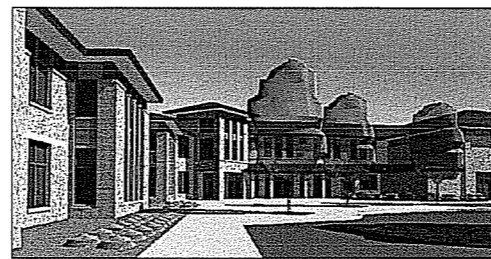




AERIAL VIEW FROM SOUTHWEST



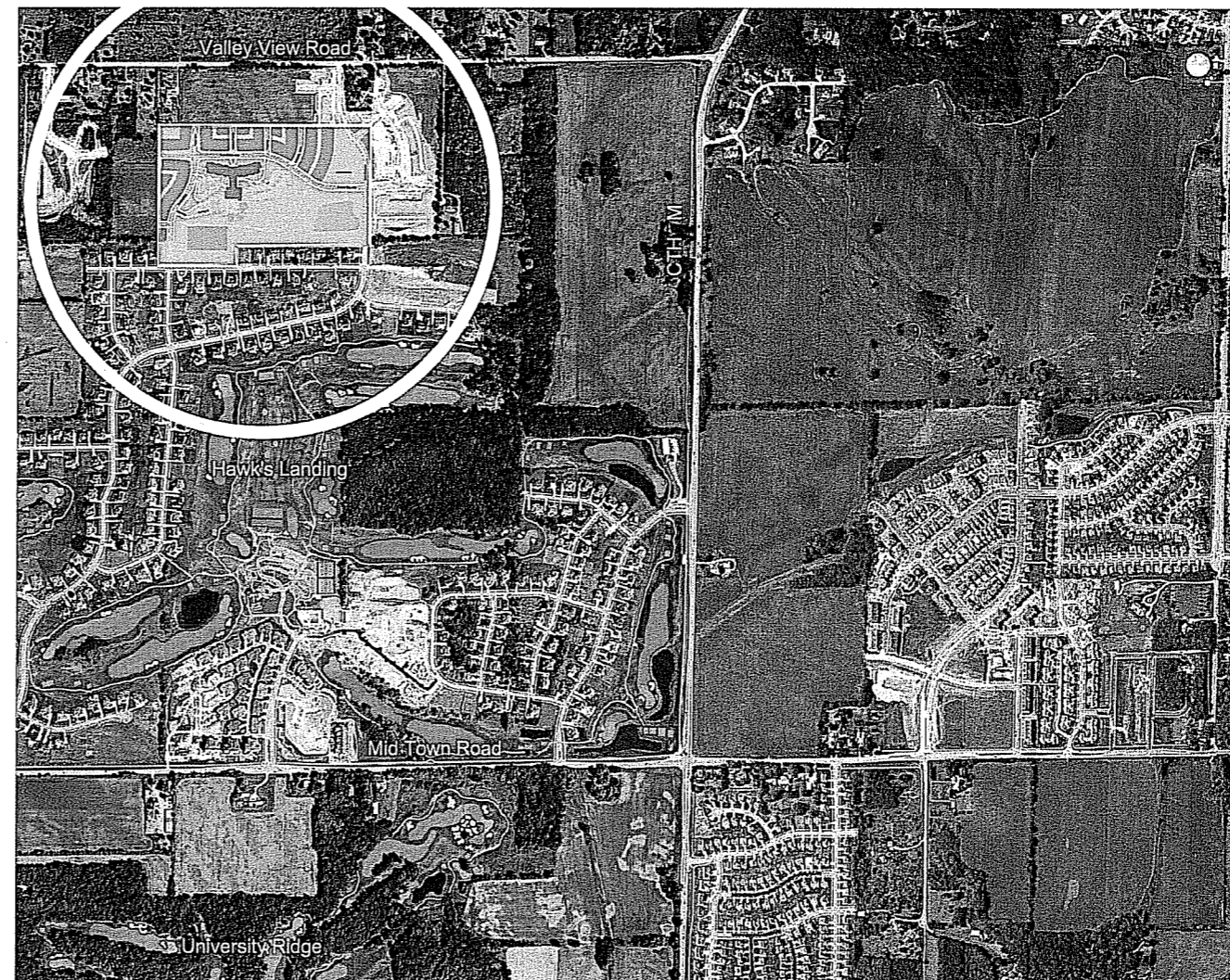
CHARACTER STUDY  
 CLASSROOM WING    ENTRY    LIBRARY OVER GYMNASIUM  
    CAFETERIA

**CONCEPTUAL DESIGN**

- The proposed school responds to the layout of the Linden Park neighborhood and complements the new, adjacent city park
- The building has approximately 90,000 square feet
- The school will be environmentally friendly, meeting the LEED (Leadership in Energy and Environmental Design) "Silver" standard.
- The school's central wing houses the larger common spaces—multipurpose room and library—and provides ample daylight and allows good views down the hill to the east.
- The school will have five classrooms each for kindergarten through fifth grade. These grade levels are paired (K-1, 2-3, 4-5) with flexible resource rooms provided in each wing.
- The first floor of the west wing contains other shared spaces: art and music rooms, the REACH classroom, and administrative offices.

**PROJECT INFORMATION**

<b>BUILDING USE:</b>	E (NEW ELEMENTARY SCHOOL)
<b>TOTAL BUILDING GROSS SQ. FT.:</b>	
FIRST FLOOR	50,161 S.F.
SECOND FLOOR	39,688 S.F.
<b>TOTAL</b>	<b>89,849 S.F.</b>
<b>TOTAL BUILDING OCCUPANTS:</b>	
STUDENTS	650
STAFF	90
<b>TOTAL</b>	<b>740</b>
<b>BICYCLE PARKING (1 PER 10 FACULTY &amp; STUDENTS ABOVE THE 2ND GRADE):</b>	
SPACES REQUIRED	42 (330 STUDENTS, 90 STAFF)
SPACES PROVIDED	59 (48 STUDENTS, 11 STAFF)
<b>PARKING SPACES (ONE PARKING SPACE FOR EVERY TWO (2) EMPLOYEES):</b>	
SPACES REQUIRED	45
SPACES PROVIDED	117
FACULTY/STAFF	95 (5 ACCESSIBLE, INCLUDING 1 VAN)
VISITOR	22 (1 ACCESSIBLE)
<b>HOURS OF OPERATION:</b>	M-F 6:00 A.M. TO 10:00 P.M.
<b>SITE ACREAGE:</b>	8.3 ACRES



LOCATION MAP

**Zimmerman**  
 ARCHITECTURAL STUDIOS, INC.

7707 Harvard Avenue | Milwaukee, WI 53213 | zstudio.com  
 TELEPHONE (414) 476-8500  
 FACSIMILE (414) 476-8582

Consultant:  
 Project:  
**LINDEN PARK  
 ELEMENTARY SCHOOL**  
**MADISON  
 METROPOLITAN  
 SCHOOL  
 DISTRICT**

Location:  
 801 Radan Drive  
 Madison, WI 53593

Key Plan:

Sheet:  
**Location Plan**

Scale:  
 Not to Scale

Revisions:

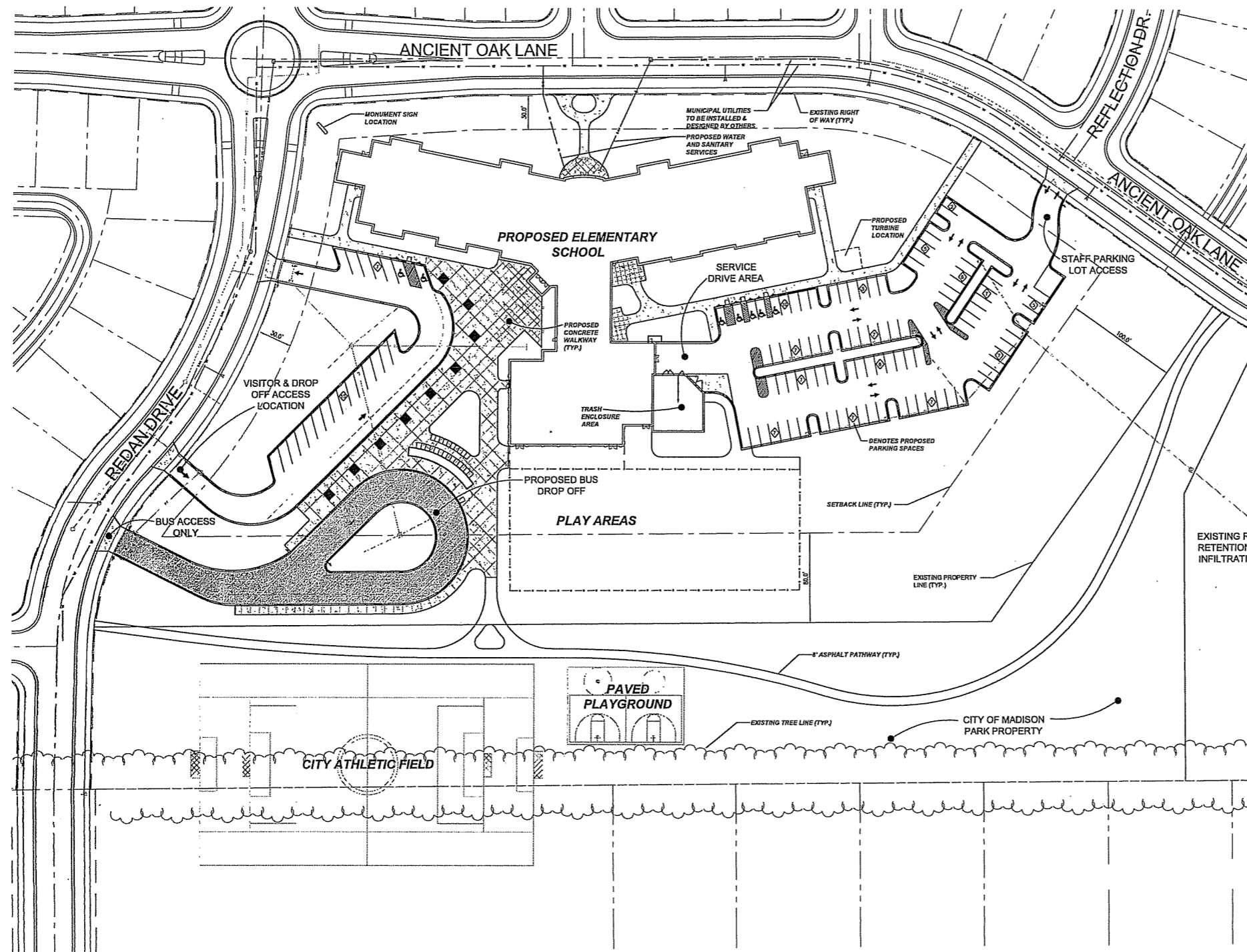
No.	Date	Description
1	1/19/07	Initial IIC Memorandum
2	1/23/07	Initial Plan Comments/IIC Final Approval Schedule
3	1/23/07	Initial Plan Comments/IIC Final Approval Schedule

Date:  
 January 31, 2007

Project No.:  
 060092.00

Sheet No.:

**A0.0**



- GENERAL NOTES AND SPECIFICATIONS**
- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY THE OWNER AND DONOFRO KOTKE AND ASSOCIATES, INC. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
  - BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL TO BE CONNECTED TO VERIFYING ELEVATION, LOCATION AND SIZE. SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
  - ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003) AS WELL AS THE CITY'S CONSTRUCTION STANDARDS AND THE DEPT. OF COMMERCE SEC. 82-87.
  - ALL PROPOSED CONNECTIONS TO EXISTING UTILITIES/STRUCTURES SHALL BE CORED.
  - ALL UTILITY PERMITS WILL NEED TO BE RECEIVED FROM THE CITY PRIOR TO THE START OF CONSTRUCTION.
  - NOTIFY THE CITY PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
  - BACKFILL REQUIREMENTS AND ROADWAYS/SIDEWALK RESTORATION SHALL ADHERE TO THE CITY'S STANDARDS (GRANKER BACKFILL UNDER OR WITHIN 5' OF CURBS, SIDEWALK OR PAVEMENT. SPOIL MAY BE USED ELSEWHERE. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS.)
  - ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
  - ALL PROPOSED WATERMAIN SHALL BE CLASS 55 DUCTILE IRON WITH ELASTOMERIC JOINTS AWWA C-111 OR PVC SDR 18, CLASS 150, AWWA C200W ELASTOMERIC JOINTS.
  - PROPOSED SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM D-3212.
  - PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
  - UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
  - SLT FENCE AND ALL OTHER EROSION CONTROL METHODS MUST BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALSO, CONTRACTOR IS RESPONSIBLE FOR REMOVING EROSION CONTROL METHODS ONCE THE SITE IS STABILIZED.
  - THE PROPOSED SITE LOCATION AND SURROUNDING STREETS MUST BE KEPT DEBRIS FREE. SWEEP STREETS AS NEEDED TO MAINTAIN CLEAN STREETS.
  - ALL EXCAVATED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
  - SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
  - ALL CONCRETE CURB AND GUTTER TO BE 1" VERTICAL FACE, UNLESS OTHERWISE NOTED. REVERSE OR REGULAR STYLE CURB DENOTED ON PLANS.
  - ALL CURB RADII ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL MATCH PROPOSED CONCRETE CURB AND GUTTER, SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
  - REMOVAL OF CURB AND GUTTER, SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
  - ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 3000 PSI.
  - CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
  - CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE RESPONSIBLE FOR TO EXISTING UTILITIES OR SITE IMPROVEMENTS. CONTRACTOR SHALL DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
  - PROJECT SAFETY ON-SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS, CONSTRUCTION MANAGER MAY HAVE SOILS REPORT FOR MORE INFO.
  - CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED UP PLANS (AS-BUILTS) SHOWING ANY CHANGES DURING CONSTRUCTION.

**SITE UTILITY LEGEND**

SYMBOL	DESCRIPTION
— W —	PROPOSED WATER MAIN
— W —	EXISTING WATER MAIN
— E —	EXISTING ELECTRICAL LINE
— E —	PROPOSED ELECTRICAL LINE
— GAS —	EXISTING GAS MAIN
— GAS —	PROPOSED GAS MAIN
— SAN —	EXISTING SANITARY SEWER
— SAN —	PROPOSED SANITARY SEWER
— ST —	EXISTING STORM SEWER
— ST —	PROPOSED STORM SEWER
— OHW —	OVERHEAD WIRES
⊙	SANITARY MANHOLE
⊙	FIRE HYDRANT
⊙	EXISTING WATER VALVE
⊙	PROPOSED WATER VALVE
⊙	STORM STRUCTURE

**TOTAL SITE CALCULATIONS:**

TOTAL SITE AREA	8.3 AC.
TOTAL DISTURBED AREA	6.2 AC.
EXISTING IMPERVIOUS AREA	0 AC.
PROPOSED ADDITIONAL IMPERVIOUS AREA	3.9 AC.
TOTAL IMPERVIOUS AREA	3.9 AC.
GREENSPACE = 4.3 AC. OR 52.7% OF SITE	
REGULAR PARKING SPACES	111
HANDICAP PARKING	6
TOTAL PARKING	117



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0173, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

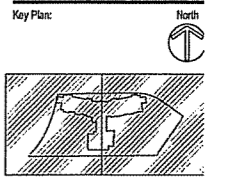
**Zimmerman**  
ARCHITECTURAL STUDIOS, INC.

7707 Harwood Avenue | Milwaukee, WI 53213  
205 W. Highland Ave  
Milwaukee, WI 53203  
Telephone (414) 476-9500  
Facsimile (414) 476-9502

**HARWOOD ENGINEERING CONSULTANTS, LT**  
7429 West Stone Street Milwaukee Wisconsin 53222  
414.475.5554 414.475.5488 fax harwood@hwc.com  
IEC Project Number: 040923.00

Project:  
**LINDEN PARK ELEMENTARY SCHOOL**  
**MADISON METROPOLITAN SCHOOL DISTRICT**

Location:  
801 Redan Drive  
Madison, WI 53583



**PROGRESS SET**  
NOT FOR CONSTRUCTION  
DATE: 01-31-07

Sheet  
**OVERALL SITE AND UTILITY PLAN**

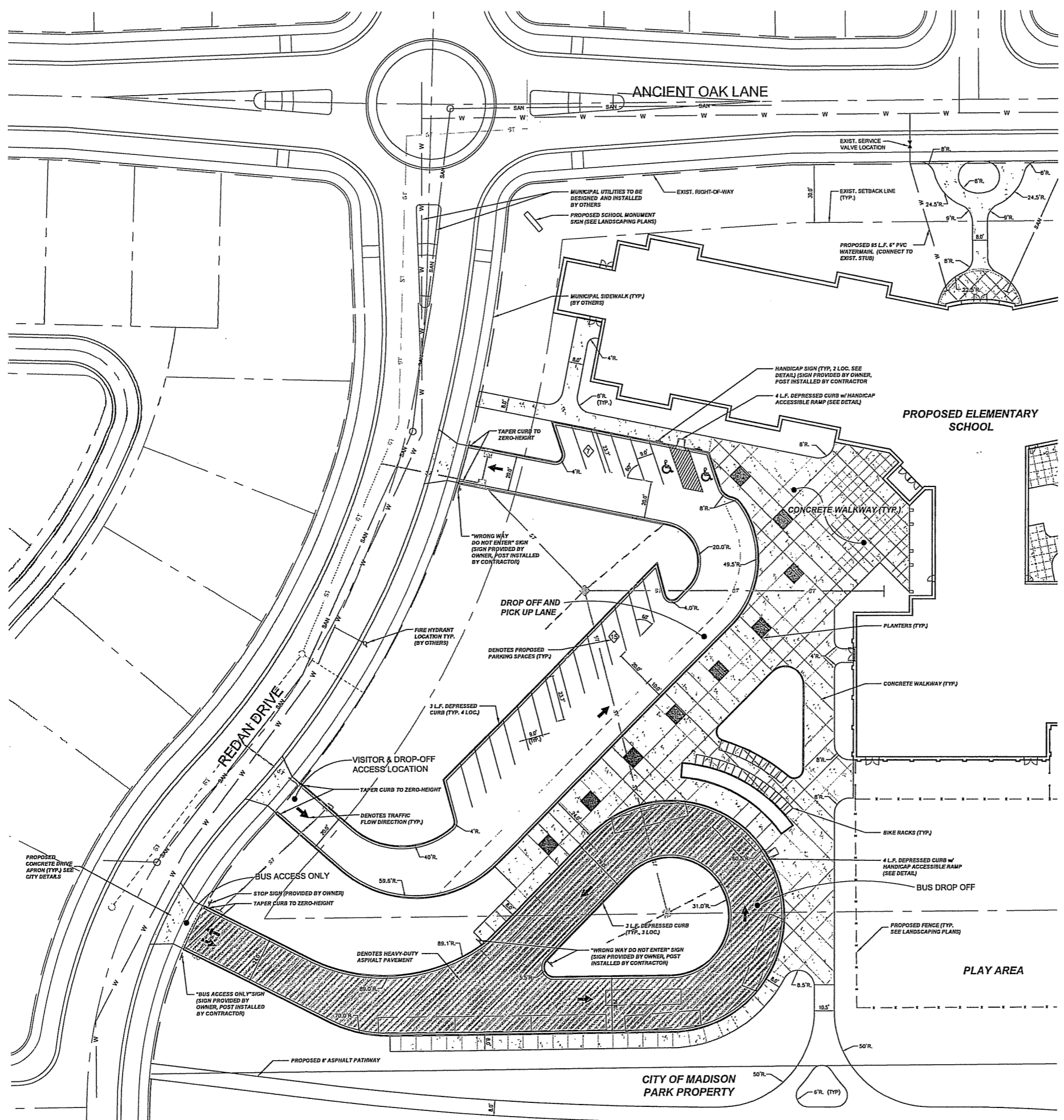
Scale:  
1" = 40'-0"

