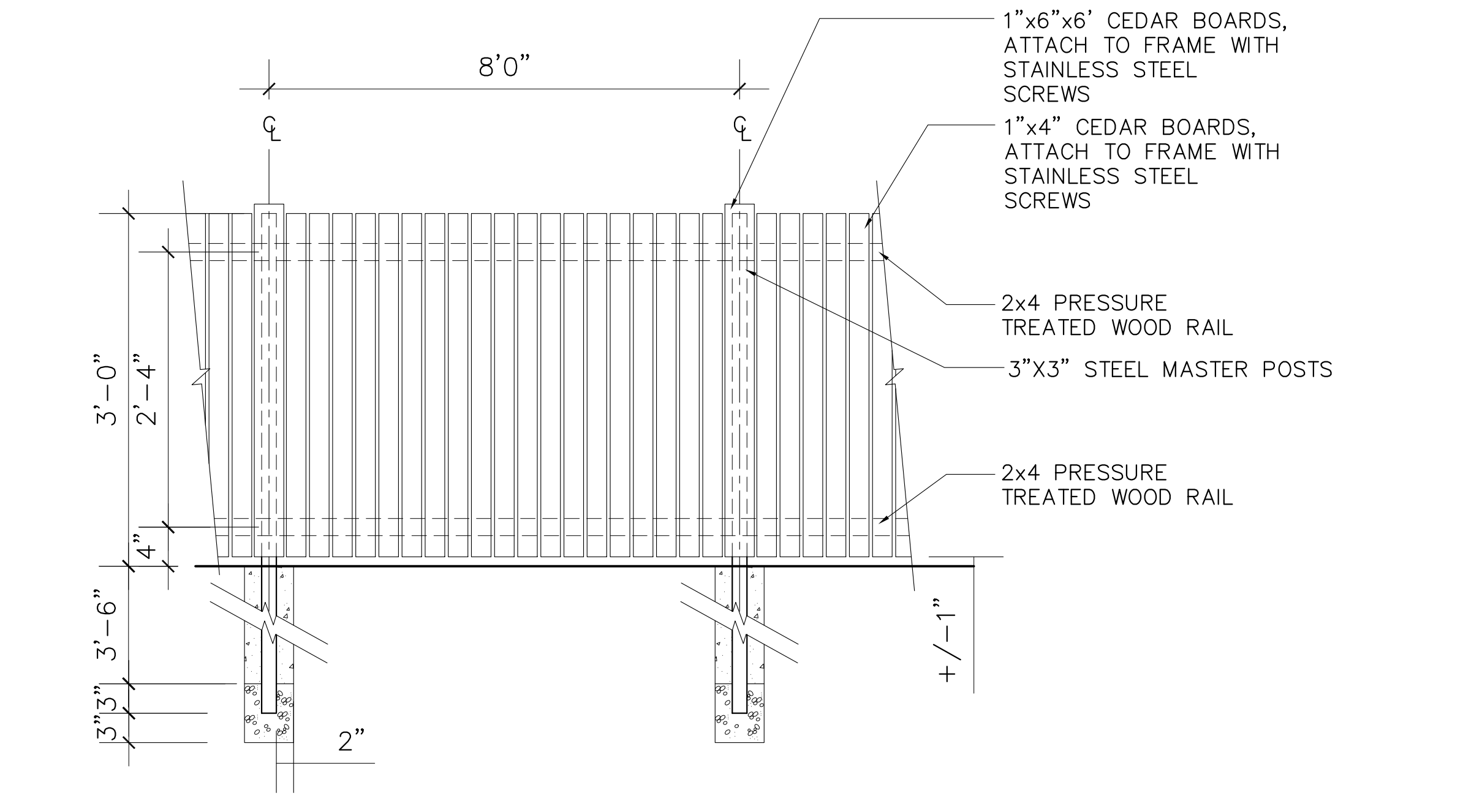


NOTE:  
 1. MATERIAL SIZES SHOWN AS NOMINAL  
 2. CONTRACTOR SHALL SUPPLY SHOP DRAWINGS  
 3. ANY MECHANICAL CONNECTIONS SHALL BE VANDAL AND CORROSION RESISTANT HARDWARE  
 4. CONTRACTOR SHALL FIELD LOCATE POSTS TO AVOID BELOW GROUND STRUCTURES AND UTILITIES. POST SHALL NOT BE SPACED GREATER THAN THE MAXIMUM DISTANCE DEFINED IN THE DETAIL OR LESS THAN 3' O.C.

PLAN



SECTION



ELEVATION

2  
 C607  
 6' PRIVACY FENCE

SCALE: 1/2" = 1'-0"

