

CULVER FRANCHISING SYSTEM, INC. CULVER'S OF MADISON - MINERAL POINT RD.

7202 MINERAL POINT RD.
MADISON, WI 53717



--SHEET INDEX--	
SHEET NO.	DESCRIPTION
T100	TITLE & SHEET INDEX
C100	EXISTING CONDITIONS
C101	DEMOLITION PLAN
C102	SITE PLAN
C103	GRADING & EROSION CONTROL PLAN
C104	UTILITY PLAN
C105	DETAILS
L100	LANDSCAPE PLAN
L101	SITE PHOTOMETRICS
A1	BUILDING ELEVATIONS
A2	BUILDING ELEVATIONS
A3	BUILDING ISOMETRICS
A-2	ARCHITECTURAL FLOOR PLAN

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Date	Revision	By

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608-643-7980

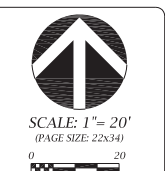


CULVER FRANCHISING SYSTEM, INC.
CULVER'S OF MADISON
MINERAL POINT RD

Sheet Contents:
TITLE & INDEX
Project No: Culver's of Madison - Mineral Point Rd.
Drawn By: S. Datka
Date: March 4, 2015

Sheet
T100

EXISTING CONDITIONS
CULVER'S - MINERAL POINT ROAD
 CITY OF MADISON, DANE COUNTY, WISCONSIN



SCALE: 1" = 20'
 (PAGE SIZE: 22x34)

DATE: 03-04-15
 REVISED:

DRAWN BY: JMS

FN: 15-05-104

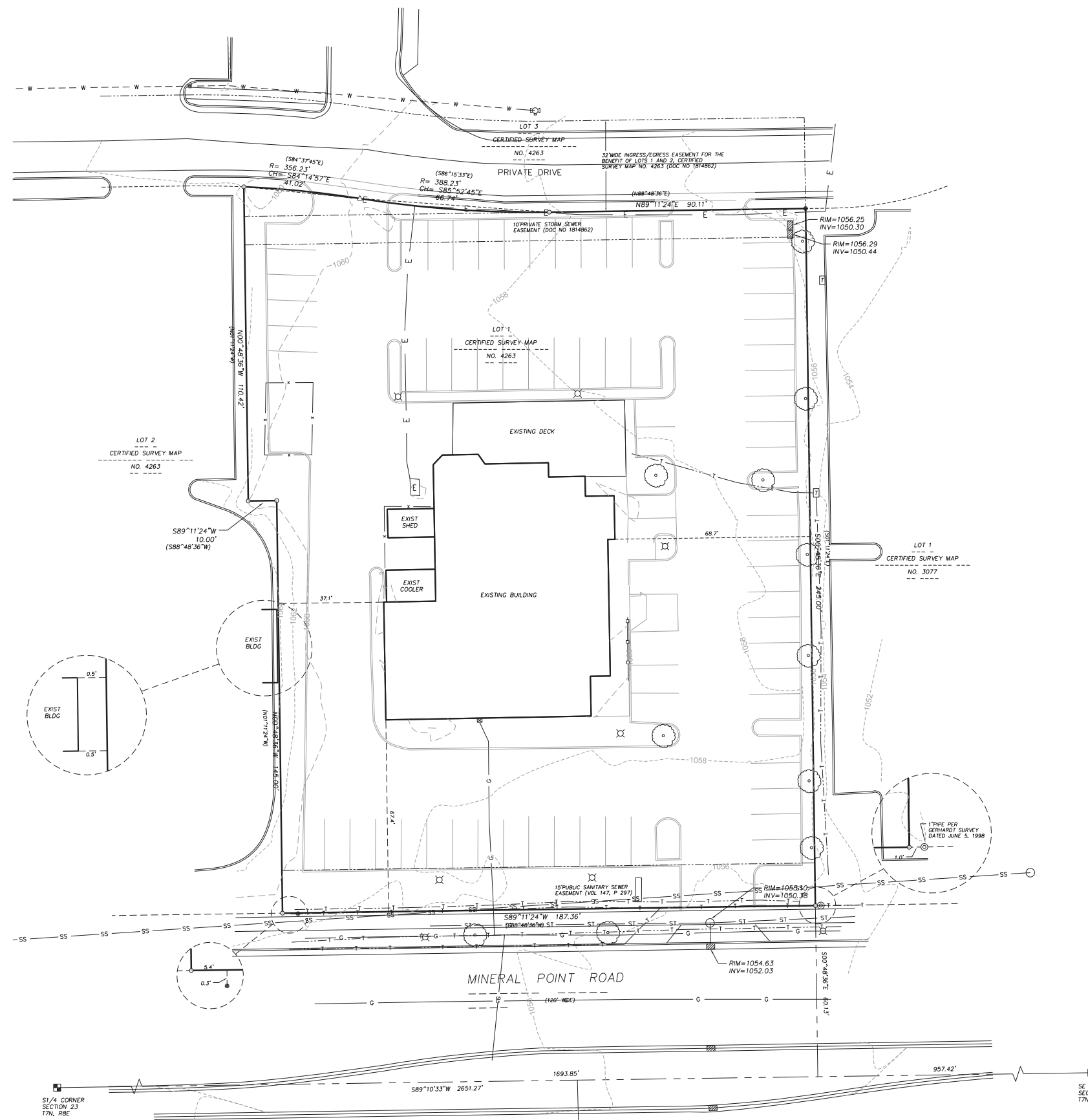
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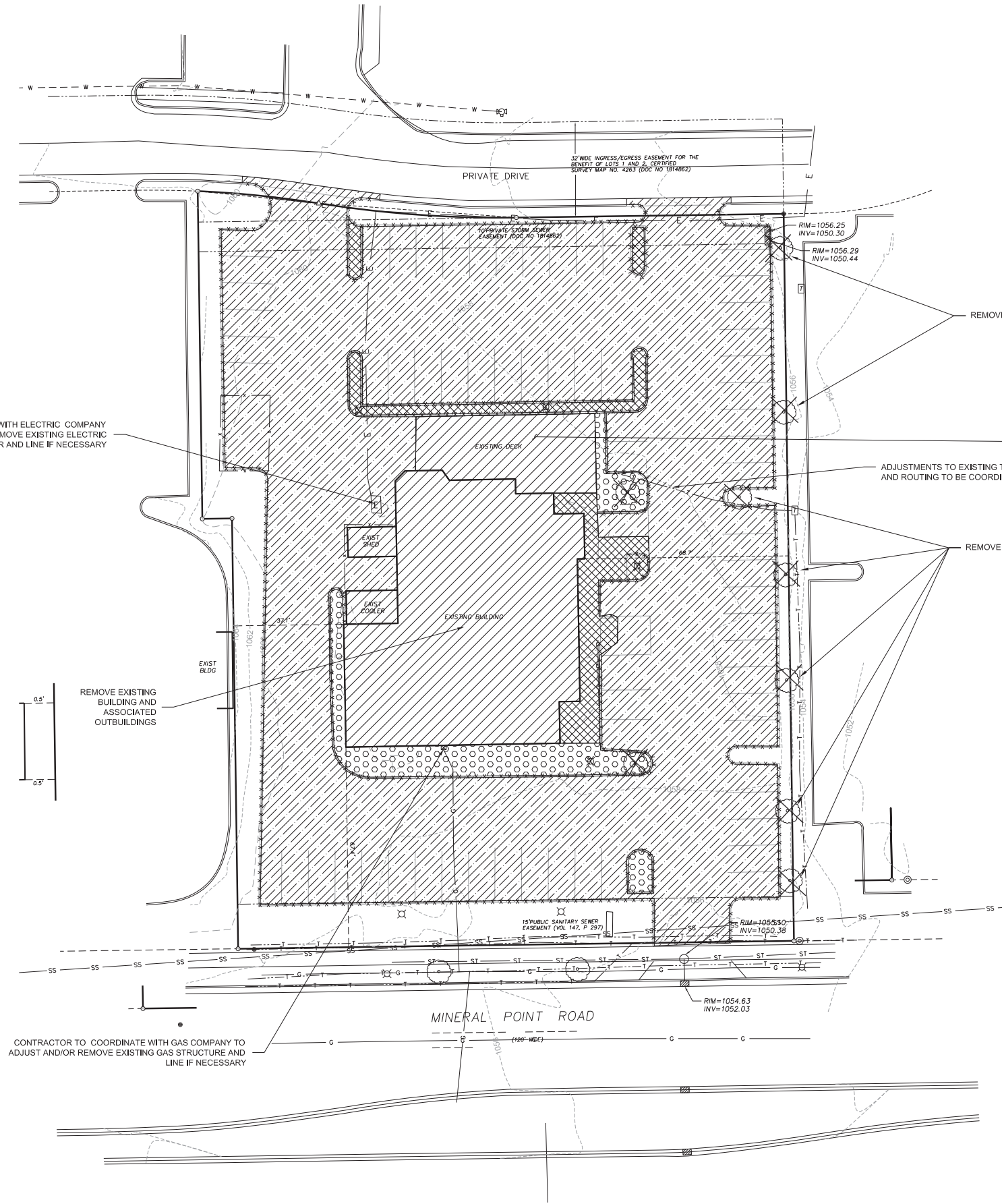
LEGEND