Revisions:

No.	Date	Description
1/20/07		Submittal - IEC International Standard
1/20/07		Submittal - IEC International Standard
1/20/07		Submittal - The Complete Standard

Date:  
January 31, 2007  
Project No.:  
060092.00  
Sheet No.:

**C1.2**



- GENERAL NOTES AND SPECIFICATIONS**
- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY THE OWNER AND DONORIO HOTTE AND ASSOCIATES, INC. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK.
  - BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL EXCAVATE EACH EXISTING UTILITY TO BE CONNECTED TO VERIFYING ELEVATION, LOCATION AND SIZE. SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
  - ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003) AS WELL AS THE CITY'S CONSTRUCTION STANDARDS AND THE DEPT OF COMMERCE SEC. 82-87.
  - ALL PROPOSED CONNECTIONS TO EXISTING UTILITIES/STRUCTURES SHALL BE CARED.
  - ALL UTILITY PERMITS WILL NEED TO BE RECEIVED FROM THE CITY PRIOR TO THE START OF CONSTRUCTION.
  - NOTIFY THE CITY PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
  - BACKFILL REQUIREMENTS AND ROADWAYS/SIDEWALK RESTORATION SHALL ADHERE TO THE CITY'S STANDARDS (GRANULAR BACKFILL UNDER OR WITHIN 5' OF CURBS, SIDEWALK, OR PAVEMENT. SPOTS MAY BE USED ELSEWHERE. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS).
  - ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
  - ALL PROPOSED WATERMAIN SHALL BE CLASS 55 DUCTILE IRON WITH ELASTOMERIC JOINTS ANVWA C-111 OR PVC SDR 11, CLASS 150, ANVWA C900V ELASTOMERIC JOINTS.
  - PROPOSED SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM D-3212.
  - PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
  - UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
  - S&T FENCE AND ALL OTHER EROSION CONTROL METHODS MUST BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALSO, CONTRACTOR IS RESPONSIBLE FOR REMOVING EROSION CONTROL METHODS ONCE THE SITE IS STABILIZED.
  - THE PROPOSED SITE LOCATION AND SURROUNDING STREETS MUST BE KEPT DEBRIS FREE. SWEEP STREETS AS NEEDED TO MAINTAIN CLEAN STREETS.
  - ALL EXCAVATED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
  - SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
  - ALL CONCRETE CURB AND GUTTER TO BE 18" VERTICAL FACE, UNLESS OTHERWISE NOTED. REVERSE OR REGULAR STYLE CURB DETOHED ON PLANS.
  - ALL CURB RADII ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL MATCH PROPOSED CONCRETE CURB AND GUTTER, SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
  - REMOVAL OF CURB AND GUTTER, SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
  - ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 3500 PSL.
  - CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
  - CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE RESPONSIBLE FOR TO EXISTING UTILITIES OR SITE IMPROVEMENTS. CONTRACTOR SHALL DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
  - PROJECT SAFETY ON-SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS. CONSTRUCTION MANAGER MAY HAVE SOILS REPORT FOR MORE INFO.
  - CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED UP PLANS (AS-BUILTS) SHOWING ANY CHANGES DURING CONSTRUCTION.

**SITE UTILITY LEGEND**

SYMBOL	DESCRIPTION
W	PROPOSED WATER MAIN
W	EXISTING WATER MAIN
E	EXISTING ELECTRICAL LINE
E	PROPOSED ELECTRICAL LINE
GAS	EXISTING GAS MAIN
GAS	PROPOSED GAS MAIN
SAN	EXISTING SANITARY SEWER
SAN	PROPOSED SANITARY SEWER
ST	EXISTING STORM SEWER
ST	PROPOSED STORM SEWER
OH/W	OVERHEAD WIRES
(S)	SANITARY MANHOLE
(FH)	FIRE HYDRANT
(V)	EXISTING WATER VALVE
(V)	PROPOSED WATER VALVE
(S)	STORM STRUCTURE

**PROGRESS SET**  
NOT FOR CONSTRUCTION  
DATE: 01-31-07

Scale:  
1" = 20'-0"

Revisions:

No.	Date	Description
1/17/07		Issue - IFC Information Added
1/24/07		Issue - IFC Addendum Number
1/24/07		Issue - Plan Complete Issued

Date:  
January 31, 2007

Project No.:  
060092.00

Sheet No.:

**C1.21**

**BIGGER'S HOLDING**  
1-800-242-8611

IN ACCORDANCE WITH WISCONSIN STATUTE 182.07(5), DAMAGE TO TRANSMISSION FACILITIES. EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "TIE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

**Zimmerman**  
ARCHITECTURAL STUDIOS, INC.

7707 Harwood Avenue  
Madison, WI 53713

205 W. Highland Avenue  
Suite 41  
Madison, WI 53702

Telephone (608) 478-5500  
Facsimile (608) 478-8842

Telephone (608) 278-1111  
Facsimile (608) 783-8747

Consultant:

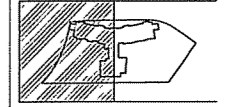
**HARWOOD ENGINEERING CONSULTANTS, LTD.**  
7420 West State Street  
Madison, WI 53706  
414-475-5554  
HCC Project Number 06-0092.00

Project:  
**LINDEN PARK ELEMENTARY SCHOOL**

**MADISON METROPOLITAN SCHOOL DISTRICT**

Location:  
801 Redan Drive  
Madison, WI 53753

Key Plan:



**PROGRESS SET**  
NOT FOR CONSTRUCTION  
DATE: 01-31-07

Sheet:  
**SITE AND UTILITY PLAN - WEST SIDE**

Scale:  
1" = 20'-0"

Revisions:

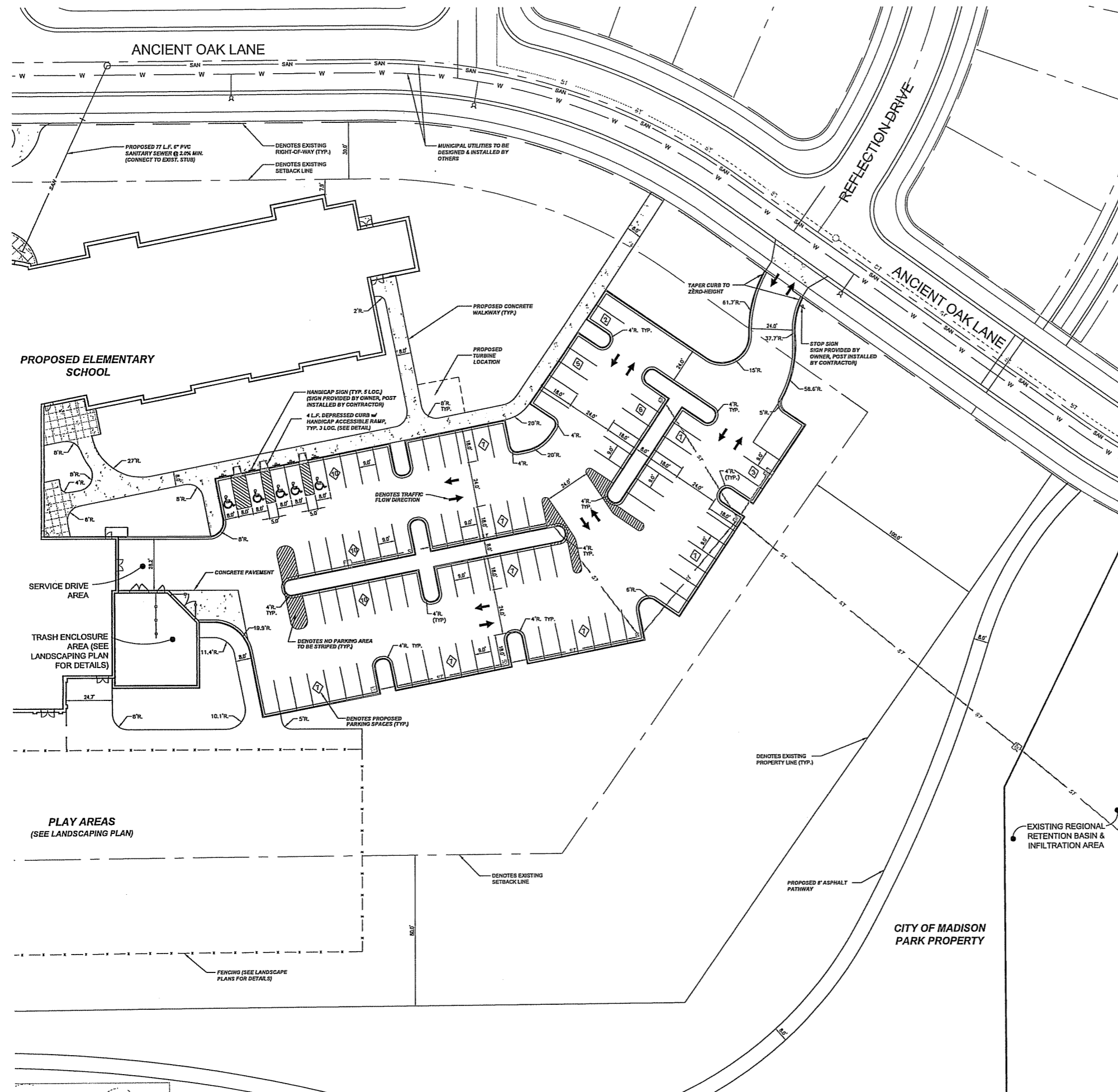
No.	Date	Description
1/17/07		Issue - IFC Information Added
1/24/07		Issue - IFC Addendum Number
1/24/07		Issue - Plan Complete Issued

Date:  
January 31, 2007

Project No.:  
060092.00

Sheet No.:

**C1.21**



- GENERAL NOTES AND SPECIFICATIONS**
- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY THE OWNER AND DIONISIO KOTIWE AND ASSOCIATES, INC. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEER'S PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK.
  - BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL LOCATE EACH EXISTING UTILITY TO BE CONNECTED TO VERIFYING ELEVATION, LOCATION AND SIZE. SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
  - ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003) AS WELL AS THE CITY'S CONSTRUCTION STANDARDS AND THE DEPT OF COMMERCE SEC. 12-07.
  - ALL PROPOSED CONNECTIONS TO EXISTING UTILITIES/STRUCTURES SHALL BE CORED.
  - ALL UTILITY PERMITS WILL NEED TO BE RECEIVED FROM THE CITY PRIOR TO THE START OF CONSTRUCTION.
  - NOTIFY THE CITY PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
  - BACKFILL REQUIREMENTS AND ROADWAYS/SIDEWALK RESTORATION SHALL ADHERE TO THE CITY'S STANDARDS (GRANULAR BACKFILL UNDER OR WITHIN 5' OF CURBS, SIDEWALK OR PAVEMENT; SPILL MAY BE USED ELSEWHERE. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS).
  - ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
  - ALL PROPOSED WATERMAIN SHALL BE CLASS 85 DUCTILE IRON WITH ELASTOMERIC JOINTS AWWA C-111 OR PVC SDR 18, CLASS 150, AWWA C800W ELASTOMERIC JOINTS.
  - PROPOSED SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM D-3312.
  - PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3312 (UNLESS OTHERWISE NOTED).
  - UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
  - SILT FENCE AND ALL OTHER EROSION CONTROL METHODS MUST BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALSO, CONTRACTOR IS RESPONSIBLE FOR REMOVING EROSION CONTROL METHODS ONCE THE SITE IS STABILIZED.
  - THE PROPOSED SITE LOCATION AND SURROUNDING STREETS MUST BE KEPT DEBRIS FREE. SWEEP STREETS AS NEEDED TO MAINTAIN CLEAN STREETS.
  - ALL EXCAVATED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
  - SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
  - ALL CONCRETE CURB AND GUTTER TO BE 18" VERTICAL FACE, UNLESS OTHERWISE NOTED. REVERSE OR REGULAR STYLE CURBS DENOTED ON PLANS.
  - ALL CURB RADII ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL MATCH PROPOSED CONCRETE CURB AND GUTTER, SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
  - REMOVAL OF CURB AND GUTTER, SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
  - ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 3500 PSI.
  - CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
  - CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE RESPONSIBLE FOR TO EXISTING UTILITIES OR SITE IMPROVEMENTS. CONTRACTOR SHALL DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
  - PROJECT SAFETY ON-SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS. CONSTRUCTION MANAGER MAY HAVE SOILS REPORT FOR MORE INFO.
  - CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED UP PLANS (AS-BUILTS) SHOWING ANY CHANGES DURING CONSTRUCTION.

**SITE UTILITY LEGEND**

SYMBOL	DESCRIPTION
W	PROPOSED WATER MAIN
W	EXISTING WATER MAIN
E	EXISTING ELECTRICAL LINE
E	PROPOSED ELECTRICAL LINE
GAS	EXISTING GAS MAIN
GAS	PROPOSED GAS MAIN
SAN	EXISTING SANITARY SEWER
SAN	PROPOSED SANITARY SEWER
ST	EXISTING STORM SEWER
ST	PROPOSED STORM SEWER
OHW	OVERHEAD WIRES
⊙	SANITARY MANHOLE
⊙	FIRE HYDRANT
⊙	EXISTING WATER VALVE
⊙	PROPOSED WATER VALVE
⊙	STORM STRUCTURE

**PROGRESS SET**  
NOT FOR CONSTRUCTION  
DATE: 01-31-07

Scale: 1" = 20'-0"

Revisions:

No.	Date	Description
1/26/07	1/26/07	Submittal - 100% International Bidset
1/26/07	1/26/07	Submittal - 100% Final Bidset
1/26/07	1/26/07	Submittal - 100% Construction Bidset

Date: January 31, 2007

Project No.: 060052.00

Sheet No.: C1.22

**DIGGER'S HOPIES**  
1-800-242-8611

IN ACCORDANCE WITH WISCONSIN STATUTE 152.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO LOCATE UTILITIES. CONTRACTOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

**Zimmerman**  
ARCHITECTURAL STUDIOS, INC.

7707 Harwood Avenue | Milwaukee, WI 53213 | zstudio.com  
7707 Harwood Avenue | Milwaukee, WI 53213 | zstudio.com

7707 Harwood Avenue | 205 W. Highland Avenue  
Milwaukee, WI 53213 | Suite 41  
Milwaukee, WI 53213

Telephone (414) 476-8300 | Telephone (414) 278-1111  
Facsimile (414) 476-8322 | Facsimile (414) 763-8877

Consultant:

**HARWOOD ENGINEERING CONSULTANTS, LT**  
7420 West State Street Milwaukee Wisconsin 532  
414.475.5554 414.475.5818 fax harwood@hew.com  
REG Project Number: 040092.00

Project:  
**LINDEN PARK ELEMENTARY SCHOOL**

**MADISON METROPOLITAN SCHOOL DISTRICT**

Location:  
801 Redden Drive  
Madison, WI 53593

Key Plan:

**PROGRESS SET**  
NOT FOR CONSTRUCTION  
DATE: 01-31-07

Scale: 1" = 20'-0"