# MADISON SUPPORTIVE HOUSING PROJECT

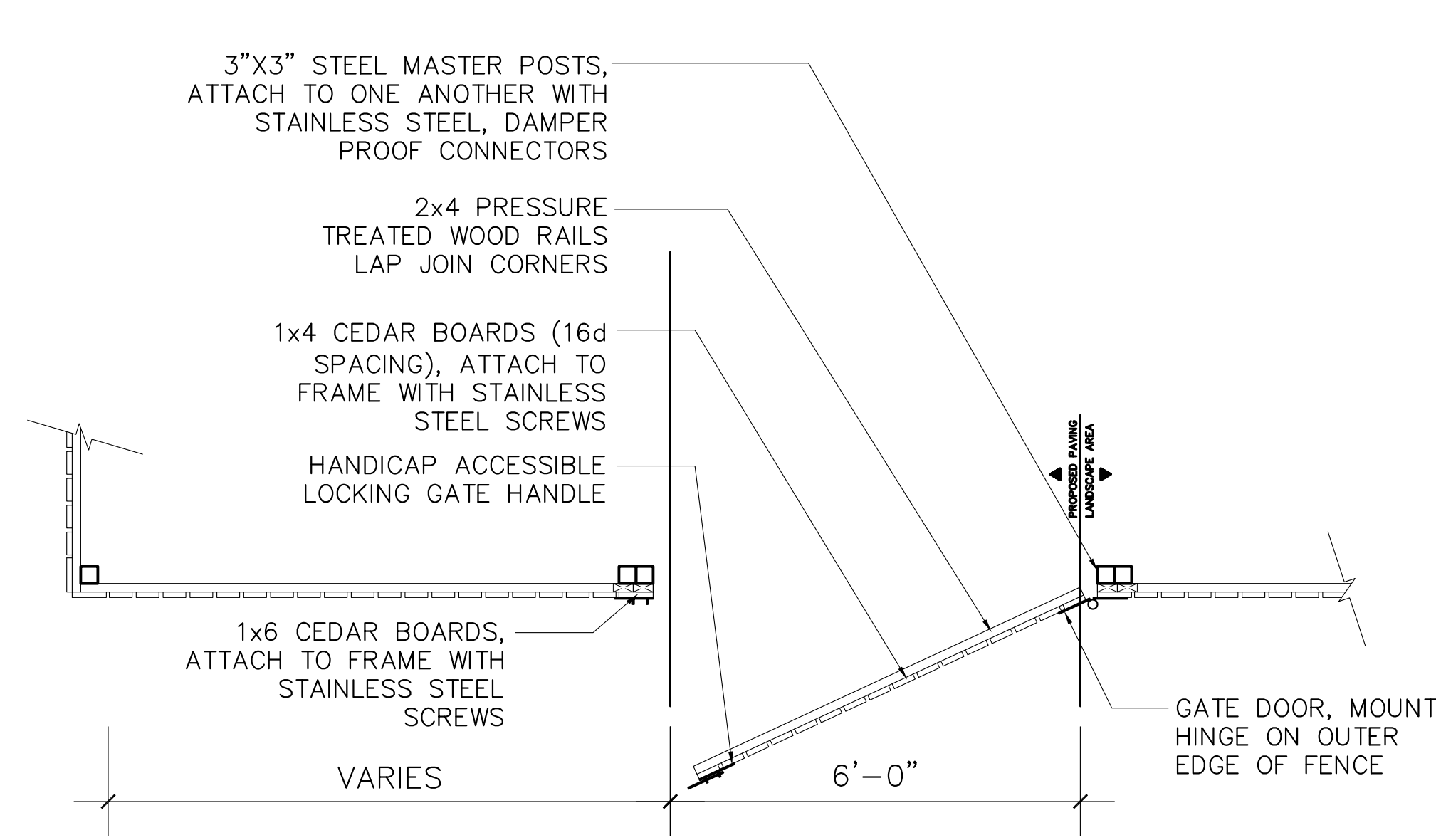
DETAILS

## C607

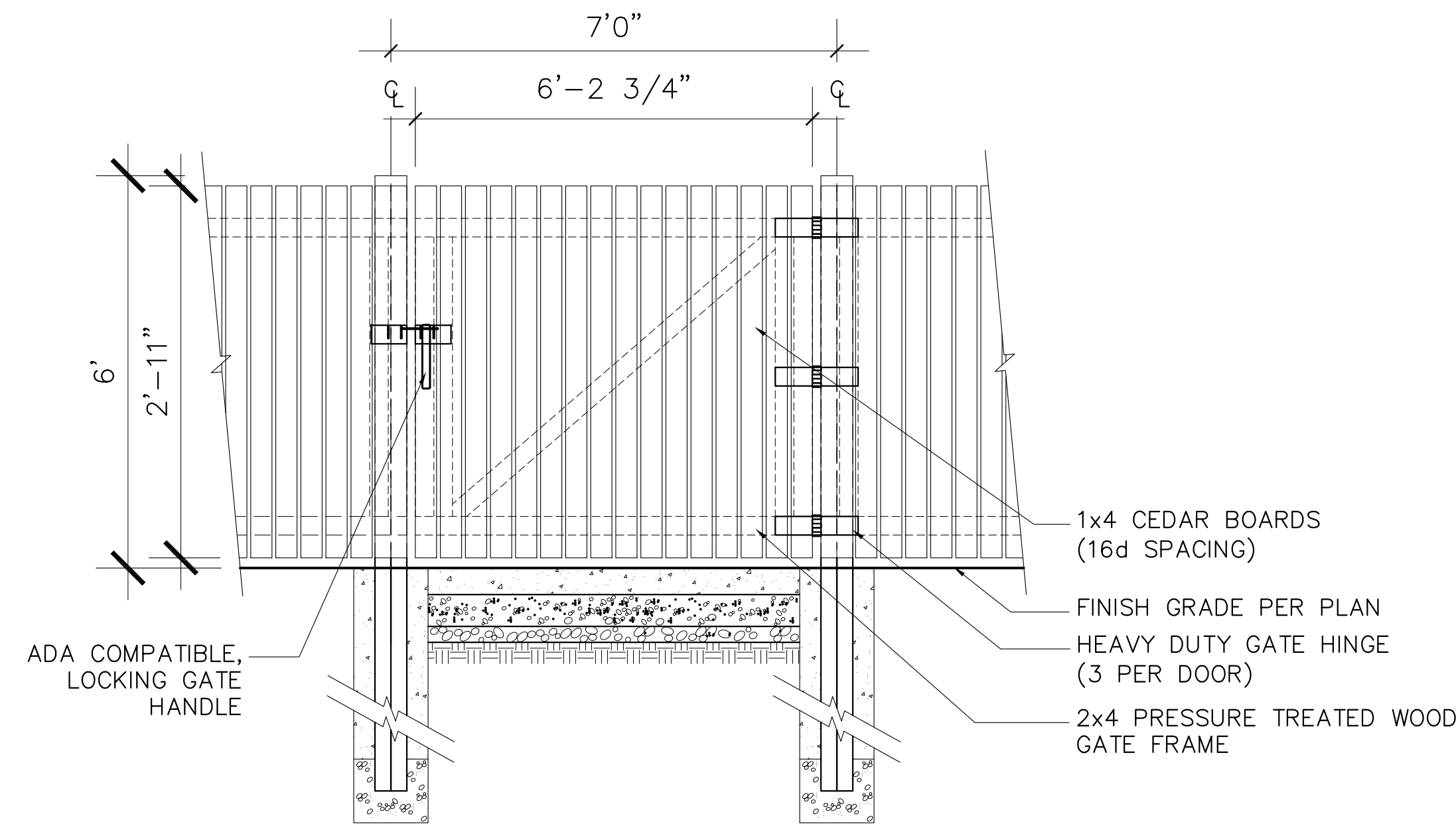
OCTOBER 27, 2014  
 Engberg Anderson Project No. 142324.01