— E —	UNDERGROUND ELECTRIC
— SS —	SANITARY SEWER
— W —	WATER MAIN
— G —	GAS MAIN
— T —	UNDERGROUND TELECOMMUNICATION LINE
— ST —	STORM SEWER
⊠	ELECTRIC TRANSFORMER
⊞	TELEPHONE PEDESTAL
○	MANHOLE
⊕	CATCH BASIN/INLET
⊗	LIGHT POLE
⊙	TRAFFIC SIGNAL
⊘	GAS METER
⊙	HYDRANT
○	TREE
— X —	CHAIN-LINK FENCE
—	CONC. CURB
- - - 918 - - -	EXIST. CONTOUR

LEGAL DESCRIPTION

Lot 1, Certified Survey Map No. 4263, recorded in the Office of the Register of Deeds for Dane County, Wisconsin, in Volume 18 of Certified Survey Maps, Pages 116-118, as Document No. 1814862, located in the SE1/4 of the SE1/4 of Section 23, T7N, R8E, City of Madison, Dane County, Wisconsin, containing 47,374 square feet (1.088 acres).
 Together with ingress and egress easement established by Warranty Deed recorded in Volume 12362 of Records, Page 62, as Document No. 2121280 and as referenced on said Certified Survey Map.





CONTRACTOR TO COORDINATE WITH ELECTRIC COMPANY TO ADJUST AND/OR REMOVE EXISTING ELECTRIC TRANSFORMER AND LINE IF NECESSARY

REMOVE EXISTING BUILDING AND ASSOCIATED OUTBUILDINGS

CONTRACTOR TO COORDINATE WITH GAS COMPANY TO ADJUST AND/OR REMOVE EXISTING GAS STRUCTURE AND LINE IF NECESSARY

REMOVE EX. TREE (TYP.)

ADJUSTMENTS TO EXISTING TELEPHONE CONNECTIONS AND ROUTING TO BE COORDINATED BY THE CONTRACTOR

REMOVE EXISTING TREE (TYP.)

LEGEND

- LIMITS OF DISTURBANCE
- [Diagonal Hatching] REMOVE EXISTING ASPHALT
- [Cross Hatching] REMOVE EXISTING BUILDING
- [Grid Hatching] REMOVE EXISTING CONCRETE
- [Circle Pattern] REMOVE EXISTING LANDSCAPING
- ⊗ REMOVE EXISTING TREE
- PROPOSED TREE PROTECTION

GENERAL NOTES

1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
6. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



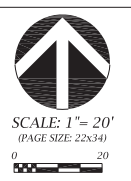
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DEMOLITION PLAN

CULVER'S - MINERAL POINT ROAD

CITY OF MADISON, DANE COUNTY, WISCONSIN



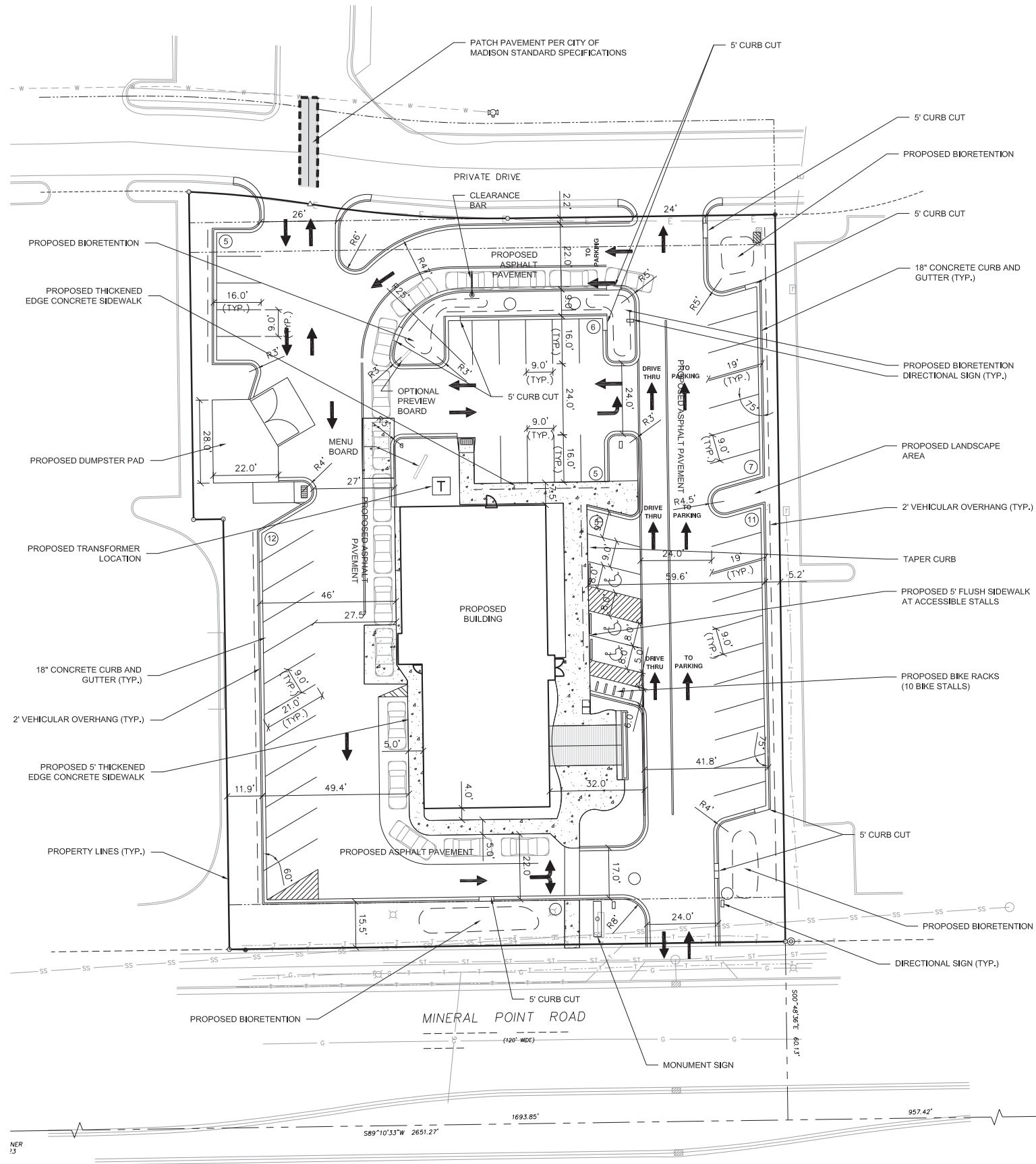
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C101