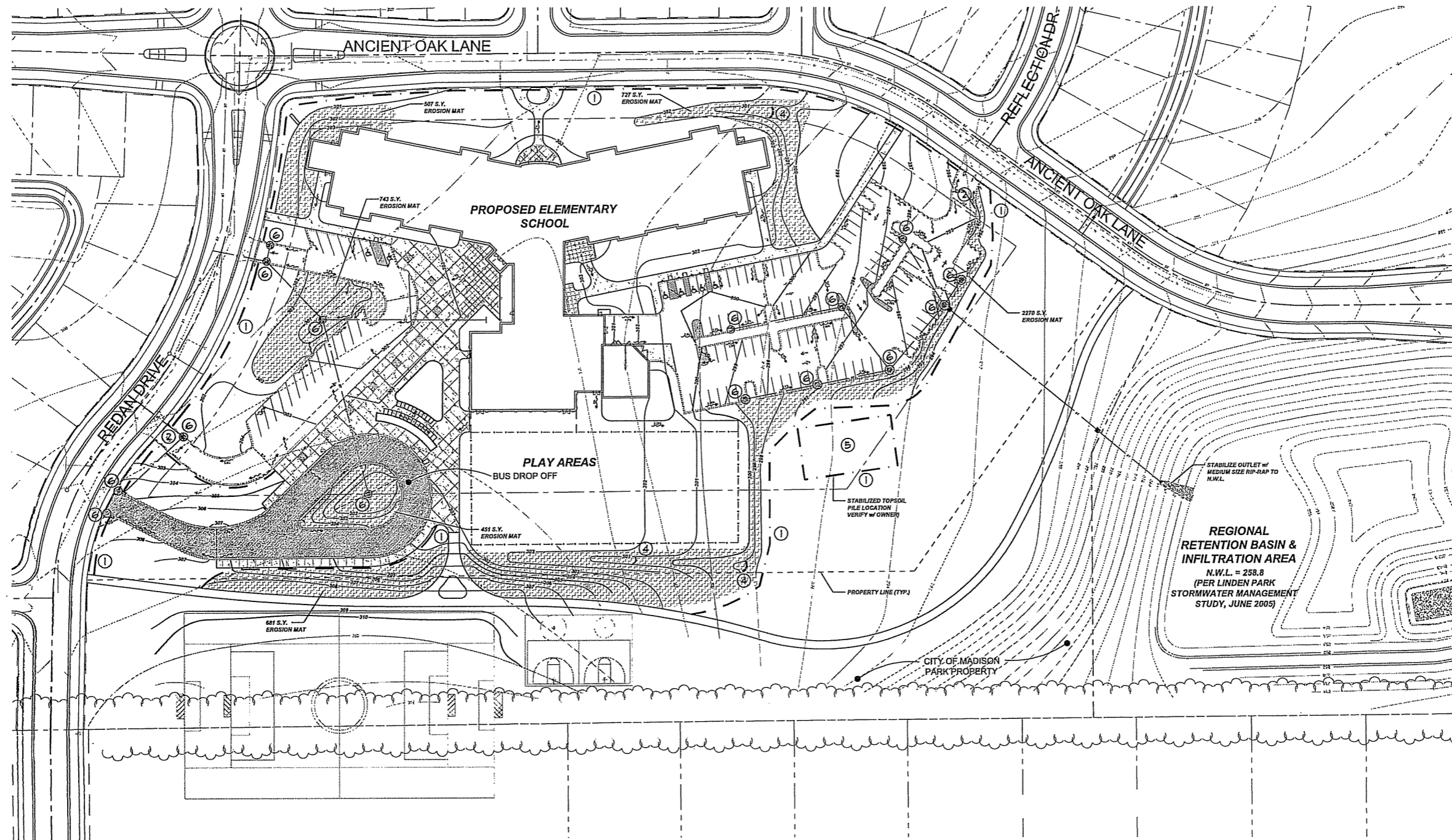
Revisions:

No.	Date	Description
1/26/07	1/26/07	Submittal - 100% International Bidset
1/26/07	1/26/07	Submittal - 100% Final Bidset
1/26/07	1/26/07	Submittal - 100% Construction Bidset

Date: January 31, 2007

Project No.: 060052.00

Sheet No.: C1.22



**EROSION CONTROL NOTES AND SPECIFICATIONS**

- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY THE OWNER DORFDRID KOTHE AND ASSOCIATES. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK.
- ESTIMATED CONSTRUCTION TIMELINES:  
 INSTALL EROSION CONTROL = APRIL 2007  
 BEGIN BUILDING CONSTRUCTION = APRIL 2007  
 GRADING AND UTILITY INSTALLATION = APRIL - JUNE 2007  
 SEEDING AND RESTORATION = JUNE - 2007  
 FINAL GRADING AND RESTORATION = MAY 2008  
 COMPLETE BUILDING CONSTRUCTION = JUNE 2008  
 ALL CHANGES TO THE ABOVE SCHEDULE SHALL BE REVIEWED AND APPROVED BY THE CITY.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCES AND SILT FENCE AT THE INDICATED LOCATIONS. THE CONSTRUCTION ENTRANCES AND SILT FENCE SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
- THE PROPOSED SITE LOCATION AND SURROUNDING STREETS MUST BE KEPT DEBRIS FREE. SWEEP STREETS AS NEEDED TO MAINTAIN CLEAN STREETS.
- ALL EXCAVATED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- ALL DISTURBED GRASS AREAS SHALL BE STABILIZED (PER DNR BEST MANAGEMENT HANDBOOK) WITHIN 7 DAYS OF COMPLETION. DISTURBED GRASS AREAS SHALL BE TOPSOILED (4"), RESEEDED, FERTILIZED AND MULCHED ACCORDING TO THE CITY SPECIFICATIONS. AREAS INDICATED ON PLANS SHALL BE COVERED WITH AN EROSION FABRIC (CLASS 1, TYPE A).
- RIP RAP SHALL BE PLACED AT STORM OUTFALLS WHERE INDICATED ON THE PLANS AT THE SAME TIME THE STORM SEWER IS INSTALLED.
- INLET FILTERS ARE TO BE PLACED IN NEW STRUCTURES AS SOON AS THEY ARE SET. FILTERS MUST BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE PROJECT.
- STOCKPILED TOPSOIL PILES SHALL RECEIVE AN APPLICATION OF POLYMER WITH TEMPORARY SEED IF THEY ARE TO REMAIN LONGER THAN 14 DAYS.
- THE CONTRACTOR SHALL MINIMIZE SITE DISTURBANCE TO LIMIT THE AMOUNT OF OPEN AREA CREATING SEDIMENT RUNOFF (E.G. STABILIZE DISTURBED AREAS AS SOON AS POSSIBLE BEFORE MOVING TO A NEW AREA).
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL RECOMMENDATIONS BY THE CITY TO CORRECT A CONCERN SHALL BE COMPLETED WITHIN 24 HOURS.
- SITE INSPECTIONS SHALL BE COMPLETED AND DOCUMENTED WEEKLY OR AFTER ANY RAINFALL OF 0.5" OR GREATER. ALL REQUIRED REPAIRS SHALL BE MADE WITHIN 24 HOURS.
- PROJECT SAFETY ON-SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL TEMPORARY EROSION CONTROL METHODS SHALL BE REMOVED FROM THE PROJECT AS SOON AS THE ENTIRE SITE HAS BEEN STABILIZED BY NATURAL GROWTH.

SITE UTILITY LEGEND	
SYMBOL	DESCRIPTION
— W —	PROPOSED WATER MAIN
— W —	EXISTING WATER MAIN
— E —	EXISTING ELECTRICAL LINE
— E —	PROPOSED ELECTRICAL LINE
— GAS —	EXISTING GAS MAIN
— GAS —	PROPOSED GAS MAIN
— SAN —	EXISTING SANITARY SEWER
— SAN —	PROPOSED SANITARY SEWER
— ST —	EXISTING STORM SEWER
— ST —	PROPOSED STORM SEWER
— OHW —	OVERHEAD WIRES
— OHW —	PROPOSED SILT FENCE
—	SANITARY MANHOLE
—	FIRE HYDRANT
—	EXISTING WATER VALVE
—	PROPOSED WATER VALVE
—	STORM STRUCTURE

EROSION CONTROL LEGEND	
①	SILT FILTER FENCE
②	CONSTRUCTION ENTRANCE
③	EROSION MAT
④	DITCH CHECK
⑤	STABILIZED TOPSOIL PILE
⑥	INLET SEDIMENT GUARD



IN ACCORDANCE WITH WISCONSIN STATUTE 192.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

**Zimmerman**  
 ARCHITECTURAL STUDIOS, INC.  
 7707 Harwood Avenue | Milwaukee, WI 53213 | zstudio.com  
 7707 Harwood Avenue | Milwaukee, WI 53213 | zstudio.com  
 7420 West State Street | Milwaukee | Wisconsin 532  
 414-473-3534 | 414-473-5478 fax | harwood@zstudio.com  
 HEC Project Number: 06-007100

7707 Harwood Avenue | 205 W. Highland Avenue  
 Milwaukee, WI 53213 | Suite 4  
 Milwaukee, WI 532  
 Telephone (414) 478-5000 Telephone (414) 278-14  
 Facsimile (414) 478-5002 Facsimile (414) 752-87  
 Consultant:

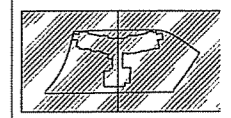
**HARWOOD**  
**ENGINEERING**  
**CONSULTANTS, LT**  
 7420 West State Street Milwaukee Wisconsin 532  
 414-473-3534 | 414-473-5478 fax | harwood@zstudio.com  
 HEC Project Number: 06-007100

Project:  
**LINDEN PARK**  
**ELEMENTARY SCHOOL**



Location:  
 801 Redan Drive  
 Madison, WI 53593

Key Plan:



**PROGRESS SET**  
 NOT FOR CONSTRUCTION  
 DATE: 01-31-07

Sheet  
**EROSION CONTROL**  
**PLAN**

Scale:  
 1" = 40'-0"

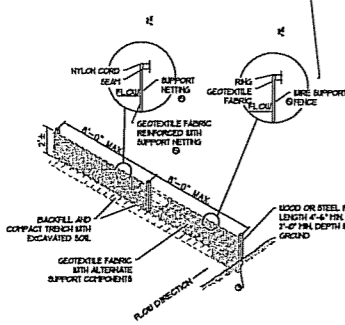
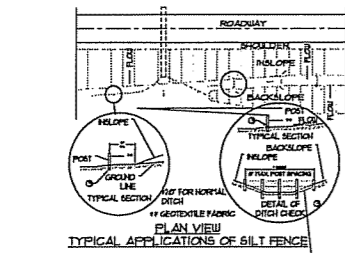
Revisions:		
No.	Date	Description
1/07/07	01-31-07	Initial Issue
2/07/07	02-01-07	Per Designer's Request

Date:  
 January 31, 2007

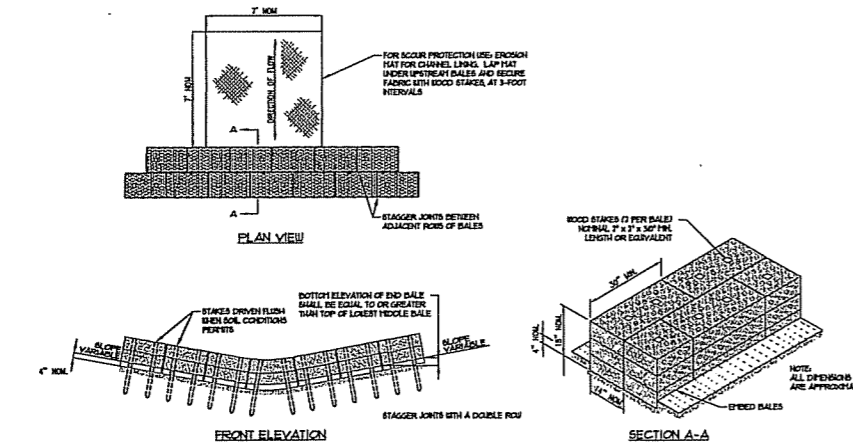
Project No.:  
 060092.00

Sheet No.:

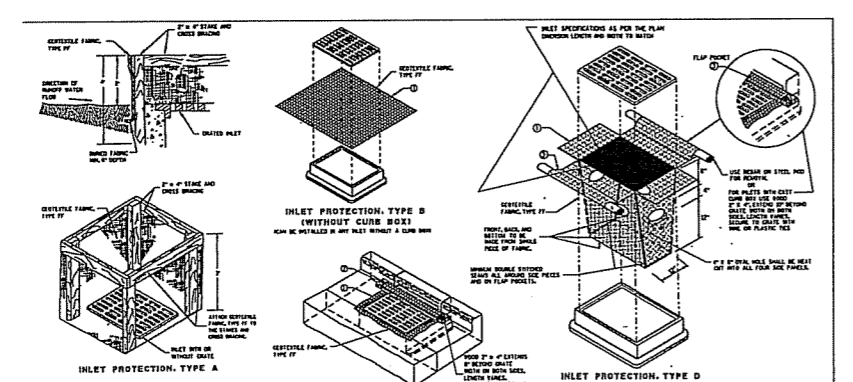
**C1.3**



**1 SILT FENCE DETAIL**  
NTS



**2 TEMPORARY DITCH CHECK USING EROSION BALES**  
NTS



**GENERAL NOTES**

- MANUFACTURER'S LITERATURE IS APPLICABLE AND LISTED IN THE SUPPLEMENTAL SPECIFICATIONS TO THE STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION.
- THE INLET PROTECTION SHALL BE INSTALLED IN THE CURB OR ON THE SIDE OF THE CURB OR ON THE SIDE OF THE ROADWAY. THE INLET PROTECTION SHALL BE INSTALLED IN THE CURB OR ON THE SIDE OF THE CURB OR ON THE SIDE OF THE ROADWAY.
- THE INLET PROTECTION SHALL BE INSTALLED IN THE CURB OR ON THE SIDE OF THE CURB OR ON THE SIDE OF THE ROADWAY.
- THE INLET PROTECTION SHALL BE INSTALLED IN THE CURB OR ON THE SIDE OF THE CURB OR ON THE SIDE OF THE ROADWAY.

**INSTALLATION NOTES**

**TYPE B & C**

THE EXCESS FRAME IN THE CURB OR ON THE SIDE OF THE ROADWAY SHALL BE CUT OFF AT THE CURB OR ON THE SIDE OF THE ROADWAY.

**TYPE D**

THE EXCESS FRAME IN THE CURB OR ON THE SIDE OF THE ROADWAY SHALL BE CUT OFF AT THE CURB OR ON THE SIDE OF THE ROADWAY.

**3 INLET PROTECTION**  
NTS

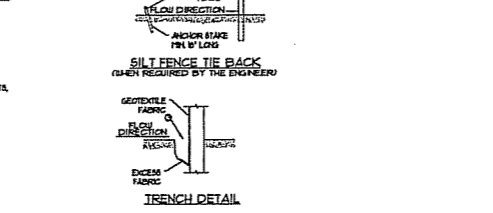
**GENERAL NOTES:**

DETAIL OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.

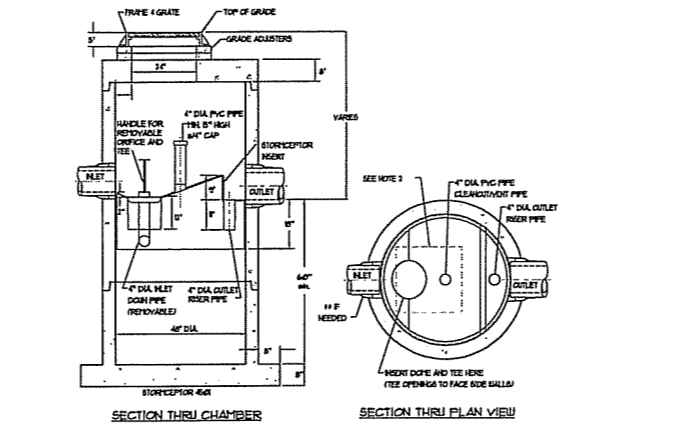
WHEN POSSIBLE THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR INCREASED SHAPE, WITH THE ENDS POINTING UP/DOWN TO MAINTAIN BOTH STRENGTH AND EFFECTIVENESS.

- CROSS BRACE WITH 4" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS AS DIRECTED BY THE ENGINEER.
- MINIMUM 1/4" GAGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE OVER ON TOP OF FABRIC.
- LOCATE A TRENCH 1/4" WIDE AND 4" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC, FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WIRE SUPPORT FABRIC SHALL BE IN GAGE THROUGH LENGTHS WITH A MINIMUM WIRE SPACING OF 4". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE OVER AT 9" O.C.
- GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MINIMUM WIRE SPACING OF 3/4" OR EQUAL, A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED.
- STEEL POSTS SHALL BE ANCHORED TO THE GROUND WITH AN ANCHOR SUFFICIENT TO RESIST POST MOVEMENT AS REQUIRED. WOOD POSTS SHALL BE A MINIMUM SIZE OF 4" DIA. OR 4" X 4" X 24" UNLESS OTHERWISE NOTED. GEOTEXTILE FABRIC REINFORCED WITH NETTING SHALL BE A MINIMUM SIZE OF 1-1/2" X 1-1/2" OAR OR HIGHER.

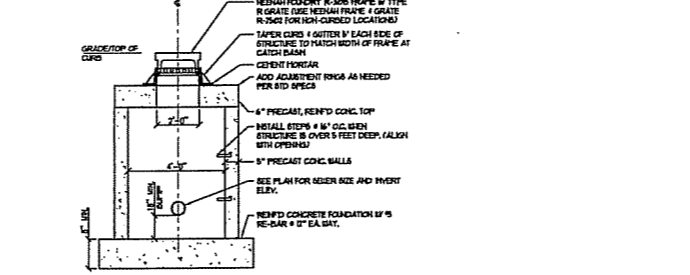
ALTERNATIVES A AND B ARE EQUAL AND EITHER MAY BE USED.