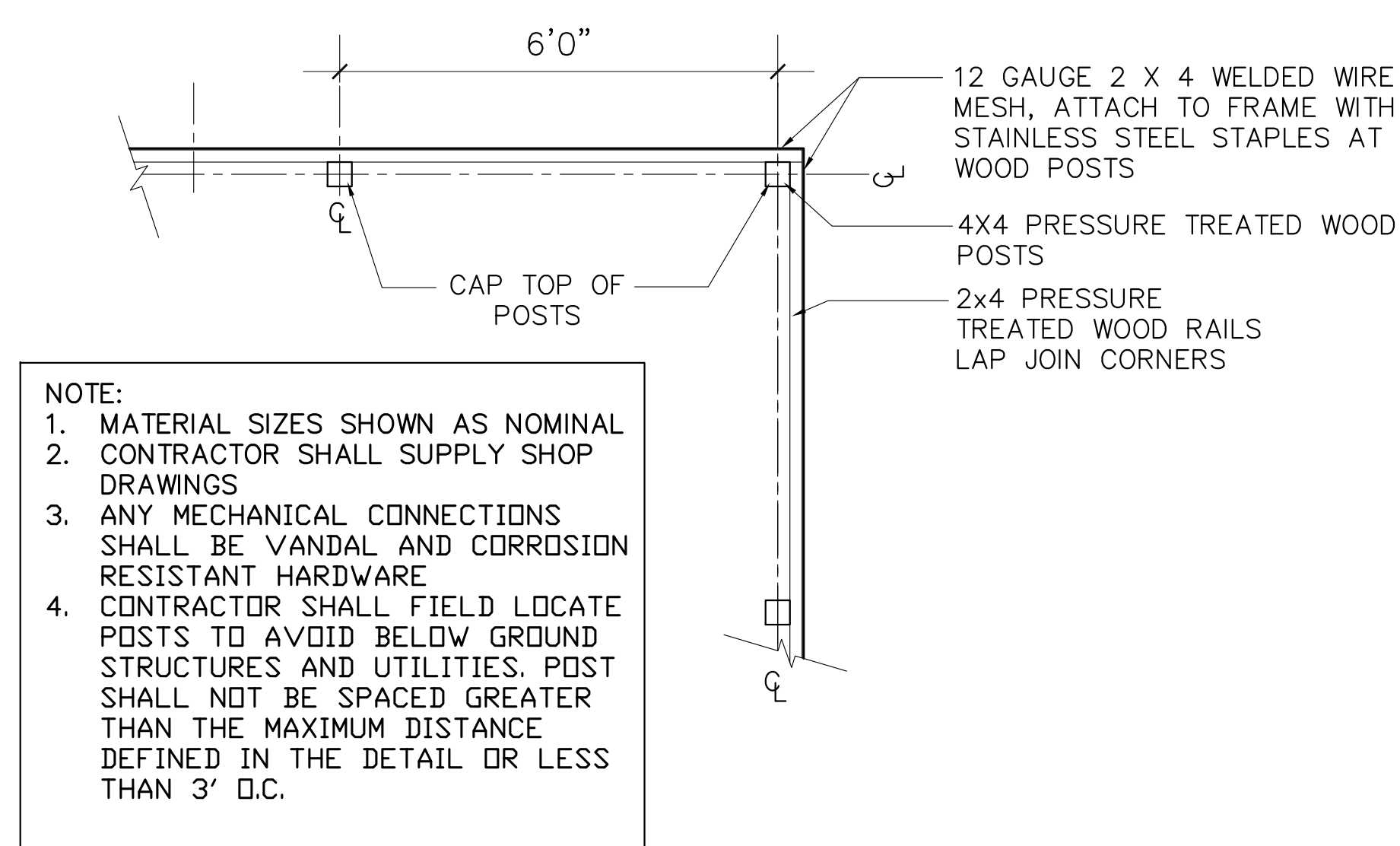
PLAN



ELEVATION

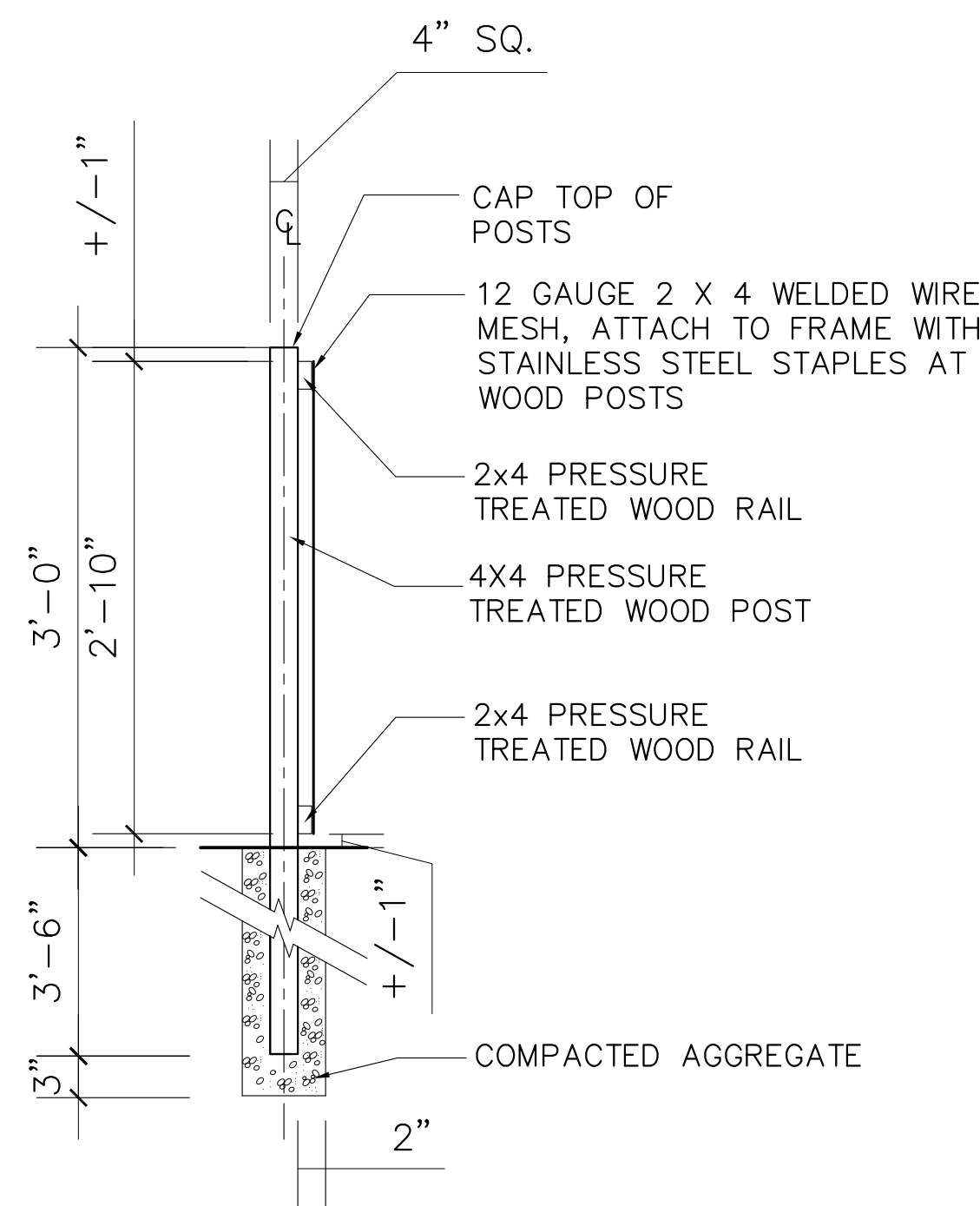
1  
C608 6' PRIVACY FENCE GATE

SCALE: 1/2" = 1'-0"