GENERAL NOTES

1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
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SITE PLAN INFORMATION BLOCK 7202 MINERAL POINT ROAD	
LOT AREA	1,088 AC ±
EXISTING TOTAL IMPERVIOUS AREA	40,335 SF±
PROPOSED TOTAL IMPERVIOUS AREA	37,050 SF±
EXISTING BUILDING AREA	6,080 SF±
PROPOSED BUILDING ADDITION AREA	4,703 SF±
NUMBER OF PROPOSED SURFACE PARKING STALLS	48
NUMBER OF ACCESSIBLE STALLS	3
TOTAL NUMBER OF STALLS	51
NUMBER OF SURFACE BICYCLE STALLS	10

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SITE PLAN
CULVER'S - MINERAL POINT ROAD
 CITY OF MADISON, DANE COUNTY, WISCONSIN



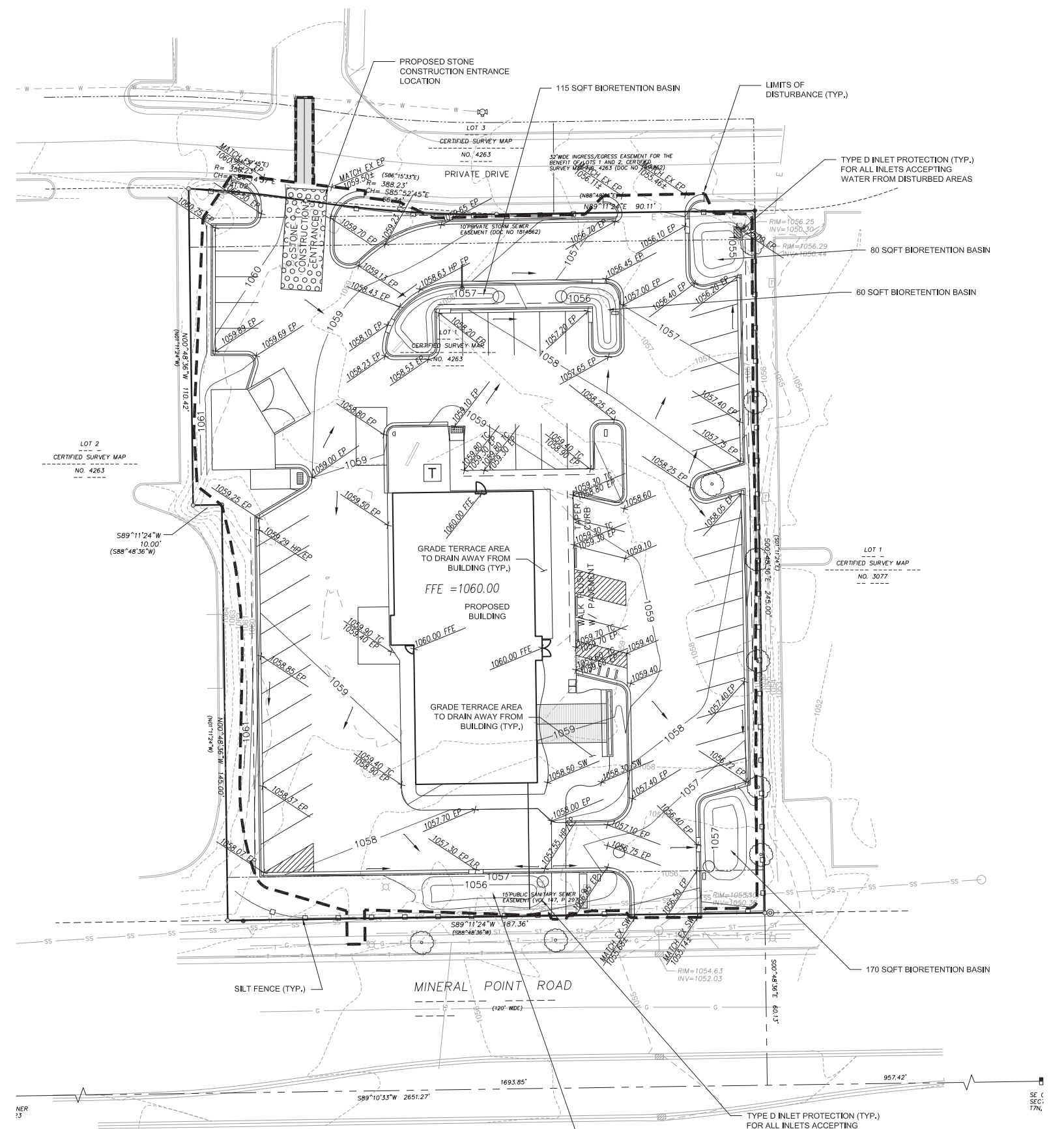
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TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

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LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
EP - EDGE OF PAVEMENT
FFE - FINISHED FLOOR ELEVATION
TC - TOP OF CURB
TW - TOP OF WALL (GROUND ELEVATION)
BW - BOTTOM OF WALL (GROUND ELEVATION)
HP - HIGHPOINT
- LIMITS OF DISTURBANCE
- SILT FENCE/SILT SOCK
- FLOW ARROW

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5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION.
6. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED

GRADING AND EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS, IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
6. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
8. INSTALL INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS
9. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 2:1
10. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
11. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
12. ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
13. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
14. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
15. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 POUND PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. THE BIORETENTION/BIOFILTRATION BASINS SHALL BE PLANTED WITH NATIVE SPECIES TOLERANT OF FLUCTUATING WATER CONDITIONS. SEE LANDSCAPE PLAN FOR A MORE DETAILED PLANTING PLAN AND LANDSCAPE DETAILS.
16. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.

SEQUENCE/ ANTICIPATED TIME SCHEDULE

1. INSTALL EROSION CONTROL
2. DEMOLITION- REMOVE EXISTING ASPHALT AND CONCRETE
3. ROUGH SITE GRADING, BEGIN BUILDING CONSTRUCTION
4. FINE GRADING, CONCRETE CURB AND GUTTER, ASPHALT, CONCRETE, UTILITIES, RETAINING WALL, AND BUILDING CONSTRUCTION.
5. RESPREAD TOPSOIL AND FINAL RESTORATION
6. REMOVE EROSION CONTROL WHEN SITE HAS BECOME STABILIZED.