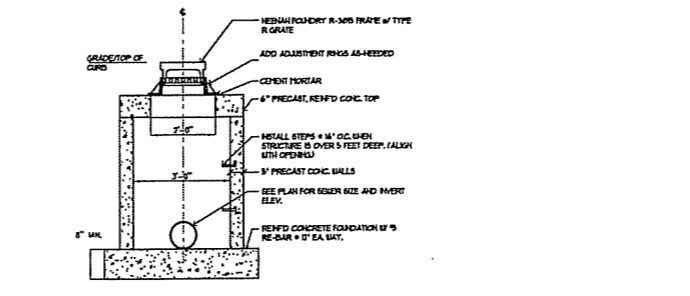
**4 TRACKING PAD DETAIL**  
NTS



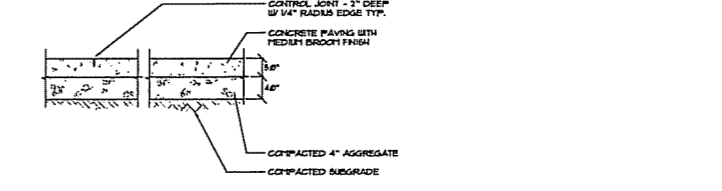
**5 WATER QUALITY & OIL COLLECTION DEVICE**  
NTS



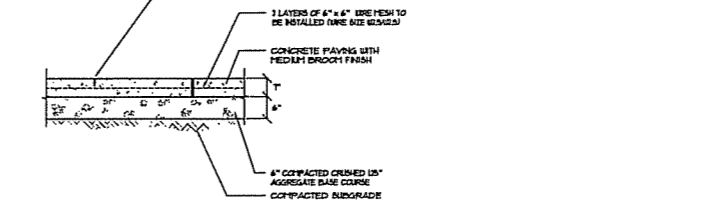
**6 STORM CATCH BASIN**  
NTS



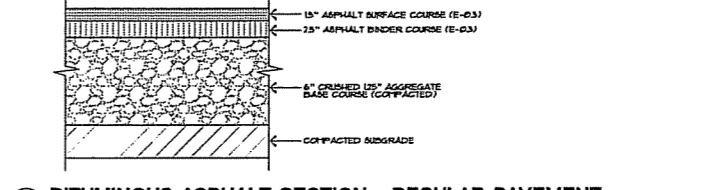
**7 INLET DETAIL**  
NTS



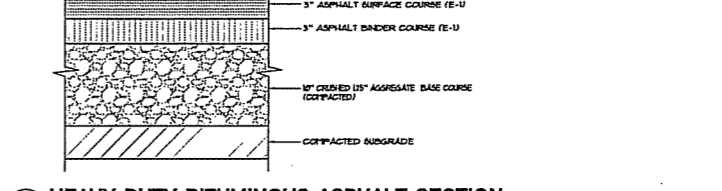
**8 CONCRETE SIDEWALK SECTION**  
NTS



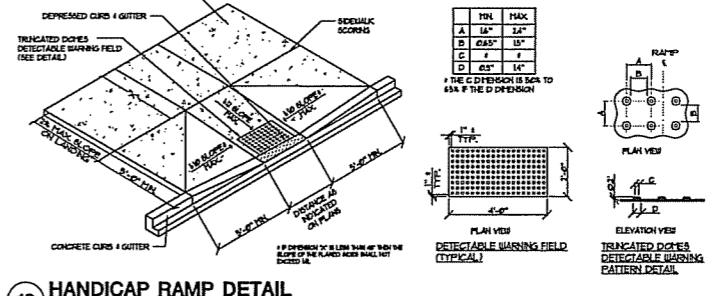
**9 CONCRETE PAVEMENT SECTION**  
NTS



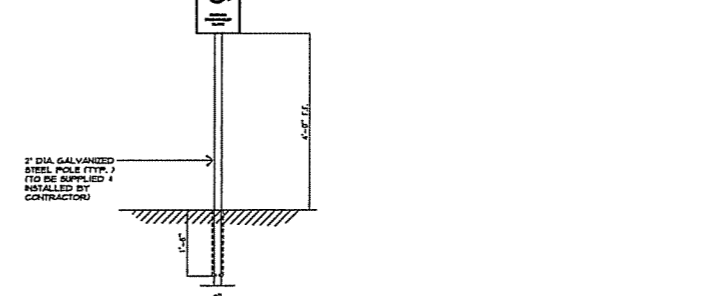
**10 BITUMINOUS ASPHALT SECTION - REGULAR PAVEMENT**  
NTS



**11 HEAVY DUTY BITUMINOUS ASPHALT SECTION**  
NTS



**12 HANDICAP RAMP DETAIL**  
NTS



**13 HANDICAP SIGN**  
NTS

**Zimmerman**  
ARCHITECTURAL STUDIOS, INC.

7707 Harwood Avenue | Milwaukee, WI 53213 | zstudio.com  
TEL: (414) 475-6068  
FACSIMILE: (414) 475-8932

7707 Harwood Avenue | 205 W. Highland Avenue  
Milwaukee, WI 53213 | Suite 41  
Milwaukee, WI 53227  
Telephone: (414) 475-5500 | Telephone: (414) 278-1414  
Facsimile: (414) 475-8532 | Facsimile: (414) 783-8787

Consultant:

**HARWOOD ENGINEERING CONSULTANTS, L.T.**  
7420 West State Street | Milwaukee | Wisconsin 53222  
414-475-5554 | 414-475-5599 fax | harwood@hrec.com  
REC Project Number: 06-029120

Project:  
**LINDEN PARK ELEMENTARY SCHOOL**

**MADISON METROPOLITAN SCHOOL DISTRICT**

Location:  
801 Radwan Drive  
Madison, WI 53553

Key Plan:

**PROGRESS SET FOR CONSTRUCTION**  
DATE: 01-31-07

Sheet:  
**DETAILS**

Scale:

Revisions:

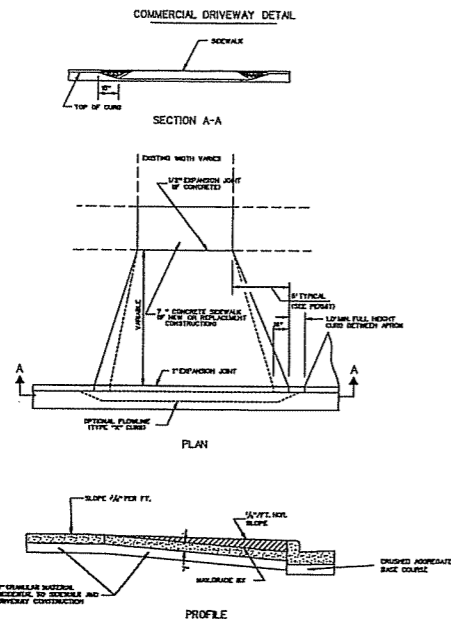
No.	Date	Description
1/27/07		Update - UIC International Standards
1/27/07		Update - 2003 International Standards
1/27/07		Update - Fire Detection Standard

Date:  
January 31, 2007

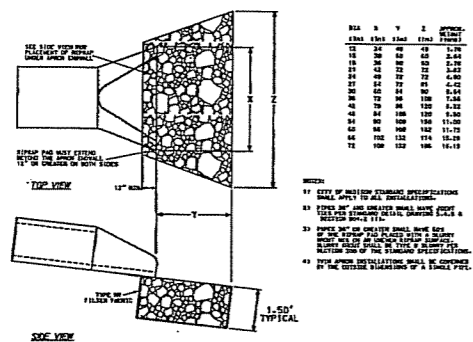
Project No.:  
060092.00

Sheet No.:

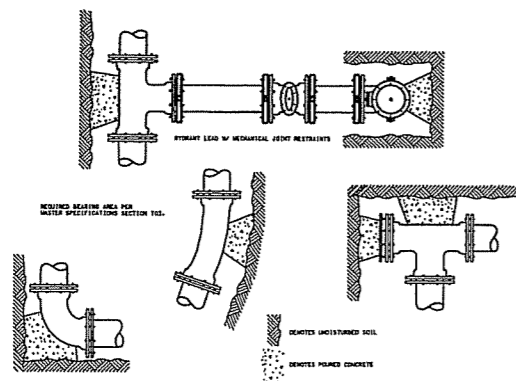
**C5.1**



13 DRIVE APRON  
NTS

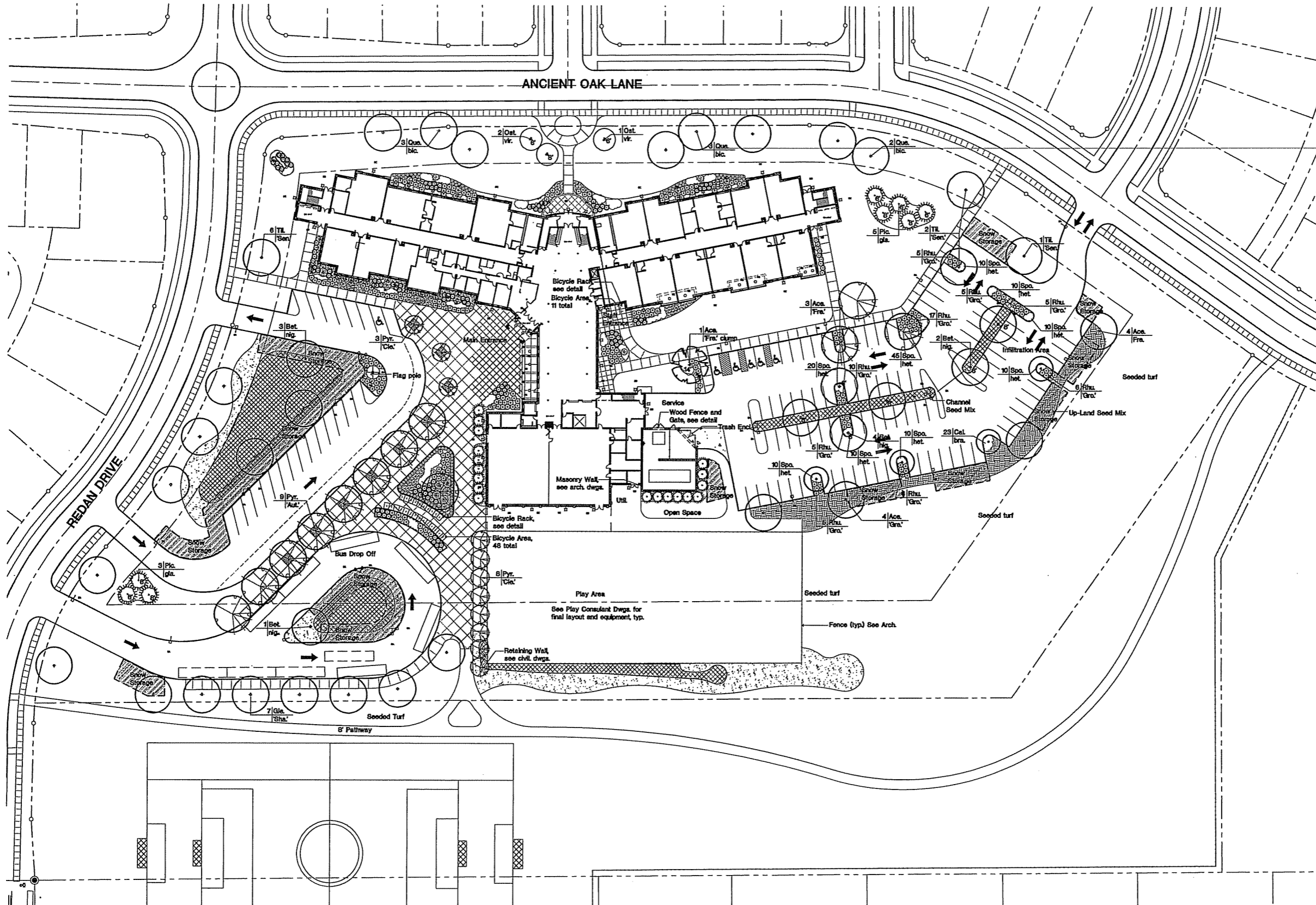


14 RIP RAP AT FLARED END SECTION  
NTS



15 STANDARD THRUST BLOCKING  
NTS

Revisions:	
No.	Description
11/20/06	Revised - UIC Mechanical Schedule
1/2/07	Revised - UIC Initial Approval Schedule
1/24/07	Revised - Post Construction Schedule



Consultant:

Project:  
**LINDEN PARK  
ELEMENTARY SCHOOL**  
**MADISON METROPOLITAN  
SCHOOL DISTRICT**

Location:  
801 Redan Drive  
Madison, WI 53703

Key Plan:

Sheet:  
**Overall  
Landscape Plan**

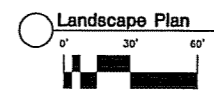
Scale:  
1" = 30'-0"

No.	Date	Description
1	1/27/07	Initial Plan
2	1/31/07	Revised Plan
3	2/1/07	Final Plan

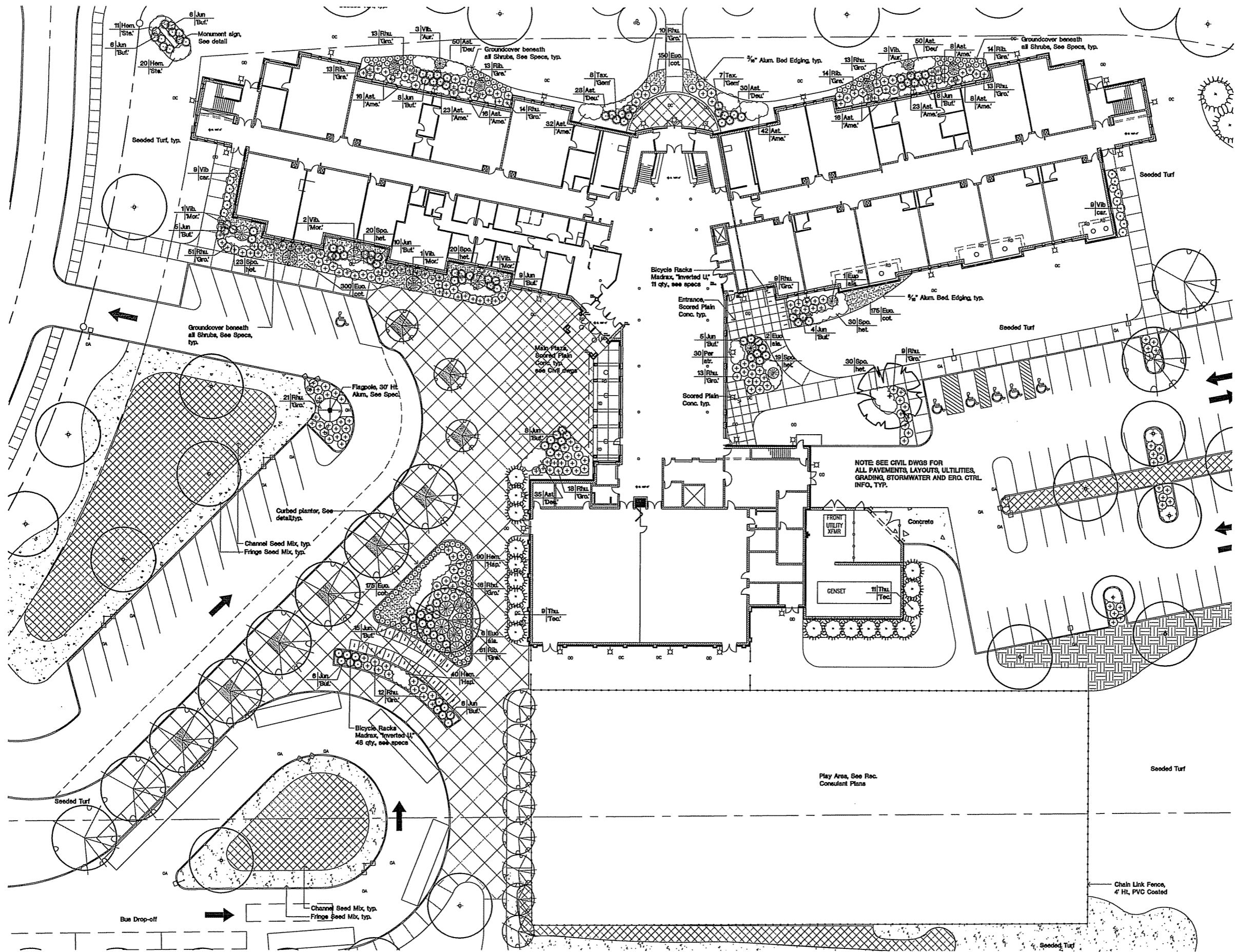
Date:  
January 31, 2007

Project No.:  
060052.00

Sheet No.:







# Zimmerman

ARCHITECTURAL STUDIOS, INC.

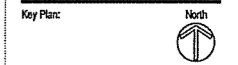
7707 Harwood Avenue | Menasha, WI 53233 | zstudio.com  
 TELEPHONE (414) 474.8500  
 FACSIMILE (414) 474.8582

Consultant:

Project:  
 LINDEN PARK  
 ELEMENTARY SCHOOL



Location:  
 801 Fledan Drive  
 Madison, WI 53533



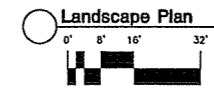
Sheet:  
 Landscape  
 Enlargements

Scale:  
 1/16"=1'-0"

No.	Date	Description
1/2/07		Submit IBC International Schedule
1/2/07		Submit Per Committee IBC and Approval Schedules
1/2/07		Submit Per Committee IBC Final Approval Schedules

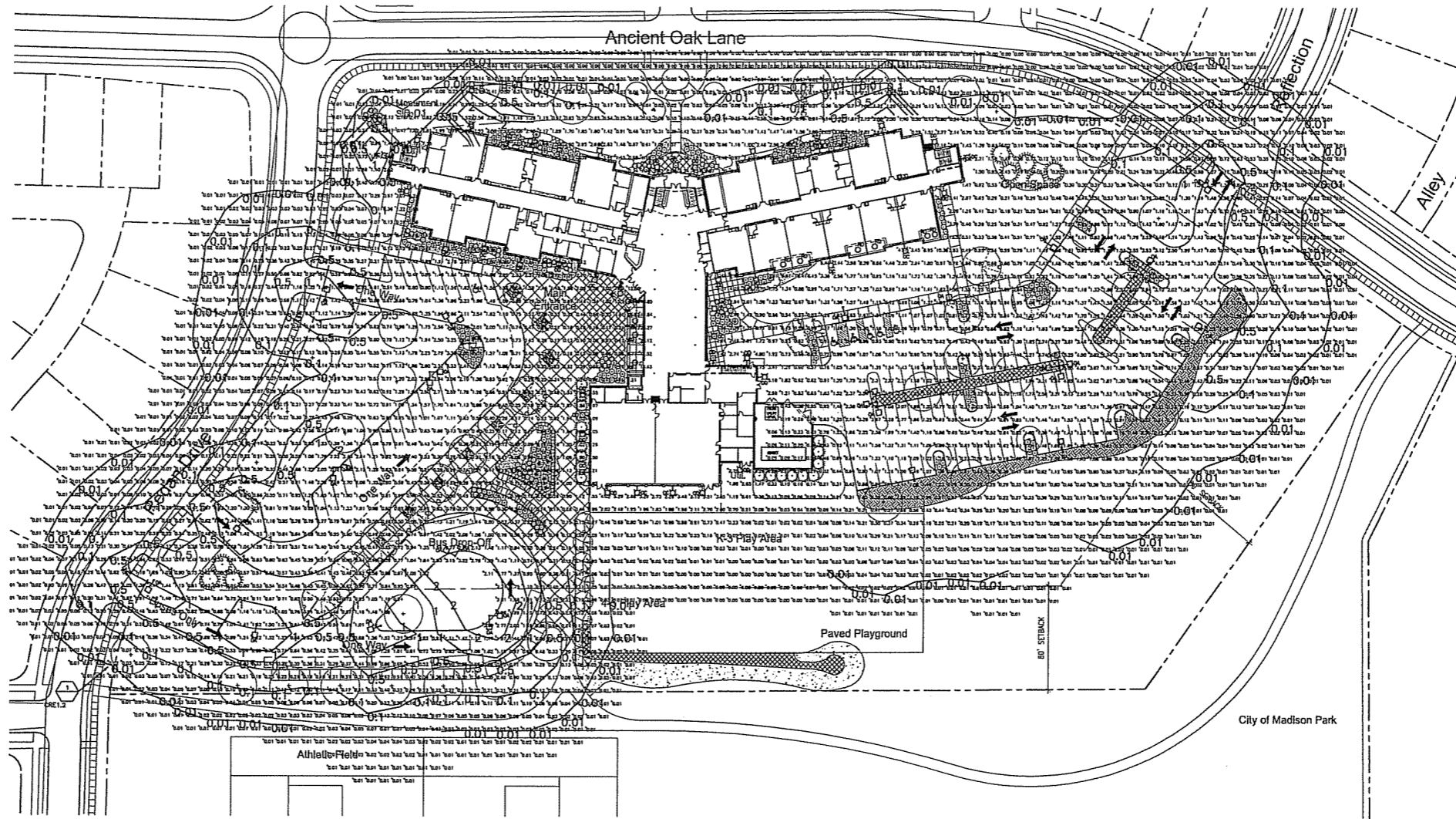
Date:  
 January 31, 2007  
 Project No.:  
 060092.00

Sheet No.:



# L1.1





1 Electrical Site Plan  
1" = 40'-0"

PLAN NOTES:  
1. CONTOUR LINES INDICATE FINISHED ELEVATIONS AT 4'-0" ABOVE FINISHED GRADE.