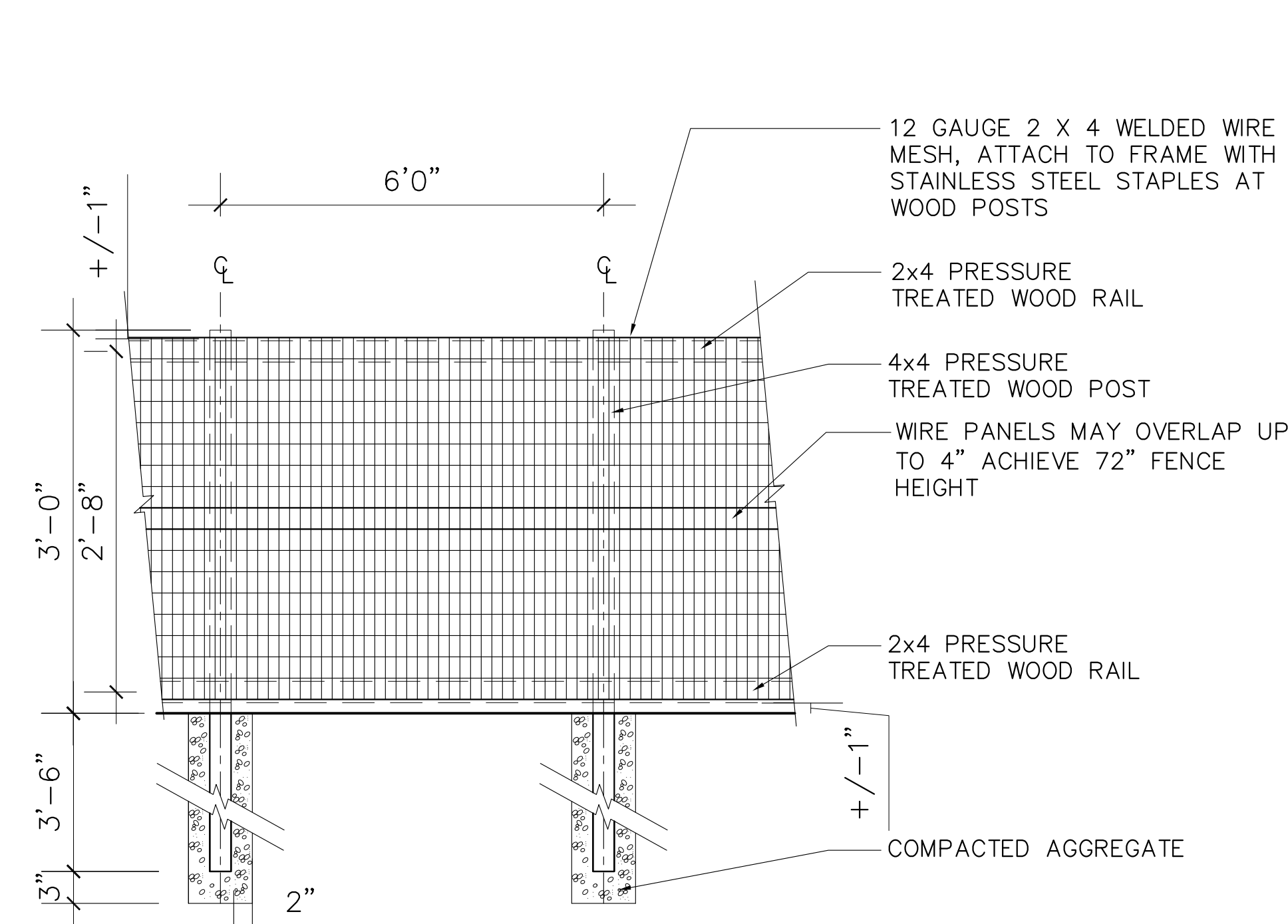


NOTE:  
1. MATERIAL SIZES SHOWN AS NOMINAL  
2. CONTRACTOR SHALL SUPPLY SHOP DRAWINGS  
3. ANY MECHANICAL CONNECTIONS SHALL BE VANDAL AND CORROSION RESISTANT HARDWARE  
4. CONTRACTOR SHALL FIELD LOCATE POSTS TO AVOID BELOW GROUND STRUCTURES AND UTILITIES. POST SHALL NOT BE SPACED GREATER THAN THE MAXIMUM DISTANCE DEFINED IN THE DETAIL OR LESS THAN 3' O.C.