LIMITS OF DISTURBANCE = 45,970 SQFT

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

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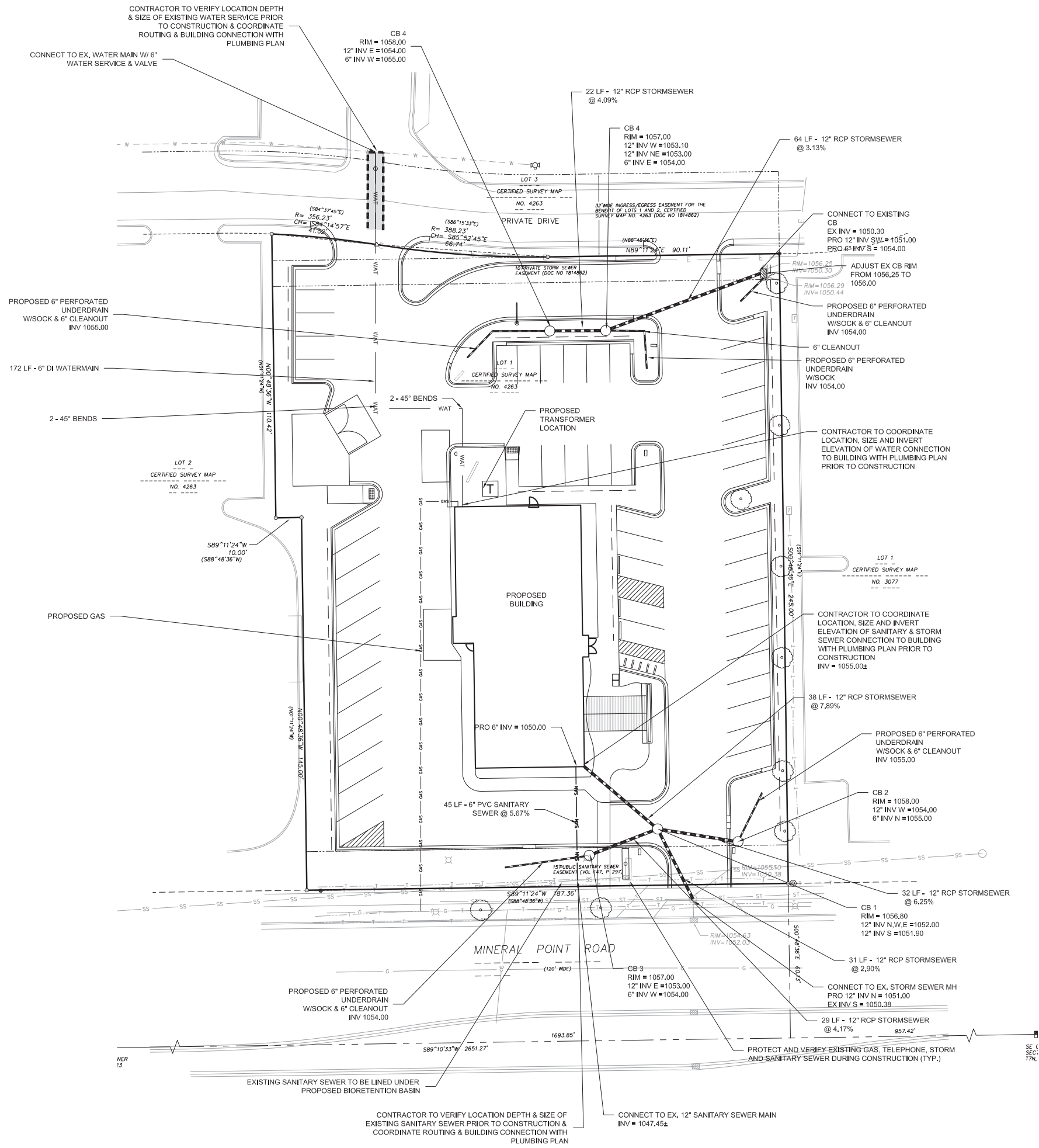
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GRADING AND EROSION CONTROL PLAN
CULVER'S - MINERAL POINT ROAD

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DATE: 03-04-15
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- GENERAL NOTES**
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 6. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED

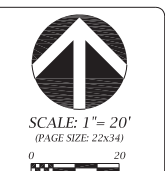
- SITE UTILITY NOTES**
1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
 2. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
 3. UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
 4. ALL 2X3 INLETS TO BE 2' X 3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE, CURB BOX WITH TYPE C LID
 5. ALL STORM MAN-HOLES TO BE 48" DIAMETER MANHOLE WITH NEENAH R-2601 INLET FRAME, GRATE WITH TYPE G LID UNLESS NOTED AS SOLID LID ON PLAN
 6. UTILITY LENGTHS ARE SHOWN FORM CENTER OF STRUCTURE TO CENTER OF CENTER OF STRUCTURE

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CULVER'S - MINERAL POINT ROAD