LIGHTING FIXTURE SCHEDULE										
DES.	DESCRIPTION	LAMP DATA	VOLT	DEPTH	LIGHTING FIXTURE			BALLAST	MTG.	SEC. NOTE
		NO. TYPE			MFR.	SERIES	OPTIONS/ACCESSORIES	TYPE		
DA	HID CLOSET NEA TYPE II, DIST. 10' SSS POLE	1 175 W/4	120		BETA	BAA SERIES		PS POLE	CHD	
DC	HID CLOSET WALL MOUNT FORWARD THROW/CLW	1 7076G12	120		INVAE	ENTFTG SERIES		E WALL	VERIFY 23	
DD	FLUORESCENT WALL MOUNT FORWARD THROW/CLW SECURITY LIGHT	2 F427BX	120		INVAE	ENTFTG SERIES		E WALL	VERIFY 22,23	
DF	HID GROUND MTD. ADD. FLOOD W/ET. HARBOR FLOOD	1 150764H	120		INVAE	PH49NF SERIES		PS POLE	CHD	
FD	8 INCH ROUND DOWN LIGHT	2 F427BX	120		PORTFOLIO	CF7427280		E REC	VERIFY	

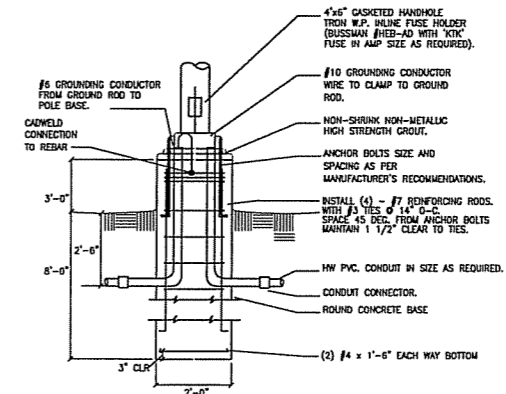
  

ABBREVIATIONS:		AS REQUIRED		NOT APPLICABLE		STANDARD (HID)		VARIES	
AS	CONC. BASE	CONC.	CONCRETE	CONC.	CONCRETE	CONC.	CONCRETE	CONC.	CONCRETE
E	ELECTRONIC EXPOSED STRUCTURE	E	ELECTRONIC	E	ELECTRONIC	E	ELECTRONIC	E	ELECTRONIC
EXP	EXPOSED STRUCTURE	EXP	EXPOSED	EXP	EXPOSED	EXP	EXPOSED	EXP	EXPOSED
OP	OPTIONS/ACCESSORIES CODE LISTING	OP	OPTIONS/ACCESSORIES	OP	OPTIONS/ACCESSORIES	OP	OPTIONS/ACCESSORIES	OP	OPTIONS/ACCESSORIES

NO.	DESCRIPTION	NO.	DESCRIPTION
01.	0.125" PATTERN 12 ACRYLIC LENS	10.	CUSTOM COLOR
02.	HOLD-PHASE B246 LENS	11.	PENDANT MOUNT
03.	PAINT AFTER FABRICATION	12.	SAFETY CHAIN
04.	SPRING LOADED LATCHES	13.	NEVA HOOK, CORD AND PLUG
05.	FLUSH ALUMINUM HOOR FRAME	14.	WIRE GUARD
06.	ELECTRONIC BALLAST, TOTAL HARMONIC DISTORTION < 10%	15.	EMERGENCY BALLAST
07.	FLUORESCENT DIMMING BALLAST	16.	TOP AND BOTTOM LENSING
08.	WHITE TRIM RING	17.	TIME DELAY
09.	SEMI-DIFFUSE, LOW-INTENSIFY CLEAR ALUM. REFLECTOR	18.	WET LOCATION LABEL
		19.	DAMP LOCATION CONSTRUCTION
		20.	FURNISH WITH UNIVERSAL ARROWS AND RED STENCIL FACE
		21.	QUARTZ RESTRIKES
		22.	EMERGENCY OPERATOR-INTERNAL HEAD BATTERY
		23.	LOCKING TYPE SOCKETS
		24.	SLOPE ADAPTER
		25.	TWO BALLAST COVERS
		26.	STANDARD FINISH TO BE SELECTED BY ARCHITECT
		27.	277/24 VOLT TRANSFORMER
		28.	LEAD-CALCIUM BATTERY
		29.	INCLUDE SELF-DIAGNOSTICS

LIGHTING STATISTICS			
DESCRIPTION	AVG.	MIN.	AVG./MIN.
DRIVE EAST	1.4 fc	0.42 fc	2.5:1
DRIVE NORTHWEST	.81 fc	0.45 fc	1.8:1
DRIVE SOUTHWEST	0.85 fc	0.33 fc	2.6:1
PARKING EAST	1.47 fc	0.31 fc	4.7:1
PARKING NORTHWEST	1.15 fc	0.25 fc	4.6:1
PARKING SOUTHWEST	2.20 fc	0.29 fc	4.1:1



2 POLE BASE DETAIL  
E1.1 NTS

NOTES:  
1. DIMENSIONS GIVEN ARE MINIMUM. PROVIDE POLE BASE DIAMETER AND DEPTH AS REQUIRED IN ACCORDANCE WITH LOCAL SOIL AND WIND VELOCITY CONDITIONS.  
2. ALL LIGHTING POLE CONCRETE BASES SHALL BE LOCATED A MINIMUM OF 12 INCHES OFF THE FACE OF THE CURBING OR CENTERED WITHIN AN ISLAND. IN ALL CASES, HOWEVER, FINAL LOCATIONS OF LIGHTING POLES MUST BE VERIFIED WITH THE ARCHITECT/ENGINEER PRIOR TO INSTALLATION.

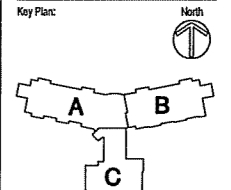
**Zimmerman**  
ARCHITECTURAL STUDIOS, INC.

Consultant:  
**HARWOOD ENGINEERING CONSULTANTS, LTD.**  
7420 West State Street, Milwaukee, Wisconsin 53213  
414.475.5334 ext. 422.5388 Fax: 414.475.5389  
E.C. Project Number: 04-00120

Project:  
**LINDEN PARK ELEMENTARY SCHOOL**

**MADISON METROPOLITAN SCHOOL DISTRICT**

Location:  
801 Redan Drive  
Madison, WI 53793



1/31/07

Sheet:  
Electrical Site Plan

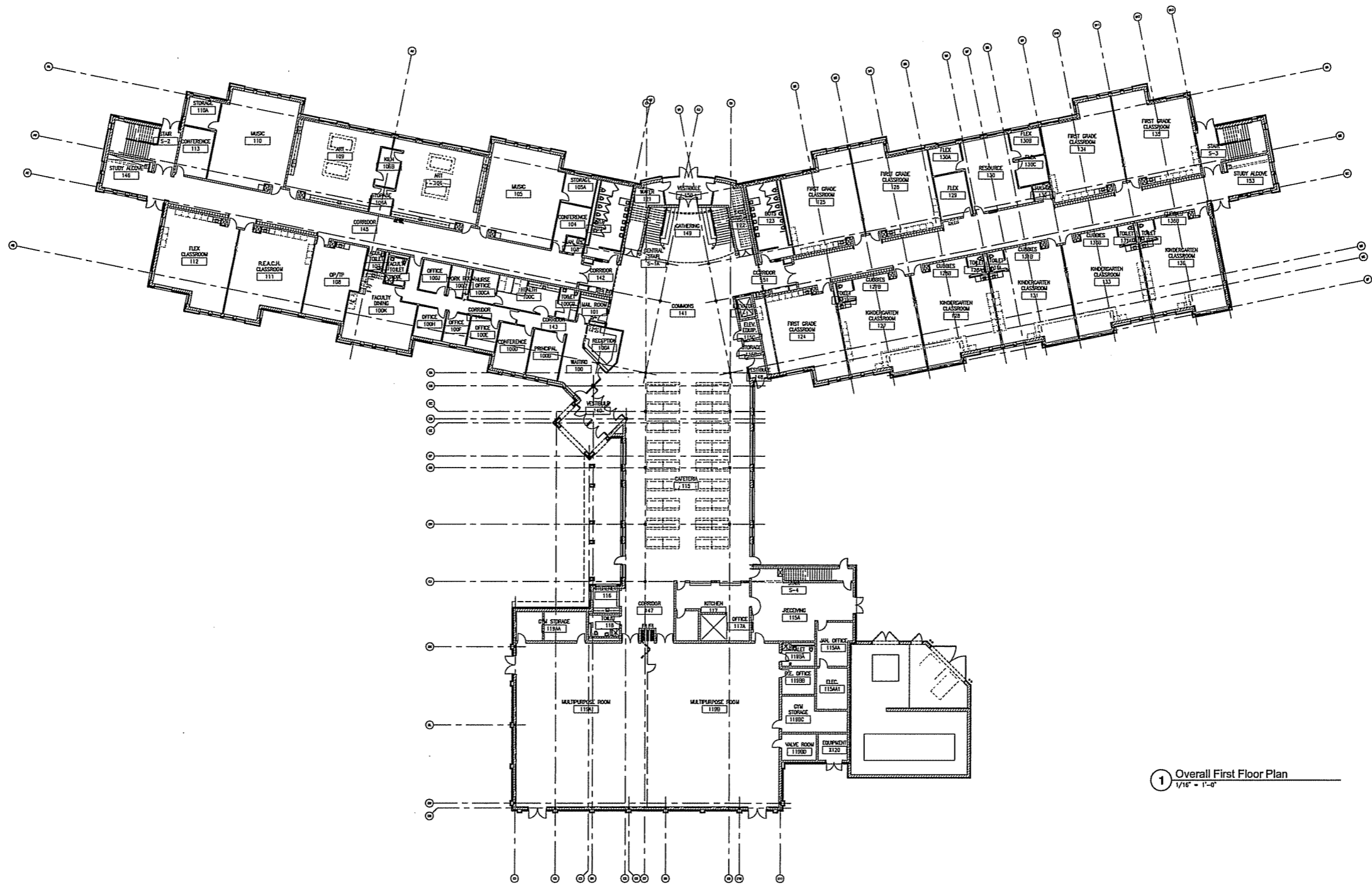
Scale:

Rev.	Date	Description
1/1/07		Initial Issue
1/2/07		Revised Per Comments/EC
1/12/07		Revised Per Comments/EC

Date:  
January 31, 2007  
Project No.:  
060092.00  
Sheet No.:

**CRE1.2**

H:\WORK\2006\06-0092\06-0092\ELECTRICAL\REVIEWS\06-0092\ELECTRICAL\06-0092\_01\_31\_07\_060092\_00\_CRE1.2.dwg, 1/29/2007 10:24:20 AM, WESBURY



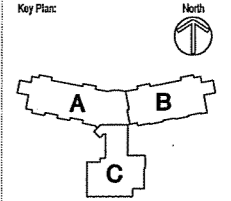
1 Overall First Floor Plan  
1/16" = 1'-0"

Consultant:

Project:  
LINDEN PARK  
ELEMENTARY SCHOOL



Location:  
601 Redan Drive  
Madison, WI 53593



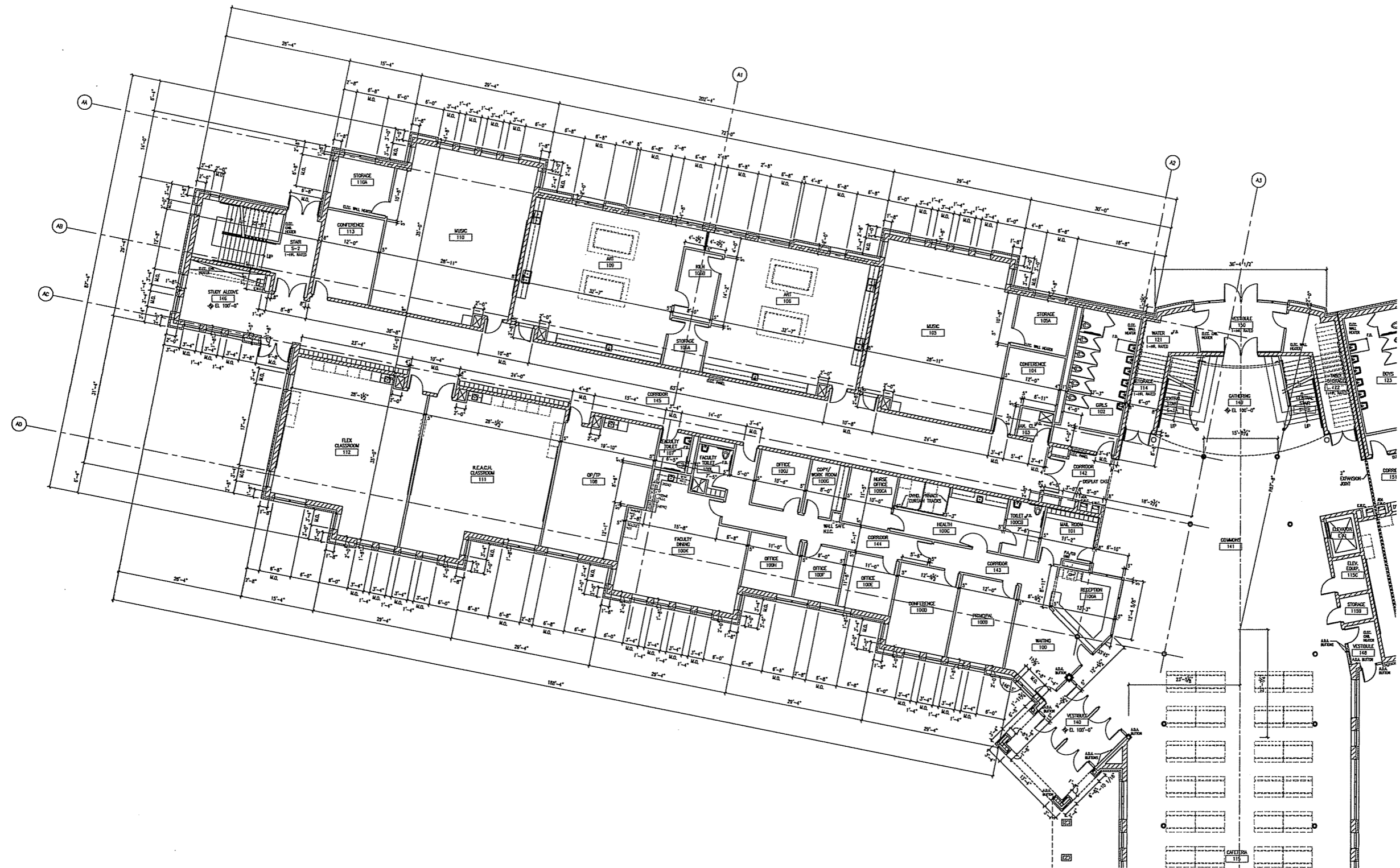
Sheet:  
Overall First Floor Plan

Scale:  
1/16" = 1'-0"

Revisions:

No.	Date	Description
01/27/07	01/27/07	Revised 102 Interim/Initial Submittal
02/07	02/07	Revised Plan Commission/CCF Initial Approval Submittal
03/07	03/07	Revised Plan Commission/CCF Final Approval Submittal

Date:  
January 31, 2007  
Project No.:  
060092.00  
Sheet No.:



1 Partial First Floor Plan - Area 'A'  
1/8" = 1'-0"

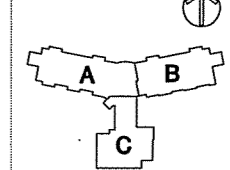
Consultant

Project:  
LINDEN PARK  
ELEMENTARY SCHOOL



Location:  
801 Redan Drive  
Madison, WI 53593

Key Plan:



Sheet:  
Partial First Floor Plan -  
Area 'A'

Scale:  
1/8" = 1'-0"