PLAN



SECTION

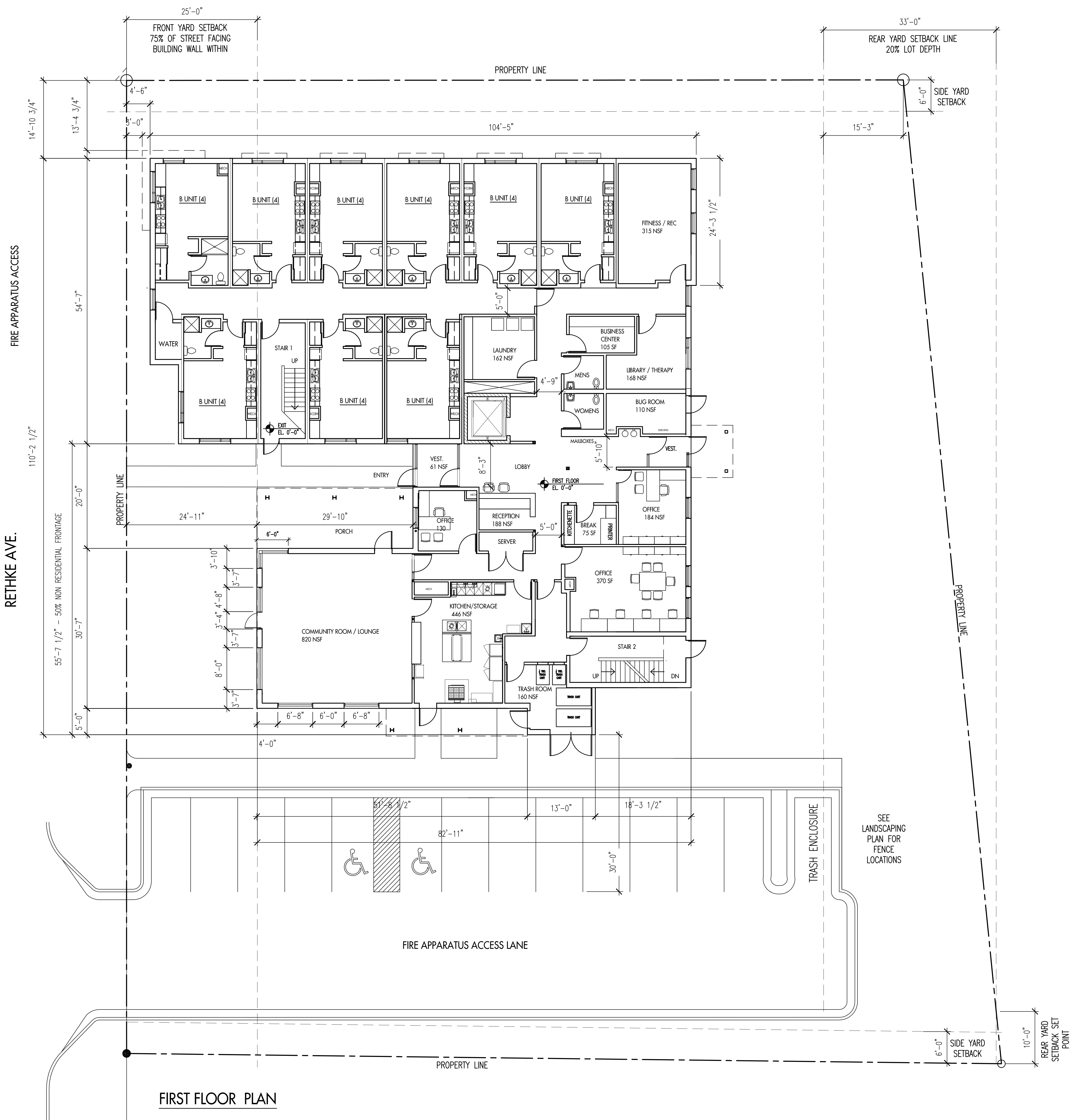


ELEVATION

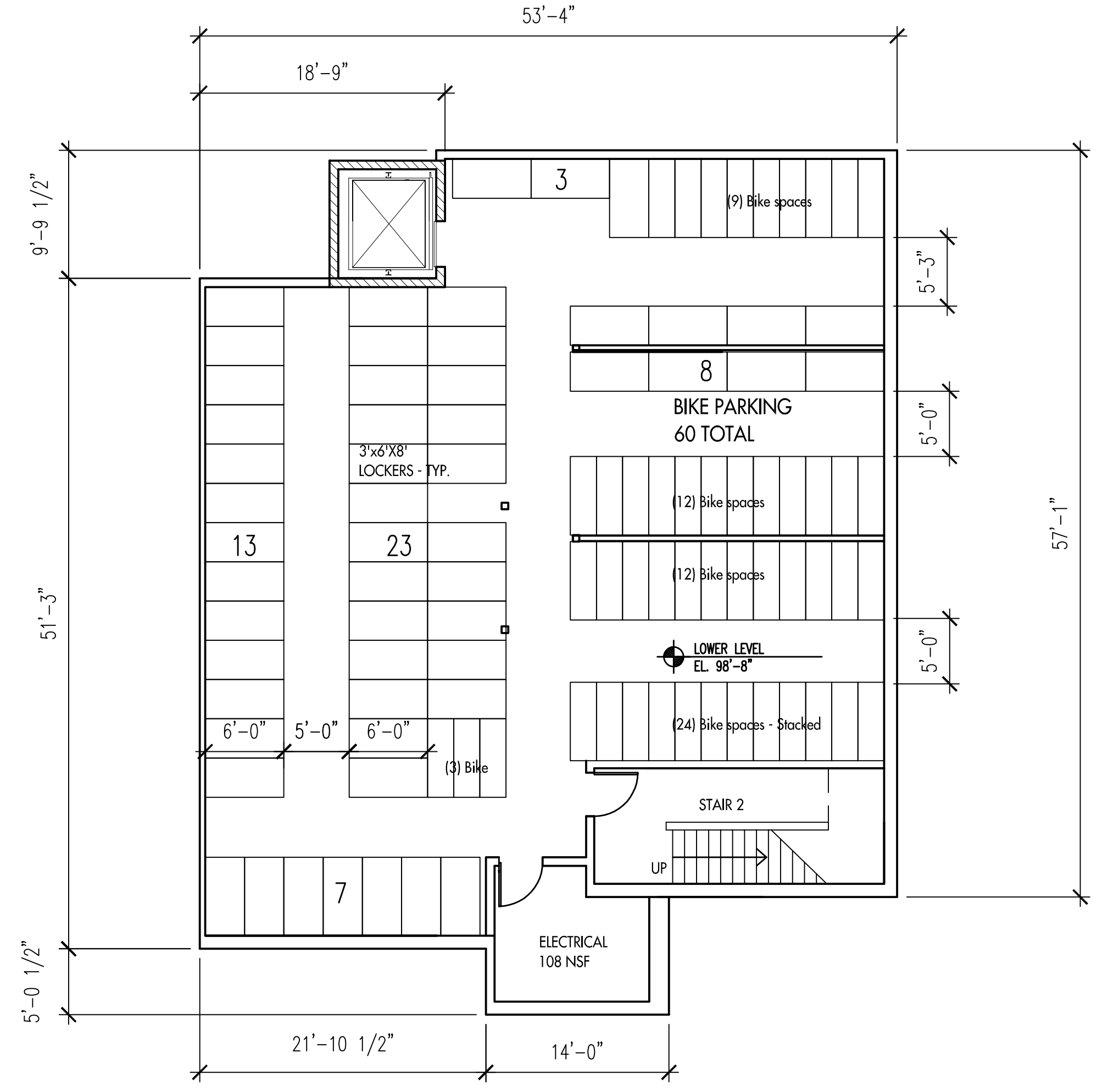
2  
C608 CHICKEN FENCING AND GATE DETAIL

SCALE: 1/2" = 1'-0"





FIRST FLOOR PLAN



LOWER LEVEL PLAN

ZONING: COMMERCIAL CORRIDOR TRANSITIONAL DISTRICT (CC-T)

BUILDING AREA:

LOWER LEVEL :	3,147 SQFT
FIRST FLOOR (RESIDENTIAL):	3,973 SQFT
FIRST FLOOR (NON-RESIDENTIAL) :	5,209 SQFT (56%)
SECOND FLOOR :	8,316 SQFT
THIRD FLOOR :	8,316 SQFT
FOURTH FLOOR :	8,316 SQFT
TOTAL:	37,277 SQFT

BUILDING STORIES: 4 (5 ALLOWED)

BUILDING HEIGHT: 43'-6" (68'-0" ALLOWED)  
49'-6" (T.O. MECH SCREEN)