UTILITY PLAN

CITY OF MADISON, DANE COUNTY, WISCONSIN

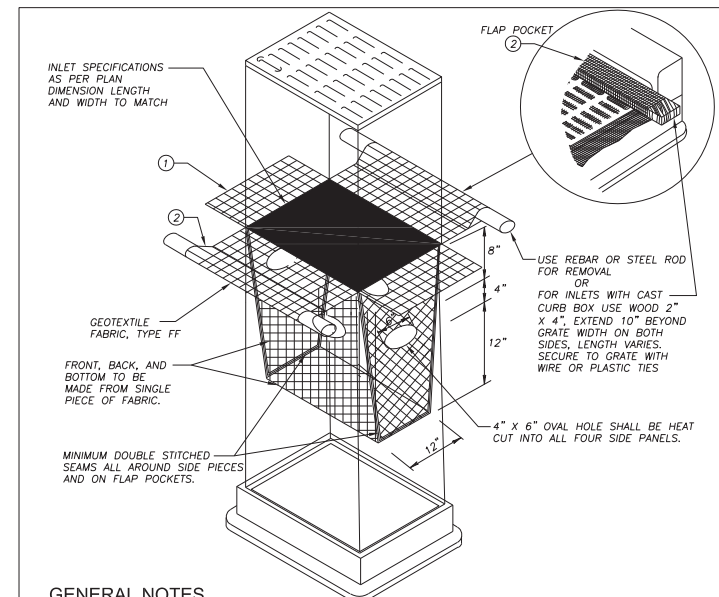
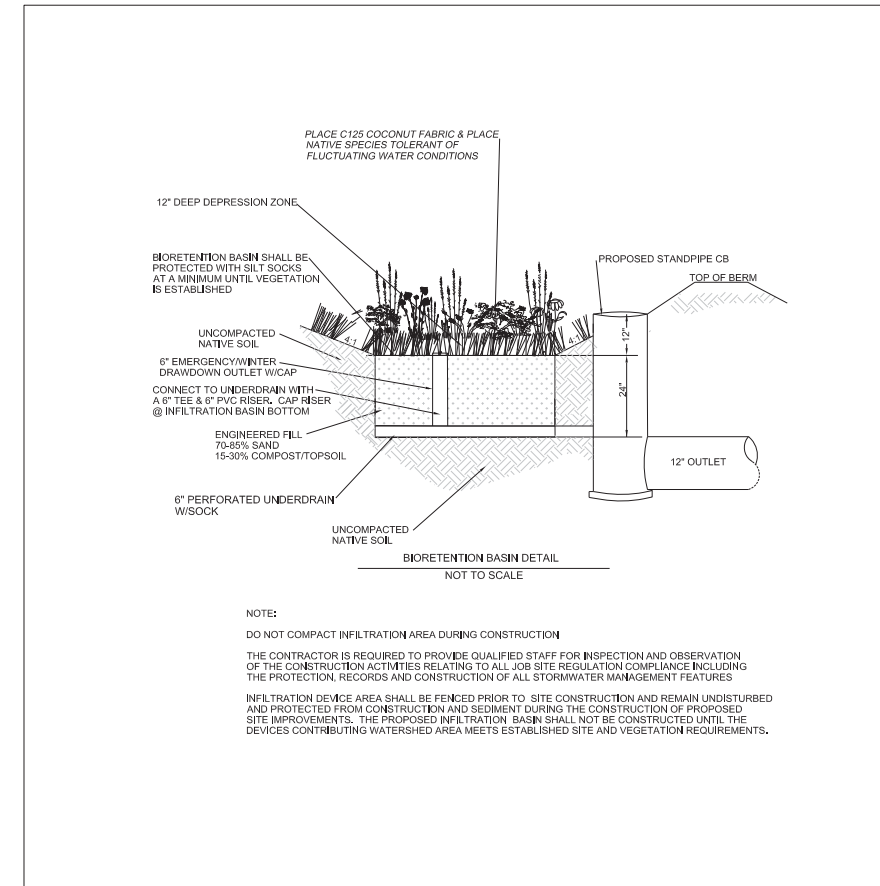
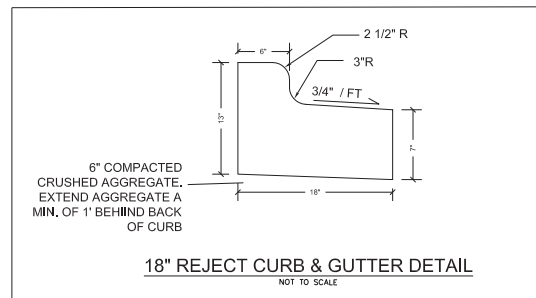
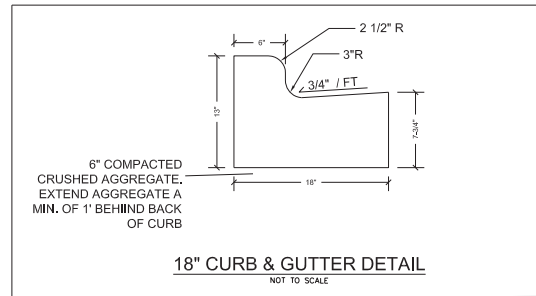
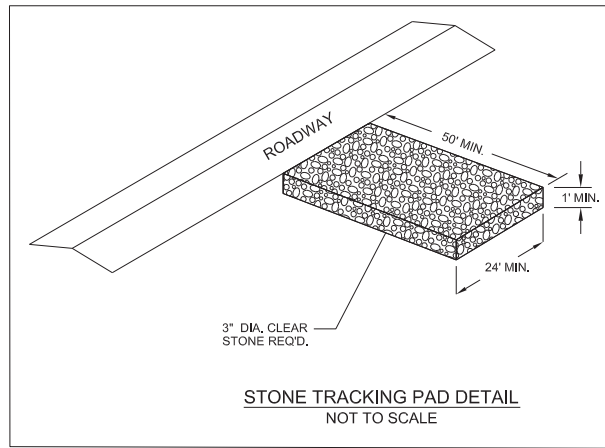


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CONTRACTOR TO VERIFY LOCATION DEPTH & SIZE OF EXISTING SANITARY SEWER PRIOR TO CONSTRUCTION & COORDINATE ROUTING & BUILDING CONNECTION WITH PLUMBING PLAN



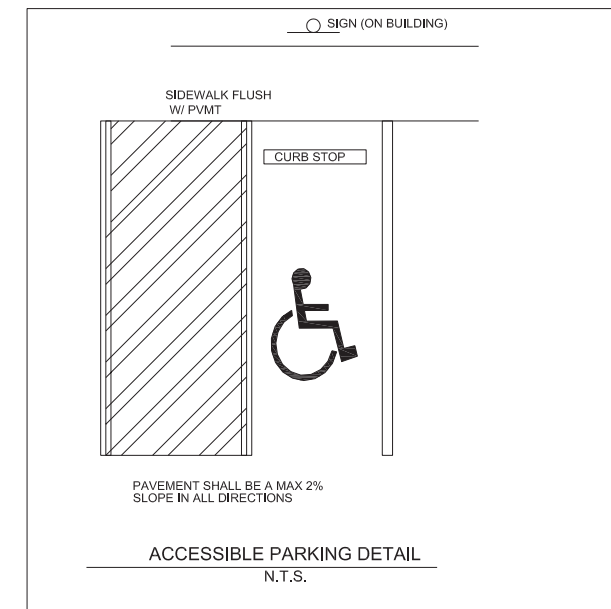
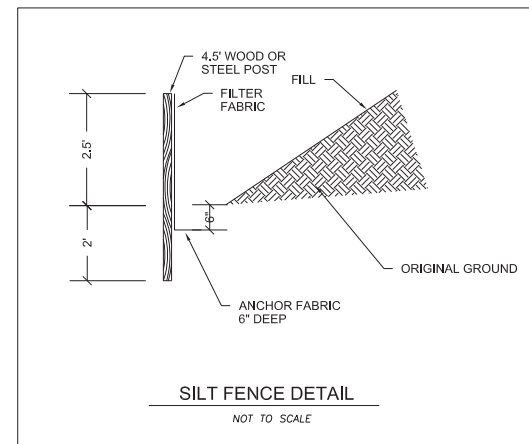
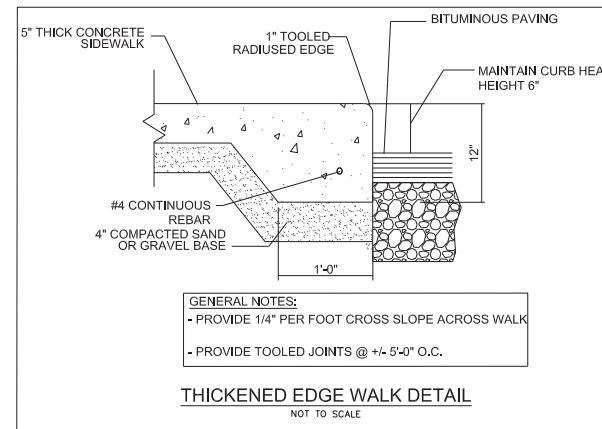
GENERAL NOTES

- INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- ② FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES

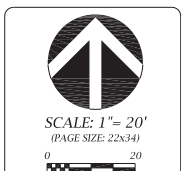
- DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3" WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

INLET PROTECTION, TYPE D
N.T.S.