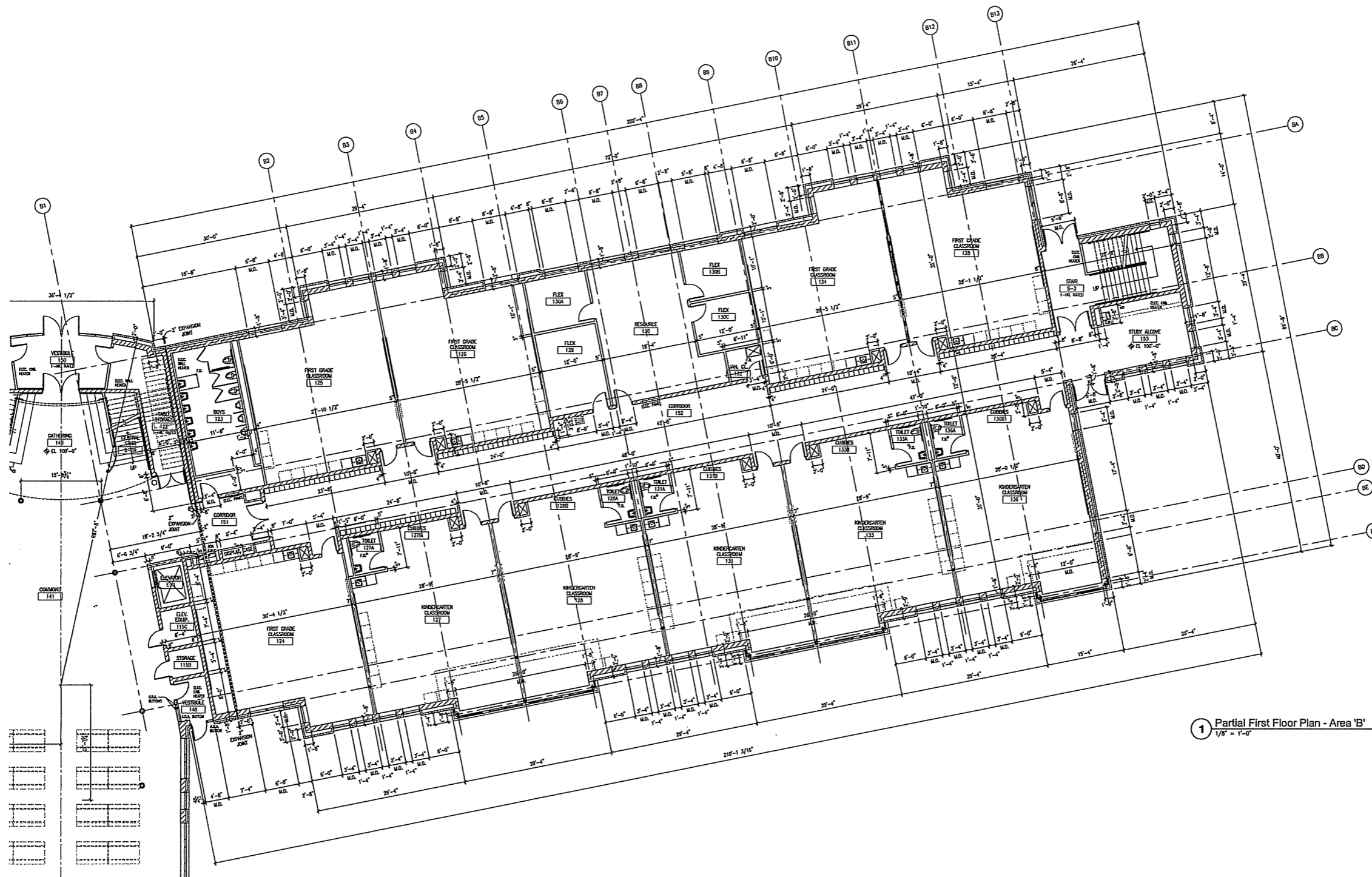
No.	Date	Description
1/2/07	1/2/07	Initial LSC Interim/Initial
1/2/07	1/2/07	Initial Plan Committee/LSC Initial Approval
1/2/07	1/2/07	Initial Plan Committee/LSC Final Approval

Date:  
January 31, 2007

Project No.:  
060092.00

Sheet No.:

**A2.0a**



1 Partial First Floor Plan - Area 'B'  
 1/8" = 1'-0"

Consultant:

Project:  
 LINDEN PARK  
 ELEMENTARY SCHOOL



Location:  
 801 Redan Drive  
 Madison, WI 53563

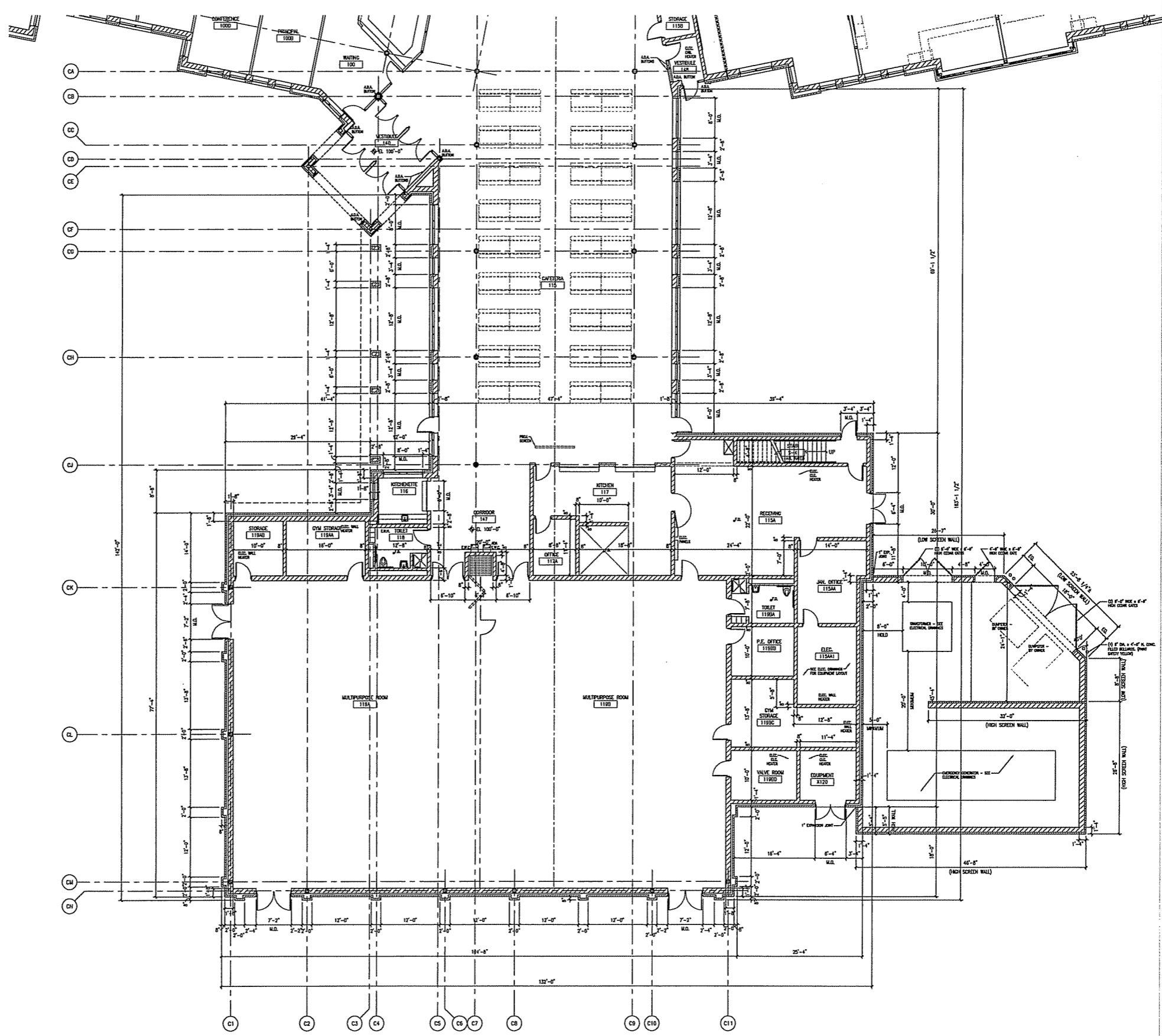
Key Plan: North

Sheet:  
 Partial First Floor Plan -  
 Area 'B'

Scale:  
 1/8" = 1'-0"

No.	Date	Description
1/2/07		Initial Design
1/23/07		Revised Design
1/24/07		Final Design

Date:  
 January 31, 2007  
 Proj'd No.:  
 060092.00  
 Sheet No.:



Consultant

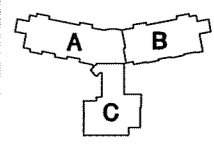
---

Project:  
**LINDEN PARK  
ELEMENTARY SCHOOL**



Location:  
801 Redan Drive  
Madison, WI 53533

Key Plan: North



Sheet:  
**Partial First Floor Plan -  
Area 'C'**

Scale:  
1/8" = 1'-0"

Revisions:

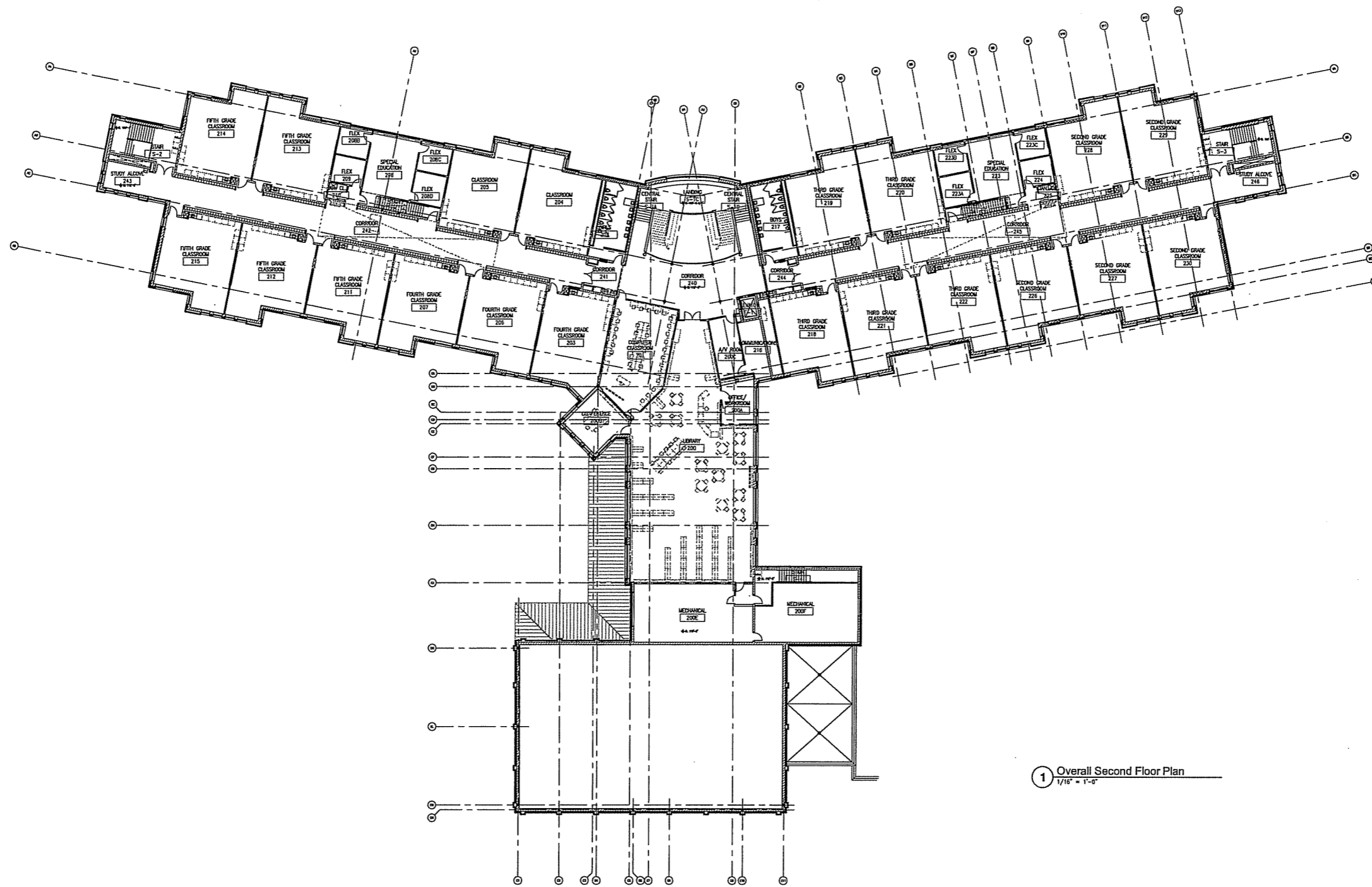
No.	Date	Description
1/2/07	11/29/06	Initial ITC Informational Submittal
2/2/07	1/22/07	Initial Per Committee ITC Initial Approval Sheet
3/2/07	2/2/07	Initial Per Committee ITC Final Approval Sheet

Date:  
January 31, 2007

Projed No.:  
060092.00

Sheet No.:

1 Partial First Floor Plan - Area 'C'  
1/8" = 1'-0"



1 Overall Second Floor Plan  
1/16" = 1'-0"

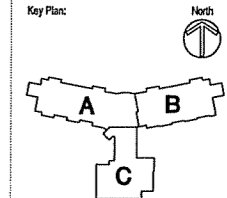
Consultant:

Project:  
LINDEN PARK  
ELEMENTARY SCHOOL



Location:  
801 Redan Drive  
Madison, WI 53583

Key Plan:



Sheet:  
Overall Second Floor Plan

Scale:  
1/16" = 1'-0"

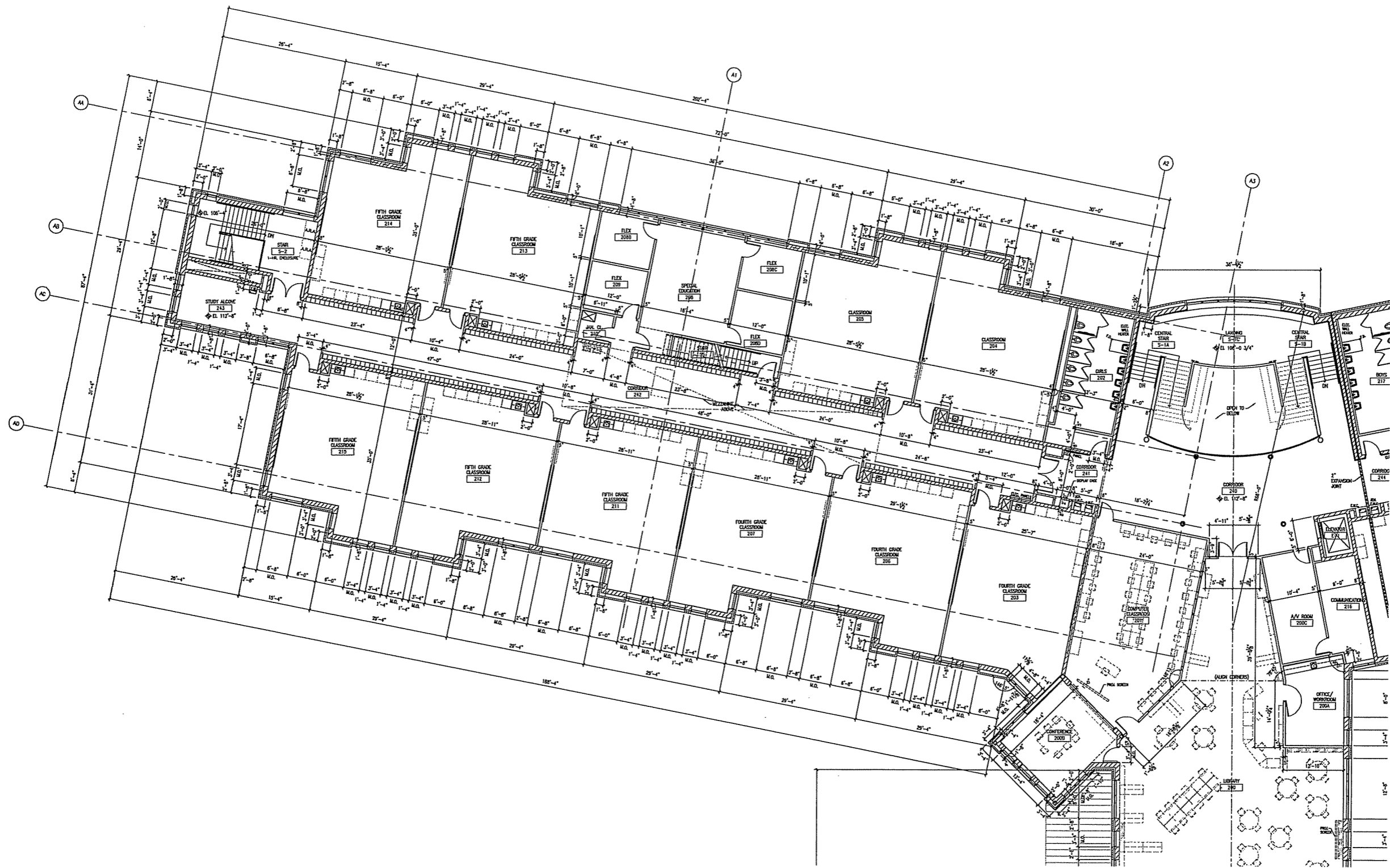
No.	Date	Description
1/27/06		Submit IBC International Schedule
1/27/07		Submit Per Committee/ICC Initial Approval Report
1/27/07		Submit Per Committee/ICC Final Approval Report

Date:  
January 31, 2007

Project No.:  
060092.00

Sheet No.:

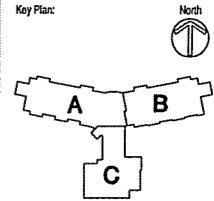




1 Partial Second Floor Plan - Area 'A'  
1/8" = 1'-0"

Consultant:  
  
Project:  
**LINDEN PARK  
ELEMENTARY SCHOOL**  
**MADISON  
METROPOLITAN  
SCHOOL  
DISTRICT**

Location:  
801 Redan Drive  
Madison, WI 53703



Sheet:  
**Partial Second Floor Plan -  
Area 'A'**

Scale:  
1/8" = 1'-0"

Revisions:

No.	Date	Description
1/2/07		Submit IBC Information Submittal
1/2/07		Submit Per County/SEC Final Approval Submittal
1/2/07		Submit Per County/SEC Final Approval Submittal

Date:  
January 31, 2007  
Projed No.:  
060082.00  
Sheet No.:



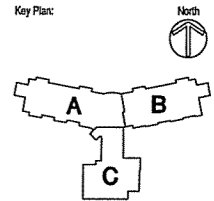
1 Partial Second Floor Plan - Area 'B'  
1/8" = 1'-0"

Consultant:

Project:  
LINDEN PARK  
ELEMENTARY SCHOOL



Location:  
801 Redan Drive  
Madison, WI 53593



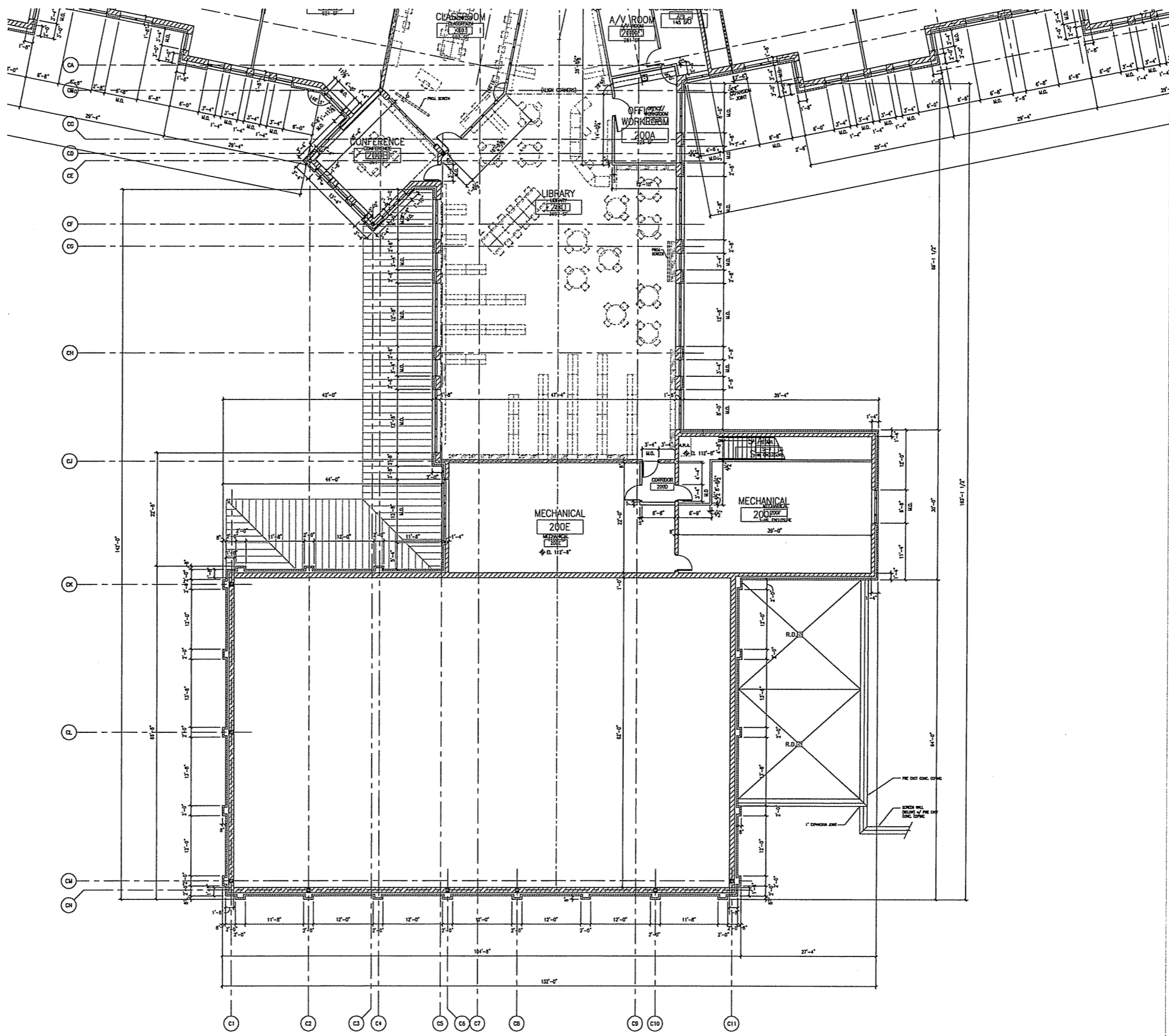
Sheet:  
Partial Second Floor Plan -  
Area 'B'

Scale:  
1/8" = 1'-0"

No.	Date	Description
1/2/07	1/2/07	Initial US International Limited
1/2/07	1/2/07	Initial Plan Commission/US International Limited
1/2/07	1/2/07	Initial Plan Commission/US International Limited

Date:  
January 31, 2007  
Project No.:  
060082.00  
Sheet No.:

**A2.1b**



1 Partial Second Floor Plan - Area 'C'  
1/8" = 1'-0"

**Zimmerman**  
ARCHITECTURAL STUDIOS, INC.

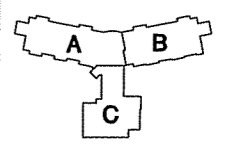
7707 Newwood Avenue | Milwaukee, WI 53213 | zsmilwaukee.com  
TELEPHONE (414) 476-8500  
FACSIMILE (414) 476-8582

Consultant:

Project:  
LINDEN PARK  
ELEMENTARY SCHOOL



Location:  
801 Redan Drive  
Madison, WI 53593



Sheet:  
Partial Second Floor Plan -  
Area 'C'

Scale:  
1/8" = 1'-0"

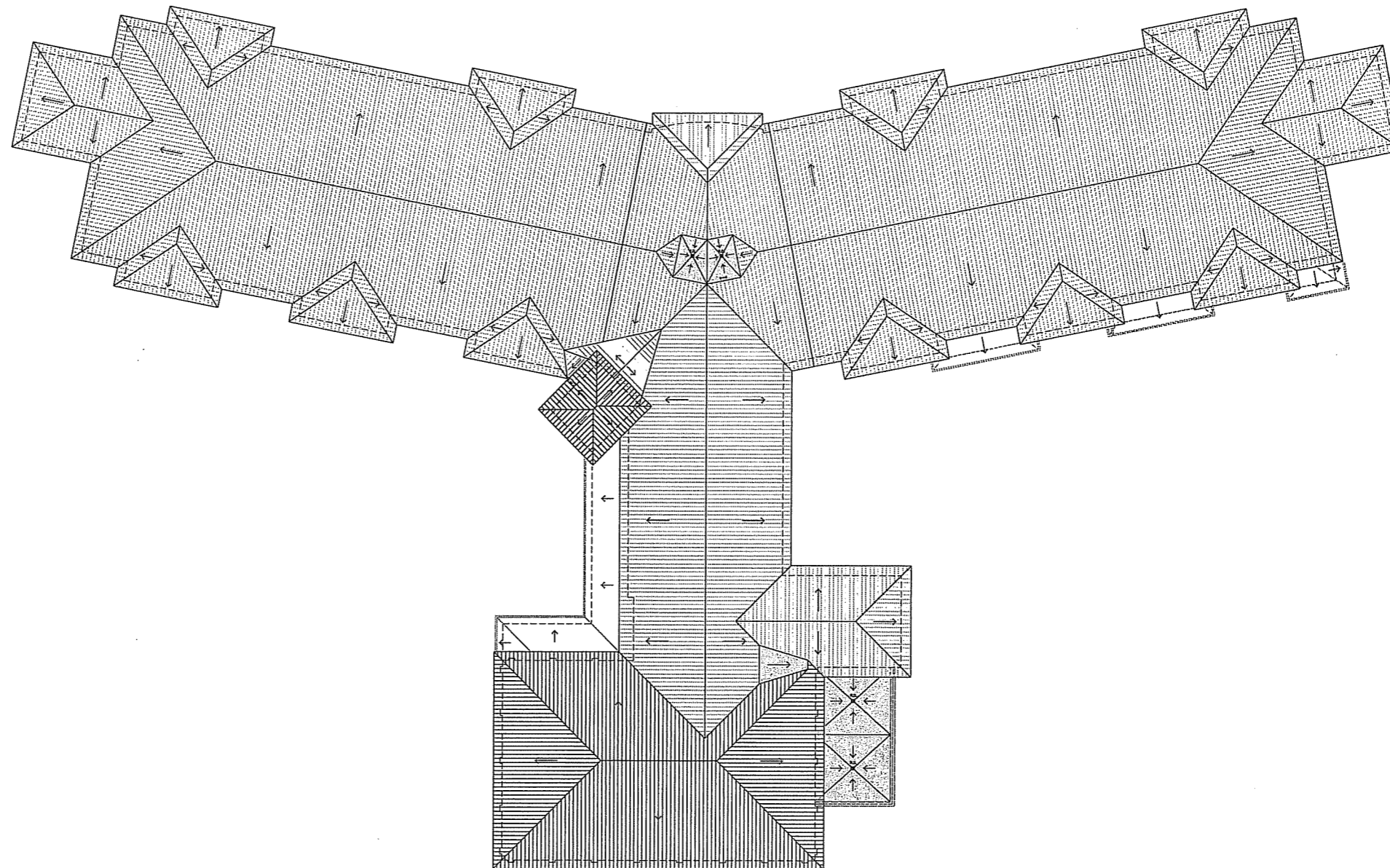
No.	Date	Description
1/20/06		Submit USC International Submittal
1/26/07		Submit Plan Commission/USC Initial Approval Submit
1/27/07		Submit Plan Commission/USC Final Approval Submit

Date:  
January 31, 2007

Project No.:  
060092.00

Sheet No.:

**A2.1c**



1 Overall Roof Plan  
1/16" = 1'-0"

**Zimmerman**  
ARCHITECTURAL STUDIOS, INC.

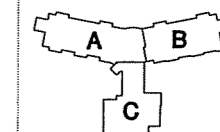
7707 Harwood Avenue | Milwaukee, WI 53213 | zstudio.com  
TELEPHONE (414) 476.9200  
FACSIMILE (414) 476.8282

Consultant:

Project:  
LINDEN PARK  
ELEMENTARY SCHOOL



Location:  
801 Redan Drive  
Madison, WI 53703



Sheet:  
Overall Roof Plan

Scale:  
1/16" = 1'-0"

Revisions:

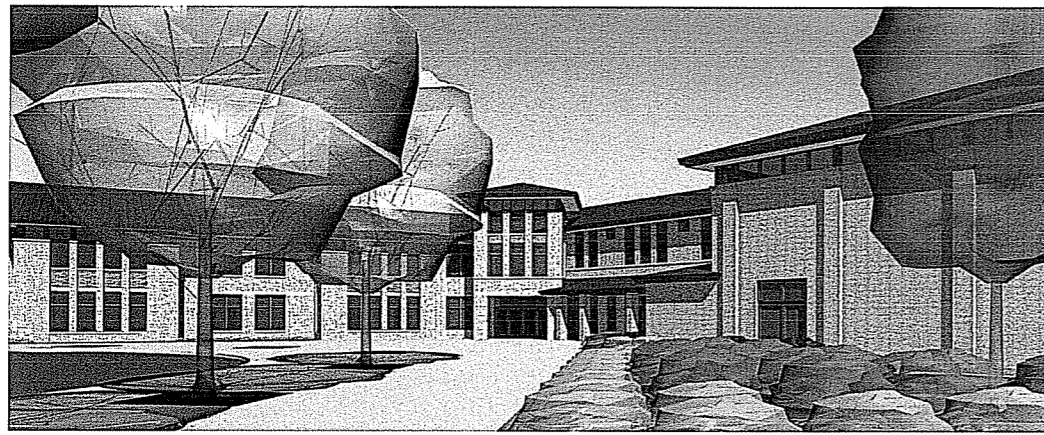
No.	Date	Description
1/29/07		Submit USC Informational Submittal
1/29/07		Submit Per Department/USC Final Approval Submittal
1/29/07		Submit Per Department/USC Final Approval Submittal

Date:  
January 31, 2007

Project No.: 060082.00 (Owner) Project No.:

Sheet No.:

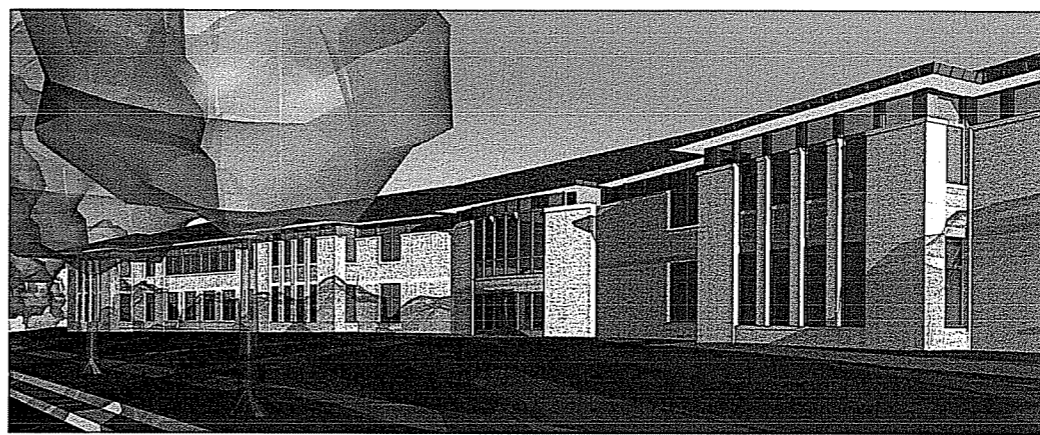
**A2.4**



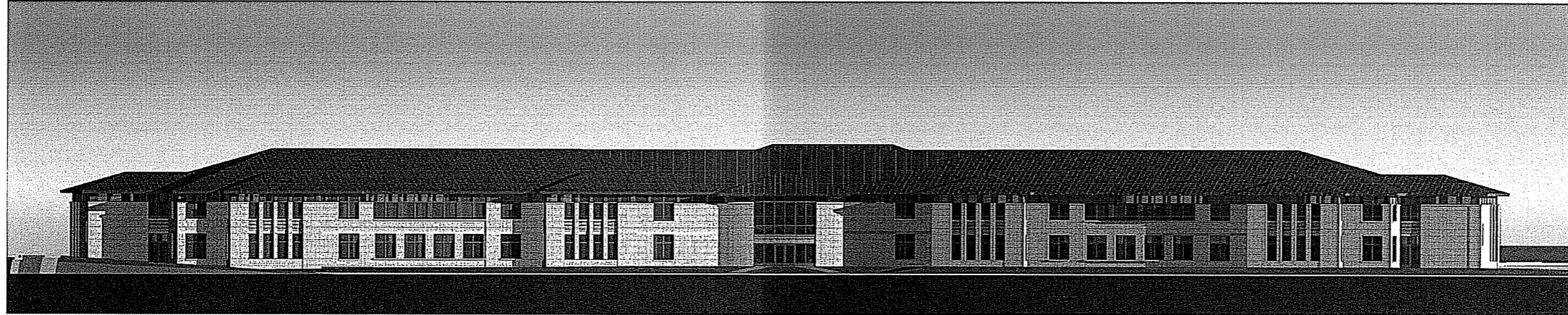
Partial south elevation

Perspective view of entry

Partial west elevation

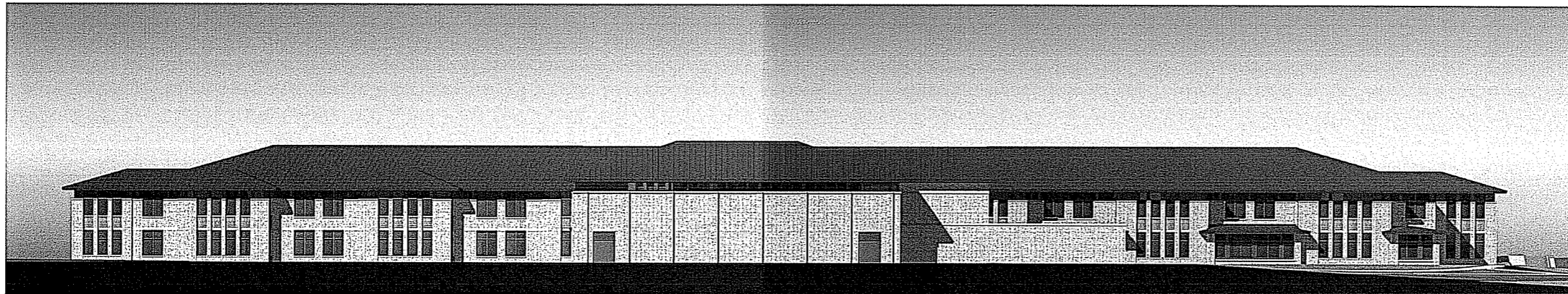


Partial perspective view of North Elevation



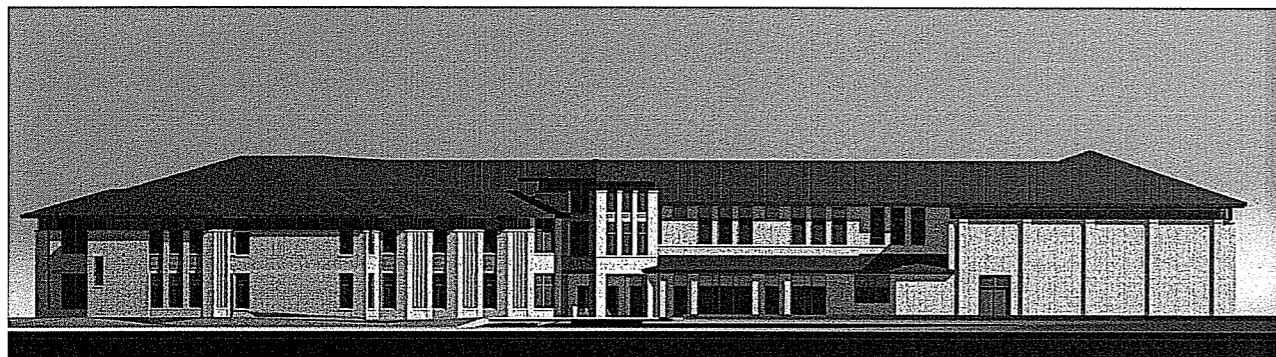
7:30 pm June 21

North Elevation



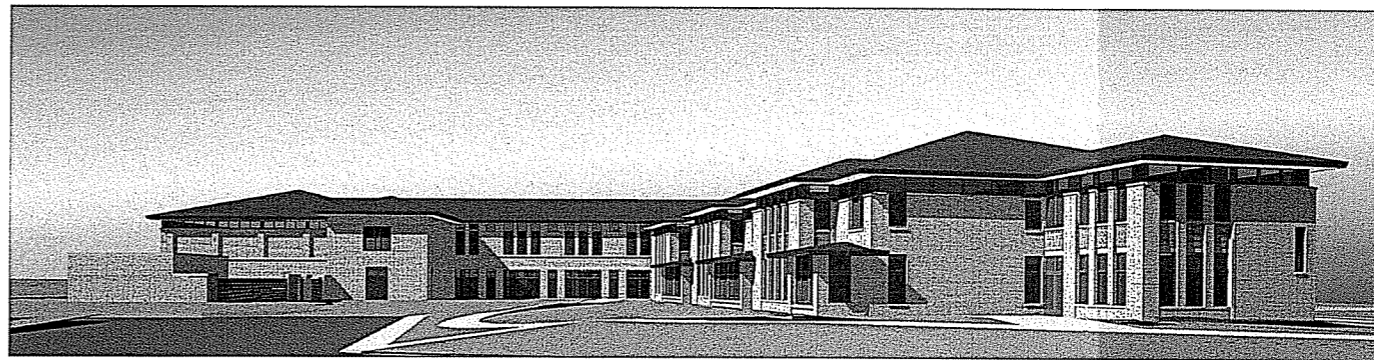
2 pm October 2

South Elevation



2:30 pm September 21

West Elevation



11:30 am September 21

East Elevation / Perspective

## Elevations / Perspectives

Note: Views of a building model. While model of the building is accurate (except for minor errors), landscape and paving in perspective views does not fully reflect the developed site design.