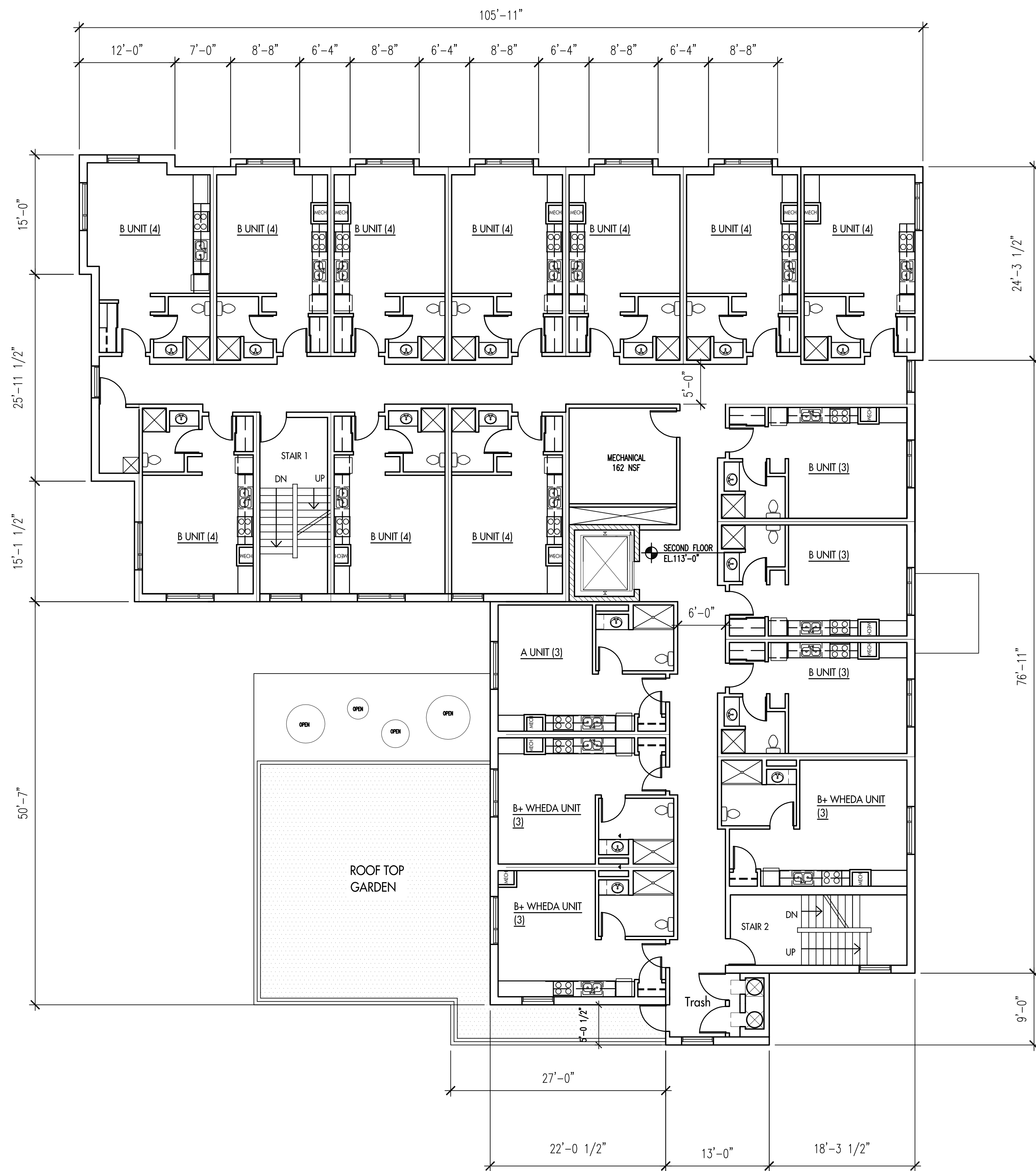
LOT COVERAGE: 31% (85% ALLOWED)

OFF STREET PARKING: 13 STALLS TOTAL (2 HANDICAP)

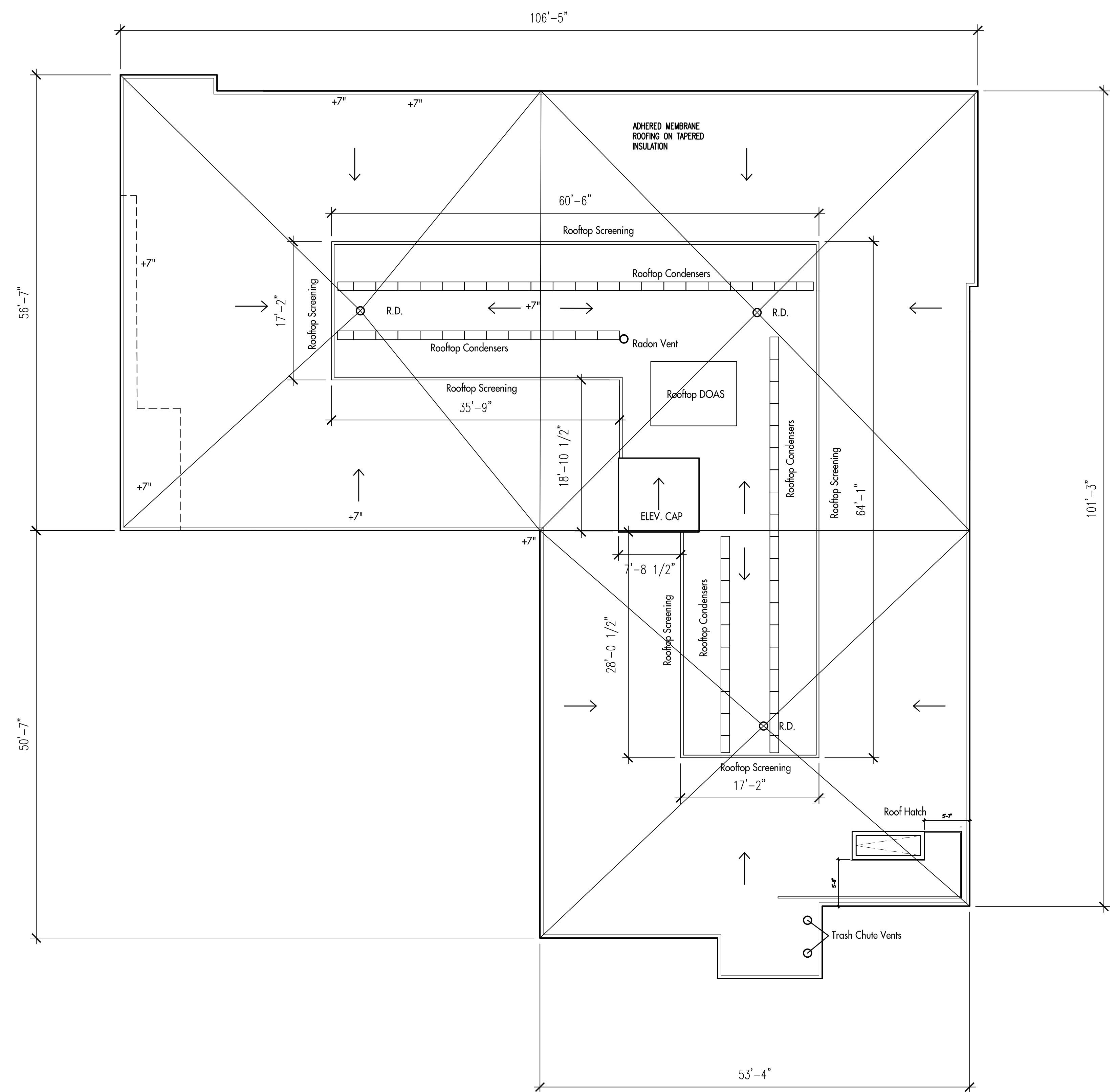
BIKE PARKING: 60 STALLS (LONG TERM PARKING)  
6 STALLS (SHORT TERM PARKING - RESIDENTIAL)  
2 STALLS (SHORT TERM PARKING - NON RESIDENTIAL)

68 STALLS TOTAL (68 RQD.)





SECOND FLOOR PLAN - (THIRD & FOURTH FLOOR SIMILAR)



ROOF PLAN





AERIAL VIEW OF BUILDING



VIEW FROM THE NORTH WEST



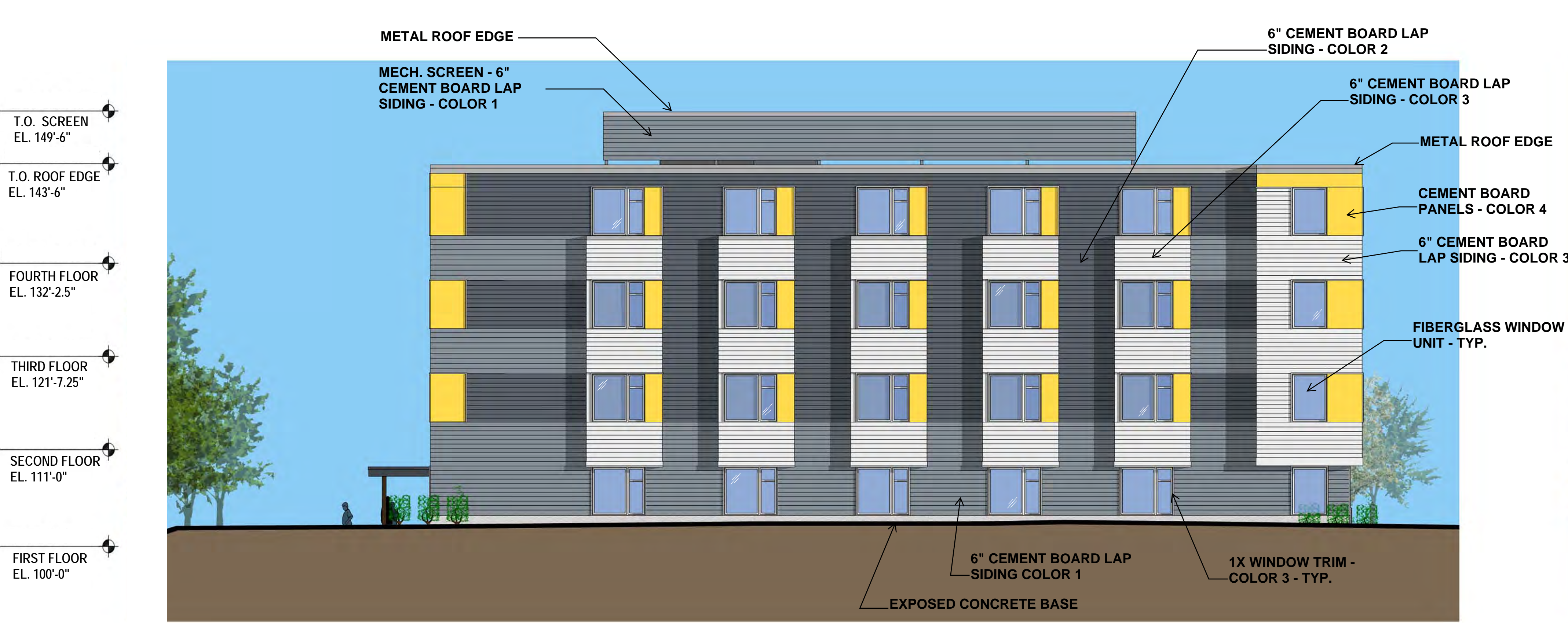
VIEW FROM SOUTH



VIEW ON RETHKE AVENUE







**NORTH ELEVATION**

**OPENING PERCENTAGE:**  
 RESIDENTIAL: 748 sqft ( 686 sqft Required -15%)

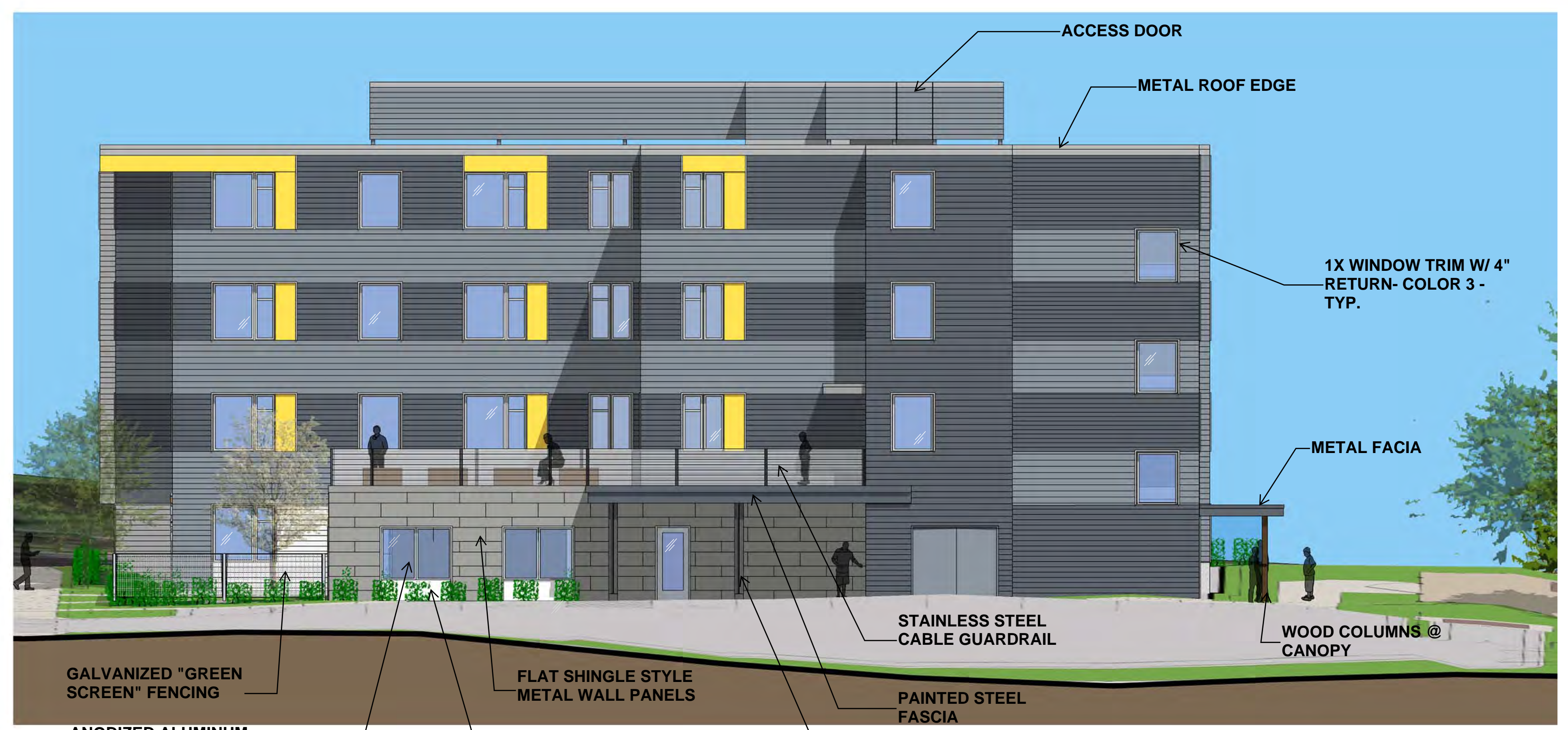
T.O. SCREEN  
EL. 149'-6"  
 T.O. ROOF EDGE  
EL. 143'-6"  
 FOURTH FLOOR  
EL. 132'-2.5"  
 THIRD FLOOR  
EL. 121'-7.25"  
 SECOND FLOOR  
EL. 111'-0"  
 FIRST FLOOR  
EL. 100'-0"  
 LOWER LEVEL  
EL. 99'-8"



**WEST ELEVATION**

**OPENING PERCENTAGE:**  
 RESIDENTIAL: 673 sqft (633 sqft Required -15%)  
 NON RESIDENTIAL: 228 sqft (222 sqft Required - 40%)

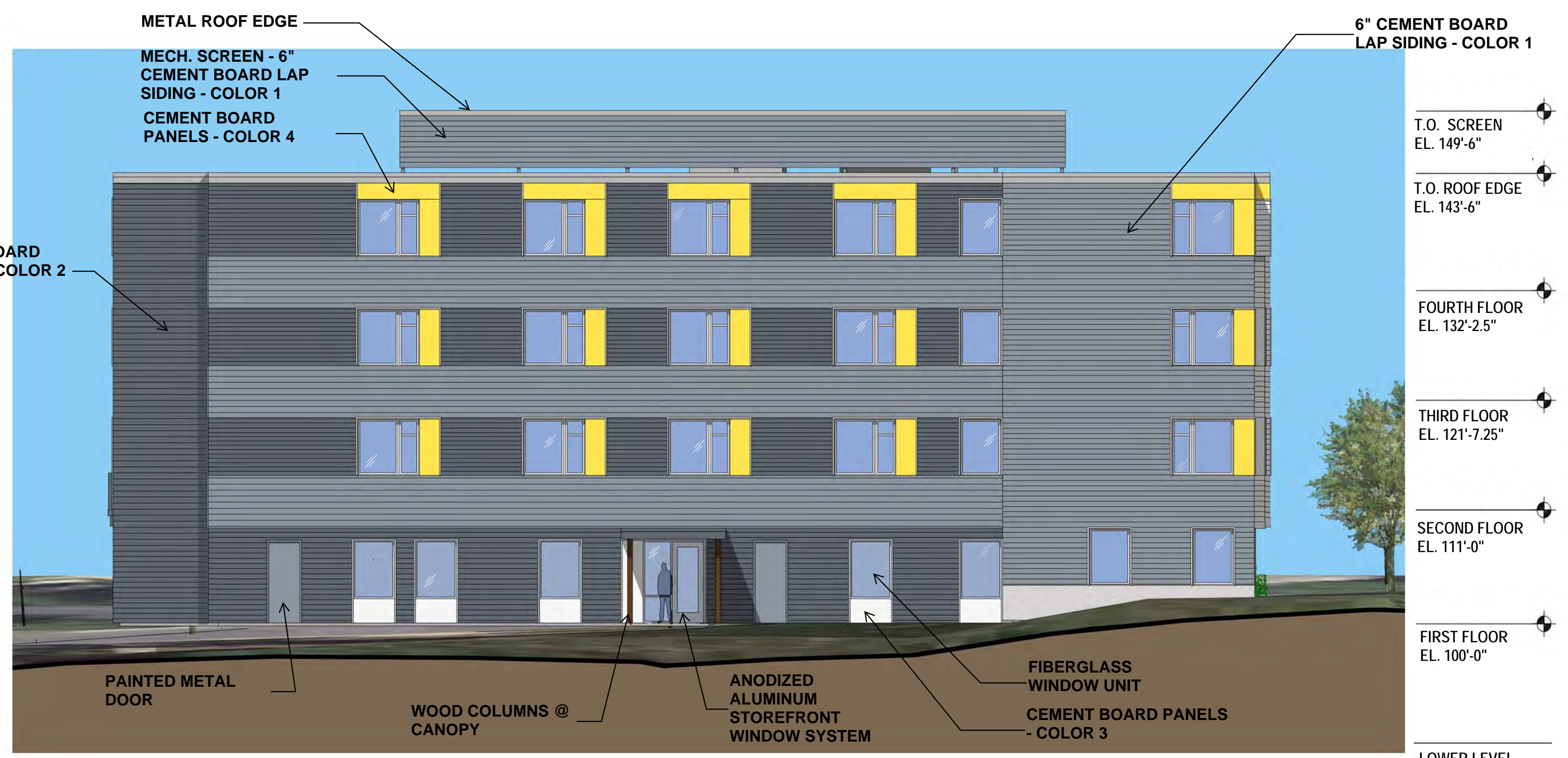
T.O. SCREEN  
EL. 149'-6"  
 T.O. ROOF EDGE  
EL. 143'-6"  
 FOURTH FLOOR  
EL. 132'-2.5"  
 THIRD FLOOR  
EL. 121'-7.25"  
 SECOND FLOOR  
EL. 111'-0"  
 FIRST FLOOR  
EL. 100'-0"  
 LOWER LEVEL  
EL. 99'-8"



**SOUTH ELEVATION**

**OPENING PERCENTAGE:**  
 RESIDENTIAL: 640 sqft (633 sqft Required -15%)  
 NON RESIDENTIAL: 156 sqft (107 sqft Required - 15%)

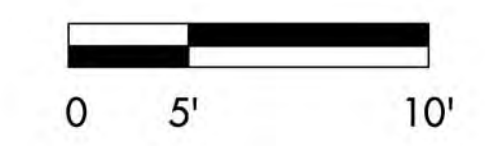
T.O. SCREEN  
EL. 149'-6"  
 T.O. ROOF EDGE  
EL. 143'-6"  
 FOURTH FLOOR  
EL. 132'-2.5"  
 THIRD FLOOR  
EL. 121'-7.25"  
 SECOND FLOOR  
EL. 111'-0"  
 FIRST FLOOR  
EL. 100'-0"  
 LOWER LEVEL  
EL. 99'-8"



**EAST ELEVATION**

**OPENING PERCENTAGE:**  
 RESIDENTIAL: 561 sqft (540 sqft Required -15%)  
 NON RESIDENTIAL: 250 sqft (173 sqft Required - 15%)

T.O. SCREEN  
EL. 149'-6"  
 T.O. ROOF EDGE  
EL. 143'-6"  
 FOURTH FLOOR  
EL. 132'-2.5"  
 THIRD FLOOR  
EL. 121'-7.25"  
 SECOND FLOOR  
EL. 111'-0"  
 FIRST FLOOR  
EL. 100'-0"  
 LOWER LEVEL  
EL. 99'-8"



**MADISON SUPPORTIVE HOUSING PROJECT**

**ELEVATIONS**  
 1/8" = 1'-0"  
 OCTOBER 27, 2014  
 Engberg Anderson Project No. 142324.01