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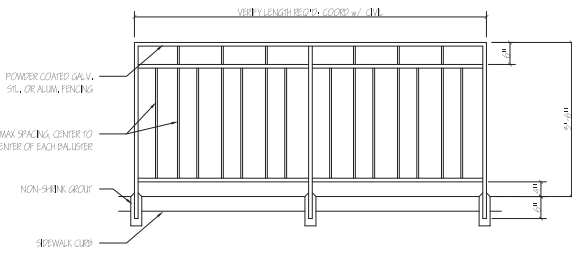
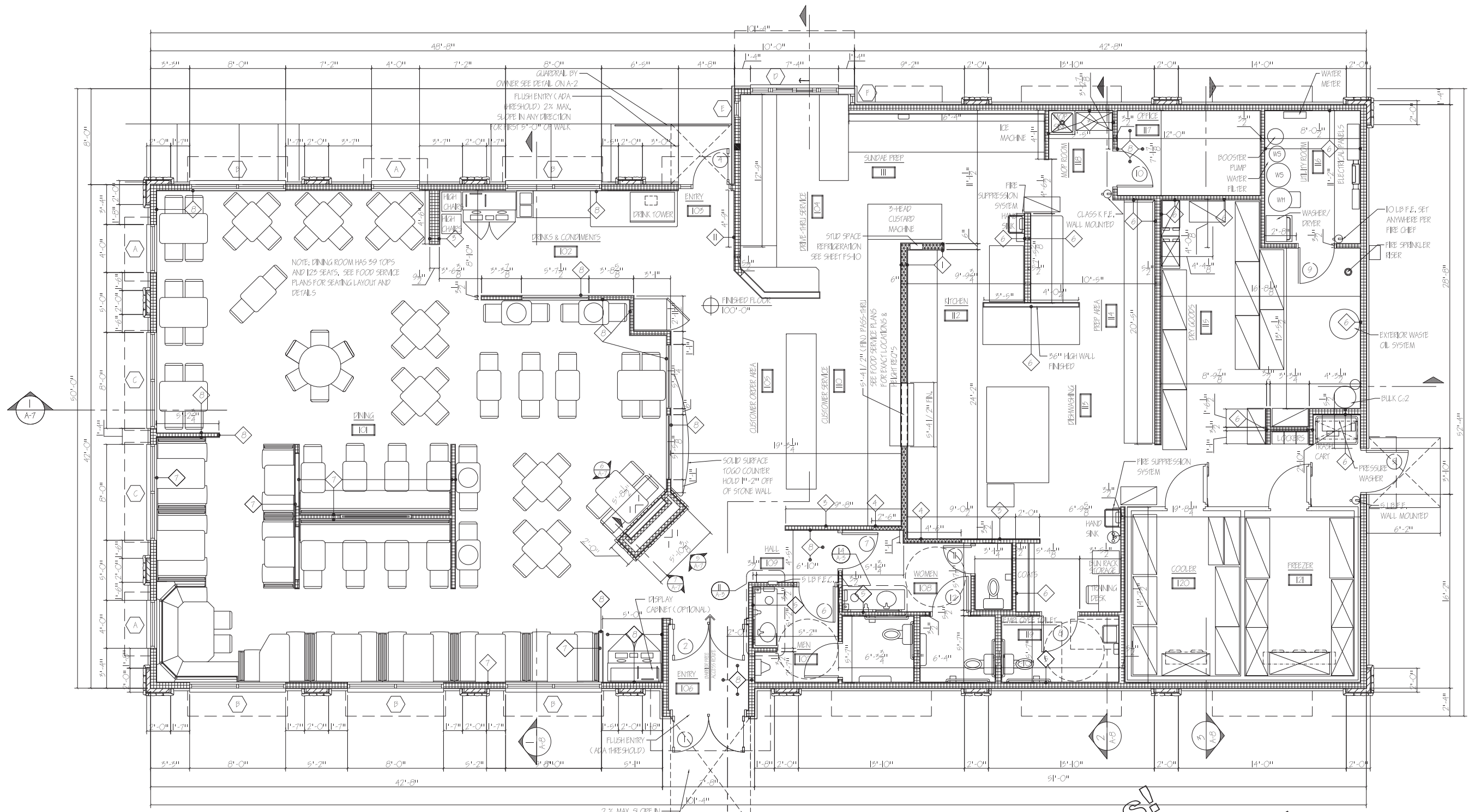
DETAIL SHEET
CULVER'S - MINERAL POINT ROAD
CITY OF MADISON, DANE COUNTY, WISCONSIN



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GUARD RAIL DETAIL
1/2" = 1'-0"

NOTES:

G.C. SHALL VERIFY & COORDINATE W/ ANY CLEARANCE REQUIREMENTS FOR WATER METER AND ELECTRICAL TRANSFORMER.

PROVIDE SEALED PENETRATIONS INTO BUILDING FOR CABLE T.V. & TELEPHONE. COORDINATE W/ OWNER.

VERIFY LOCAL REQUIREMENTS FOR ELECTRIC TRANSFORMER PAD / BLAST WALLS IF NECESSARY.

G.C. WILL BE REQUIRED TO COORDINATE I.T., POWER, SECURITY, & P.O.S. TO ROOM 117.

FIRE EXTINGUISHERS SHOWN IN ASSUMED LOCATIONS. LOCAL A/E TO CONFIRM NUMBER, TYPE, & LOCATION REQUIRED PER CODE AND CONFIRM W/ LOCAL FIRE MARSHALL.

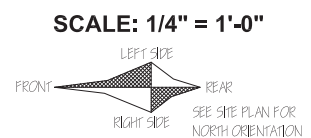
- WALL TYPE:**
- 1 6" 18GA. STEEL STUDS W/ 5/8" CEMENT BOARD FROM FLOOR TO 6" ABOVE CEILING.
 - 2 5/8" CEMENT BOARD FROM FLOOR TO 12" A.F.F. WITH 3/4" PLYWOOD FROM 12" A.F.F. TO STRUCTURE.
 - 3 5/8" CEMENT BOARD FROM FLOOR TO 6" ABOVE CEILING.
 - 4 3 1/2" STEEL STUDS W/ 5/8" CEMENT BOARD FROM FLOOR TO 6" ABOVE CEILING.
 - 5 5/8" CEMENT BOARD / 5/8" MOISTURE RESISTANT G.P. BOARD TO ROOF DECK. (COORDINATE WITH INTERIOR FINISHES)

- 6 5/8" CEMENT BOARD FROM FLOOR TO 12" A.F.F. WITH 3/4" PLYWOOD FROM 12" A.F.F. TO STRUCTURE.
- 7 5/8" PLYWOOD FROM FLOOR TO 12" A.F.F. WITH 3/4" PLYWOOD FROM 12" A.F.F. TO STRUCTURE.
- 8 5/8" G.P. BOARD FROM FLOOR TO 6" ABOVE CEILING.
- 9 5/8" CEMENT BOARD FROM FLOOR TO 12" A.F.F. WITH 3/4" PLYWOOD FROM 12" A.F.F. TO STRUCTURE.

DINING ROOM CAPACITY

SEAT TYPE	SEATS
1 6" TOP TABLES	6
1 6" TOP TABLES	6
6 4" TOP TABLES	24
12 4" TOP TABLES	48
1 5" TOP TABLES	5
2 2" TOP TABLES	4
2 2" TOP TABLES	4
TOTAL	59

FLOOR PLAN - METRO XL + 4' - 2015
4,703 SQUARE FEET



Preliminary Plans!
Not For Bidding
Or Construction!

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By	
Date	
Revision	

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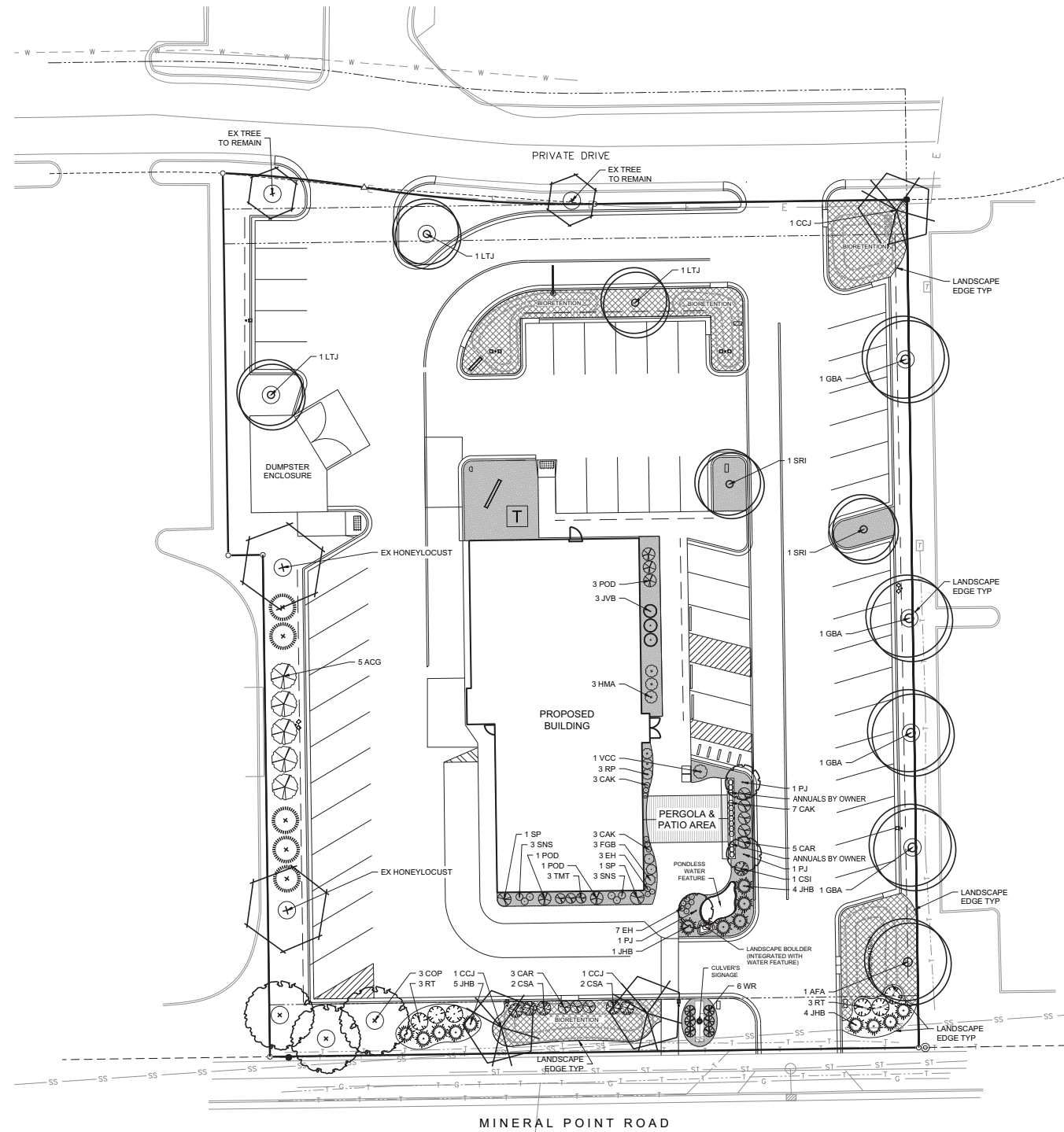
CULVER FRANCHISING SYSTEM, INC.
METRO XL + 4' - 2015 PROTOTYPE
MADISON, WI

Sheet Contents:

FLOOR PLAN

Project No: Metro XL + 4' - 2015
Drawn By: S. Datka
Date: Jan. 15, 2015

Sheet
A-2



LANDSCAPE REQUIREMENTS SUMMARY

TOTAL BUILDING AREA = 4,703 SF

DEVELOPED AREA REQUIREMENT:

5 PTS PER 300 SQ FT OF DEVELOPED AREA
 GROSS DEVELOPED AREA = 38,796 SQ FT
 BUILDING FOOTPRINTS = 4,703 SQ FT
 NET DEVELOPED AREA = 34,093 SQ FT

POINTS REQUIRED = 568 POINTS
 POINTS PROVIDED = 910 POINTS

STREET FRONTAGE REQUIREMENT:

1 OVERSTORY TREE OR 2 EVERGREEN & 5 SHRUB PER 30 LF

MINERAL POINT ROAD FRONTAGE = 172 FT

PLANTS REQUIRED = 6 OVERSTORY TREES OR
 12 EVERGREEN / ORNAMENTAL TREES
 29 SHRUBS
 PLANTS PROVIDED = 6 OVERSTORY TREES
 29 SHRUBS

PARKING LOT LANDSCAPING REQUIREMENT:

1 OVERSTORY TREE PER 160 SQ FT OF REQUIRED AREA

TOTAL PARKING LOT AREA = 27,750 SQ FT
 REQUIRED LANDSCAPED AREA = 2,220 SQ FT (8% TOTAL PARKING LOT AREA)

LANDSCAPED AREA PROVIDED = 10,700 SQ FT

OVERSTORY TREES REQUIRED = 14 OVERSTORY TREES

OVERSTORY TREES PROVIDED = 14 OVERSTORY TREES

LANDSCAPE LEGEND

BIORETENTION MIX

3" DEPTH DECORATIVE STONE MULCH OVER FILTER FABRIC

PLANTING SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PTS PER PLANT	SUB-TOTAL	SIZE	ROOT COND	NOTES
OVERSTORY DECIDUOUS TREES								
AFA	Acer x freemanii 'Autumn Fantasy'	Autumn Fantasy Maple	1	35	35	2.5"	B&B	
CCJ	Carpinus caroliniana 'JN Strain'	JN Strain Musciewood	3	35	105	2.5"	B&B	
COF	Cornus occidentalis 'Prairie Pride'	Prairie Pride Hackberry	3	35	105	2.5"	B&B	
GBA	Girgigo biloba 'Autumn Gold'	Autumn Gold Girgigo	4	35	140	2.5"	B&B	
LTJ	Liriodendron tulipifera 'JFS-CZ'	Emerald City Tuliptree	3	35	105	2.5"	B&B	
SRI	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2	35	70	2.5"	B&B	
ORNAMENTAL TREE								
PJ	Pyrus 'Jazzani'	Jack Flowering Pear	3	15	45	1.5"	B&B	
DECIDUOUS SHRUB								
ACG	Ameiarcher canadensis 'Glenform'	Rainbow Pillar Serviceberry	5	3	15	6" TALL	B&B	MULTI-STEM
CAR	Celastrus scandens 'Ruby Spice'	Ruby Spice Celastrus	8	3	24	24" TALL	POT	
CSA	Cornus sericea 'Arctic Fire'	Arctic Fire Red Twig Dogwood	5	3	15	36" TALL	POT	
CSI	Cornus sericea 'Ivory Halo'	Ivory Halo Red Twig Dogwood	1	3	3	36" TALL	POT	
FGB	Fothergilla gardenii 'Beaver Creek'	Beaver Creek Fothergilla	3	3	9	24" TALL	POT	
HMA	Hydrangea macrophylla 'All Summer Beauty'	All Summer Beauty Hydrangea	3	3	9	24" TALL	POT	
FOF	Physocarpus opulifolius 'Little Devil'	Little Devil Ninebark	5	3	15	36" TALL	POT	
RT	Rhus typhina 'Ballerina'	Tiger Eyes Sumac	6	3	18	24" TALL	POT	
SP	Syringa 'Pendula'	Blooming Lilac	2	3	6	36" TALL	POT	
VCC	Viburnum cerasiifolium 'Compactum'	Compact Koreanspice Viburnum	1	3	3	36" TALL	POT	
WR	Wregala 'Rumba'	Rumba Wregala	6	3	18	18" TALL	POT	
EVERGREEN SHRUB								
JHB	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	14	4	56	3 GAL	POT	
JVB	Juniperus virginiana 'Blue Mountain'	Blue Mountain Juniper	3	4	12	3 GAL	POT	
RP	Rhododendron 'PJM'	PJM Rhododendron	3	4	12	24" TALL	POT	
TMT	Taxus x media 'Tauntonii'	Taunton Yew	3	4	12	24" TALL	POT	
TOP	Thuja occidentalis 'Pyramidalis'	Pyramidal Arborvitae	5	4	20	24" TALL	POT	
ORNAMENTAL GRASSES								
CAK	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	13	2	26	1 GAL	POT	
EH	Elymus hystrix	Bottle Brush Grass	10	2	20	1 GAL	POT	
SNS	Sorghastrum nutans 'Sioux Blue'	Sioux Blue Indiangrass	6	2	12	1 GAL	POT	
			TOTAL:	910	POINTS			

LANDSCAPE PLAN - GENERAL NOTES

- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
- ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDDED HARDWOOD MULCH CONTAINED BY LANDSCAPE EDGING UNLESS OTHERWISE NOTED.
- LANDSCAPE BEDS RECEIVING STONE MULCH SHALL BE PREPARE BY TILLING IN COMPOSTED PEAT AT A RATE OF 1 CU. FT. COMPOSTED MULCH PER 100 SQ. FT. OF LANDSCAPE BED.
- LANDSCAPE EDGING SHALL BE 3/16" x 4" ALUMINUM EDGING.
- ALL TREES IN TURF AREAS SHALL HAVE A 5' DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
- ALL LAWN AND BIORETENTION AREAS SHALL BE FINISH GRADED, AND PLANTED PER THE PROJECT MANUAL.
- ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
- GENERAL LANDSCAPE AREAS SHALL BE SEEDED WITH MADISON PARKS SEED MIX AS MANUFACTURED BY LA CROSSE SEED, LLC. PER MANUFACTURER'S SPECIFICATIONS.
- BIORETENTION BASINS SHALL BE PLANTED WITH RAINWATER RENEWAL GARDEN PLANT MIX AS MANUFACTURED BY AGREGOL NATIVE NURSERY. PLANTS SHALL BE FURNISHED IN 2" PLUGS AND SHALL BE PLANTED ON 9"-12" CENTERS OR PER MANUFACTURER'S SPECIFICATIONS.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.

WATER FEATURE CONCEPT



NOTES:

- WATER FEATURE SHALL PROVIDE WATERFALLS ON BOTH THE NORTH AND SOUTH SIDES SO AS TO PROVIDE A FOCAL POINT TO THE VIEW FROM THE ENTRANCE DRIVE & TO PROVIDE WHITE NOISE TO THE PERGOLA & PATIO AREA USERS
- SPECIFIC DESIGN TO BE DETERMINED & COORDINATED WITH A POND SPECIALTY CONTRACTOR



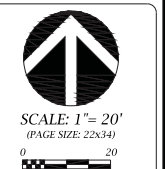
TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE
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LANDSCAPE PLAN
CULVER'S - MINERAL POINT ROAD



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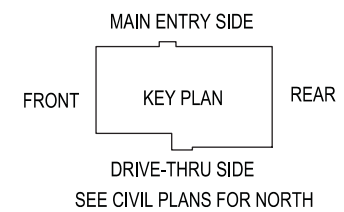
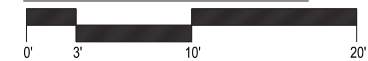
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MAIN ENTRY ELEVATION

ELEVATION SCALE: 1/4" = 1'-0"



FRONT ELEVATION

REPRESENTATION	MATERIAL	COLOR
	COPING	"REGAL BLUE" UNA-CLAD
	EIFS "CORNICHE"	"ROOKWOOD CLAY" SW 2823
	GOOSENECK LIGHT	NATURAL ALUM.
	EIFS @ PIERS	"ROOKWOOD CLAY" SW 2823
	TALL PIER	
	AWNING CANVAS (BY OTHERS)	"ROYAL BLUE" 4617
	METAL CANOPY	NATURAL ALUM.
	WINDOW & DOOR FRAMES	NATURAL ALUM.
	CEMENT BOARD SIDING	"BARK" NICHIA VINTAGE WOOD
	MFGRD STONE w/ STONE SILL TRIM	"LANER NEWBURY" PRAIRIE BLUFF BOULDER CREEK

PRELIMINARY ELEVATION RENDERINGS
 Note: Though these images have photorealistic qualities, the actual building materials may vary in appearance.

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NEW CULVER'S RESTAURANT
 Mineral Point Road
 Madison, WI
 County of DANE

Culver's
 Culver Franchising System, Inc.
 1240 Water Street
 Prairie du Sac, WI 53578
 608-643-7980

CULLMANN ERNEST MARTIN ARCHITECTS
 505 South State Street
 Belleville, Illinois 61008
 815-544-7790 Phone
 815-544-7792 Fax

ELEVATIONS

Date: 3-3-2015 Revision:

2015-017

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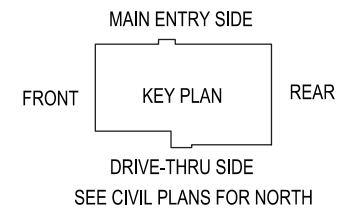
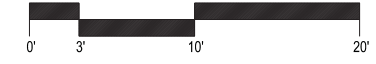
DRIVE-THRU ELEVATION



REAR ELEVATION

REPRESENTATION	MATERIAL	COLOR
[Coping]	COPING	"REGAL BLUE" UNA-CLAD
[EIFS Cornice]	EIFS "CORNICER"	"ROOKWOOD CLAY" SW 2823
[Gooseneck Light]	GOOSENECK LIGHT	NATURAL ALUM.
[EIFS @ Piers]	EIFS @ PIERS	"ROOKWOOD CLAY" SW 2823
[Tall Pier]	TALL PIER	
[Awning Canvas]	AWNING CANVAS (BY OTHERS)	"ROYAL BLUE" 4617
[Metal Canopy]	METAL CANOPY	NATURAL ALUM.
[Window & Door Frames]	WINDOW & DOOR FRAMES	NATURAL ALUM.
[Cement Board Siding]	CEMENT BOARD SIDING	"BARK" NICHIA VINTAGE WOOD
[Mfg'd Stone]	MFG'D STONE w/ STONE SILL TRIM	"LANER NEWBURY" PRAIRIE BLUFF BOULDER CREEK

ELEVATION SCALE: 1/4" = 1'-0"



PRELIMINARY ELEVATION RENDERINGS
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Revision:

Date: 3-3-2015



PATIO



FRONT RIGHT



RIGHT PERSPECTIVE



FRONT LEFT

REPRESENTATION

MATERIAL

COLOR

- COPING "REGAL BLUE" UNA-CLAD
- EIFS "CORNICHE" "ROOKWOOD CLAY" SW 2823
- GOOSENECK LIGHT NATURAL ALUM.
- LED STRIP LIGHT BLUE
- METAL CANOPY @ ENTRY & DRIVE-THRU NATURAL ALUM.
- AWNING CANVAS (BY OTHERS) "ROYAL BLUE" 4617
- NICHIHA SIDING "BARK" VINTAGE WOOD
- WINDOW & DOOR FRAMES NATURAL ALUM.
- EIFS @ PIERS "ROOKWOOD" SW 2823
- MFGRD STONE w/ STONE SILL TRIM "LANER NEWBURY" PRAIRIE BLUFF, BOULDER CREEK



REAR LEFT



REAR RIGHT



LEFT PERSPECTIVE

PRELIMINARY ELEVATION RENDERINGS
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3D RENDERINGS

2015-017

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 Culver Franchising System, Inc.
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