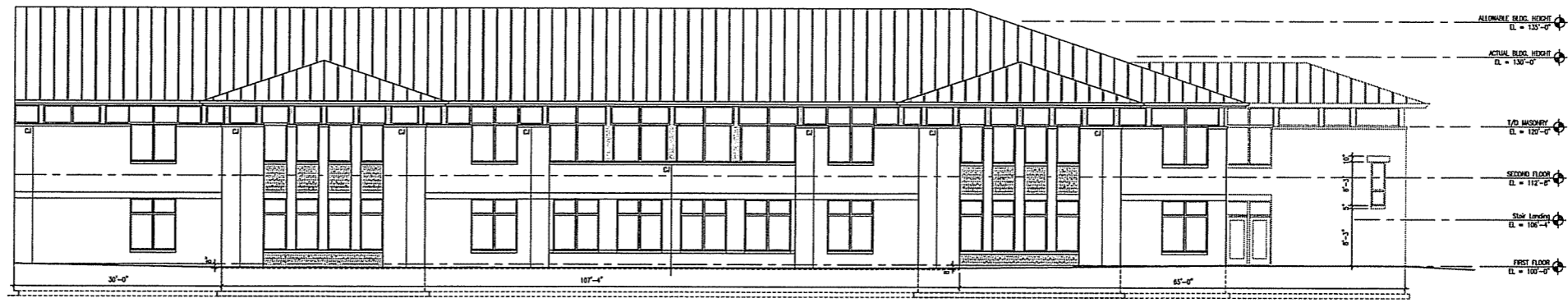
060692.00 | January 31, 2007 | Scale: 1/16" = 1'-0" (elevations)

## Linden Park Elementary School

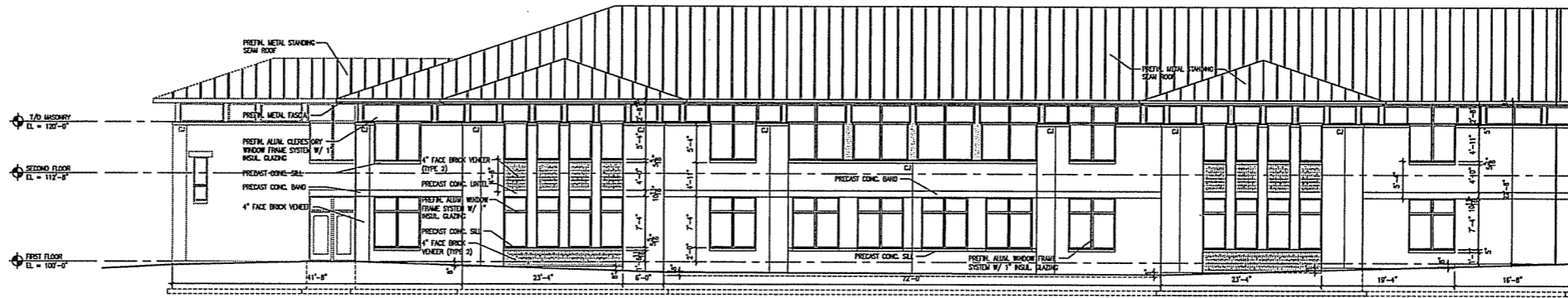
Madison, Wisconsin

**zimmerman**  
ARCHITECTURAL STUDIOS, INC.

7707 Harwood Avenue | Milwaukee, WI 53213 | zastudios.com



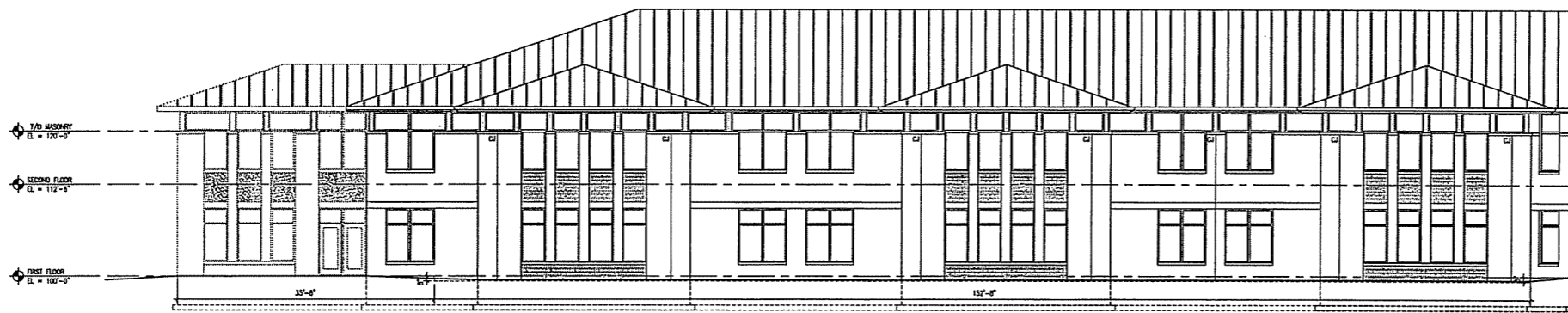
1 Area 'A' - North Elevation  
1/8" = 1'-0"



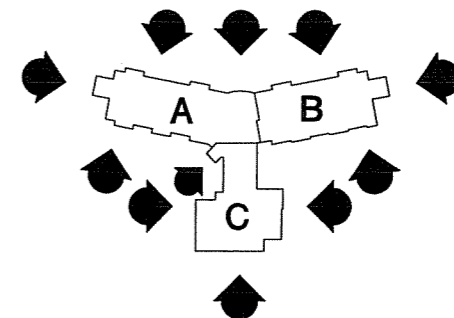
2 Area 'B' - North Elevation  
1/8" = 1'-0"



3 Area 'B' - South Elevation  
1/8" = 1'-0"



4 Area 'A' - South Elevation  
1/8" = 1'-0"



**Zimmerman**  
ARCHITECTURAL STUDIOS, INC.

7707 Hillwood Avenue | Milwaukee, WI 53213 | zstudio.com  
TELEPHONE (414) 478-8500  
FACSIMILE (414) 478-8552

Consultant:

Project:  
LINDEN PARK  
ELEMENTARY SCHOOL



Location:  
801 Radan Drive  
Madison, WI 53583



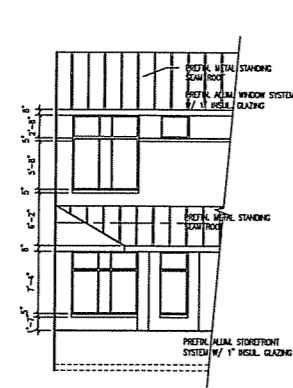
Sheet:  
Exterior Elevations

Scale:  
1/8" = 1'-0"

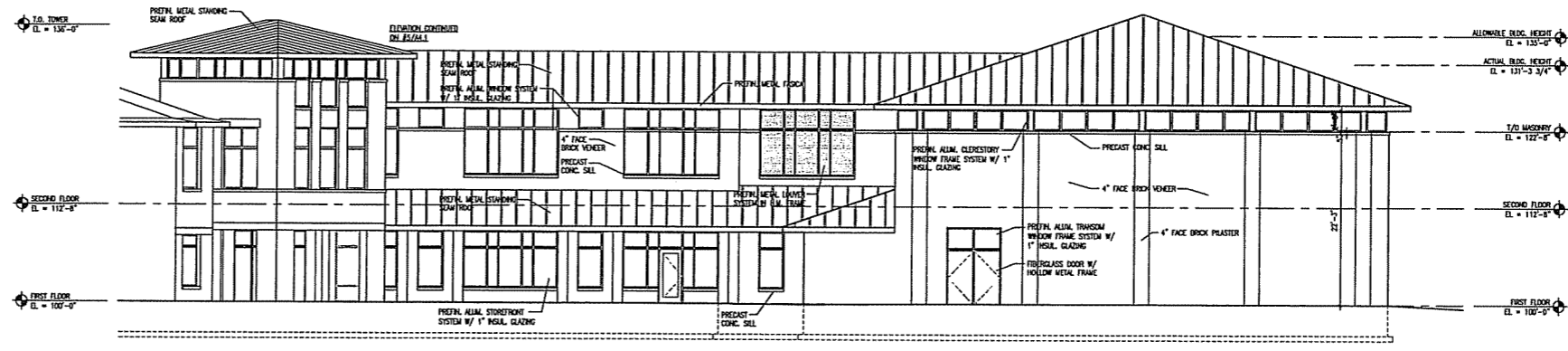
No.	Date	Description
1	1/10/07	Initial - LSC Approval Submittal
2	1/17/07	Initial - Plan Optimization Submittal

Date:  
January 12, 2007  
Project No.:  
060092.00  
Sheet No.:

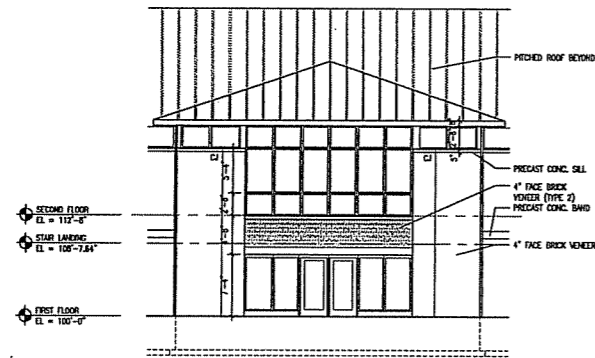
**A4.0**



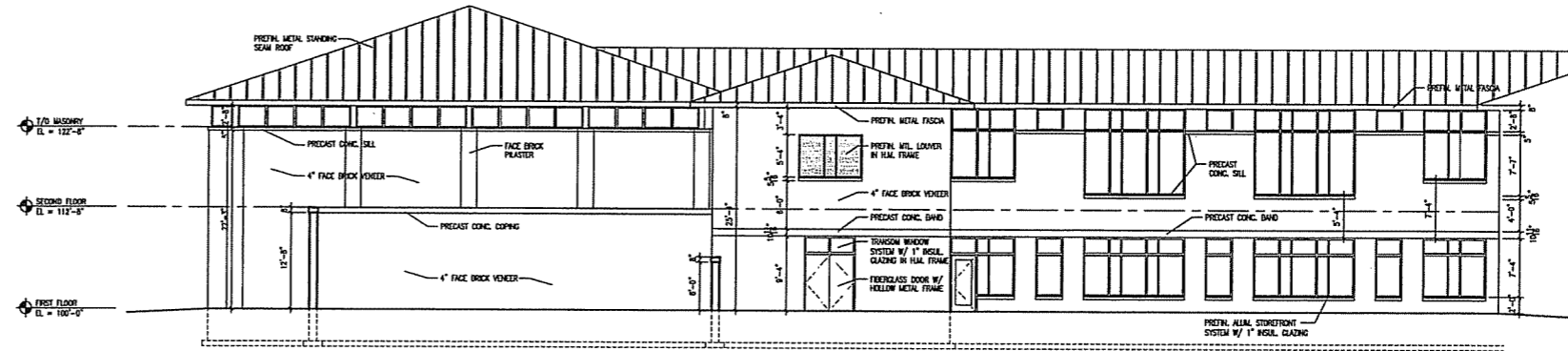
5 Area 'C' - West Elevation  
1/8" = 1'-0"



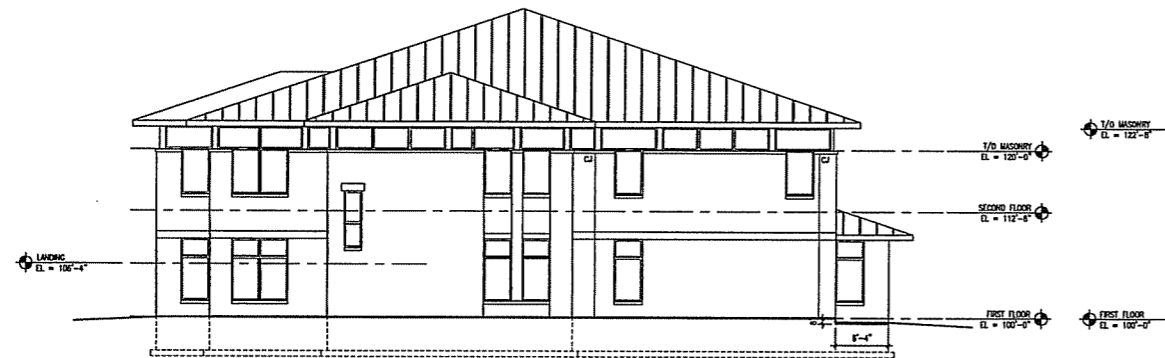
1 Area 'C' - West Elevation  
1/8" = 1'-0"



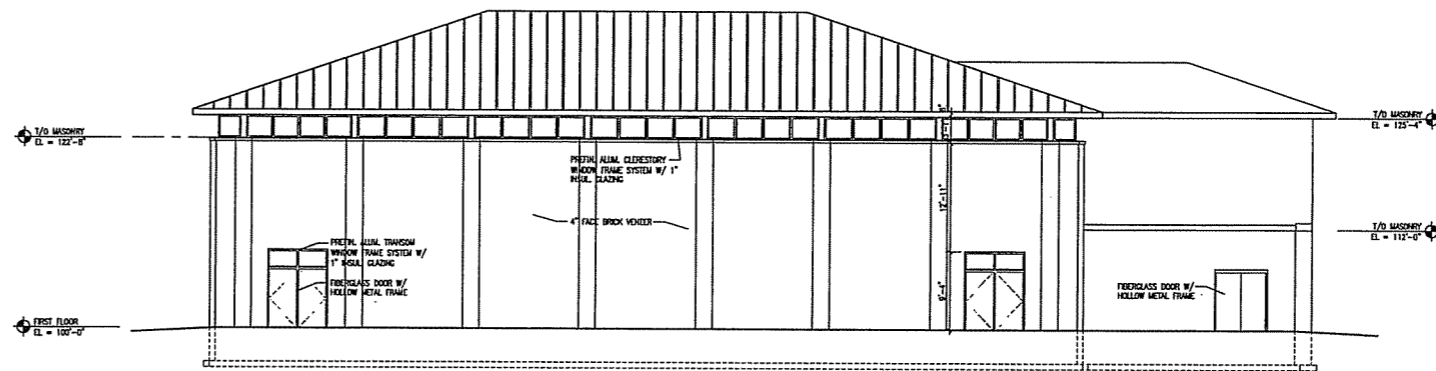
6 Area 'A' - North Elevation  
1/8" = 1'-0"



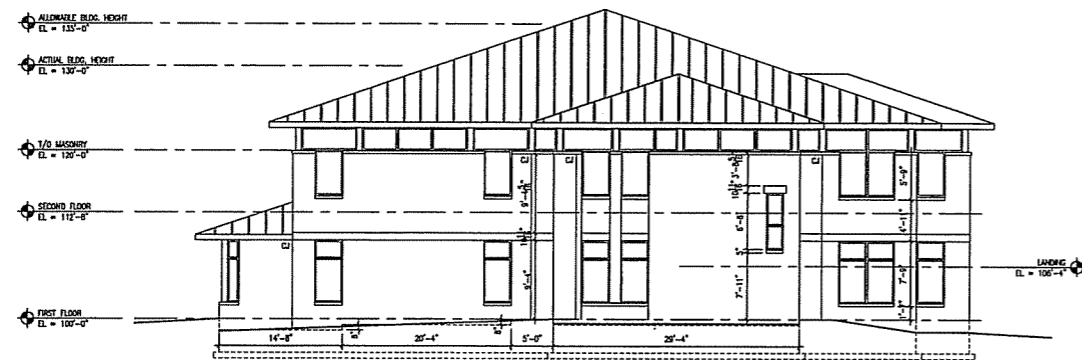
2 Area 'A' & 'C' - East Elevation  
1/8" = 1'-0"



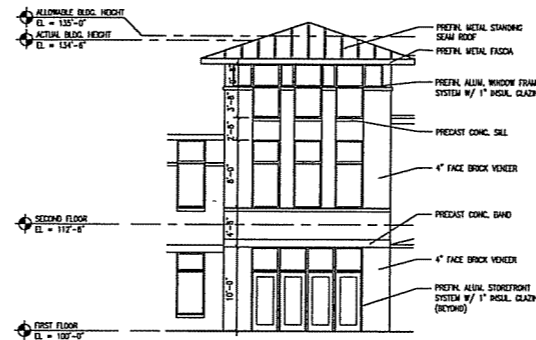
7 Area 'A' - West Elevation  
1/8" = 1'-0"



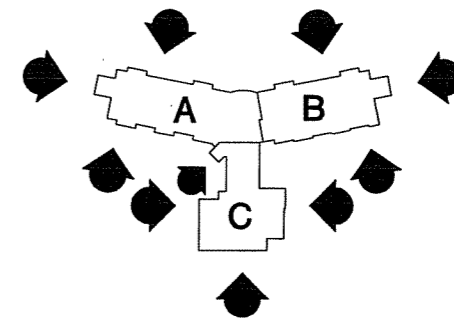
3 Area 'C' - South Elevation  
1/8" = 1'-0"



8 Area 'B' - East Elevation  
1/8" = 1'-0"



4 Area 'C' - Entrance Tower Elevation  
1/8" = 1'-0"

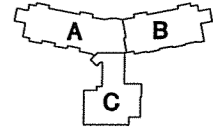


Consultant:

Project:  
LINDEN PARK  
ELEMENTARY SCHOOL



Location:  
801 Redden Drive  
Madison, WI 53703



Sheet:  
Exterior Elevations

Scale:  
1/8" = 1'-0"

No.	Date	Description
1/12/07	12/12/07	Submittal - 100% International Submittal
1/12/07	1/12/07	Submittal - 100% Local Approval Submittal
1/12/07	1/12/07	Submittal - 100% Construction Submittal

Date:  
January 12, 2007  
Project No.: (Owner) Project No.  
060052.00  
Sheet No.: