



**PROJECT LOCATION**

location map

**PARCEL ADDRESSES:**  
802 Z 854 EAST WASHINGTON AVENUE  
MADISON, WI 53703

**ALDERMANIC DISTRICT 2:**  
TEBELL ZELLERS

**URBAN DESIGN DISTRICT 8**

**CURRENT OWNER:**  
CITY OF MADISON

**CURRENT USE:**  
VACANT LOT

**CURRENT ZONING:**  
TE (TRADITIONAL EMPLOYMENT)

**PREVIOUS USE:**  
AUTO DEALERSHIP AND REPAIR CENTER

project team

**OWNER/DEVELOPER:**  
GEBHARDT DEVELOPMENT  
222 NORTH STREET  
MADISON, WI 53704  
ATTN: OTTO GEBHARDT III  
608.245.0753

**GENERAL CONTRACTOR:**  
KBS CONSTRUCTION  
3841 KIPP STREET  
MADISON, WI 53718  
ATTN: DEREK RINABARGER  
608.838.6100

**ARCHITECT:**  
BARK DESIGN  
229 NORTH STREET  
MADISON, WI 53704  
ATTN: CHRISTOPHER GOSCH  
608.333.1926

**SOILS TESTING:**  
CGC, INC.  
2921 PERRY STREET  
MADISON, WI 53713  
ATTN: DAVID STAAB, P.E., LEED AP  
608.288.4100

**CIVIL ENGINEER:**  
PROFESSIONAL ENGINEERING, LLC  
818 N. MEADOWBROOK LANE  
WALUNAKEE, WI 53597  
ATTN: ROXANNE JOHNSON, P.E., LEED AP  
608.849.9378

**LANDSCAPE ARCHITECT:**  
DESIGN STUDIO, ETC.  
ATTN: GARRET PERRY  
GPERRY@DESIGNSTUDIOETC.COM  
608.358.6344

**STRUCTURAL ENGINEER:**  
PERCE ENGINEERS  
10 WEST MIFFLIN SUITE 205  
MADISON, WI 53703  
ATTN: CARL FINK  
608.256.7304

**SIGNAGE CONSULTANT:**  
RYAN SIGNS  
3007 PERRY STREET  
MADISON, WI 53713  
ATTN: MARY BETH GROWNEY  
608.271.7979

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project information

**PROPOSED USE/OCCUPANCY:** MIXED USE: OFFICE/COMMERCIAL/RETAIL/RESIDENTIAL APARTMENTS/PARKING

**CURRENT ZONING:** TE- TRADITIONAL EMPLOYMENT

**TOTAL SITE AREA:** APPROXIMATELY 193,475 SQ. FT. OR 4.5 ACRES

**LANDSCAPED AREA:** APPROX. 12,200 S.F. (20% OF SITE AT GRADE)

**TOTAL USABLE OPEN SPACE:** REQUIRED: 333x20 S.F. = 6660 S.F.; 25% AT GRADE = 1665 S.F.

**USABLE OPEN SPACE (AT GRADE):** APPROX. 3,130 S.F.

**BALCONIES AND TERRACES (ABOVE GRADE):** APPROX. 22,000 S.F.

**BUILDING AREA BREAKDOWN:**  
TOTAL S.F.: 670,000 S.F.

**BREAKDOWN BY COMPONENT:**

GROCERY: 55,000 S.F.  
PARKING: 292,600 S.F.  
COMMERCIAL/RETAIL/OFFICE: 77,500  
RENTAL RESIDENTIAL: 220,100  
OWNER OCCUPIED RESIDENTIAL: 27,100

**BREAKDOWN BY FLOOR:**

**BUILDING GROSS SQUARE FOOTAGE:**

1ST (GROUND) FLOOR: 7,000 S.F. COMMERCIAL/RETAIL 3,000 S.F. LOBBIES, CIRCULATION 63,800 S.F. PARKING, MECH., STORAGE 50,000 S.F. GROCERY STORE 7,000 S.F. OWNER OCCUPIED HOUSING 8,000 S.F. LIVE/WORK HOUSING	138,800 GSF	8TH FLOOR (RESIDENTIAL UNITS): (4) EFFICIENCIES (9) 1 BEDROOM (6) 2 BEDROOM (2) 3 BEDROOM	23,900 GSF
2ND FLOOR: 27,500 S.F. COMMERCIAL/OFFICE 2,800 S.F. LOBBY 57,200 S.F. PARKING 7,000 S.F. OWNER OCCUPIED HOUSING 8,000 S.F. LIVE/WORK HOUSING	102,500 GSF	9TH FLOOR (RESIDENTIAL UNITS): (4) EFFICIENCIES (9) 1 BEDROOM (6) 2 BEDROOM (2) 3 BEDROOM	23,900 GSF
3RD FLOOR: 31,000 S.F. COMMERCIAL/RETAIL 2,800 S.F. LOBBIES, CIRCULATION 57,200 S.F. PARKING, MECH., STORAGE 4,900 S.F. OWNER OCCUPIED HOUSING 7,225 S.F. LIVE/WORK HOUSING	104,325 GSF	10TH FLOOR (RESIDENTIAL UNITS): (4) EFFICIENCIES (9) 1 BEDROOM (6) 2 BEDROOM (2) 3 BEDROOM	23,900 GSF
4TH FLOOR (PARKING LEVEL): 57,200 GSF PARKING, MECH., AND STORAGE	57,200 GSF	11TH FLOOR (RESIDENTIAL UNITS):	13,100 GSF
5TH FLOOR (PARKING LEVEL): 57,200 GSF PARKING, MECH., AND STORAGE	57,200 GSF	12TH FLOOR (RESIDENTIAL UNITS):	13,100 GSF
4TH FLOOR (RESIDENTIAL UNITS): (4) EFFICIENCIES (9) 1 BEDROOM (6) 2 BEDROOM (2) 3 BEDROOM	23,900 GSF	13TH FLOOR (RESIDENTIAL UNITS):	10,452 GSF
5TH FLOOR (RESIDENTIAL UNITS): (4) EFFICIENCIES (9) 1 BEDROOM (6) 2 BEDROOM (2) 3 BEDROOM	23,900 GSF	14TH FLOOR (RESIDENTIAL UNITS):	10,452 GSF
6TH FLOOR (RESIDENTIAL UNITS): (4) EFFICIENCIES (9) 1 BEDROOM (6) 2 BEDROOM (2) 3 BEDROOM	23,900 GSF		
7TH FLOOR (RESIDENTIAL UNITS): (4) EFFICIENCIES (9) 1 BEDROOM (6) 2 BEDROOM (2) 3 BEDROOM	23,900 GSF		

unit information

**UNIT BREAKDOWN (Tower):**

EFFICIENCY	FLOOR LEVELS										UNITS	BEDROOMS	
	4TH FLOOR	5TH FLOOR	6TH FLOOR	7TH FLOOR	8TH FLOOR	9TH FLOOR	10TH FLOOR	11TH FLOOR	12TH FLOOR	13TH FLOOR			
1 BR/1 BATH	7	7	7	7	7	7	7	7	5	5	5	64	64
1 BR/2 BATH/1 DEN													
2 BR/2 BATH	8	8	8	8	8	8	8	8	4	4	4	68	136
2 BR/2 BATH/1 DEN													
3 BR/2 BATH	3	3	3	3	3	3	3	3	4	4	4	33	99
4 BR/2 BATH											1	1	4
<b>UNITS PER FLOOR</b>	<b>23</b>	<b>23</b>	<b>23</b>	<b>23</b>	<b>23</b>	<b>23</b>	<b>23</b>	<b>23</b>	<b>13</b>	<b>13</b>	<b>14</b>	<b>201</b>	<b>338</b>

**UNIT BREAKDOWN (CONDOS):**

	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL UNITS	TOTAL BEDROOMS
LOFT:	1	1	3	4	9	8
1 BR/1 BATH:	2	2	2	2	8	8
2 BR/1 BATH:						
2 BR/2 BATH:	1	1	2	1	6	12
3 BR/2 BATH:	3				3	9
<b>TOTAL:</b>	<b>7</b>	<b>4</b>	<b>7</b>	<b>7</b>	<b>25</b>	<b>52</b>

**UNIT BREAKDOWN (LIVE/WORK):**

	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL UNITS	TOTAL BEDROOMS
LOFT:	9		11	20	20
1 BR/1 BATH:					
2 BR/1 BATH:					
2 BR/2 BATH:					
3 BR/2 BATH:					
<b>UNITS PER FLOOR</b>	<b>9</b>		<b>11</b>	<b>20</b>	<b>20</b>

**AUTO PARKING STALLS:**

**1ST FLOOR:**  
DEDICATED GROCERY: 138  
HC: 10  
(VAN ACCESSIBLE: 2)

**2ND FLOOR:**  
DEDICATED GROCERY: 45  
RETAIL: 79  
TOTAL STALLS : 124

**3RD FLOOR**  
TOTAL STALLS (COMMERCIAL) : 131

**4TH FLOOR**  
RESIDENTIAL: 132

**5TH FLOOR**  
RESIDENTIAL: 136

TOTAL PARKING STALLS (GROCERY) : 183  
TOTAL PARKING STALLS (RETAIL) : 79  
TOTAL PARKING STALLS (COMMERCIAL) : 131  
TOTAL PARKING STALLS (RESIDENTIAL) : 268  
**TOTAL PARKING STALLS : 661**

**BIKE PARKING STALLS:**

**GROUND LEVEL**  
OUTSIDE PARKING STRUCTURE:  
GROUND LEVEL (MADRAX): 124  
INSIDE PARKING STRUCTURE:  
1ST FLOOR PARKING (MADRAX): 41

**2ND FLOOR**  
INSIDE PARKING STRUCTURE:  
1ST FLOOR PARKING (MADRAX): 51

**3RD FLOOR**  
INSIDE PARKING STRUCTURE:  
1ST FLOOR PARKING (MADRAX): 51

**4TH FLOOR**  
INSIDE PARKING STRUCTURE:  
1ST FLOOR PARKING (MADRAX): 51

**5TH FLOOR**  
INSIDE PARKING STRUCTURE:  
1ST FLOOR PARKING (MADRAX): 51

TOTAL BIKE PARKING STALLS : 360

PROJECT DESIGN SOURCE GUIDELINES

- CITY OF MADISON**  
-URBAN DESIGN DISTRICT 8  
NOVEMBER 11, 2009
- TENNEY-LAPHAM NEIGHBORHOOD PLAN**  
FEBRUARY 5, 2008
- EAST WASHINGTON AVENUE CAPITOL GATEWAY CORRIDOR PLAN**  
FEBRUARY 5, 2008
- MADISON GENERAL ORDINANCE CHAPTERS 28, 31**  
JANUARY 2, 2013
- MADISON SUSTAINABILITY PLAN**  
JUNE 2011
- BEST PRACTICES GUIDE FOR DEVELOPERS, NEIGHBORHOODS & POLICYMAKERS**  
JUNE 2005
- USGBC**  
-GREEN BUILDING RATING SYSTEM FOR NEW CONSTRUCTION & MAJOR RENOVATIONS (LEED-NC) VERSION 2.1  
2009

PLAN COMMISSION SUBMITTAL

WWW.BARK-DESIGN.COM  
STUDIO@BARK-DESIGN.COM  
608.333.1926

**bark DESIGN**

**GEBHARDT DEVELOPMENT**

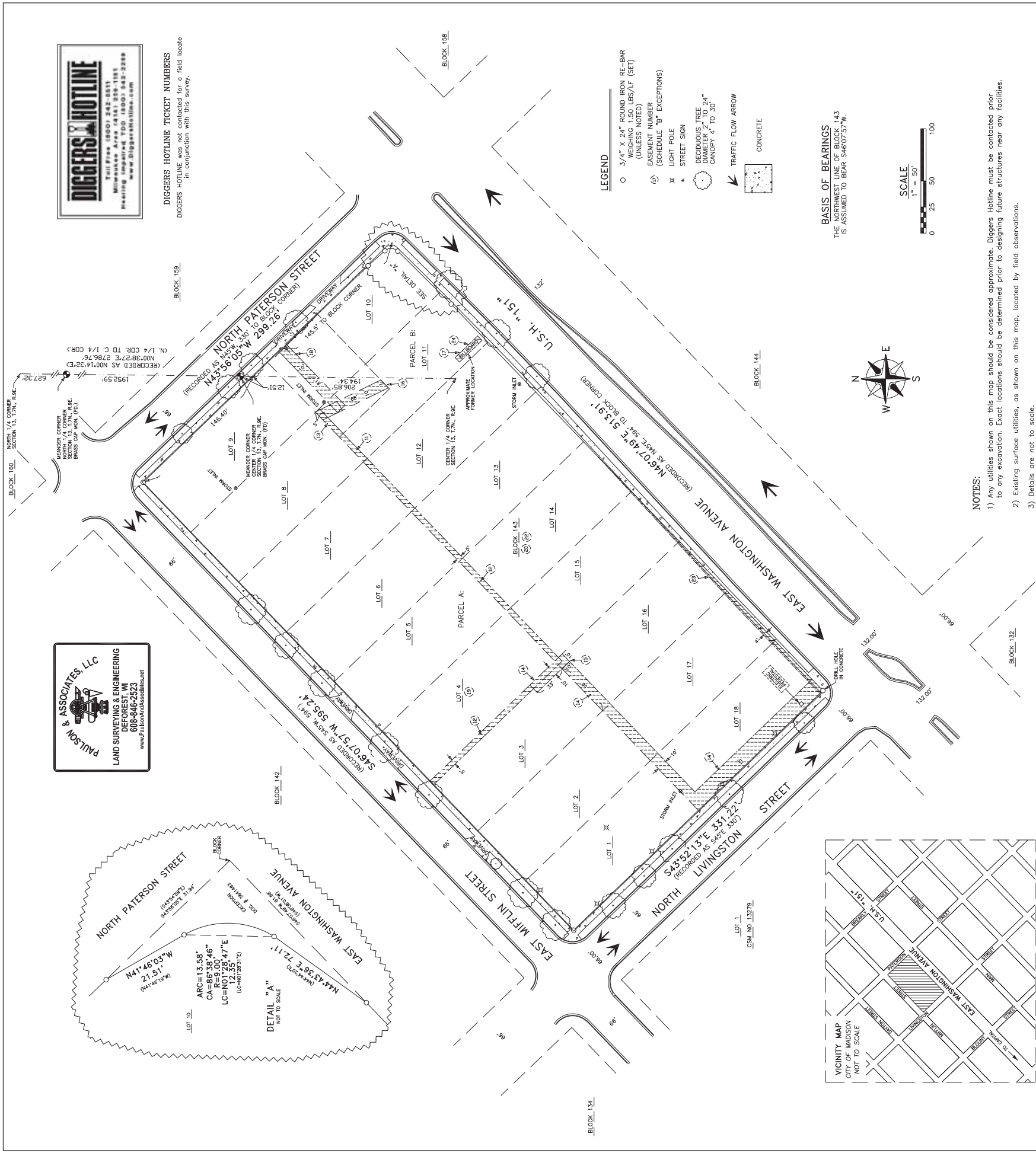
DATE  
02.20.14

**THE GALAXIE**  
800N BLOCK EAST WASHINGTON AVENUE  
MADISON, WI



**DIGGERS HOTLINE TICKET NUMBERS**  
 DIGGERS HOTLINE was not contacted for a field locate in conjunction with this survey.

**DIGGERS HOTLINE TICKET NUMBERS**  
 DIGGERS HOTLINE was not contacted for a field locate in conjunction with this survey.



- LEGEND**
- 3/4" x 24" ROUND IRON RE-BAR (UNLESS NOTED)
  - ① EASEMENT NUMBER (SCHEDULE "B" EXCEPTIONS)
  - ✕ LIGHT POLE
  - ▲ STREET SIGN
  - DECIDUOUS TREE (DIAMETER 2" TO 24" CANOPY 4' TO 30')
  - ↖ TRAFFIC FLOW ARROW
  - CONCRETE

**BASIS OF BEARINGS**  
 THE NORTHWEST LINE OF BLOCK 143 IS ASSUMED TO BEAR S46°07'57"W.



**NOTES:**

- 1) Any utilities shown on this map should be considered approximates. Diggers Hotline must be contacted prior to any excavation. Exact locations should be determined prior to designing future structures near any facilities.
- 2) Existing surface utilities, as shown on this map, located by field observations.
- 3) Details are not to scale.
- 4) No buildings exist on the surveyed property.
- 5) Extensive grading recently occurred on the subject property, potentially obscuring existing observable utilities, improvements, occupation or use.
- 6) No observable evidence of tenants in possession of the property.
- 7) Boundaries established from prior Don Miller Properties ALTA/ACSM Land Title Survey Dated 6-28-11, Revised 7-20-11.

**EXISTING DESCRIPTION**

- PARCEL A:**  
 Lots One (1), Two (2), Three (3), Four (4), Five (5), Six (6), Seven (7), Eight (8), Nine (9), Ten (10), Eleven (11), Twelve (12), Thirteen (13), Fourteen (14), Fifteen (15), Sixteen (16), Seventeen (17) and Eighteen (18), Block 143, Original Plat of Madison, in the City of Madison, Dane County, Wisconsin. Excepting therefrom that portion described as Parcel B.  
 Tax Parcel No.: 251/0709-132-1203-4
- PARCEL B:**  
 The Southwest 1/2 of Lot 11, the Southeast 99 feet of Lot 10 and the Southeast 99 feet of the Northeast 1/2 of Lot 11, Block 143, Original Plat of Madison, in the City of Madison, Dane County, Wisconsin. Excepting therefrom that portion of Lots 10 and 11, Block 143, Original Plat of Madison deed to the City of Madison by Warranty Deed recorded November 14, 2003 as Document No. 35411483.  
 Exception described as follows:  
 Part of Lots 10 and 11 of Block 143 of the Plat of the City of Madison (18339), in the Southwest 1/4 of the Northeast 1/4 of Section 13, 17N, R9E, City of Madison, Dane County, Wisconsin, more fully described as follows: Beginning at the east corner of Lot 10; Thence S46°08'01"W, 81.66 feet along the northerly right-of-way of U.S.H. 151 (East Washington Avenue); Thence N44°43'20"E, 72.11 feet to a point of curve; Thence northerly 13.58 feet along the arc of a curve concave to the west having a radius of 9.00 feet, (the chord bears N01°28'31"E, 12.35 feet); Thence N41°46'19"W, 21.51 feet to the westerly right-of-way line of N. Paterson Street; Thence S43°54'59"E, 31.94 feet along said west right-of-way to the point of beginning.  
**NEW DESCRIPTION FOR EXCEPTION:**  
 BEGINNING at the East Corner of Lot 10, Block 143; thence S46°07'49"W (recorded as S46°08'01"W), 81.66 feet along the southeast line of Lot 10, Block 143; thence N44°43'36"E (recorded as N44°44'20"E), 72.11 feet to a point of curvature; thence Northerly 13.58 feet along the arc of said curve to the left with a central angle of 86°38'46", a radius of 9.00 feet and a long chord of N01°28'47"E (recorded as N01°28'31"E), 12.35 feet; thence N41°46'03"W (recorded as N41°46'19"W), 21.51 feet to the southwest right-of-way line of North Paterson Street; thence S43°56'05"E (recorded as S43°54'59"E), 31.94 feet to the POINT OF BEGINNING.  
 Containing 114 S.F.  
 Tax Parcel No.: 251/0709-132-1215-9  
 (NEW DESCRIPTION OF EXCEPTION TO REFLECT MEASURED BEARINGS AND DISTANCES)

**SURVEYOR'S CERTIFICATE**

To City of Madison and First American Title Insurance Company:  
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title surveys, jointly established and adopted by ALTA and NSPS, and includes no Table "A" items thereof. The field work was completed on August 22th and 23th, 2013.  
 Date of Plat or Map: August 23th, 2013.

Daniel A. Paulson, Registered Land Surveyor No. S-1699  
 Date \_\_\_\_\_

**PAULSON & ASSOCIATES, LLC**  
 136 WEST HOLM STREET DEFOREST, WI 53532 (608)846-2523  
 WWW.PAULSONANDASSOCIATES.NET

**ALTA/ACSM LAND TITLE SURVEY**  
 CITY OF MADISON PROPERTIES  
 BEING LOTS 1-9 AND 12-18, AND PART OF LOTS 10 & 11, BLOCK 143 ORIGINAL PLAT OF MADISON, LOCATED IN THE SW 1/4 OF THE NE 1/4 OF THE NW 1/4, THE NE 1/4 OF THE SW 1/4 AND THE NW 1/4 OF THE SE 1/4, SECTION 13, 17N, R9E, CITY OF MADISON, DANE COUNTY, WISCONSIN  
 JOB NO. 13-125 DRAWING NO. 10-097 REVISIONS: 09-23-13 DATE: 09-03-13

**SURVEYOR**  
 PAULSON & ASSOCIATES, LLC  
 Daniel A. Paulson  
 136 West Holm Street  
 DeForest, WI 53532  
 dan@paulsonllc.net

**CLIENT:**  
 City of Madison  
 Altn. Jennifer Frese  
 Economic Development Division  
 Office of Real Estate Services  
 Madison Municipal Building, Room 312  
 215 Marquette P.O. Box 2983  
 Madison, WI 53703-2983

**INSURED / OWNER:**  
 City of Madison

**INSURER / TITLE COMPANY**  
 First American Title Company Commitment Number: NCS-621019-MAD Dated July 26, 2013

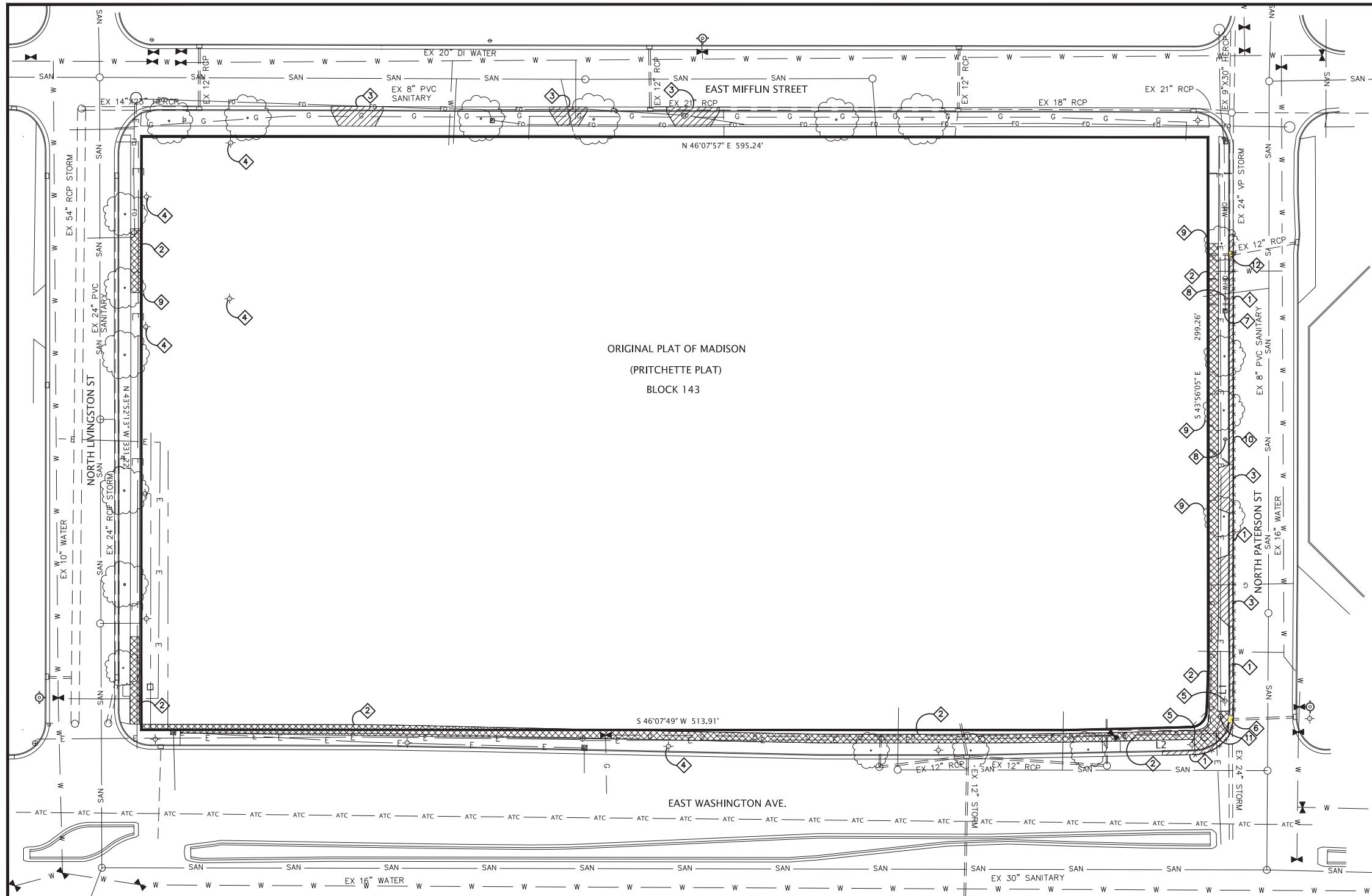
**SCHEDULE B, SECTION TWO EXCEPTIONS**  
 SEE MAP FOR EASEMENT LOCATIONS AS INDICATED BY (#).

11. Right-of-way Grant to Wisconsin Bell, Inc. recorded December 19, 1986 in Volume 9253 of Records, page 6 as Document No. 1985074. Described as "...The Northwest five feet of the NORTHWESTERLY thirty five feet of Lot 11... Potential error in description.  
 (5'x66' Buried Communication Facilities easement, Lot 11, Block 143)
12. Right-of-way Grant to Wisconsin Bell, Inc. recorded December 19, 1986 in Volume 9253 of Records, page 7 as Document No. 1985075.  
 (5' wide Buried Communication Facilities easement, Lots 3, 12-16, Block 143)
13. Right-of-way Grant to Wisconsin Bell, Inc. recorded December 19, 1986 in Volume 9253 of Records, page 9 as Document No. 1985076.  
 Re-recorded April 10, 1987 in Volume 9811 of Records, page 62 as Document No. 2009663.  
 (5'x 33' Buried Communication Facilities easement, Lot 11, Block 143)
14. Right-of-way Grant to Madison Gas and Electric Company recorded January 16, 1987 in Volume 9403 of Records, page 50 as Document No. 1991510.  
 (15' wide Underground Electric Easement, Lot 18, Block 143)  
 (10' wide Underground Electric Easement, Lot 17-18, Block 143)  
 (10'x 56' Underground Electric Easement, Lot 16, Block 143)  
 (10'x 33' Underground Electric Easement, Lot 13, Block 143)
15. Right-of-way Grant to Madison Gas and Electric Company recorded February 2, 1987 in Volume 9474 of Records, page 77 as Document No. 1994727.  
 (10'x 10' Underground Electric Easement, Lot 16, Block 143)
16. Right-of-way Grant to Madison Gas and Electric Company recorded December 30, 1996 in Volume 9474, page 86 as Document No. 1994732  
 Re-recorded February 13, 1997 in Volume 9529 of Record's page 962 as Document No. 1997200.  
 (10'x 66' Underground Electric Easement, Lot 11, Block 143)
17. Reservation and conditions contained in Warranty Deed recorded February 11, 1987 in Volume 9517 of Records, page 31 as Document No. 1996597.  
 (Sign Easement, SW 1/2 of Lot 11, the SE 99' of the NE 1/2 of Lot 11 and the SE 99' of Lot 10, Block 143)  
 Assignment and Assumption Agreement, recorded as Document No. 4234079.  
 (Billboard/Sign was removed from the property. See map for approximate former location.)  
 See Exception No. 24 for "TERMINATION OF EASEMENT"
18. Right-of-way Grant to Madison Gas and Electric Company recorded December 30, 1996 as Document No. 2822458  
 (10'x 81' Underground Electric Easement, Lot 10 - 11, Block 143)
19. Groundwater Use Restriction recorded August 22, 2000 as Document No. 3244593  
 (Lot 4, Block 143)
20. Redevelopment Plan for the 800 Block East Washington Avenue Redevelopment District recorded September 14, 2005 as Document No. 4107645.  
 (All of Block 134 is subject to conditions and restrictions, as establish with the plan.)
21. Lease, recorded July 25, 2011 as Document No. 4779394.  
 This Lease was Terminated, as per Jennifer Frese, City of Madison.
22. A Resolution approving the creation of the Redevelopment Plan and District Boundary for the East Washington Avenue Redevelopment District, recorded February 20, 2012 as Document No. 4844375.  
 (All of Block 134 is subject to conditions and restrictions as establish with the plan.)

**DOCUMENTS PROVIDED BY THE CITY OF MADISON**

23. Public sidewalk easement recorded on September 16, 2013 as Document No. 5024903.  
 (Easement width varies (4' max) on Lots 14 through 18, Block 143)
24. Termination of Easement recorded on April 29, 2013 as Document No. 4982440.  
 (SW 1/2 of Lot 11, the SE 99' of the NE 1/2 of Lot 11 and the SE 99' of Lot 10, Block 143)





ORIGINAL PLAT OF MADISON  
(PRITCHETTE PLAT)  
BLOCK 143



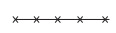
**PLAN KEY**

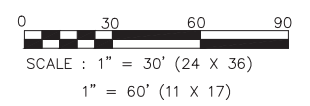
- 1 REMOVE CONCRETE CURB AND GUTTER
- 2 REMOVE SIDEWALK
- 3 EXISTING DRIVEWAY TO BE ABANDONED IN ACCORDANCE WITH CITY STANDARDS W/ CURB REPLACED & TERRACE RESTORED
- 4 REMOVE LIGHT POLE AND BASE
- 5 REMOVE TRAFFIC LIGHT POLE AND BASE
- 6 REPLACE STORM INLET CASTING, SEE CITY PLANS
- 7 REMOVAL PEDESTAL
- 8 REMOVE POWER POLE
- 9 REMOVE TREE
- 10 SAW CUT EXISTING ASPHALT
- 11 ADJUST MG&E MANHOLE RIM ELEVATION
- 12 REPLACE STORM SEWER CASTING W/NEENAH MODEL R-3290A

**DEMOLITION NOTES**

1. PATERSON STREET IMPROVEMENTS TO BE DESIGNED BY THE CITY OF MADISON. ALL DEMOLITION WORK WITHIN THE RIGHT-OF-WAY TO BE IN ACCORDANCE WITH CITY PLANS.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY DIGGERS HOTLINE PRIOR TO START OF DEMOLITION.
2. CONTRACTOR TO DISPOSE OF ALL MATERIALS OFF SITE, UNLESS DIRECTED OTHERWISE.
3. ALL MATERIALS, UTILITIES, AND PAVEMENT DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR SHALL PROTECT ALL EXISTING PUBLIC AND PRIVATE FACILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICAL, WATER, SANITARY, SIDEWALKS, PAVING, ETC.) THAT IS TO REMAIN.
5. REMOVAL OF AN ASPHALTIC SURFACE, WHERE AN ABUTTING ASPHALTIC SURFACE IS TO REMAIN IN PLACE, SHALL REQUIRE SAW CUTTING AN EDGE.

**LEGEND**

-  REMOVE CONCRETE SIDEWALK
-  REMOVE CURB AND GUTTER
-  SAWCUT ASPHALT



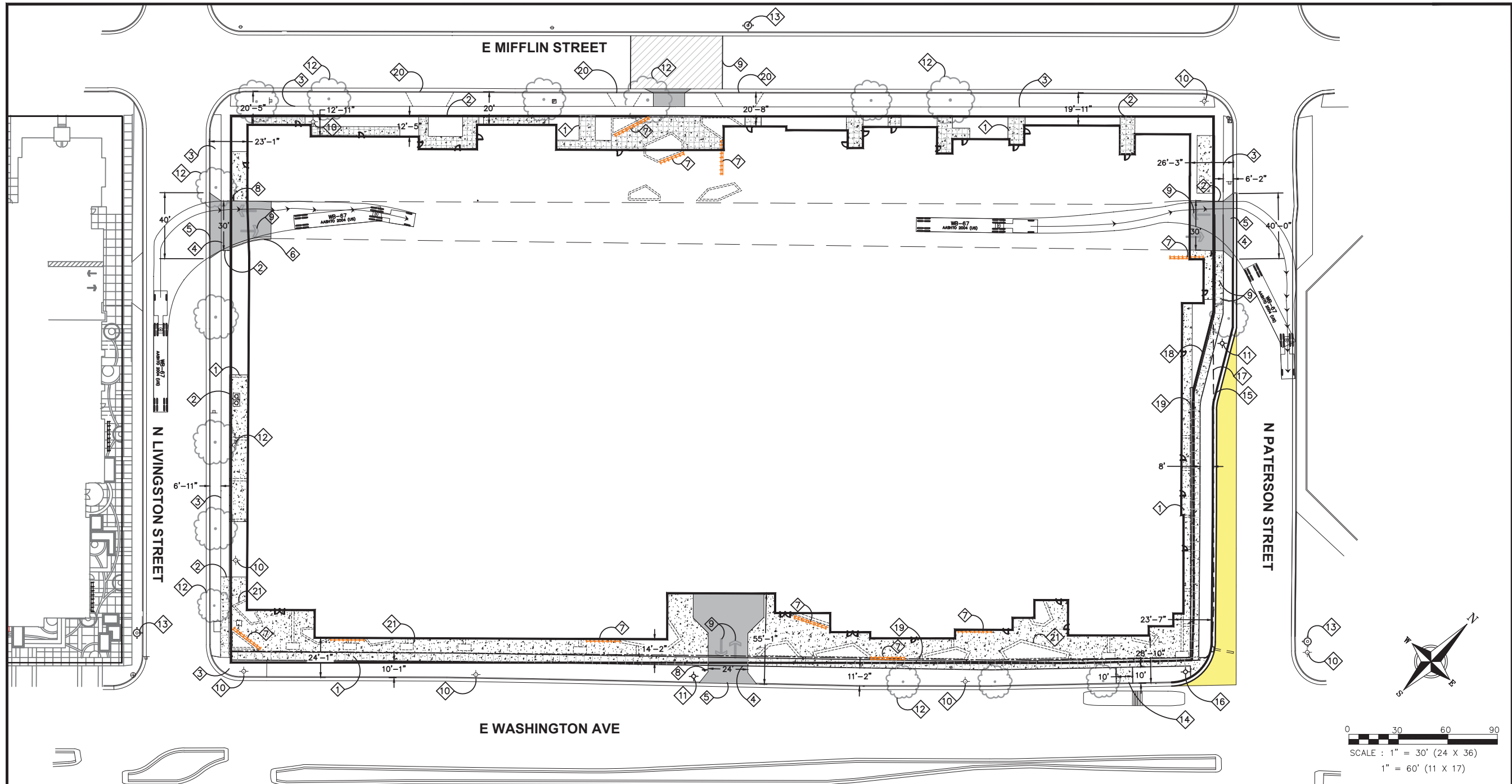
ISSUANCE/REVISION	DATE
SITE PLAN REVIEW	02-27-14

818 N Meadowbrook Ln  
Waunakee, WI 53597  
phone (608) 849-9378  
fax (608) 237-2129

**PROFESSIONAL ENGINEERING LLC**

**THE GALAXIE  
DEMOLITION PLAN**  
800N BLOCK E WASHINGTON AVE  
MADISON, WISCONSIN

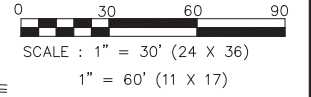
**C101**



ISSUANCE/REVISION	DATE
SITE PLAN REVIEW	02-27-14

818 N Meadowbrook Ln  
 Waunakee, WI 53597  
 phone (608) 849-9378  
 fax (608) 237-2129

**PROFESSIONAL ENGINEERING LLC**



**PLAN KEY**

- |  |                                       |   |  |
|--|---------------------------------------|---|--|
| ① CONCRETE SIDEWALK, TYP.  | ⑥ 18" CURB & GUTTER                   | ⑫ EX TREE, TYP.   | ⑰ EXISTING PROPERTY LINE                                 |
| ② MATCH EXISTING SIDEWALK, TYP.                                    | ⑦ BICYCLE RACK                        | ⑬ EXISTING FIRE HYDRANT   | ⑱ PROPOSED PROPERTY LINE                                 |
| ③ EXISTING SIDEWALK TO REMAIN, TYP.                                | ⑧ 7' HIGH STOP SIGN, TYP.             | ⑭ BUS STOP  | ⑲ PROPOSED SIDEWALK EASEMENT                             |
| ④ SIDEWALK TO BE 7" THICK IN DRIVEWAY SECTION                      | ⑨ PAVEMENT MARKING                    | ⑮ PROPOSED CURB LINE FOR N PATERSON STREET. IMPROVEMENTS TO BE DESIGNED BY THE CITY OF MADISON. CURB SHOWN FOR REFERENCE ONLY | ⑳ EXISTING DRIVEWAY TO BE ABANDONED, SEE DEMOLITION PLAN |
| ⑤ NEW DRIVEWAY APPROACH SHALL BE IN ACCORDANCE WITH CITY STANDARDS | ⑩ EXISTING LIGHT POLE TO REMAIN, TYP. | ⑯ RELOCATED LIGHT POLE  | ㉑ PLANTERS (TYP) SEE LANDSCAPE PLANS                     |
|  | ⑪ RELOCATED LIGHT POLE                | ⑰ RELOCATED TRAFFIC LIGHT, SEE CITY OF MADISON PLANS  |  |

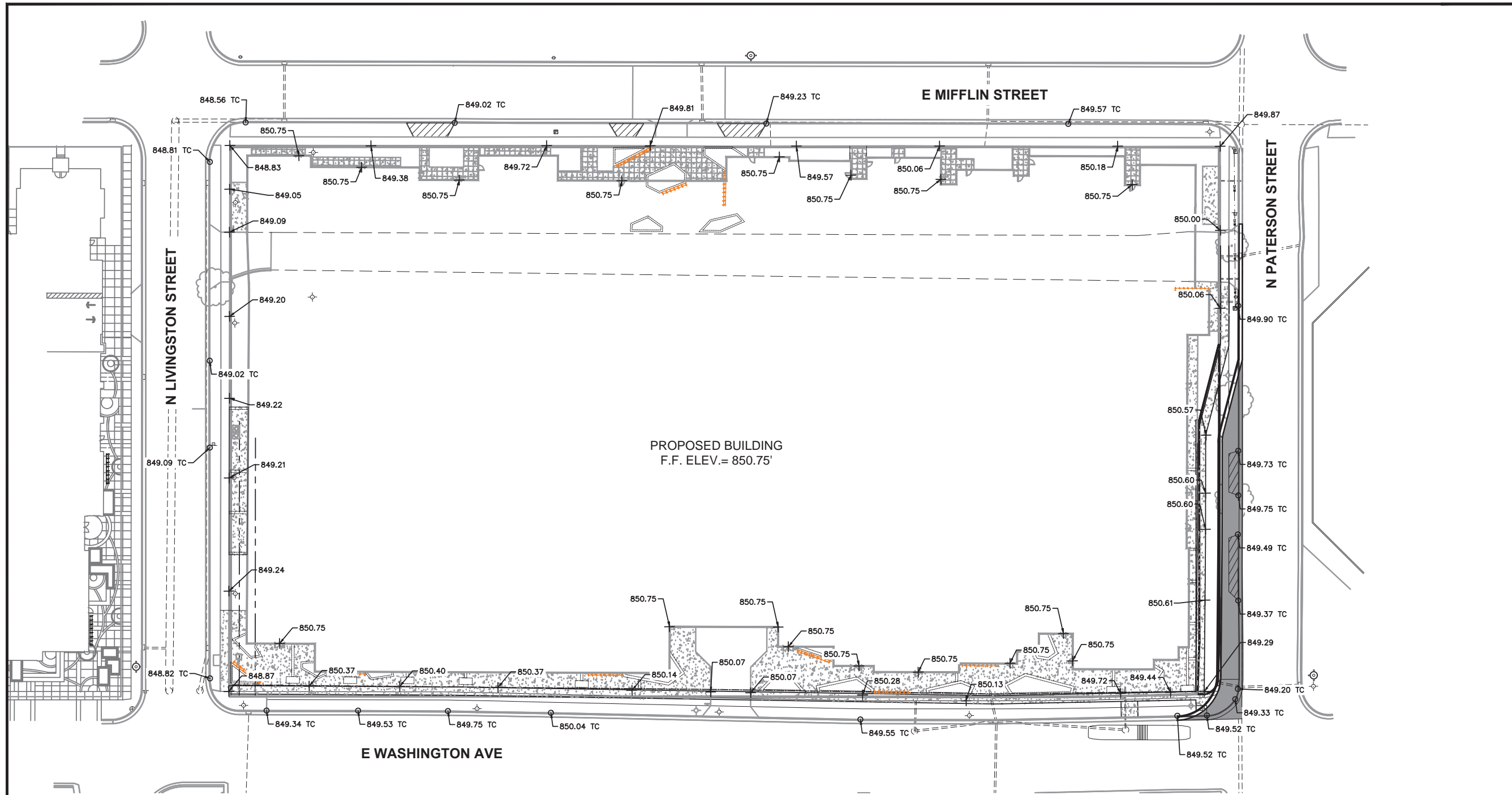
**PAVEMENT KEY**

- CONCRETE PAVEMENT
- N PATERSON STREET IMPROVEMENTS TO BE DESIGNED BY THE CITY OF MADISON. SHOWN FOR REFERENCE ONLY.
- CONCRETE

**THE GALAXIE  
 CIVIL SITE PLAN**  
 800N BLOCK E WASHINGTON AVE  
 MADISON, WISCONSIN

**C102**



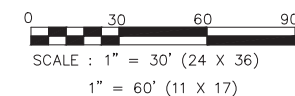


**GRADING NOTES**

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
3. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
4. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
5. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPACTED DUE TO CONSTRUCTION SHALL BE LOOSENEED PRIOR TO ADDITION OF TOPSOIL.

**GRADING LEGEND**

- PROPOSED CONTOUR
- × 850.00 SIDEWALK ELEVATION
- 850.00 TC TOP OF CURB ELEVATION



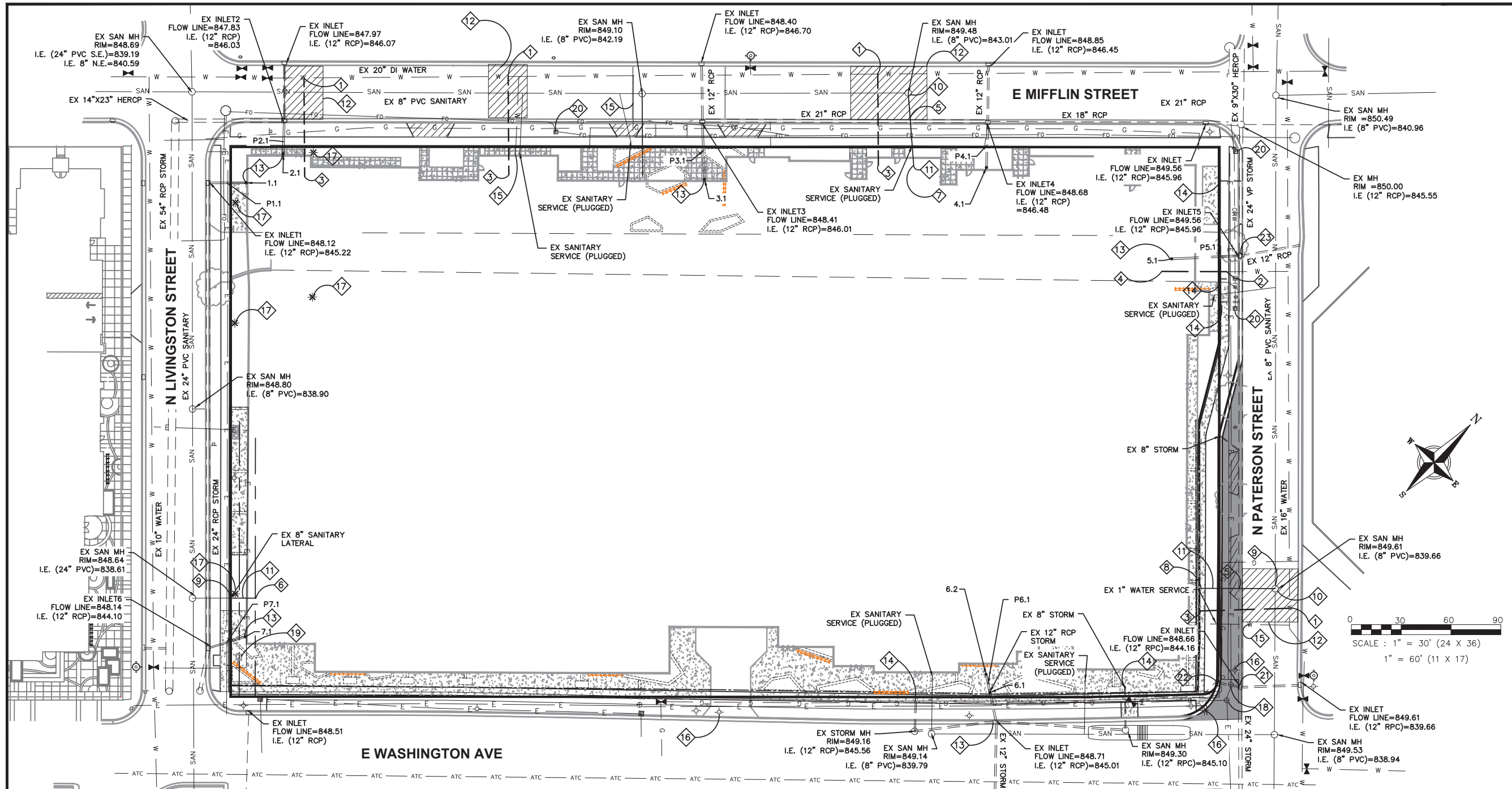
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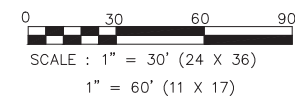
**THE GALAXIE  
 GRADING PLAN**  
 800N BLOCK E WASHINGTON AVE  
 MADISON, WISCONSIN

**C200**



ISSUANCE/REVISION	DATE
SITE PLAN REVIEW	02-27-14

818 N Meadowbrook Ln  
 Waunakee, WI 53597  
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**PLAN KEY**

- ① CONNECT TO EXISTING WATER MAIN. COORDINATE INSTALLATION WITH MADISON WATER UTILITY
- ② CONNECT TO EXISTING 6" WATER SERVICE
- ③ 8" WATER SERVICE, VERIFY SIZE WITH ARCHITECT
- ④ 6" WATER SERVICE, VERIFY SIZE WITH ARCHITECT
- ⑤ 8" SANITARY LATERAL @ 1% MIN. SLOPE, VERIFY SIZE WITH ARCHITECT
- ⑥ 8" SANITARY INV=841.00. EXTEND 5 FEET INTO BUILDING
- ⑦ 8" SANITARY INV=843.50. EXTEND 5 FEET INTO BUILDING
- ⑧ 8" SANITARY INV=840.00. EXTEND 5 FEET INTO BUILDING
- ⑨ CONNECT TO EXISTING 8" SANITARY SEWER
- ⑩ FIELD CORE CONNECTION TO EXISTING MANHOLE & USE CORE-N-SEAL BOOT PER CITY STANDARDS
- ⑪ SEE PLUMBING PLANS FOR CLEAN OUT LOCATION
- ⑫ UTILITY PATCH PER CITY REQUIREMENTS
- ⑬ CONNECT TO ROOF DRAIN. COORDINATE WORK WITH PLUMBING CONTRACTOR.
- ⑭ PLUG EXISTING STORM SEWER
- ⑮ EXISTING WATER SERVICE TO BE ABANDONED

**UTILITY NOTES**

- ⑯ EXISTING LIGHT POLE TO BE RELOCATED
  - ⑰ EXISTING LIGHT POLE TO BE REMOVED
  - ⑱ ADJUST MG&E MANHOLE RIM ELEVATION, SEE CITY PLANS
  - ⑲ EXISTING TRANSFORMER
  - ⑳ EXISTING UTILITY PEDESTAL
  - ㉑ ADJUST STORM SEWER STRUCTURE AND REPLACE CASTING, SEE CITY PLANS
  - ㉒ NEW STORM SEWER INLET, SEE CITY PLANS
  - ㉓ REPLACE STORM SEWER CASTING WITH NEENAH MODEL R-3290A
1. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
  2. ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKING OR BASED OFF OF CITY UTILITY RECORDS. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
  3. ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADDITION.
  4. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
  5. CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUGGING/CONNECTION PERMITS FROM THE CITY PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
  6. RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
  7. ALL STORM SEWER PIPE TO BE ADS-N12 PIPE OR RCP CLASS III REINFORCED CONCRETE WITH RUBBER GASKETS AS NOTED.
  8. CONTRACTOR SHALL CONFIRM CONNECTION ELEVATION GRADES OF ALL PIPES PRIOR TO BEGINNING CONSTRUCTION.
  9. WATER MAIN SHALL BE DUCTILE IRON, CLASS 52.
  10. SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.
  11. ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY THE CITY.
  12. CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
  13. UTILITIES SERVING PROPOSED BUILDINGS SHALL BE STUBBED INTO THE PROPOSED BUILDING(S) A MIN. OF 5' AND STAKED.
  14. ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MIN. DEPTH OF COVER OF 6.5'. AFTER REGRADING, EXISTING WATER MAIN PIPE WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE INSULATED.
  15. STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.
  16. BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.

**THE GALAXIE**  
**UTILITY PLAN**  
 800N BLOCK E WASHINGTON AVE  
 MADISON, WISCONSIN

**C300**



DATE	DESCRIPTION

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NOT FOR CONSTRUCTION

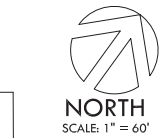
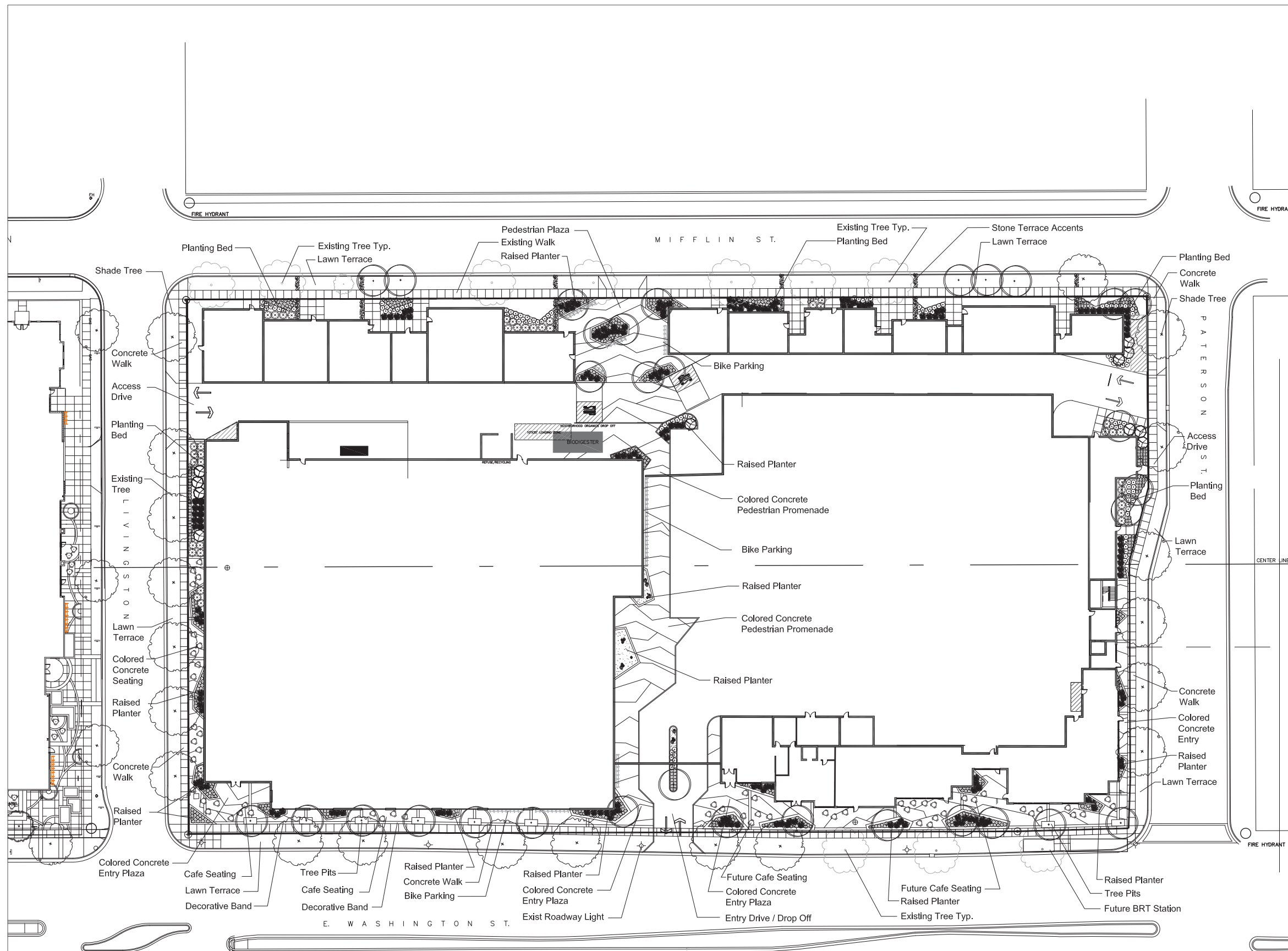


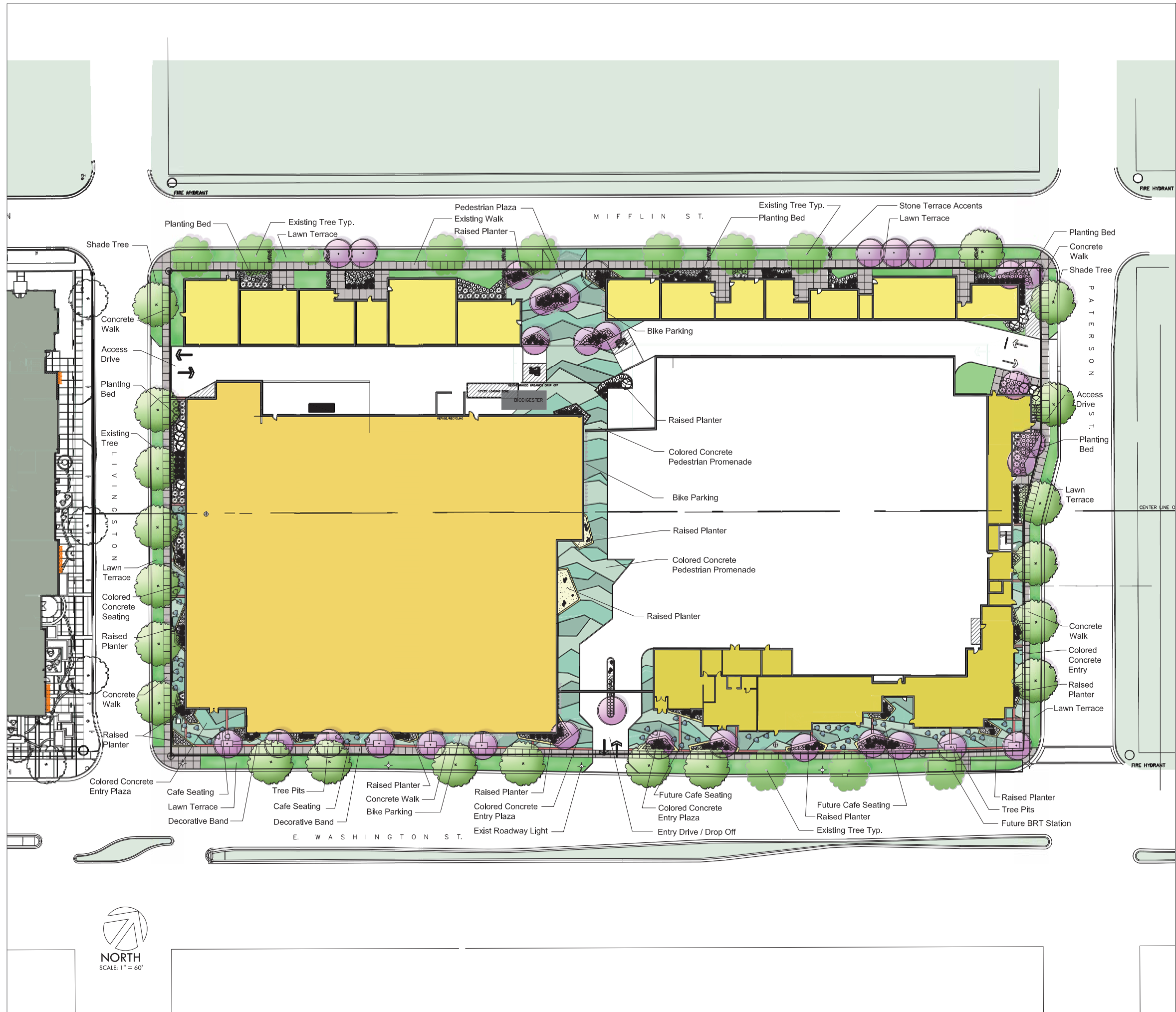
DATE  
14\_0227

THE GALAXIE  
800 N. EAST WASHINGTON, Madison, WI

SITE PLAN

L100





SHADE TREE  
CONCRETE WALK  
ACCESS DRIVE  
PLANTING BED  
EXISTING TREE  
LAWN TERRACE  
COLORED CONCRETE SEATING  
RAISED PLANTER  
CONCRETE WALK  
RAISED PLANTER  
COLORED CONCRETE ENTRY PLAZA  
CAFE SEATING  
LAWN TERRACE  
DECORATIVE BAND  
TREE PITS  
CAFE SEATING  
DECORATIVE BAND  
RAISED PLANTER  
CONCRETE WALK  
BIKE PARKING  
RAISED PLANTER  
COLORED CONCRETE ENTRY PLAZA  
EXIST. ROADWAY LIGHT

PLANTING BED  
EXISTING TREE TYP.  
LAWN TERRACE  
PEDESTRIAN PLAZA  
EXISTING WALK  
RAISED PLANTER  
MIFFLIN ST.  
EXISTING TREE TYP.  
PLANTING BED  
STONE TERRACE ACCENTS  
LAWN TERRACE  
PLANTING BED  
CONCRETE WALK  
SHADE TREE  
ACCESS DRIVE  
PLANTING BED  
LAWN TERRACE  
RAISED PLANTER  
COLORED CONCRETE PEDESTRIAN PROMENADE  
BIKE PARKING  
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GENERAL NOTES

DRAWING NOTES

CODE NOTES

DATE	DESCRIPTION

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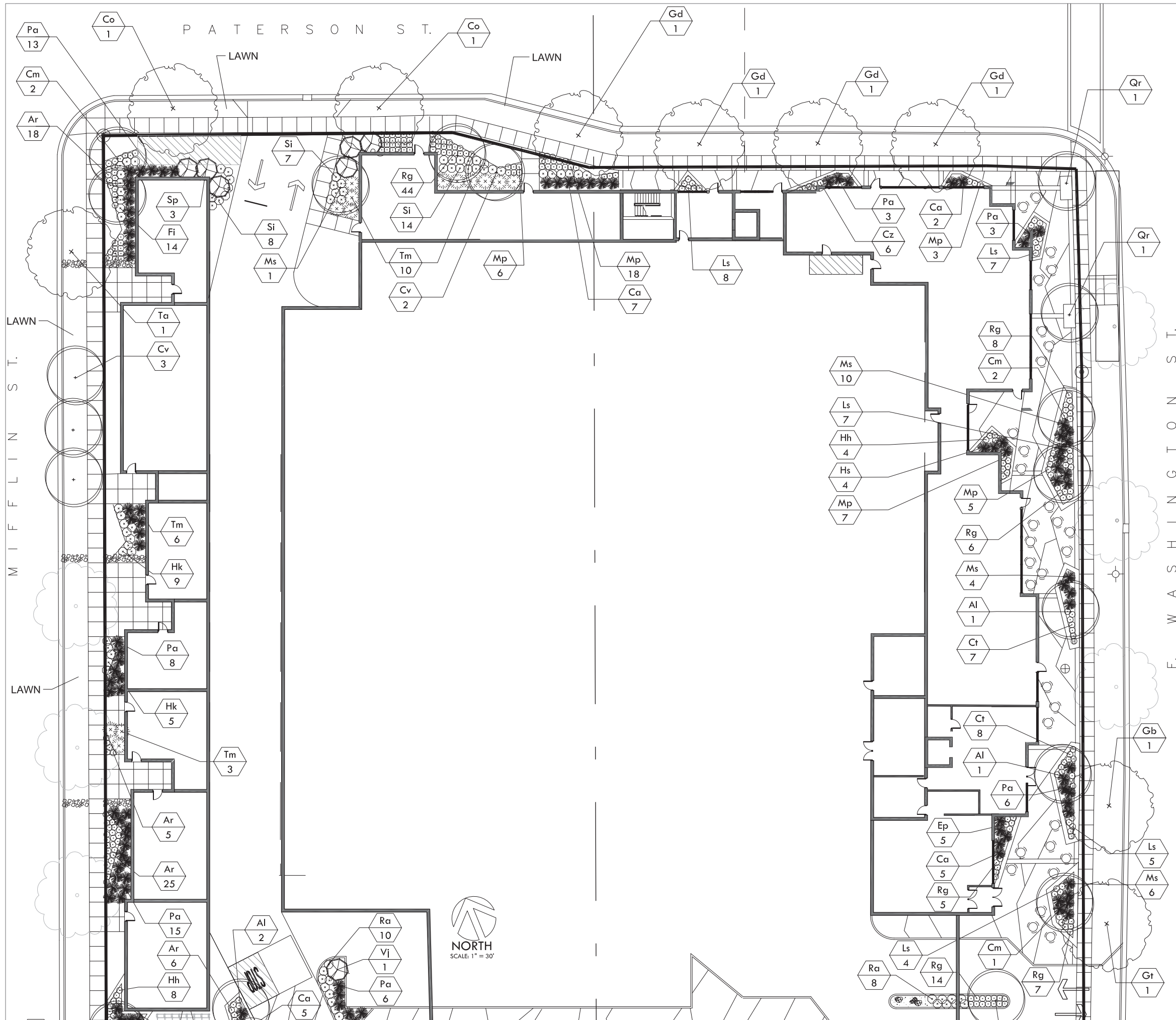
DATE  
14\_0227

THE GALAXIE  
800 N. EAST WASHINGTON, Madison, WI

SITE PLAN

L100





**GENERAL NOTES**

**DRAWING NOTES**

**CODE NOTES**

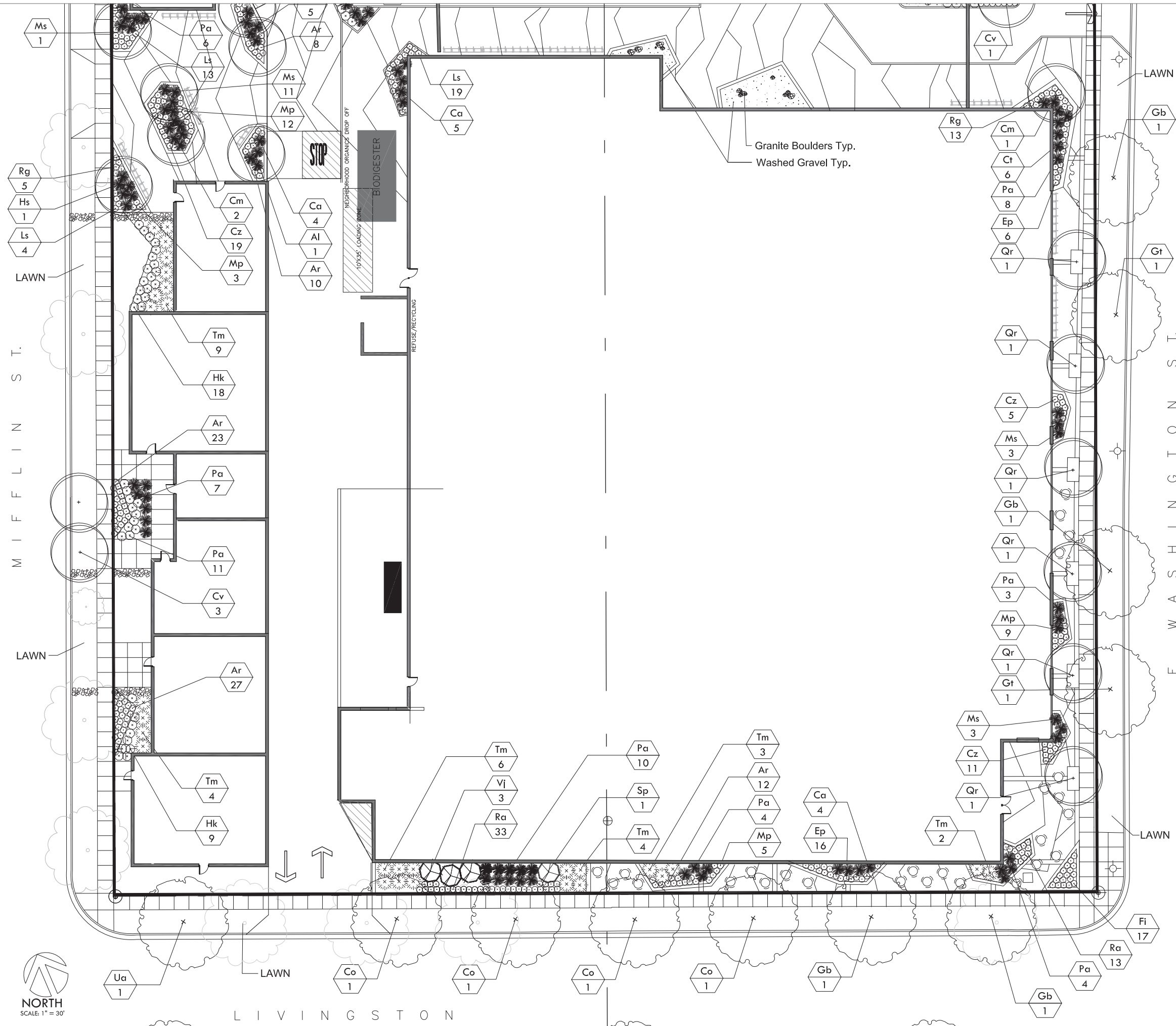
DATE	DESCRIPTION
14_0102	SIDEWALK REVISIONS

**UDC SUBMITTAL**  
NOT FOR CONSTRUCTION

DATE  
14\_0227

THE GALAXIE  
800 N. EAST WASHINGTON, Madison, WI  
**PLANTING PLAN**

**L101**



GENERAL NOTES

DRAWING NOTES

CODE NOTES

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14_0102	SIDEWALK REVISIONS

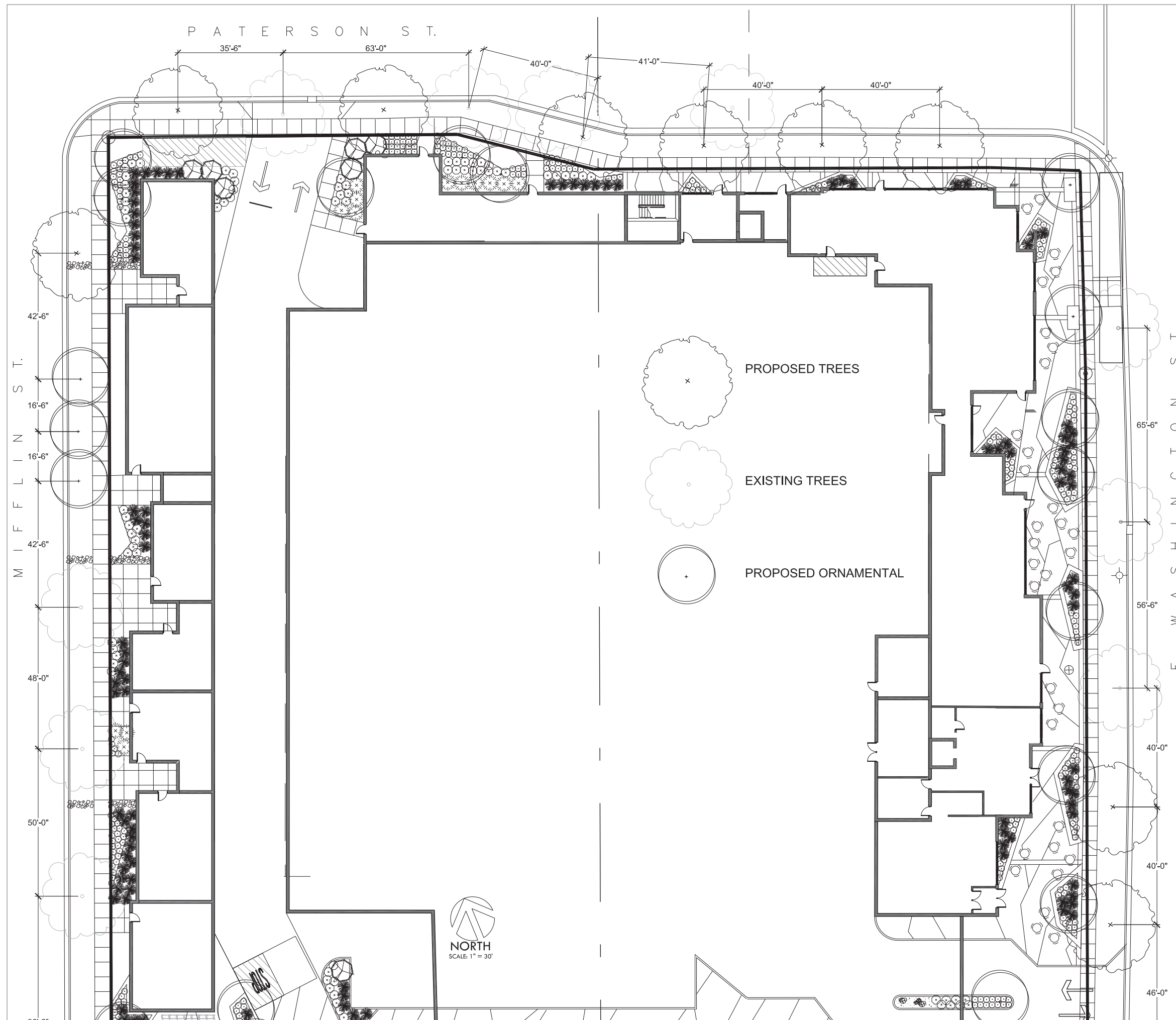
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THE GALAXIE  
800 N. EAST WASHINGTON, Madison, WI

PLANTING PLAN

**L102**





GENERAL NOTES

DRAWING NOTES

CODE NOTES

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14_0102	SIDEWALK REVISIONS

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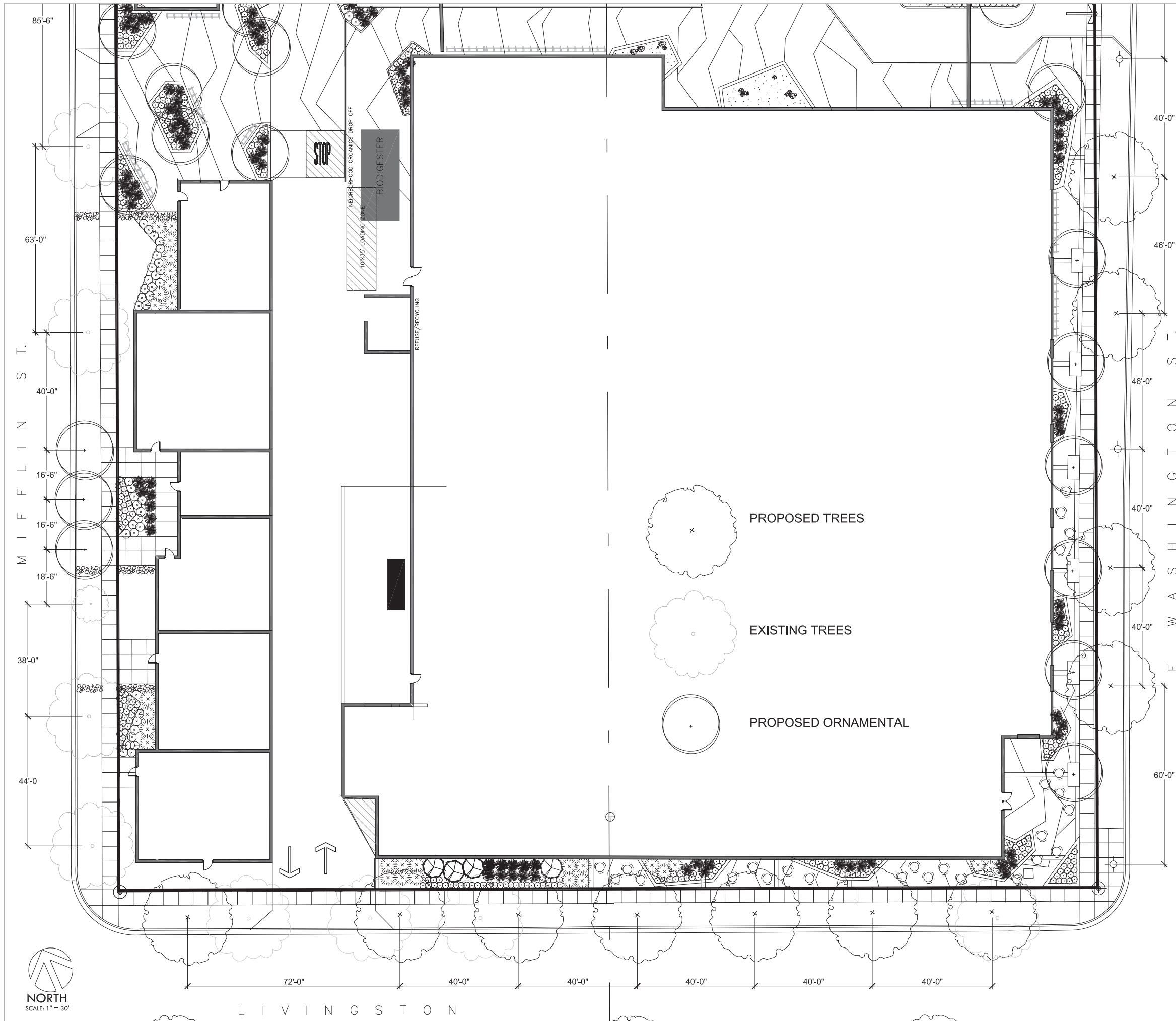


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THE GALAXIE  
800 N. EAST WASHINGTON, Madison, WI

TERRACE TREE DIMENSIONS

L103



GENERAL NOTES

DRAWING NOTES

CODE NOTES

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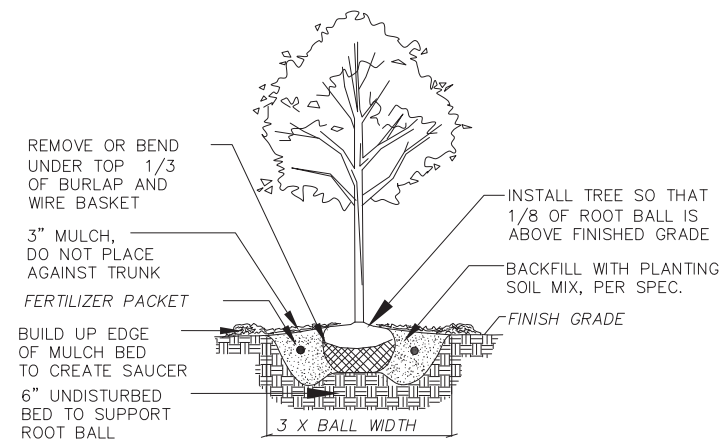
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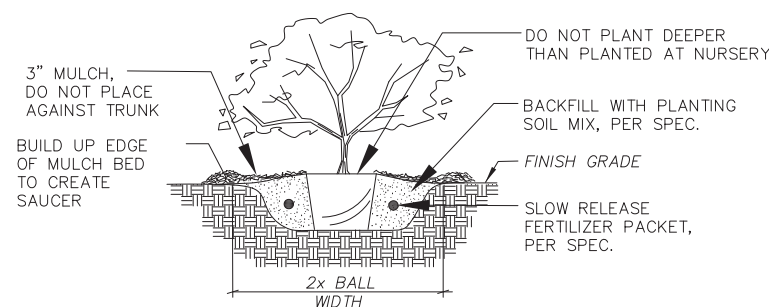
TERRACE TREE DIMENSIONS

L104

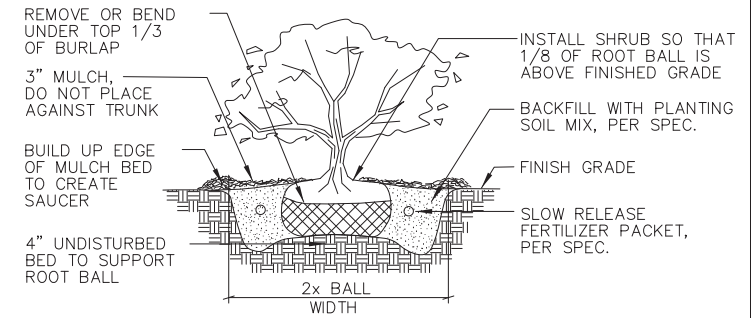




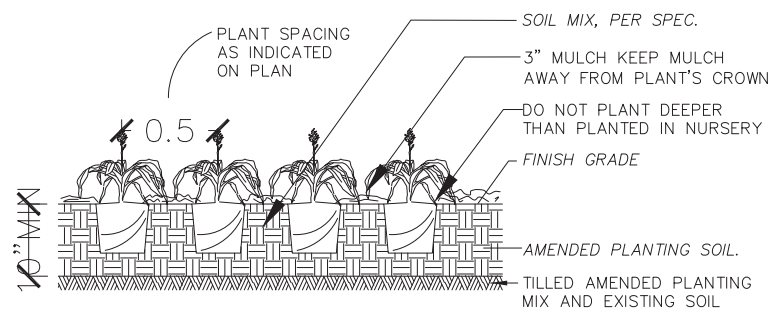
1 B&B TREE PLANTING DETAIL  
L200 NTS



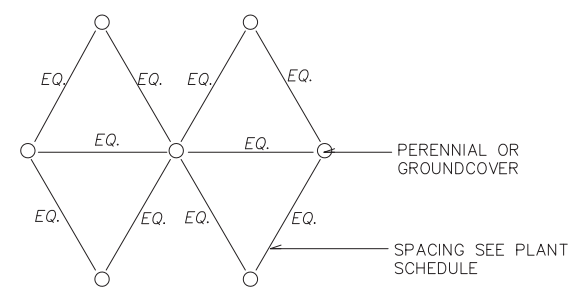
2 CONTAINER PLANTING DETAIL  
L200 NTS



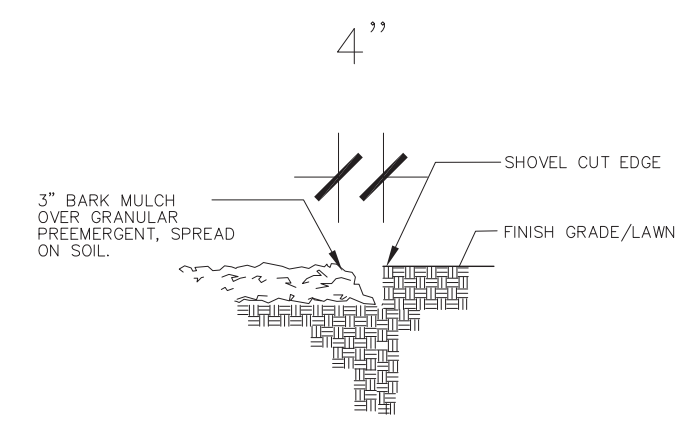
3 B&B SHRUB PLANTING DETAIL  
L200 NTS



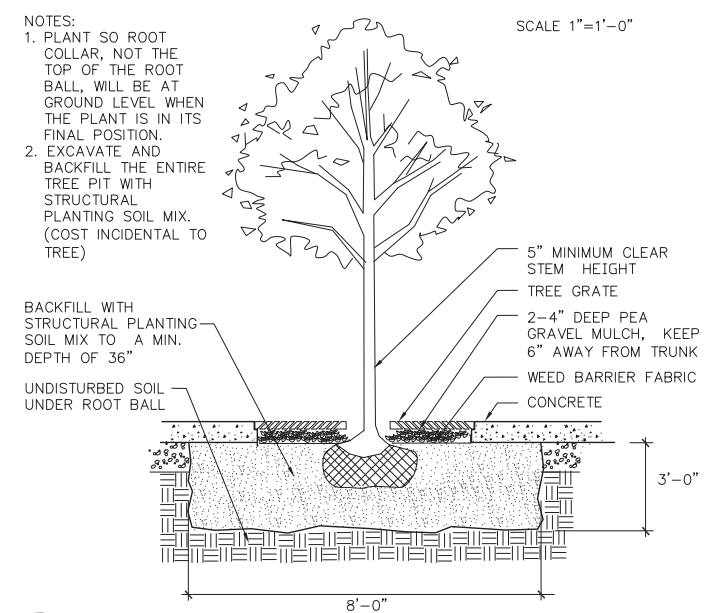
4 GROUNDCOVER / PERENNIAL PLANTING DETAIL  
L200 NTS



5 PERENNIAL/GROUNDCOVER SPACING DETAIL  
L200 NTS



6 BARK MULCH/SHOVEL CUT EDGE DETAIL  
L200 NTS



7 TREE GRATE PLANTING DETAIL  
L200 NTS

NOTES:  
1. PLANT SO ROOT COLLAR, NOT THE TOP OF THE ROOT BALL, WILL BE AT GROUND LEVEL WHEN THE PLANT IS IN ITS FINAL POSITION.  
2. EXCAVATE AND BACKFILL THE ENTIRE TREE PIT WITH STRUCTURAL PLANTING SOIL MIX. (COST INCIDENTAL TO TREE)

PROPOSED PLANTING PALETTE				
Code	Scientific Name	Common Name	Size	Cont.
<b>TREES</b>				
Al	Amelanchier laevis	Allegheny Serviceberry	3"	cal.
Cm	Cornus mas	Cornelian Cherry Dogwood	7'-9"	B&B
Co	Celtis occidentalis	Hackberry	3"	B&B
Cv	Crataegus verdis 'Winter King'	Winterking Hawthorne	3"	B&B
Gt	Gleditsia tricanthos 'Skyline'	Skyline Honeylocust	3"	cal.
Gd	Gymnocladus dioicus	Kentucky Coffee Tree	3"	cal.
Gb	Ginko biloba	Ginko	3"	cal.
Ms	Malus sp.	Standard Apple mix var.	7'-9"	B&B
Qr	Quercus x waqrei 'Long'	Regal Prince Oak	2 1/2"	cal.
Ta	Tillia americana	American Sentry Linden	2 1/2"	cal.
Ua	Ulmus x 'New Horizon'	New Horizon Elm	3"	cal.
<b>SHRUBS</b>				
Fi	Forsythia x inter. 'Cortasol'	Gold Tide Forsythia	3 gal.	pot
Ra	Rhus aromatica 'Gro-Low'	Grow-Low Sumac	2 gal.	pot
Rn	Rosa 'Nearly Wild'	Nearly Wild Rose	1 gal.	pot
Hk	Hypericum kalmianum 'Ames'	Ames St. Johns Wort	3 gal.	pot
Sp	Syringa petula 'Miss Kim'	Miss Kim Lilac	2 gal.	pot
Tm	Taxus x media 'Taunton'	Tauton Yew	5 gal.	pot
Si	Stephanandra incisa 'Crispa'	Cutleaf Stephanandra	2 gal.	pot
Vj	Viburnum x juddii	Juddii Viburnum	5 gal.	pot

PERENNIALS / GROUNDCOVER / GRASSES				
Ar	Astilbe arendsii 'Rheinland'	Rheinland Astilbe	1 gal.	pot
Ca	Calamagrostis arundinacea	Karl Forester Fther.Rd.Grass	1 gal.	pot
Ct	Chrysanthemum Tanacetum	Painted Daisy	1 qt.	pot
Cz	Coreopsis 'Zagreb'	Zagreb Coreopsis	1 gal.	pot
Ep	Echinacea purpurea	Purple Coneflower	1 qt.	pot
Hs	Helicototrichon sempervirens	Blue Oat Grass	1 gal.	pot
Hh	Hemerocallis 'Happy Ret.'	Happy Returns Daylily	1 gal.	pot
Ls	Liatris spicata 'Kobold'	Kobold Blazing Star	1 qt.	pot
Ms	Miscianthus 'Flame Grass'	Flame Grass	1 gal.	pot
Mp	Monarda 'Petite Delight'	Petite Delight Bee Balm	1 qt.	pot
Pa	Pennesetum alop. 'Hameln'	Hameln Dwf. Fountaingrass	1 qt.	pot
Rg	Rudbeckia 'Goldstrum'	Blackeyed Susan	1 qt.	pot

DATE	DESCRIPTION

**UDC SUBMITTAL**  
NOT FOR CONSTRUCTION

DATE  
14\_0227

THE GALAXIE  
800 N. EAST WASHINGTON, Madison, WI

STREETSCAPE AND LANDSCAPE PLAN

L200



Bench



Bollard Light



Trash Receptacle



Post Light

GENERAL NOTES

DRAWING NOTES

CODE NOTES

DATE	DESCRIPTION
14_0102	SIDEWALK REVISIONS

UDC SUBMITTAL  
NOT FOR CONSTRUCTION



THE GALAXIE  
800 N. EAST WASHINGTON, Madison, WI

SITE AMENITIES

**L201**





GENERAL NOTES

**East Washington Capitol Gateway Corridor**  
Urban Design District No. 8

- Urban Design District Boundary
- Capitol Gateway Corridor Blocks
- Capitol Gateway Corridor Sub-Blocks



3. Building Height, Location (Distance from Property Line and Setback)

Block	Maximum Bldg. Height (stories)	Minimum & Maximum Street Level Facade Height (stories)	Minimum Setback East-West Streets (feet or angle)	Minimum Setback North-South Streets (feet)	Minimum & Maximum Setback East-West Streets (feet)	Minimum & Maximum Setback North-South Streets (feet)
3.a	3 - 30'	2-3	30'	15	5-20	5-10
3.b	8"	3-5	15	15	15	5-10

Traditional Employment District

Lot area (sq. ft.)	4,000
Lot width	30
Front yard setback	None (see Storage requirement)
Side yard setback	When buildings abut residentially-zoned lots, at least 5 feet
Side yard setback - other cases	One story: 7 feet Two-story: 8 feet Lot width + 40% for walls
Rear yard setback	20
Maximum lot coverage	85%
Maximum height	22, measured to finished ceiling
Maximum height	7 meters/23
Double street corner - residential	100 sq. ft. wall

**TERRACE WIDTHS:**  
DIMENSIONS SHOWN FROM B.O. CURB TO F.O. CITY SIDEWALK (CITY SIDEWALK IS 5'-0" WIDE).

**BUILDING SETBACKS:**  
DIMENSIONS SHOWN FROM F.O. CITY SIDEWALK TO F.O. BUILDING

**UDD8 SETBACKS:**  
DIMENSIONS SHOWN FROM PROPERTY LINE TO F.O. BUILDING

DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DAT REVIEW SET
12.29.13	INFORMATIONAL UDD
01.29.14	INITIAL UDD

PLAN COMMISSION SUBMITTAL

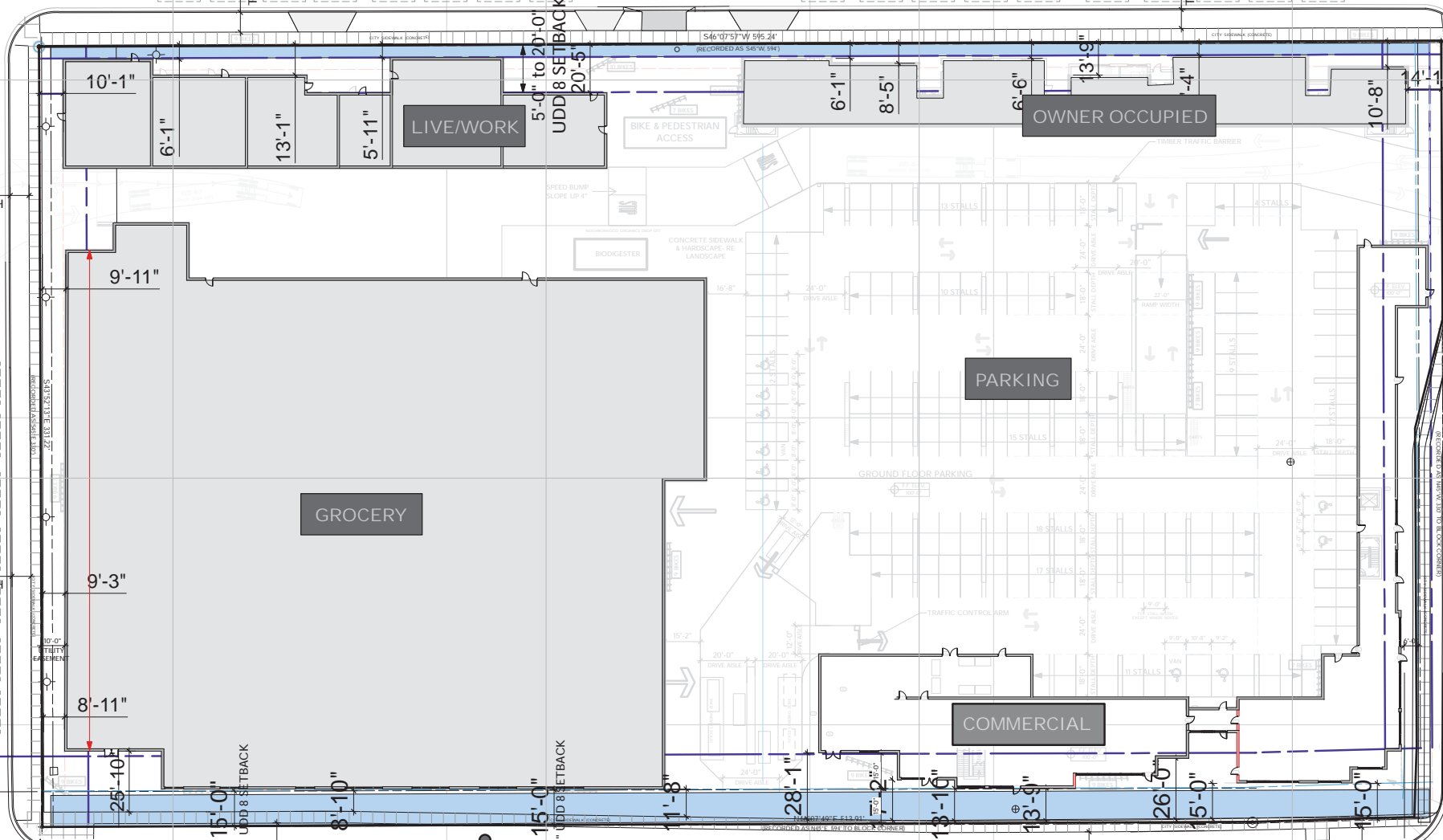
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DATE  
02.20.14

8001 BLOCK EAST WASHINGTON AVENUE  
MADISON, VA

**C100-Z**

BUILDING PLACEMENT AND SETBACK ANALYSIS





GENERAL NOTES

**CONDITIONAL USE REQUESTS**

(Per Table 28-F1)

**Conditional Use** requests are made for the following uses in the TE District:

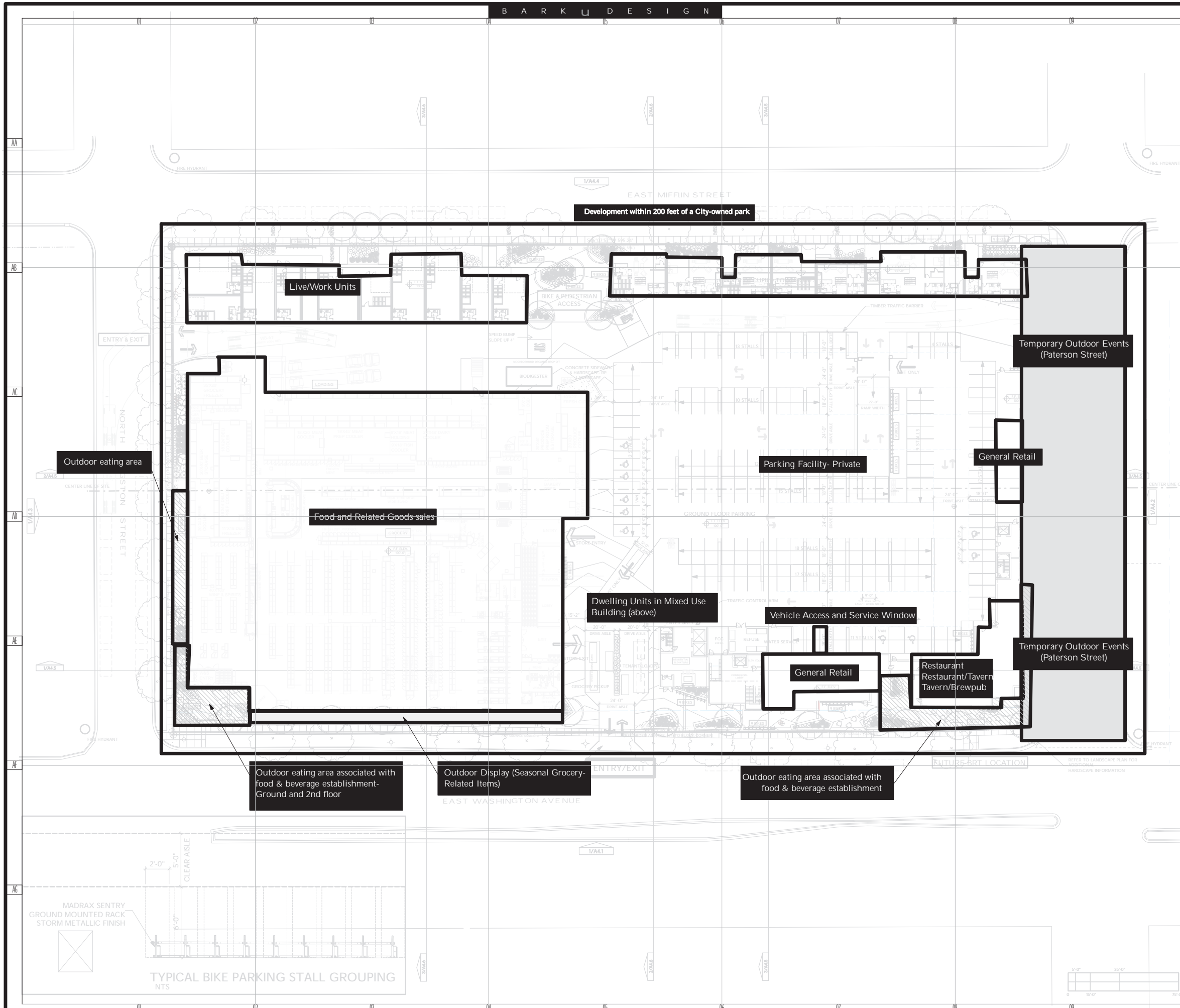
- (28.065)  
-Height above 5 stories/68 feet

(Per Table 28-F1)

- Food and Related Goods sales**  
Proposed Use: 55,000 s.f. full service Festival Foods Grocery Store
- Outdoor display**  
Proposed Use: Approx. 1,300 s.f. of Seasonal Display of perishable products as an accessory to the Grocery Store along East Washington and Livingston
- Outdoor eating area associated with food & beverage establishment**  
Proposed Use: Approx. 1,000 s.f. of 2nd floor rooftop seating area at the intersection of Livingston and East Washington
- Market garden**  
Proposed Use: 3rd floor Rooftop Farm. See Management Plan
- General Retail**  
Proposed Use: Ground Floor locations on East Washington (2,200 s.f.) and Paterson (1,000 s.f.)
- Vehicle access sales and services windows**  
Proposed Use: To serve one of the General Retail spaces
- Dwelling Units in Mixed-Use Buildings**  
Proposed Use: Rental Apartment and Owner-Occupied units
- Live-Work Units**  
Proposed Use: At corner of Mifflin and Livingston
- Parking facility, private**  
Proposed Use: Internal parking structure for use by Customers, residents, employees, guests and limited special event functions. See Management Plan
- Development within 200 feet of a City-owned park (Breese Stevens Field and Reynolds Field)**  
Proposed Use: Mixed-use development

The following uses are proposed, but will require separate Conditional Use applications when additional detail can be presented. The intended uses should be considered as part of the overall project plan and approval:

- Restaurant or -Restaurant/Tavern or -Tavern/Brewpub**  
Proposed Use: Corner of East Washington and Paterson designated as a desired restaurant space.  
Roof of 3rd floor commercial is desired as a restaurant with outdoor space.
- Outdoor Eating Area**  
Proposed Use: Associated with corner restaurant
- Temporary outdoor events**  
Proposed Use: Paterson Street could potentially hold pedestrian events relating to Breese Stevens Field.  
Additional coordination between Developer and City of Madison Parks Department



DATE	DESCRIPTION
06.01.13	PRELIMINARY REVIEW SET
08.21.13	DAT REVIEW SET
12.29.13	INFORMATIONAL UDC
01.29.14	INITIAL UDC

PLAN COMMISSION SUBMITTAL

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DATE  
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THE GALAXIE  
800N BLOCK EAST WASHINGTON AVENUE  
MADISON, WI

CONDITIONAL USE REQUESTS

C200-Z





GENERAL NOTES

REFER TO SHEETS A4.5, A4.6 FOR ADDITIONAL DIMENSIONS

DRAWING NOTES

CODE NOTES

DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DAT REVIEW SET
12.29.13	INFORMATIONAL UDC
01.29.14	INITIAL UDC

ARCHITECT	STRUCTURAL ENGINEER
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PLAN COMMISSION SUBMITTAL



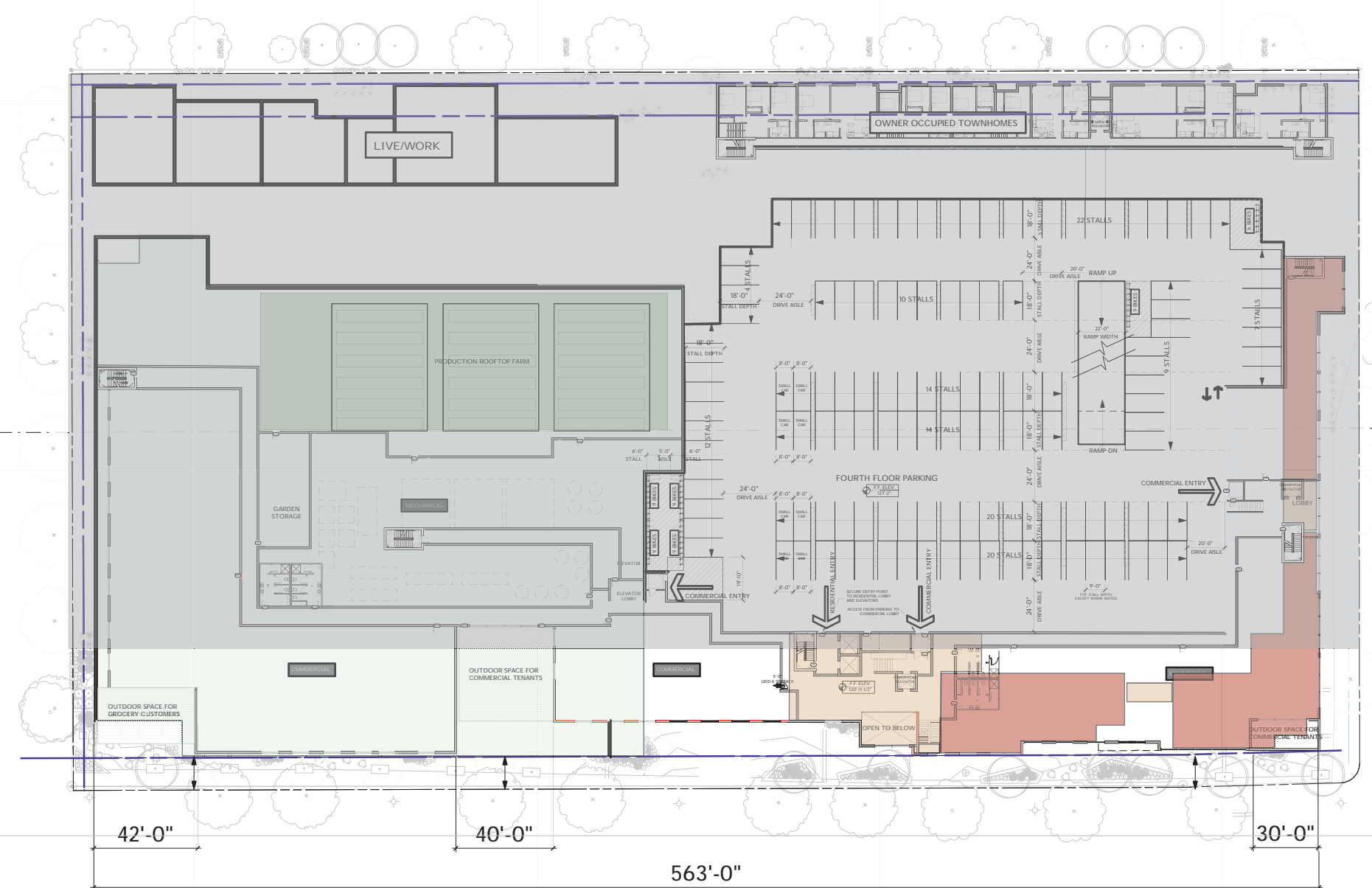
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608.333.1926  
DATE  
02.20.14

THE GALAXIE  
800N BLOCK EAST WASHINGTON AVENUE  
MCDONOUGH, VA

ZONING ANALYSIS- third floor

C300-Z

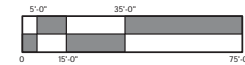
SCALE 1/8"=1'-0"



F.F. ELEV.: 24'-0"  
GROUND LEVEL

F.F. ELEV.: 30'-11 1/2"  
GROUND LEVEL

563'- TOTAL BLOCK LENGTH  
20%- ALLOWABLE DEVIATION FROM REQUIRED  
3-5 STORY "STREET WALL" PER PROPOSED  
UDD8 AMENDMENT = 112'  
112'- PROPOSED CUMULATIVE DEVIATION FROM REQUIRED "STREET WALL"





GENERAL NOTES

1. PROVIDE PARKING SPACE STRIPING AND NUMBERING
2. PARKING STALLS TO BE 9'-0" IN WIDTH BY 18'-0" IN LENGTH WITH A 3'-0" BACKUP
3. SLOPE CONCRETE SLAB TO CATCH BASINS 1/4"/FT. MIN.
4. PROVIDE SAWCUT CONTROL JOINTS @ 10'-0" O.C. AND AT OUTSIDE CORNERS OF INTERIOR WALLS. COORDINATE WITH ARCHITECT AND GENERAL CONTRACTOR
5. REFER TO LIGHTING DRAWINGS FOR LOCATIONS AND EXTENTS OF LIGHT FIXTURES
6. BICYCLE PARKING STALLS TO BE 7'-0" W X 6'-0" D.
7. SCOOTER PARKING STALLS TO BE 3'-0" W X 6'-0" D AND SHALL BE REPRESENTED BY STRIPING ON CONCRETE SURFACE
8. REFER TO LANDSCAPE DRAWINGS FOR LOCATIONS AND EXTENTS OF LANDSCAPING AND HARDSCAPE
9. GENERAL CONTRACTOR TO COORDINATE ALL UTILITY SERVICE ENTRIES, LOCATIONS, METERS AND CLEARANCES REQUIRED BY UTILITY COMPANY AND/OR EQUIPMENT SUPPLIED BY CONTRACTOR OR SUBCONTRACTOR AND AS OTHERWISE MANDATED BY APPLICABLE CODE OR AUTHORITY HAVING JURISDICTION FOR REVIEW BY ARCHITECT
10. DESIGN/BUILD CONTRACTORS TO VERIFY THAT SOUND LEVELS OF ALL EQUIPMENT MEET OR EXCEED ALLOWABLE SOUND ORDINANCES FOR MUNICIPALITY
11. GENERAL CONTRACTOR TO COORDINATE ALL ROUGH OPENINGS IN PRECAST PANELS WITH ARCHITECT, SUBCONTRACTORS AND PRECAST SUPPLIER
12. GENERAL CONTRACTOR TO PROVIDE PARKING LOT WHEEL STOPS WHERE SHOWN OR REQUIRED BY AUTHORITY HAVING JURISDICTION
13. GC TO COORDINATE CATCH BASIN LOCATIONS AND ELEVATIONS WITH PLUMBING DESIGN/BUILD CONTRACTOR
14. ISOLATE PLASTERS AND COLUMNS FROM FLOOR SLAB
15. THE CONTRACTOR SHALL RECONSTRUCT THE SIDEWALKS ALONG ADJACENT STREETS WHICH ARE DAMAGED DUE TO THE CONSTRUCTION OF THIS DEVELOPMENT
16. ALL PROPOSED SIDEWALK AND CURB GRABES ALONG N. PATERSON STREET SHALL BE COORDINATED WITH THE PROPOSED EAST WASHINGTON AND PATERSON STREET REDESIGN
17. THE CONTRACTOR, ARCHITECT, AND ENGINEER SHALL COORDINATE THE PROPOSED 2013 EAST WASHINGTON AVENUE MEDIAN AND ROADWAY IMPROVEMENTS WITH CITY OF MADISON ENGINEERING AND TRAFFIC ENGINEERING
18. REVIEW PROPOSED STORM CONNECTIONS WITH CITY OF MADISON ENGINEER PRIOR TO COMMENCING CONSTRUCTION

DRAWING NOTES

BUILDING SUMMARY:

- 7,000 S.F. COMMERCIAL/RETAIL
- 3,000 S.F. LOBBY
- 63,800 S.F. PARKING
- 55,000 S.F. GROCERY STORE
- 7,000 S.F. OWNER OCCUPIED HOUSING
- 8,000 S.F. LIVE/WORK HOUSING

AUTO PARKING STALLS:

- DEDICATED GROCERY: 138
- HC: 10
- (VAN ACCESSIBLE: 2)

BIKE PARKING STALLS: 165

- OUTSIDE PARKING STRUCTURE:
  - GROUND LEVEL (MADRAX): 124
  - INSIDE PARKING STRUCTURE:
    - 1ST FLOOR PARKING (MADRAX): 41

CODE NOTES

DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DAT REVIEW SET
12.29.13	INFORMATIONAL UDC
01.29.14	INITIAL UDC

ARCHITECT STRUCTURAL ENGINEER

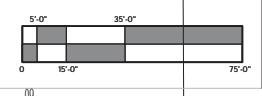
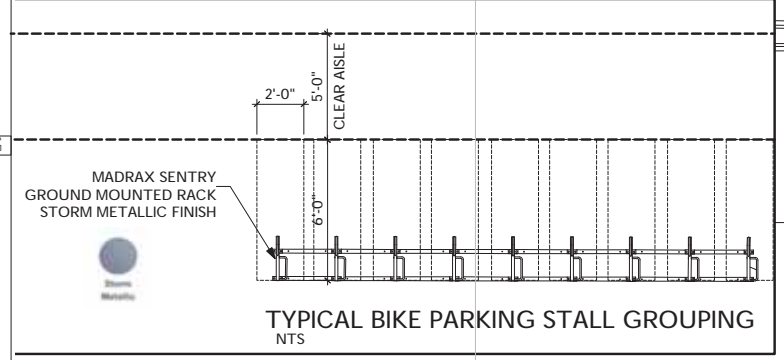
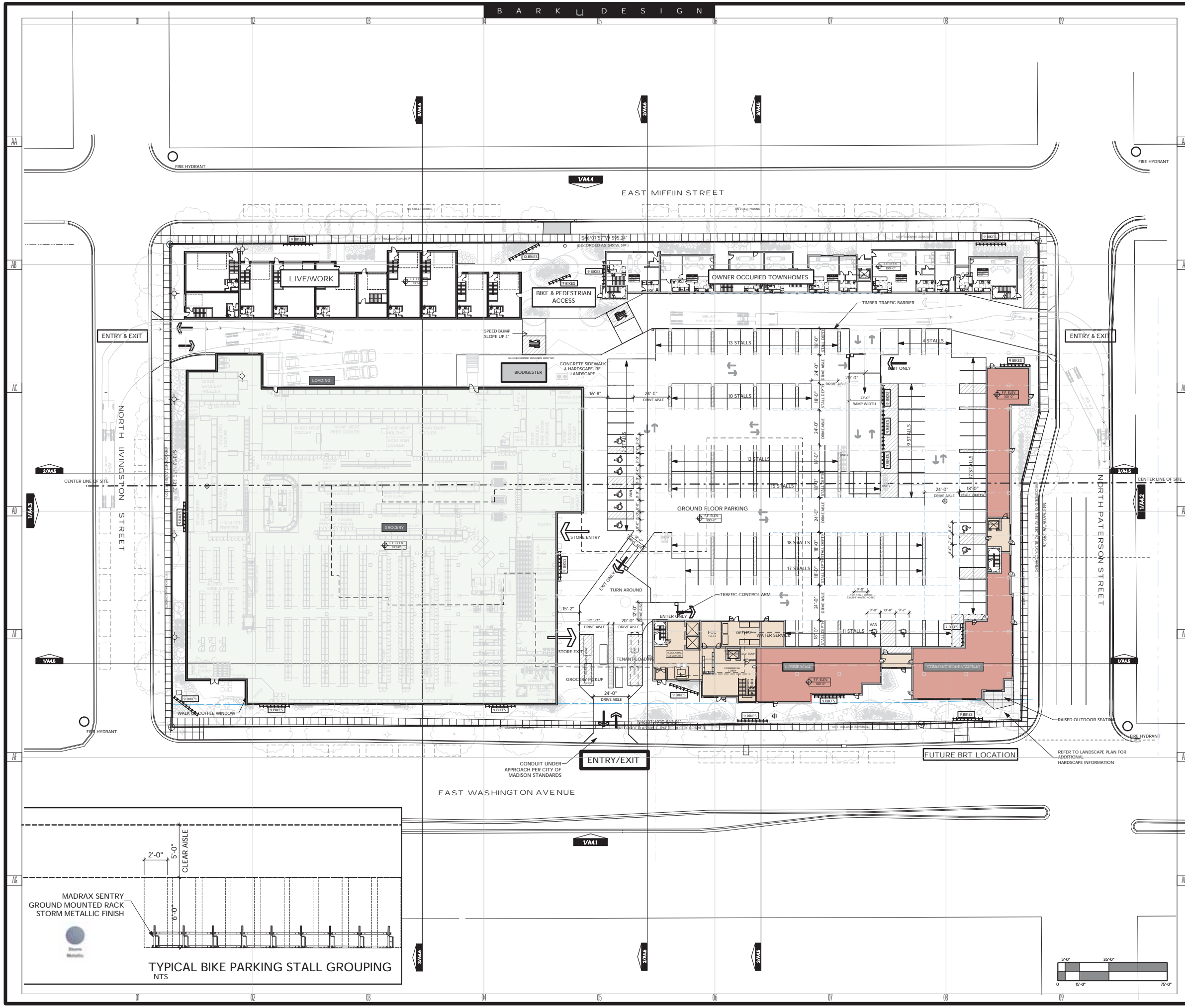
PLAN COMMISSION SUBMITTAL



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02.20.14

THE GALAXIE  
800N BLOCK EAST WASHINGTON AVENUE  
MADISON, WI

FIRST FLOOR AND OVERALL SITE PLAN  
SCALE: 1/32" = 1'-0"







GENERAL NOTES

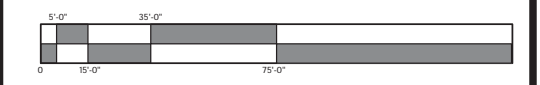
REFER TO SHEETS A4.5, A4.6 FOR ADDITIONAL DIMENSIONS

DRAWING NOTES

**AUTO PARKING STALLS: 124**  
DEDICATED GROCERY: 45  
COMMERCIAL: 79  
HC: 4

**BIKE PARKING STALLS:**  
INSIDE PARKING STRUCTURE: 24

CODE NOTES



DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DATE REVIEW SET
12.29.13	INFORMATIONAL LDC
01.29.14	INITIAL LDC

PLAN COMMISSION SUBMITTAL

**bark DESIGN** **GEBHARDT DEVELOPMENT**

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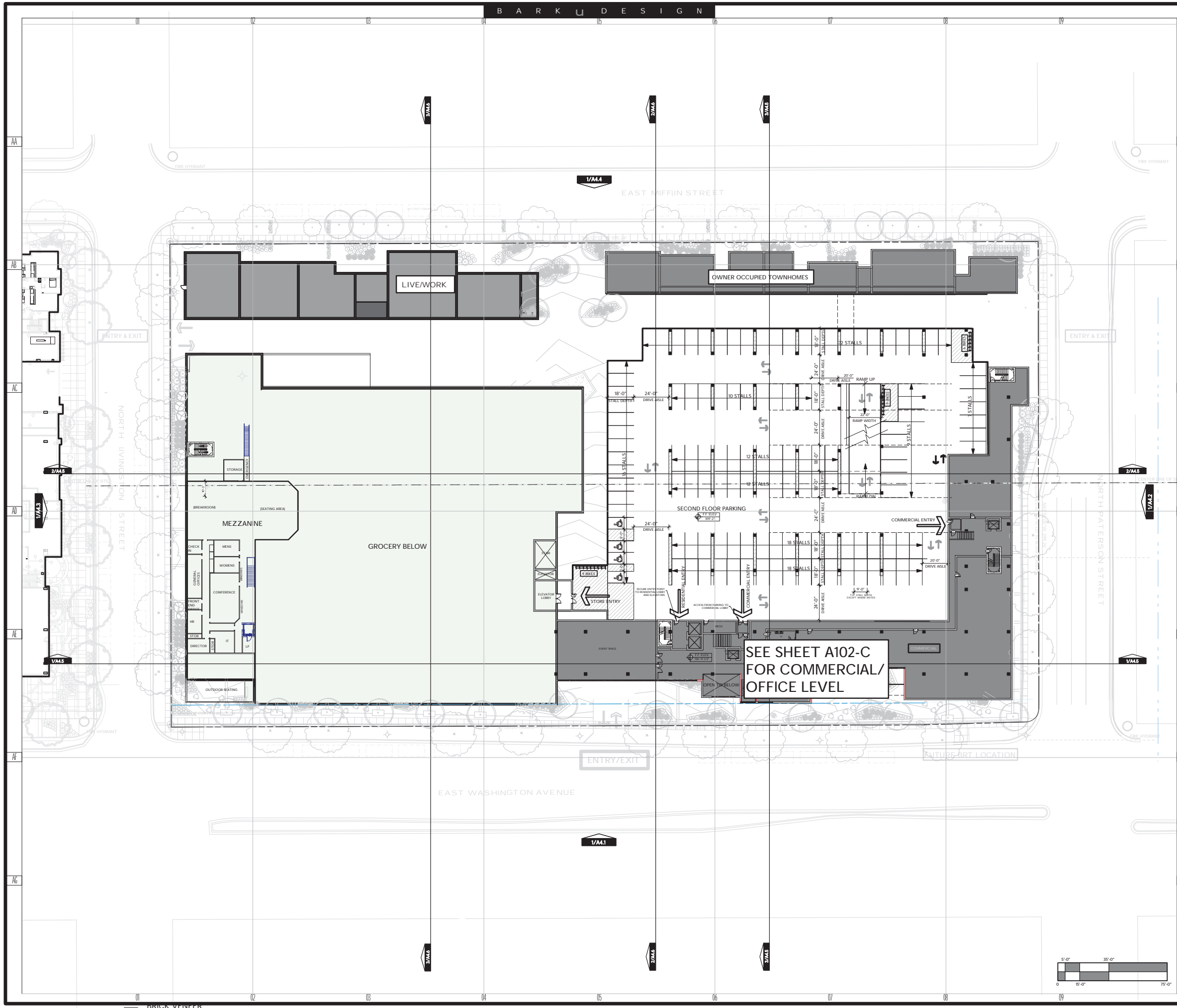
DATE  
02.20.14

**THE GALAXIE**  
8000 BLOCK EAST WASHINGTON AVENUE  
MCDONOUGH, VA

SECOND FLOOR PARKING PLAN

**A102-P**

SCALE: 1/8"=1'-0"





GENERAL NOTES

REFER TO SHEETS A4.5, A4.6 FOR ADDITIONAL DIMENSIONS

DRAWING NOTES

BUILDING SUMMARY:

12,300 S.F. COMMERCIAL/OFFICE  
 8,000 S.F. LOBBY/MEETING SPACE  
 57,200 S.F. PARKING  
 7,000 S.F. OWNER OCCUPIED HOUSING  
 8,000 S.F. LIVE/WORK HOUSING

AUTO PARKING STALLS: 131

BIKE PARKING STALLS  
 INSIDE PARKING STRUCTURE: 51

CODE NOTES

DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DAT REVIEW SET
12.29.13	INFORMATIONAL UDC
01.29.14	INITIAL UDC

ARCHITECT	STRUCTURAL ENGINEER
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PLAN COMMISSION SUBMITTAL

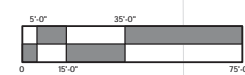
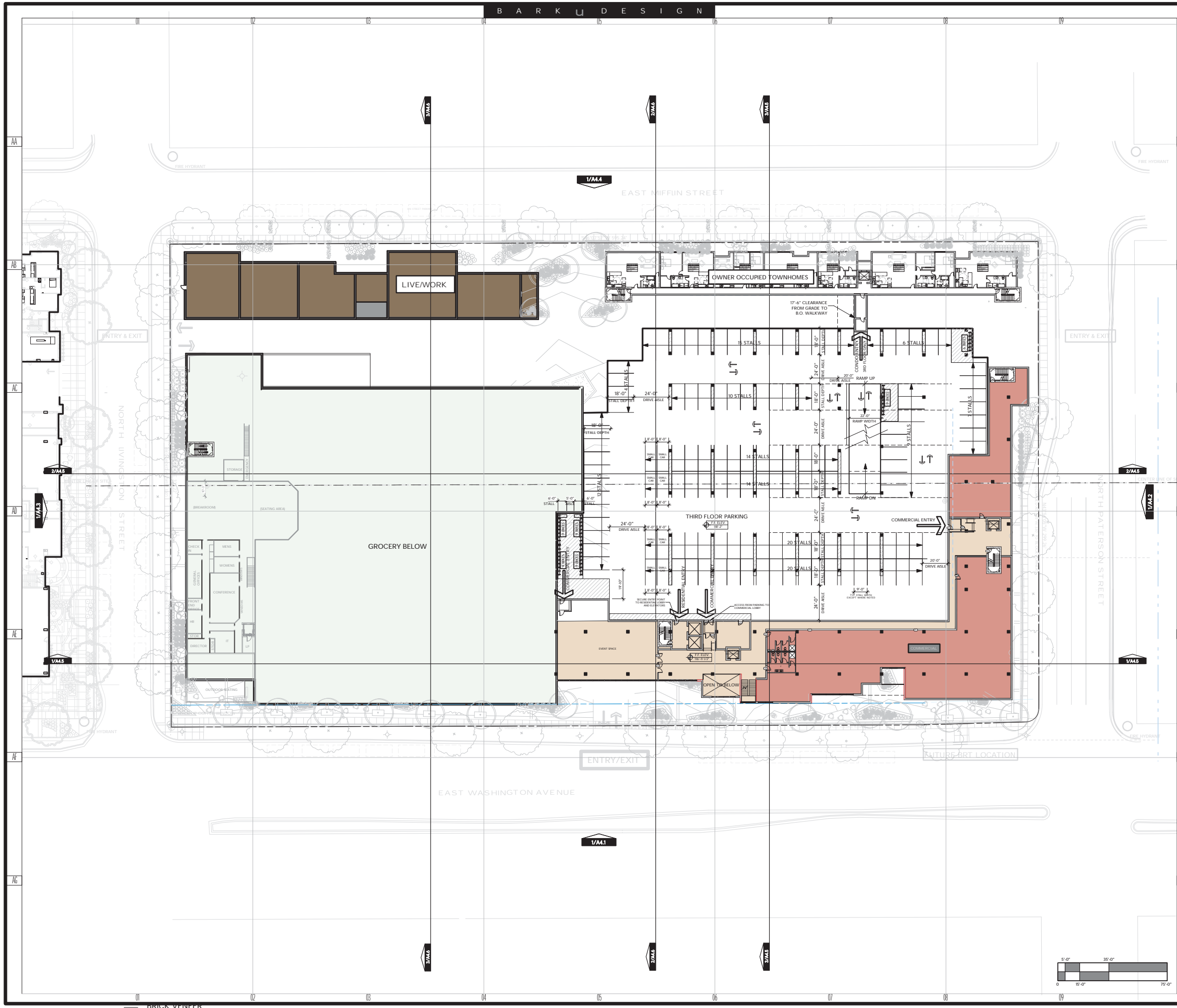


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THE GALAXIE  
 800N BLOCK EAST WASHINGTON AVENUE  
 MIDCOAST, VA

SECOND FLOOR COMMERCIAL/THIRD FLOOR PARKING PLAN  
 SCALE: 1/8"=1'-0"

A102-C



BRICK VENEER





GENERAL NOTES

REFER TO SHEETS A4.5, A4.6 FOR ADDITIONAL DIMENSIONS

DRAWING NOTES

**BUILDING SUMMARY:**  
 32,000 S.F. COMMERCIAL/OFFICE  
 2,800 S.F. LOBBY  
 57,200 S.F. PARKING  
 7,000 S.F. OWNER OCCUPIED HOUSING  
 8,000 S.F. LIVE/WORK HOUSING

**AUTO PARKING STALLS (4TH): 132**  
**BIKE PARKING STALLS**  
 INSIDE PARKING STRUCTURE:  
 1ST FLOOR PARKING (MADRAX): 51

CODE NOTES

DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DAT REVIEW SET
12.29.13	INFORMATIONAL LDC
01.29.14	INITIAL LDC

ARCHITECT	STRUCTURAL ENGINEER

PLAN COMMISSION SUBMITTAL

**bark** DESIGN

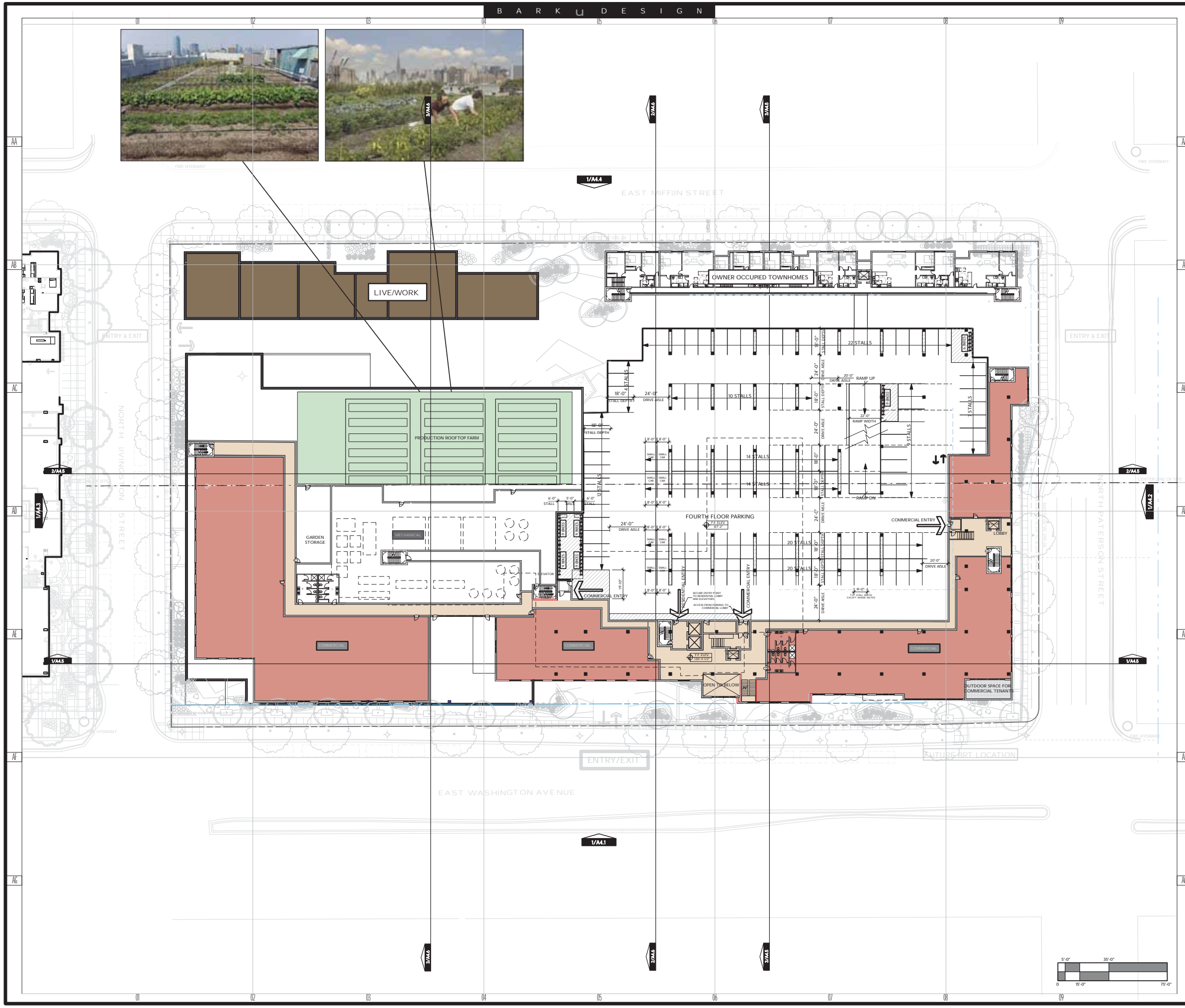
**G. GEBHARDT** DEVELOPMENT

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**THE GALAXIE**  
 8000 BLOCK EAST WASHINGTON AVENUE  
 MADISON, VA

THIRD FLOOR COMMERCIAL/FOURTH FLOOR PARKING PLAN  
 SCALE 1/8"=1'-0"

**A103-C**





GENERAL NOTES

REFER TO SHEETS A4.5, A4.6 FOR ADDITIONAL DIMENSIONS

DRAWING NOTES

**AUTO PARKING STALLS (5TH): 136**  
**BIKE PARKING STALLS:**  
 INSIDE PARKING STRUCTURE: 42

CODE NOTES

DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DATE REVIEW SET
12.29.13	INFORMATIONAL LDC
01.29.14	INITIAL LDC

ARCHITECT	STRUCTURAL ENGINEER
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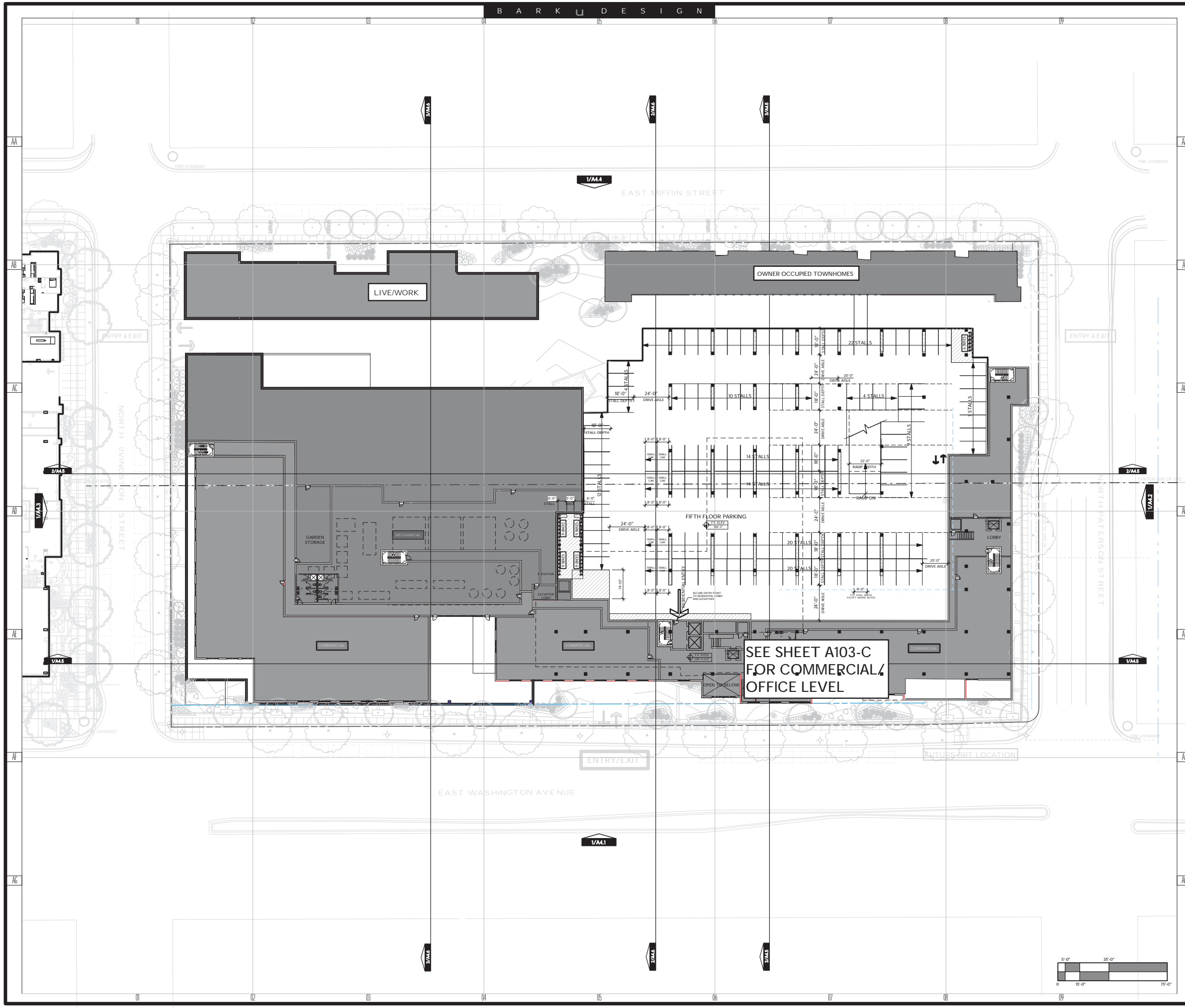
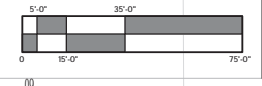
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THE GALAXIE  
 800N BLOCK EAST WASHINGTON AVENUE  
 MIDLOTHIAN, VA  
**FIFTH FLOOR PARKING FLOOR PLAN**

**A105-P**







GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL DOCUMENTS AND WILL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO AND DURING CONSTRUCTION. IN GENERAL, ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER OTHERS.
2. CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK DESCRIBED IN CONSTRUCTION DOCUMENTS.
3. CONTRACTOR SHALL PATCH AND REPAIR TO MATCH ANY WALLS, FLOORS, CEILINGS AND/OR OTHER SURFACES WHICH MAY BE DISTURBED DURING THE INSTALLATION OF MECHANICAL, ELECTRICAL, SPRINKLER, OR OWNER PROVIDED WORK.
4. DO NOT SCALE DOCUMENTS. HARD LINE DIMENSIONS SHALL SUPERCEDE MEASURED SCALE.
5. ALL MECHANICAL DUCTS, PLUMBING & ELEC. RISERS & SPRINKLER LINES TO BE COORDINATED WITH G.C., SUBCONTRACTORS, AND ARCHITECT.
6. EXPOSED CONCRETE FLOORS SHALL BE PROTECTED AS MUCH AS POSSIBLE TO PREVENT EXCESSIVE DAMAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE CAUSED BY MATERIALS, EQUIPMENT, ETC.
7. CONTRACTOR TO FIELD VERIFY ALL FINISH GRADE ELEVATIONS AND PROPOSED T.O.W. ELEVATIONS PRIOR TO PERFORMING ANY RETAINING WALL WORK.
8. CONTRACTOR TO COORDINATE AND FIELD VERIFY ALL SITE AND UTILITY WORK WITH SITE DRAWINGS.

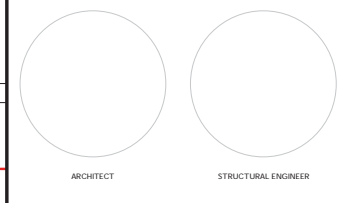
DRAWING NOTES

1. REFER TO SHEET A8.1 FOR UNIT DETAILS
2. WALL TYPES: REFER TO SHEET A0.2
3. PROVIDE GYP. BD. SOFFITS AND CHASES AS REQUIRED TO CONCEAL ROOF DRAIN LINES AND DUCTWORK
4. PROVIDE 4'-0" HIGH ALUMINUM CORNER GUARDS MECHANICALLY FASTENED AT OUTSIDE DRYWALL CORNERS IN COMMON AREAS
5. PROVIDE SAWCUT CONTROL JOINTS @ 10'-0" O.C. AND AT OUTSIDE CORNERS OF INTERIOR WALLS. COORDINATE WITH ARCHITECT AND GENERAL CONTRACTOR
6. COORDINATE SECURITY CAMERA LOCATIONS WITH OWNER AND MANAGEMENT COMPANY
7. DESIGN/BUILD CONTRACTORS TO VERIFY THAT SOUND LEVELS OF ALL EQUIPMENT MEET OR EXCEED ALLOWABLE SOUND ORDINANCES FOR MUNICIPALITY.
8. GENERAL CONTRACTOR TO COORDINATE ALL CHASE WALLS, OPENINGS AND SLEEVES IN CONCRETE SLABS AND WALLS
9. TYPE A UNITS ARE HATCHED GRAY

CODE NOTES

1. REFER TO SHEETS A0.1, A0.2 FOR DETAILED BUILDING CODE ANALYSIS
2. STAIRWELLS TO BE PRESSURIZED PER SECTION 909
3. GENERAL CONTRACTOR AND ARCHITECT TO VERIFY THAT ALL ACCESSIBLE ELEMENTS (INCLUDING SIGNAGE) SHOWN GRAPHICALLY AND/OR OTHERWISE REQUIRED BY SPECIFICATIONS, NOTES, BUILDING CODE OR AUTHORITY HAVING JURISDICTION ARE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR IN ACCORDANCE WITH 2003 ANS I A117.1
4. AREA OF REFUGE IN ELEVATOR LOBBY TO BE PROVIDED WITH SIGNAGE AND COMMUNICATION DEVICES IN ACCORDANCE WITH 2009 IBC SECTION 1007.6
5. ELEVATOR LOBBY WALLS TO BE CONSTRUCTED AS 1 HOUR RATED SMOKE BARRIERS. RE: A0.2
6. ELEVATOR LOBBY TO MEET REQUIREMENTS OF SECTION 3007
7. REFER TO SHEET A9.1 FOR CLEARANCE AND UNIT DETAILS

DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DAT REVIEW SET
12.29.13	INFORMATIONAL LDC
01.29.14	INITIAL LDC



PLAN COMMISSION SUBMITTAL

**bark DESIGN** **GEBHARDT DEVELOPMENT**

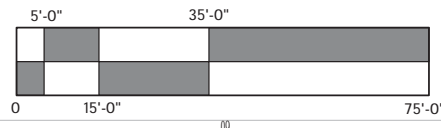
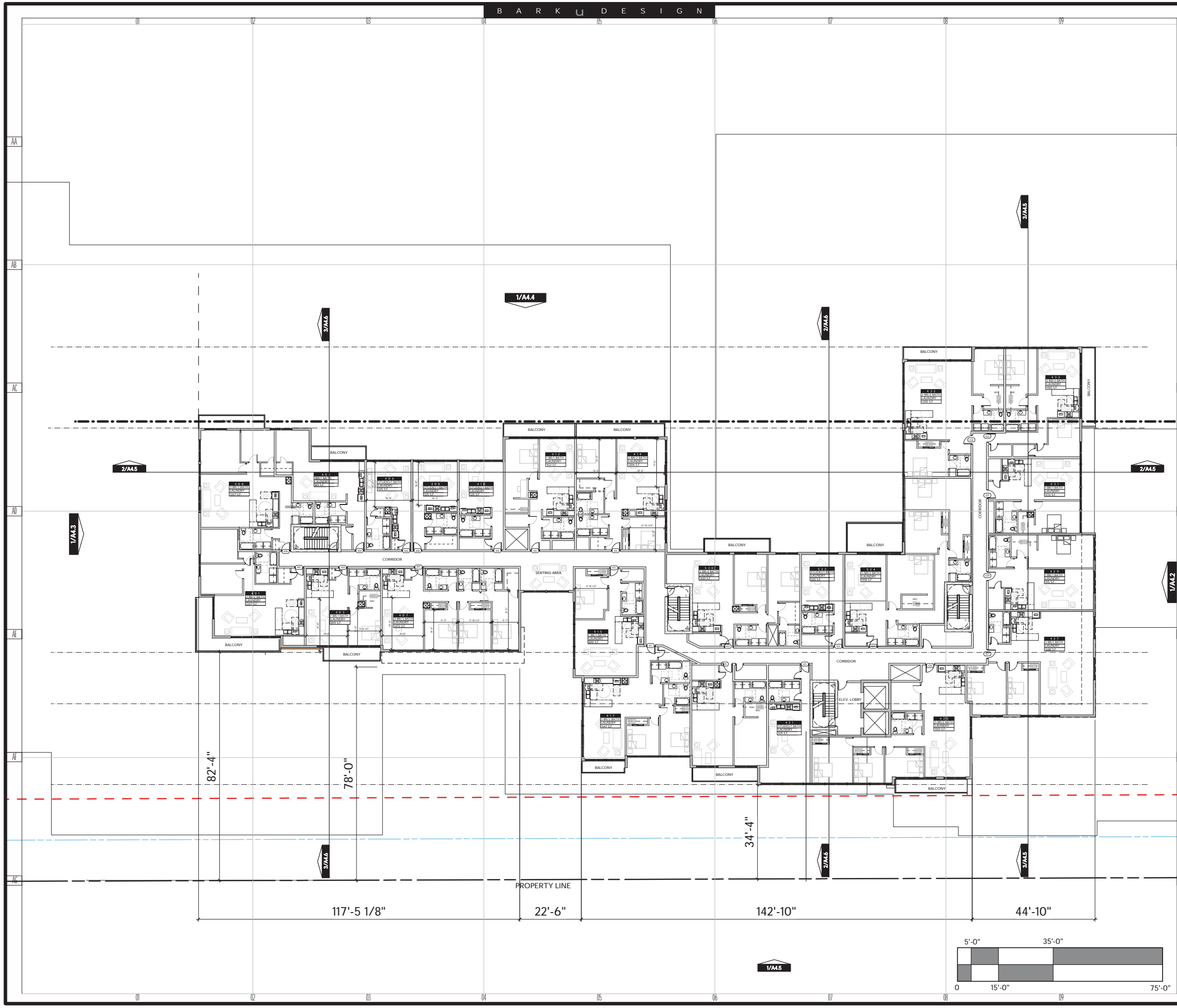
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DATE: 02.20.14

**THE GALAXIE**  
800N BLOCK EAST WASHINGTON AVENUE  
MADISON, VA

FLOORS 4,7- RESIDENTIAL PLAN  
SCALE: 1/8"=1'-0"

**A 104-R**





GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL DOCUMENTS AND WILL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO AND DURING CONSTRUCTION. IN GENERAL, ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER OTHERS.
2. CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK DESCRIBED IN CONSTRUCTION DOCUMENTS.
3. CONTRACTOR SHALL PATCH AND REPAIR TO MATCH ANY WALLS, FLOORS, CEILINGS AND/OR OTHER SURFACES WHICH MAY BE DISTURBED DURING THE INSTALLATION OF MECHANICAL, ELECTRICAL, SPRINKLER, OR OWNER PROVIDED WORK.
4. DO NOT SCALE DOCUMENTS. HARD LINE DIMENSIONS SHALL SUPERCEDE MEASURED SCALE.
5. ALL MECHANICAL DUCTS, PLUMBING & ELEC. RISERS & SPRINKLER LINES TO BE COORDINATED WITH G.C., SUBCONTRACTORS, AND ARCHITECT.
6. EXPOSED CONCRETE FLOORS SHALL BE PROTECTED AS MUCH AS POSSIBLE TO PREVENT EXCESSIVE DAMAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE CAUSED BY MATERIALS, EQUIPMENT, ETC.
7. CONTRACTOR TO FIELD VERIFY ALL FINISH GRADE ELEVATIONS AND PROPOSED T.O.W. ELEVATIONS PRIOR TO PERFORMING ANY RETAINING WALL WORK.
8. CONTRACTOR TO COORDINATE AND FIELD VERIFY ALL SITE AND UTILITY WORK WITH SITE DRAWINGS.

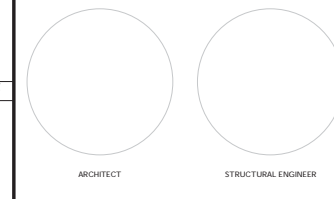
DRAWING NOTES

1. REFER TO SHEET A8.1 FOR UNIT DETAILS.
2. WALL TYPES: REFER TO SHEET A0.2.
3. PROVIDE GYP. BD. SOFFITS AND CHASES AS REQUIRED TO CONCEAL ROOF DRAIN LINES AND DUCTWORK.
4. PROVIDE 4'-0" HIGH ALUMINUM CORNER GUARDS MECHANICALLY FASTENED AT OUTSIDE DRYWALL CORNERS IN COMMON AREAS.
5. PROVIDE SAWCUT CONTROL JOINTS @ 10'-0" O.C. AND AT OUTSIDE CORNERS OF INTERIOR WALLS. COORDINATE WITH ARCHITECT AND GENERAL CONTRACTOR.
6. COORDINATE SECURITY CAMERA LOCATIONS WITH OWNER AND MANAGEMENT COMPANY.
7. DESIGN/BUILD CONTRACTORS TO VERIFY THAT SOUND LEVELS OF ALL EQUIPMENT MEET OR EXCEED ALLOWABLE SOUND ORDINANCES FOR MUNICIPALITY.
8. GENERAL CONTRACTOR TO COORDINATE ALL CHASE WALLS, OPENINGS AND SLEEVES IN CONCRETE SLABS AND WALLS.
9. TYPE A UNITS ARE HATCHED GRAY.

CODE NOTES

1. REFER TO SHEETS A0.1, A0.2 FOR DETAILED BUILDING CODE ANALYSIS.
2. STAIRWELLS TO BE PRESSURIZED PER SECTION 909.
3. GENERAL CONTRACTOR AND ARCHITECT TO VERIFY THAT ALL ACCESSIBLE ELEMENTS (INCLUDING SIGNAGE) SHOWN GRAPHICALLY AND/OR OTHERWISE REQUIRED BY SPECIFICATIONS, NOTES, BUILDING CODE OR AUTHORITY HAVING JURISDICTION ARE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR IN ACCORDANCE WITH 2003 ANS I A117.1.
4. AREA OF REFUGE IN ELEVATOR LOBBY TO BE PROVIDED WITH SIGNAGE AND COMMUNICATION DEVICES IN ACCORDANCE WITH 2009 IBC SECTION 1007.6.
5. ELEVATOR LOBBY WALLS TO BE CONSTRUCTED AS 1 HOUR RATED SMOKE BARRIERS. RE: A0.2.
6. ELEVATOR LOBBY TO MEET REQUIREMENTS OF SECTION 3007.
7. REFER TO SHEET A9.1 FOR CLEARANCE AND UNIT DETAILS.

DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DAT REVIEW SET
12.29.13	INFORMATIONAL UDC
01.29.14	INITIAL UDC



PLAN COMMISSION SUBMITTAL

**bark DESIGN** **GEBHARDT DEVELOPMENT**

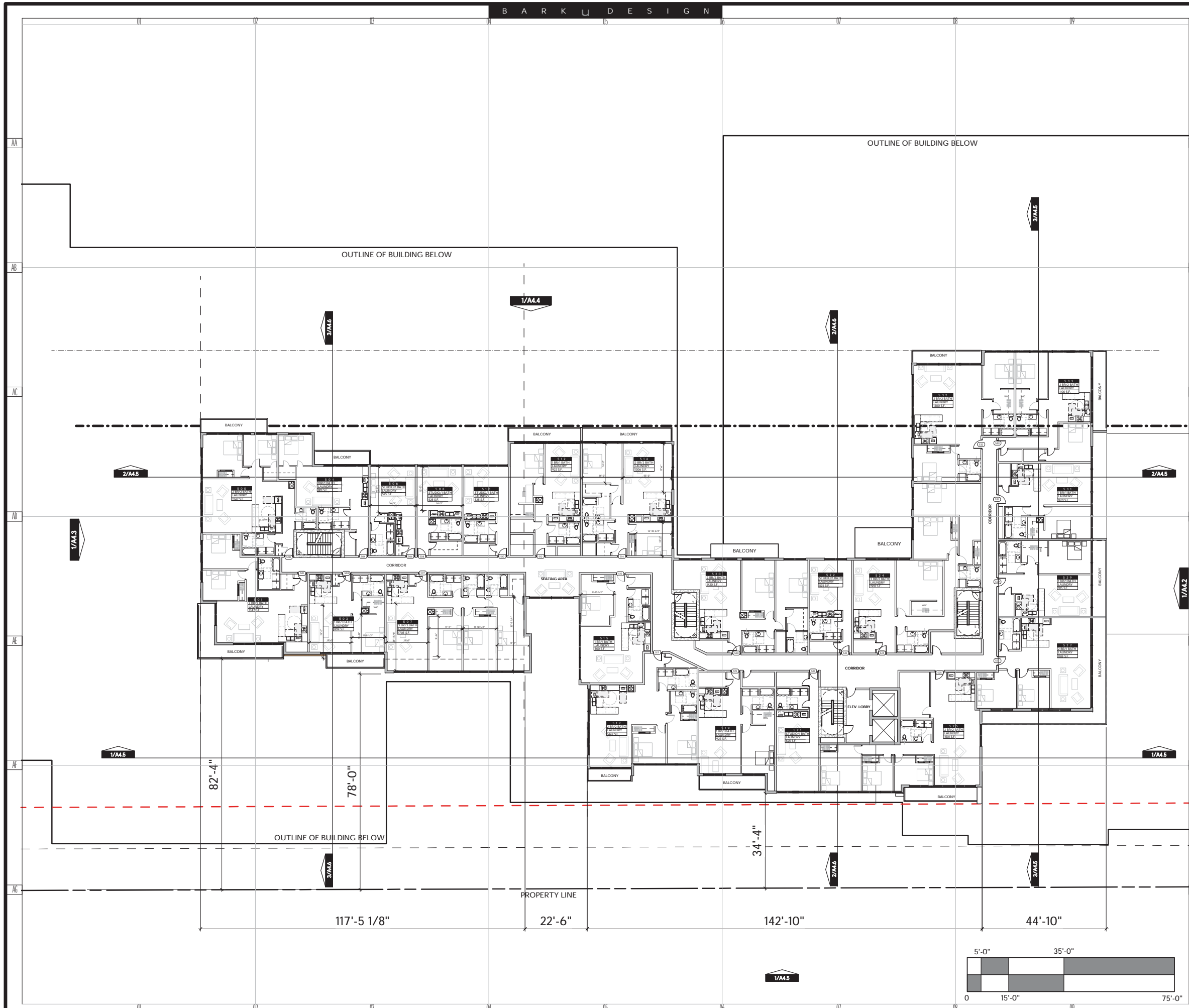
WWW.BARK-DESIGN.COM  
STUDIO@BARK-DESIGN.COM  
608.333.1926

DATE: 02.20.14

THE GALAXIE  
800N BLOCK EAST WASHINGTON AVENUE  
MIDLOTHIAN, VA

FLOOR 5- RESIDENTIAL PLAN  
SCALE: 1/8"=1'-0"

**A105-R**





GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL DOCUMENTS AND WILL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO AND DURING CONSTRUCTION. IN GENERAL, ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER OTHERS.
- CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK DESCRIBED IN CONSTRUCTION DOCUMENTS.
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- DO NOT SCALE DOCUMENTS. HARD LINE DIMENSIONS SHALL SUPERCEDE MEASURED SCALE.
- ALL MECHANICAL DUCTS, PLUMBING & ELEC. RISERS & SPRINKLER LINES TO BE COORDINATED WITH G.C., SUBCONTRACTORS, AND ARCHITECT.
- EXPOSED CONCRETE FLOORS SHALL BE PROTECTED AS MUCH AS POSSIBLE TO PREVENT EXCESSIVE DAMAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE CAUSED BY MATERIALS, EQUIPMENT, ETC.
- CONTRACTOR TO FIELD VERIFY ALL FINISH GRADE ELEVATIONS AND PROPOSED T.O.W. ELEVATIONS PRIOR TO PERFORMING ANY RETAINING WALL WORK.
- CONTRACTOR TO COORDINATE AND FIELD VERIFY ALL SITE AND UTILITY WORK WITH SITE DRAWINGS.

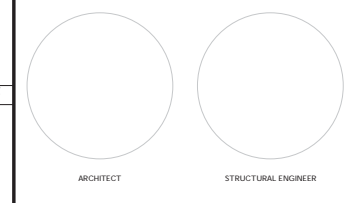
DRAWING NOTES

- REFER TO SHEET A8.1 FOR UNIT DETAILS.
- WALL TYPES: REFER TO SHEET A0.2.
- BATHROOMS WITH VENT STACKS AND PLUMBING: WALL TYPE A2.
- PROVIDE GYP. BD. SOFFITS AND CHASES AS REQUIRED TO CONCEAL ROOF RAIN LINES AND DUCTWORK.
- PROVIDE 4'-0" HIGH ALUMINUM CORNER GUARDS MECHANICALLY FASTENED AT OUTSIDE DRYWALL CORNERS IN COMMON AREAS.
- PROVIDE SAWCUT CONTROL JOINTS @ 10'-0" O.C. AND AT OUTSIDE CORNERS OF INTERIOR WALLS. COORDINATE WITH ARCHITECT AND GENERAL CONTRACTOR.
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- TYPE A UNITS ARE HATCHED GRAY.

CODE NOTES

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- STAIRWELLS TO BE PRESSURIZED PER SECTION 909.
- GENERAL CONTRACTOR AND ARCHITECT TO VERIFY THAT ALL ACCESSIBLE ELEMENTS (INCLUDING SIGNAGE) SHOWN GRAPHICALLY AND/OR OTHERWISE REQUIRED BY SPECIFICATIONS, NOTES, BUILDING CODE OR AUTHORITY HAVING JURISDICTION ARE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR IN ACCORDANCE WITH 2003 ANS I A117.1.
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- REFER TO SHEET A9.1 FOR CLEARANCE AND UNIT DETAILS.

DATE	DESCRIPTION
08.01.13	PRELIMINARY REVIEW SET
08.21.13	DAT REVIEW SET
12.29.13	INFORMATIONAL UDC
01.29.14	INITIAL UDC



PLAN COMMISSION SUBMITTAL

**bark DESIGN**     **GEBHARDT DEVELOPMENT**

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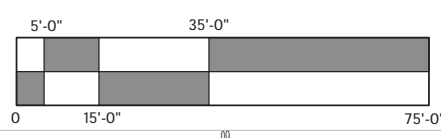
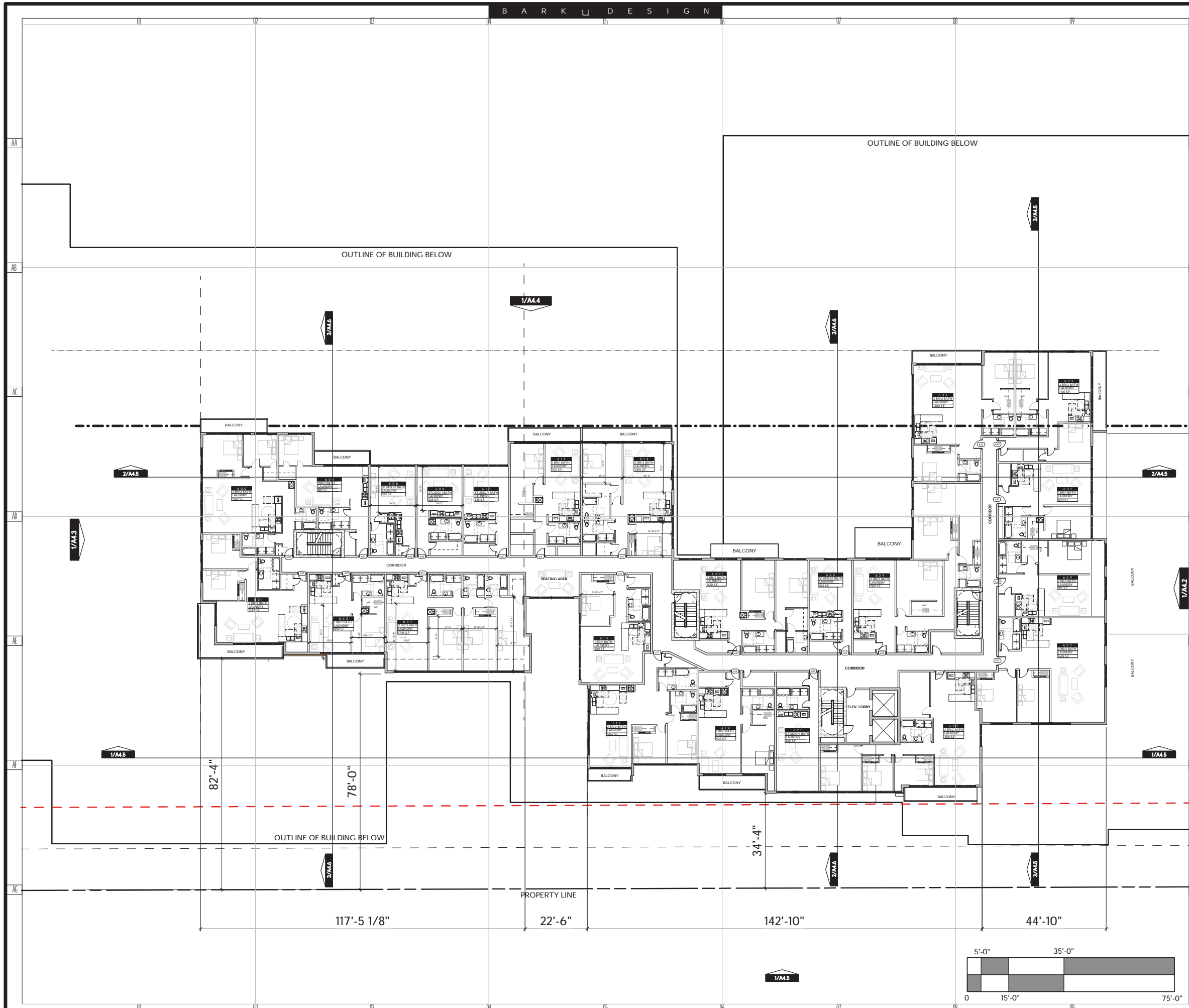
DATE: 02.20.14

THE GALAXIE  
800N BLOCK EAST WASHINGTON AVENUE  
MADISON, VA

FLOORS 6, 9, 10- RESIDENTIAL PLAN

**A106-R**

SCALE: 1/8"=1'-0"









GENERAL NOTES

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4. DO NOT SCALE DOCUMENTS. HARD LINE DIMENSIONS SHALL SUPERCEDE MEASURED SCALE.
5. ALL MECHANICAL DUCTS, PLUMBING & ELEC. RISERS & SPRINKLER LINES TO BE COORDINATED WITH G.C., SUBCONTRACTORS, AND ARCHITECT.
6. EXPOSED CONCRETE FLOORS SHALL BE PROTECTED AS MUCH AS POSSIBLE TO PREVENT EXCESSIVE DAMAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE CAUSED BY MATERIALS, EQUIPMENT, ETC.
7. CONTRACTOR TO FIELD VERIFY ALL FINISH GRADE ELEVATIONS AND PROPOSED T.O.W. ELEVATIONS PRIOR TO PERFORMING ANY RETAINING WALL WORK.
8. CONTRACTOR TO COORDINATE AND FIELD VERIFY ALL SITE AND UTILITY WORK WITH SITE DRAWINGS.

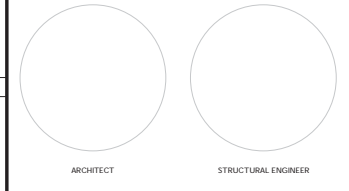
DRAWING NOTES

1. REFER TO SHEET A8.1 FOR UNIT DETAILS.
2. WALL TYPES: REFER TO SHEET A0.2.
3. PROVIDE GYP. BD. SOFFITS AND CHASES AS REQUIRED TO CONCEAL ROOF RAIN LINES AND DUCTWORK.
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DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DAT REVIEW SET
12.29.13	INFORMATIONAL LDC
01.29.14	INITIAL LDC



PLAN COMMISSION SUBMITTAL

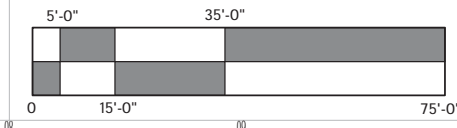
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 STUDIO@BARK-DESIGN.COM  
 608.333.1926

DATE: 02.20.14

800N BLOCK EAST WASHINGTON AVENUE  
 MCDONOUGH, VA

ELEVENTH FLOOR RESIDENTIAL PLAN  
 SCALE: 1/8"=1'-0"

**A111-R**





GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL DOCUMENTS AND WILL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO AND DURING CONSTRUCTION. IN GENERAL, ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER OTHERS.
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8. CONTRACTOR TO COORDINATE AND FIELD VERIFY ALL SITE AND UTILITY WORK WITH SITE DRAWINGS.

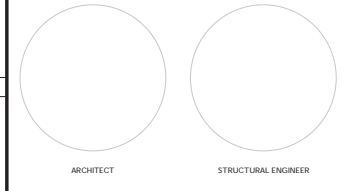
DRAWING NOTES

1. REFER TO SHEET A8.1 FOR UNIT DETAILS.
2. WALL TYPES: REFER TO SHEET A0.2.
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01.29.14	INITIAL LDC



PLAN COMMISSION SUBMITTAL

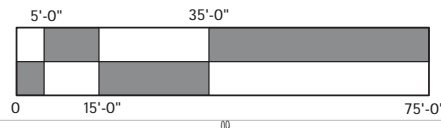
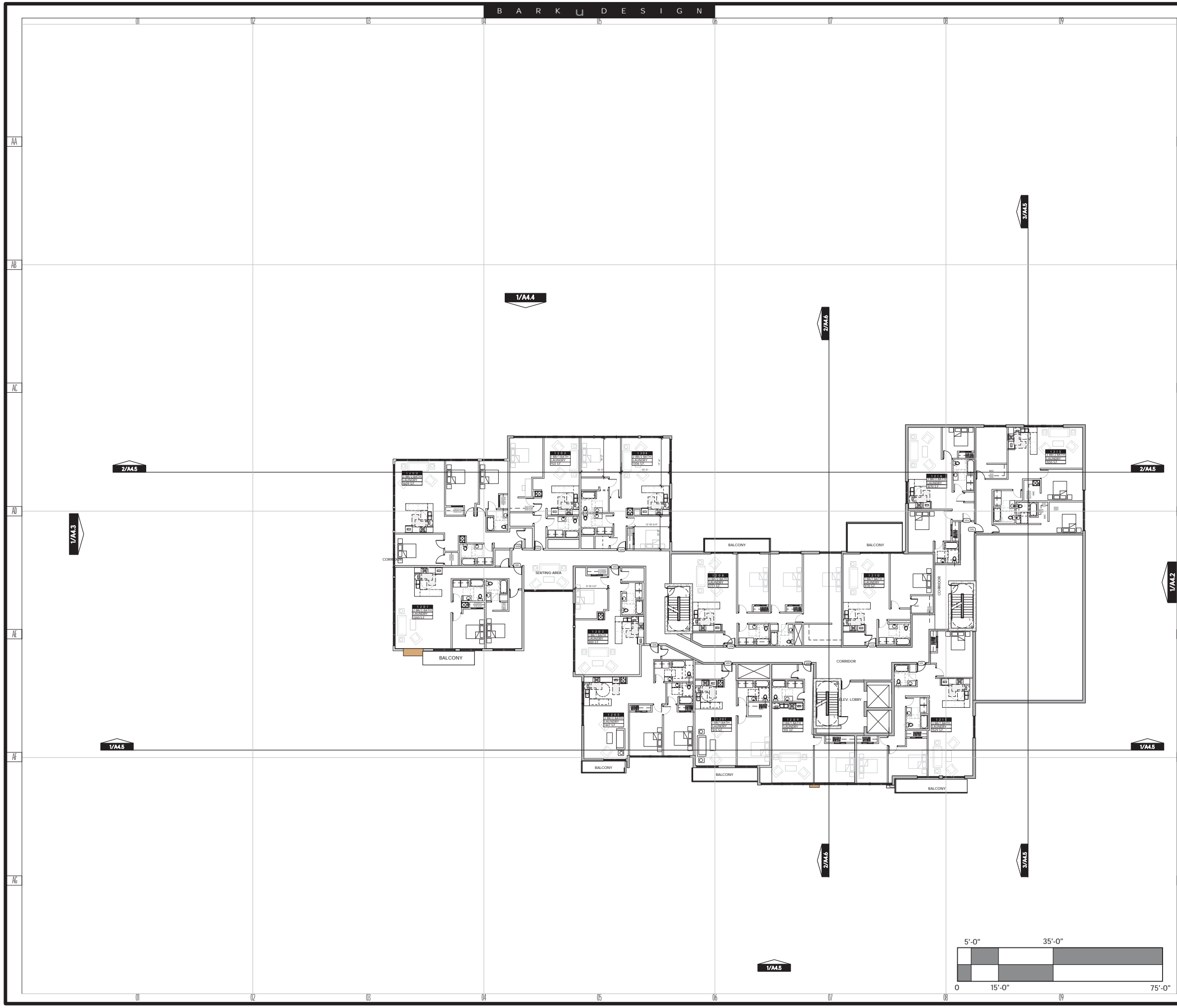


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DATE
02.20.14

THE GALAXIE  
800N BLOCK EAST WASHINGTON AVENUE  
MCDONSON, VA

TWELFTH FLOOR RESIDENTIAL PLAN

A112-R







GENERAL NOTES

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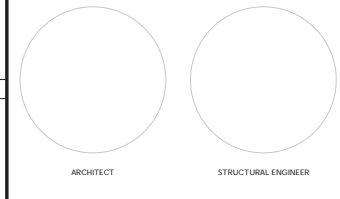
DRAWING NOTES

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2. WALL TYPES: REFER TO SHEET A0.2.
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01.29.14	INITIAL UDC



PLAN COMMISSION SUBMITTAL



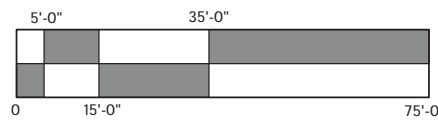
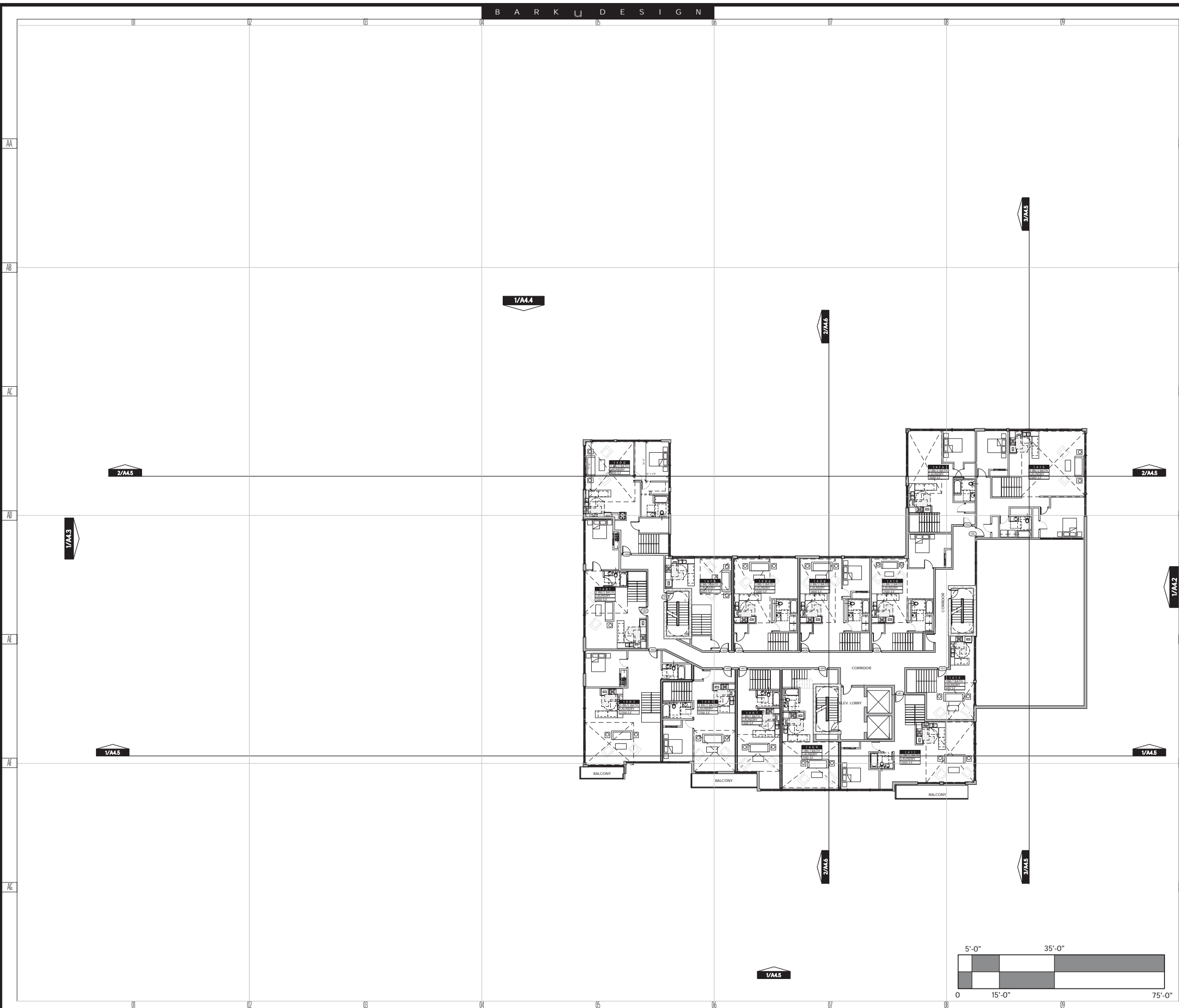
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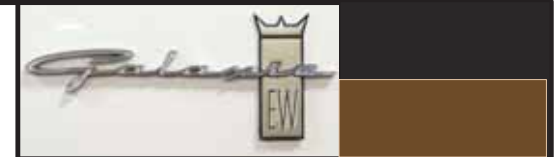
DATE  
02.20.14

the GALAXIE  
800N BLOCK EAST WASHINGTON AVENUE  
MCDONSON, VA

FOURTEENTH FLOOR RESIDENTIAL PLAN  
SCALE: 1/8"=1'-0"

A 114 - [R]





GENERAL NOTES

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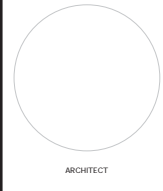
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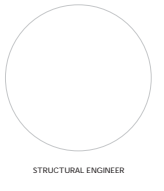
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05.01.13	PRELIMINARY REVIEW SET
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ARCHITECT



STRUCTURAL ENGINEER

PLAN COMMISSION SUBMITTAL




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STUDIO@BARK-DESIGN.COM  
608.333.1926

DATE  
02.20.14

NORTH



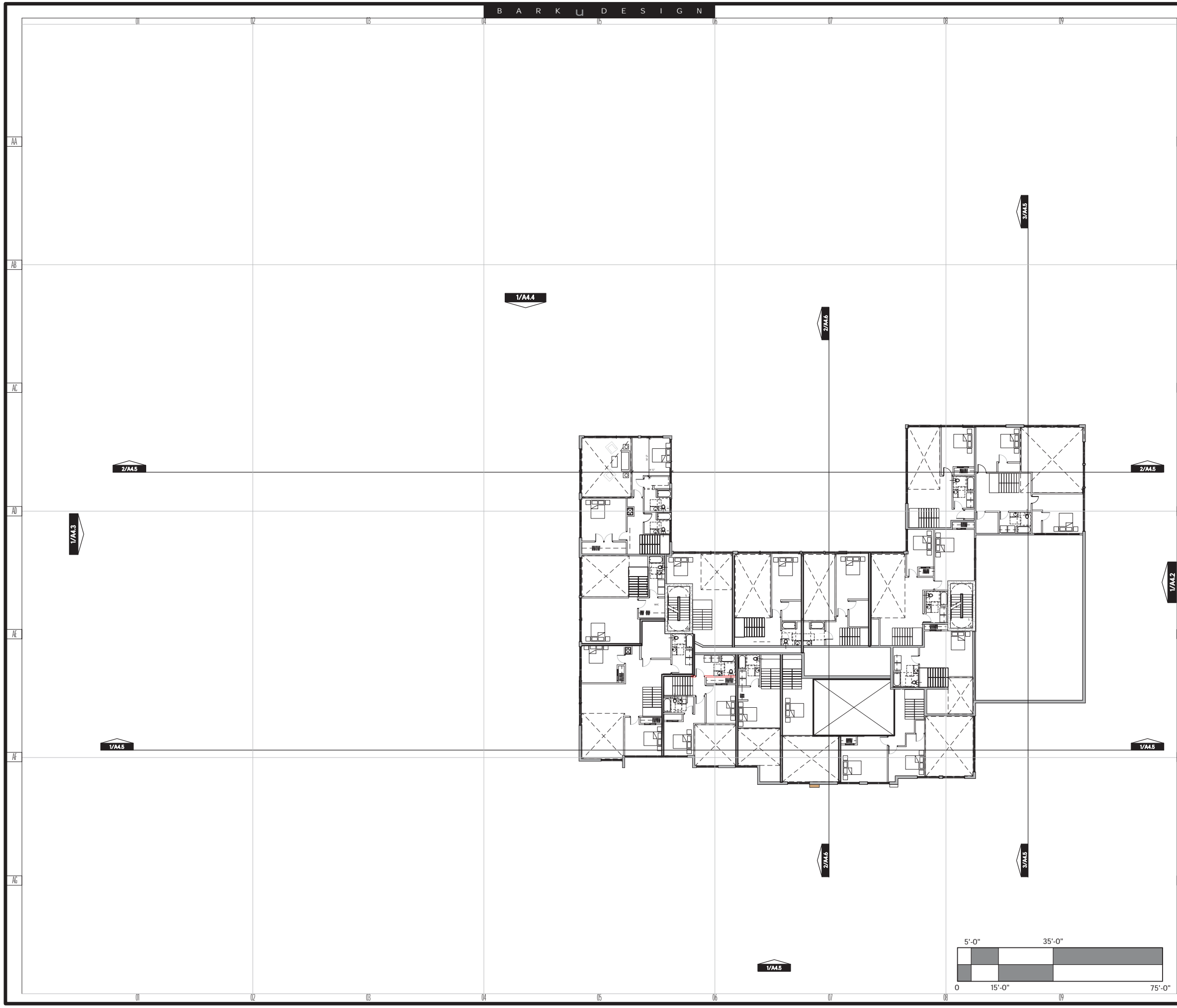
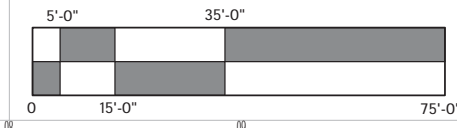
THE GALAXIE

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MCDONNELL, VA

A 115 - [R]

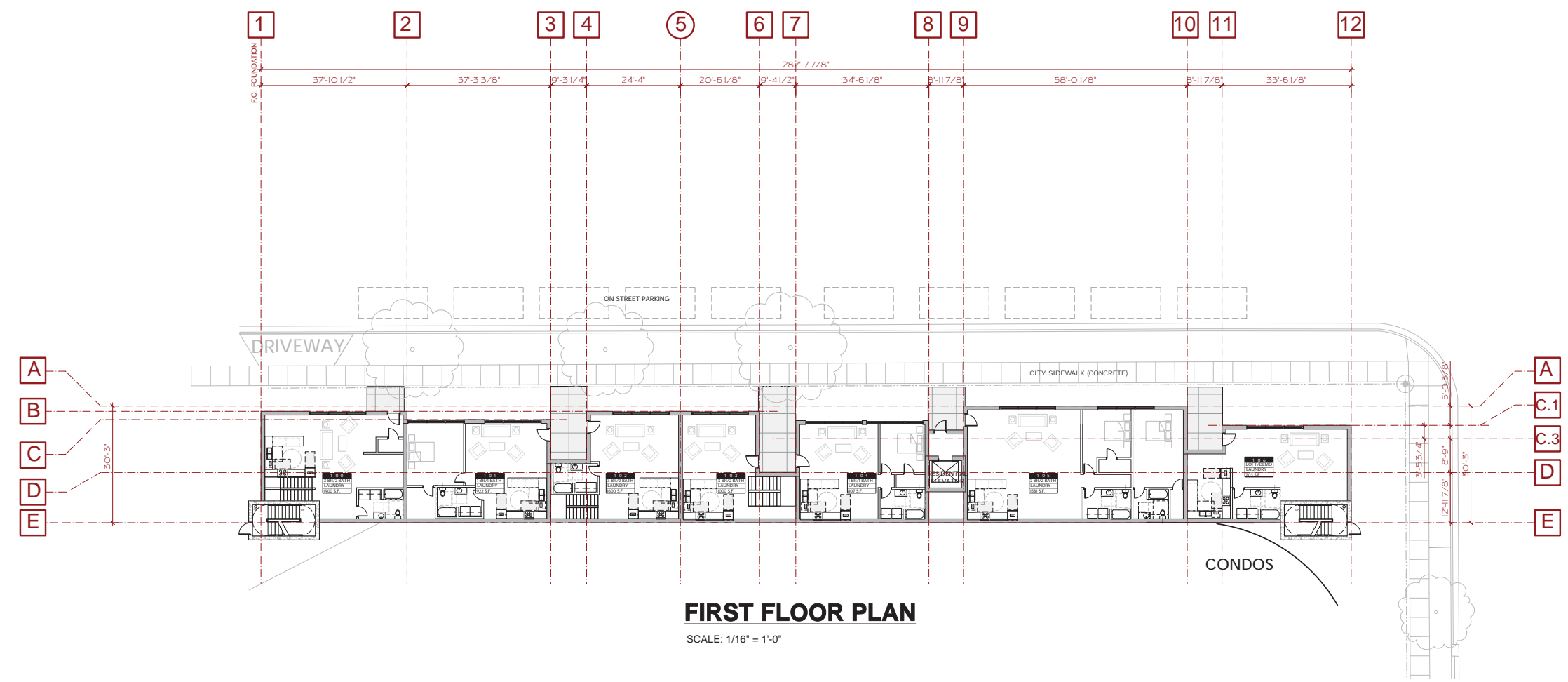
FIFTEENTH FLOOR RESIDENTIAL PLAN

SCALE: 1/8"=1'-0"

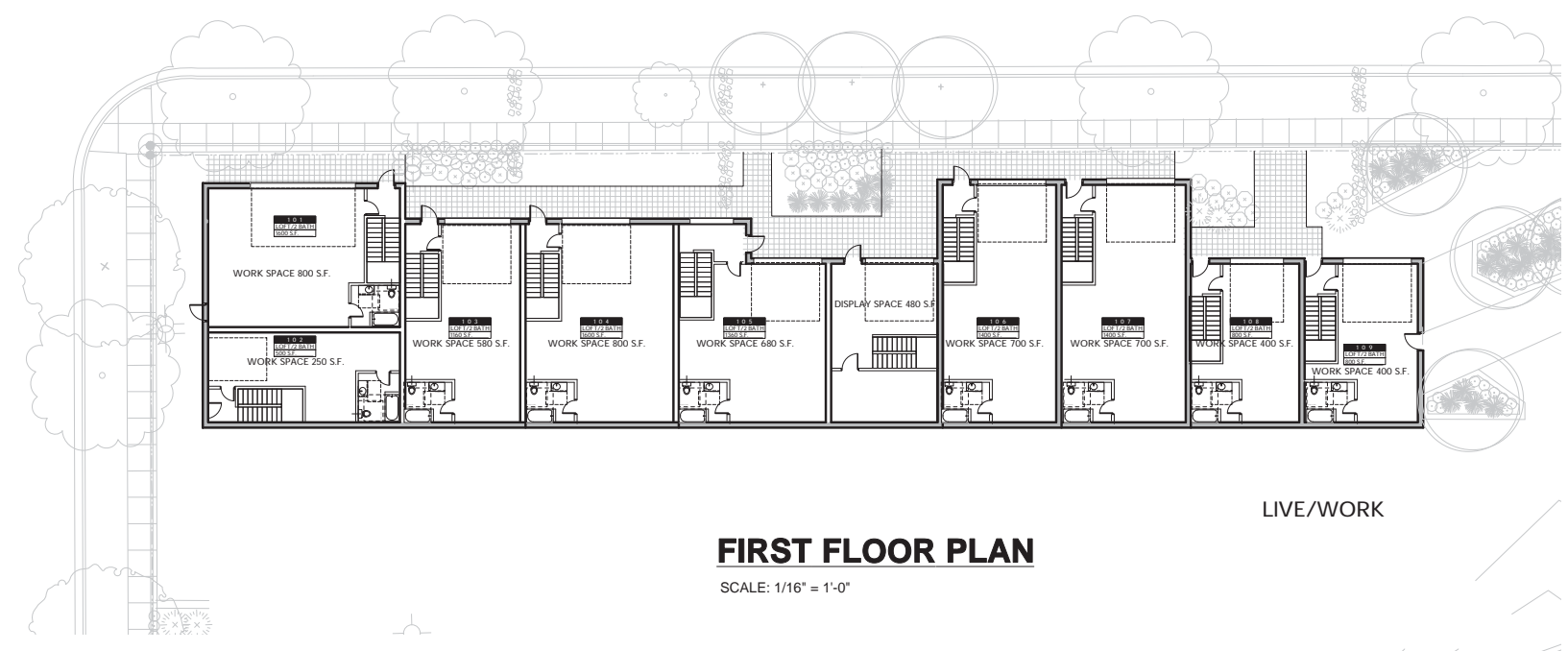




GENERAL NOTES

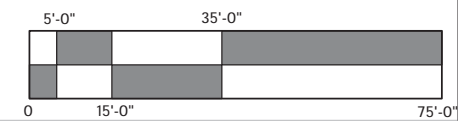


**FIRST FLOOR PLAN**  
SCALE: 1/16" = 1'-0"



**FIRST FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

LIVE/WORK



AA  
AB  
AC  
AD  
AE  
AF  
AG

DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DAT REVIEW SET

PLAN COMMISSION SUBMITTAL

**bark DESIGN** **GEBHARDT DEVELOPMENT**

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608.333.1926

DATE: 02.20.14

**the GALAXIE**  
800N BLOCK EAST WASHINGTON AVENUE  
MILWAUKEE, WI

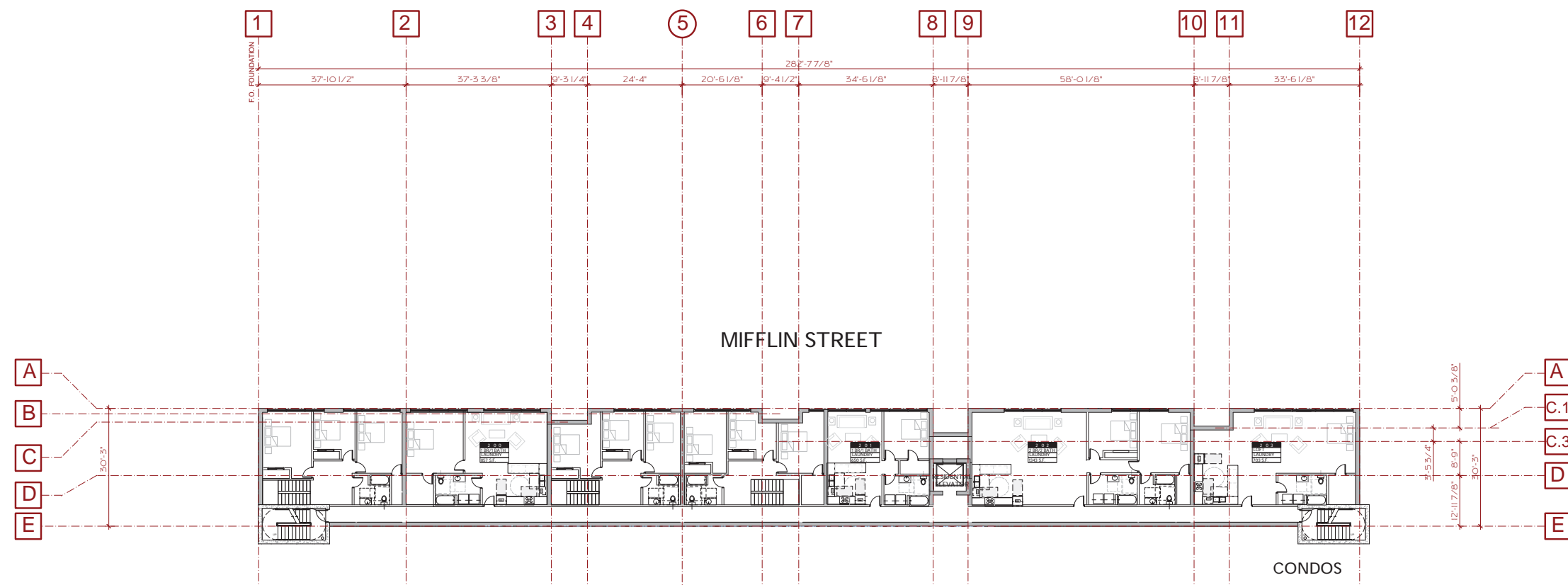
PRELIMINARY FIRST FLOOR PLAN-  
CONDOS AND LIVE WORK

**M1.1**





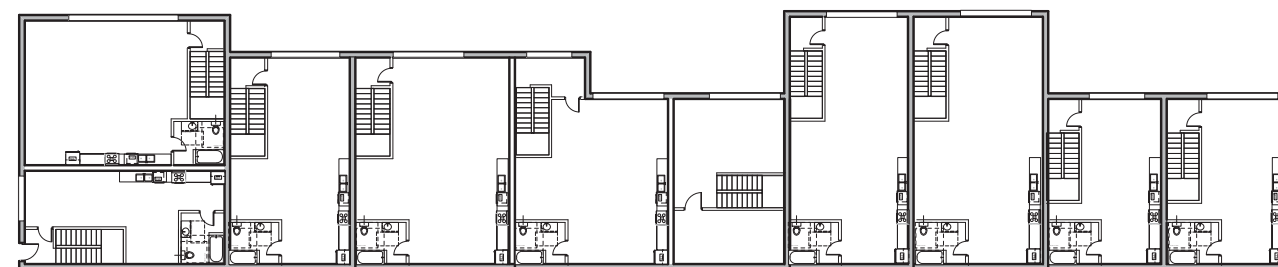
GENERAL NOTES



**SECOND FLOOR PLAN**

SCALE: 1/16" = 1'-0"

MIFFLIN STREET



LIVE/WORK

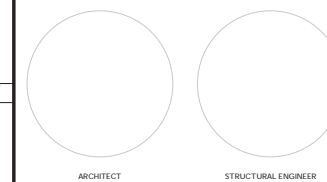
**SECOND FLOOR PLAN**

SCALE: 1/16" = 1'-0"

DATE DESCRIPTION

05.01.13 PRELIMINARY REVIEW SET

08.21.13 DAT REVIEW SET



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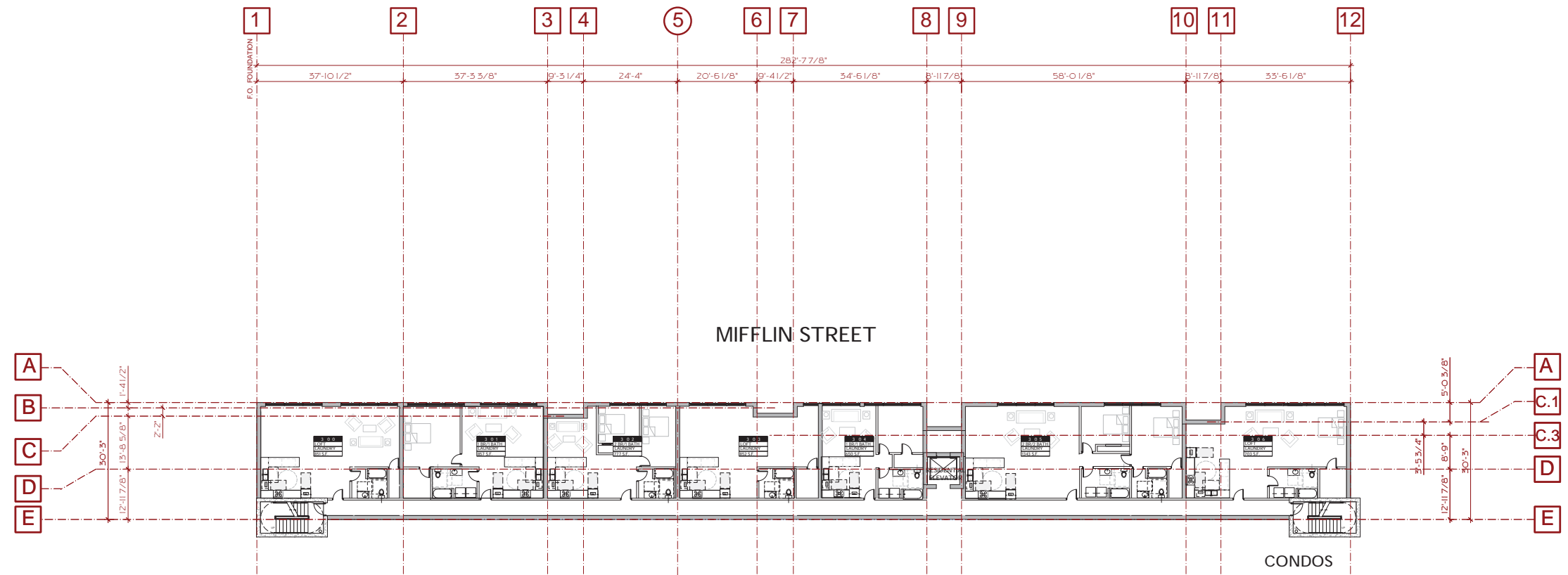
the GALAXIE  
800N BLOCK EAST WASHINGTON AVENUE  
MIDKESWILL, VA

PRELIMINARY SECOND FLOOR PLAN-  
CONDOS AND LIVE WORK

**M1.2**

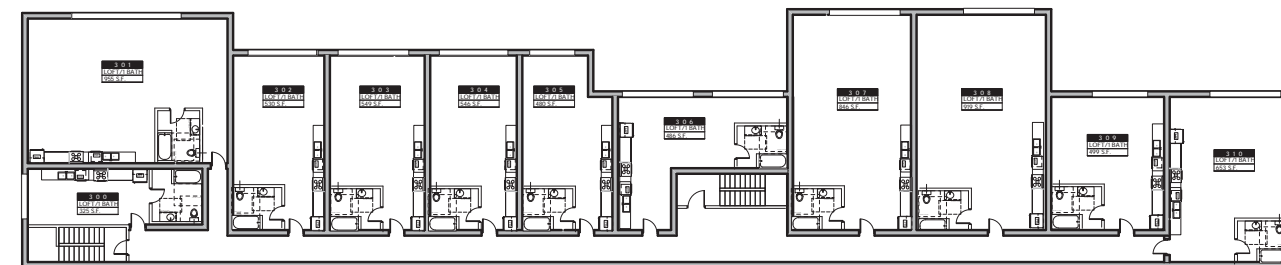


GENERAL NOTES



**THIRD FLOOR PLAN**

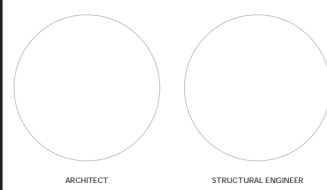
SCALE: 1/16" = 1'-0"



**THIRD FLOOR PLAN**

SCALE: 1/16" = 1'-0"

DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DAT REVIEW SET



PLAN COMMISSION SUBMITTAL



the GALAXIE  
8001 BLOCK EAST WASHINGTON AVENUE  
ROCKSPON, VA

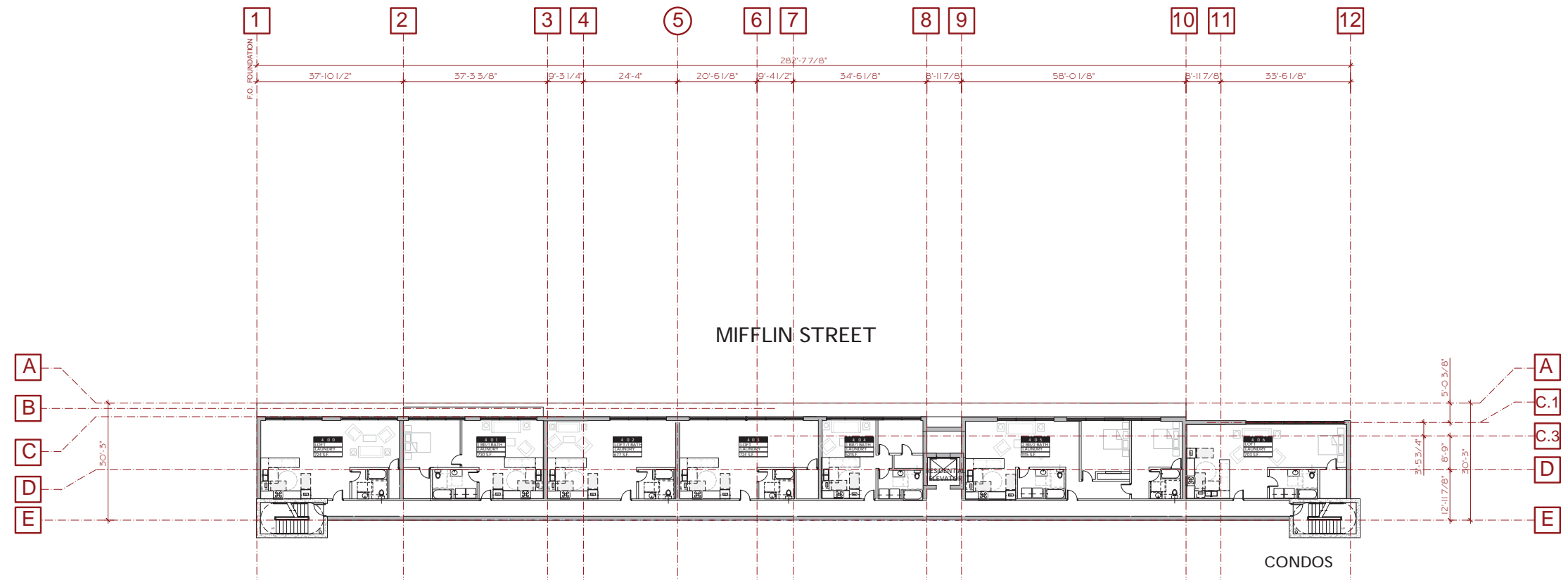
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DATE  
02.20.14

**M1.3**

PRELIMINARY THIRD FLOOR PLAN -  
CONDOS AND LIVE WORK



GENERAL NOTES



**FOURTH FLOOR PLAN**

SCALE: 1/16" = 1'-0"

DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DAT REVIEW SET

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	DATE 02.20.14
	<b>M1.4</b>
PRELIMINARY FOURTH FLOOR PLAN- CONDOS	





GENERAL NOTES

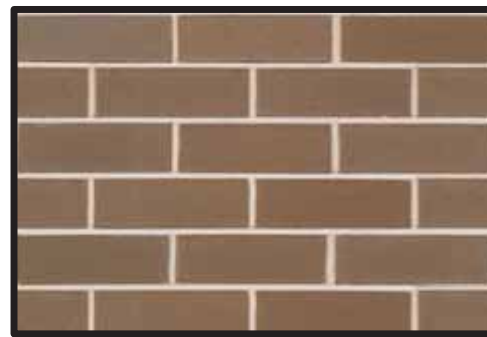
REFER TO SHEETS A4.5, A4.6 FOR ADDITIONAL DIMENSIONS

DRAWING NOTES

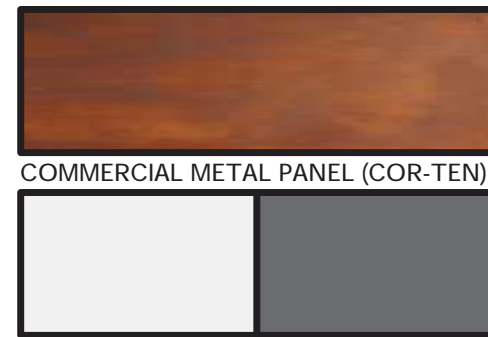
CODE NOTES



LIMESTONE PANEL



BRICK



COMMERCIAL METAL PANEL (COR-TEN)

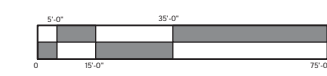
COMMERCIAL AND RESIDENTIAL METAL PANEL

#17	CLEAR	AA-M10C22A31	Architectural Class II (4 mils minimum)
RESIDENTIAL			
#26	LIGHT BRONZE	AA-M10C22A44	Architectural Class I (7 mils minimum)
COMMERCIAL			
#28	MEDIUM BRONZE	AA-M10C22A44	Architectural Class I (7 mils minimum)
COMMERCIAL			

STOREFRONT AND WINDOW FRAMES



E. WASHINGTON ELEVATION



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02.20.14

galaxie  
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MADISON, WI

BUILDING ELEVATIONS

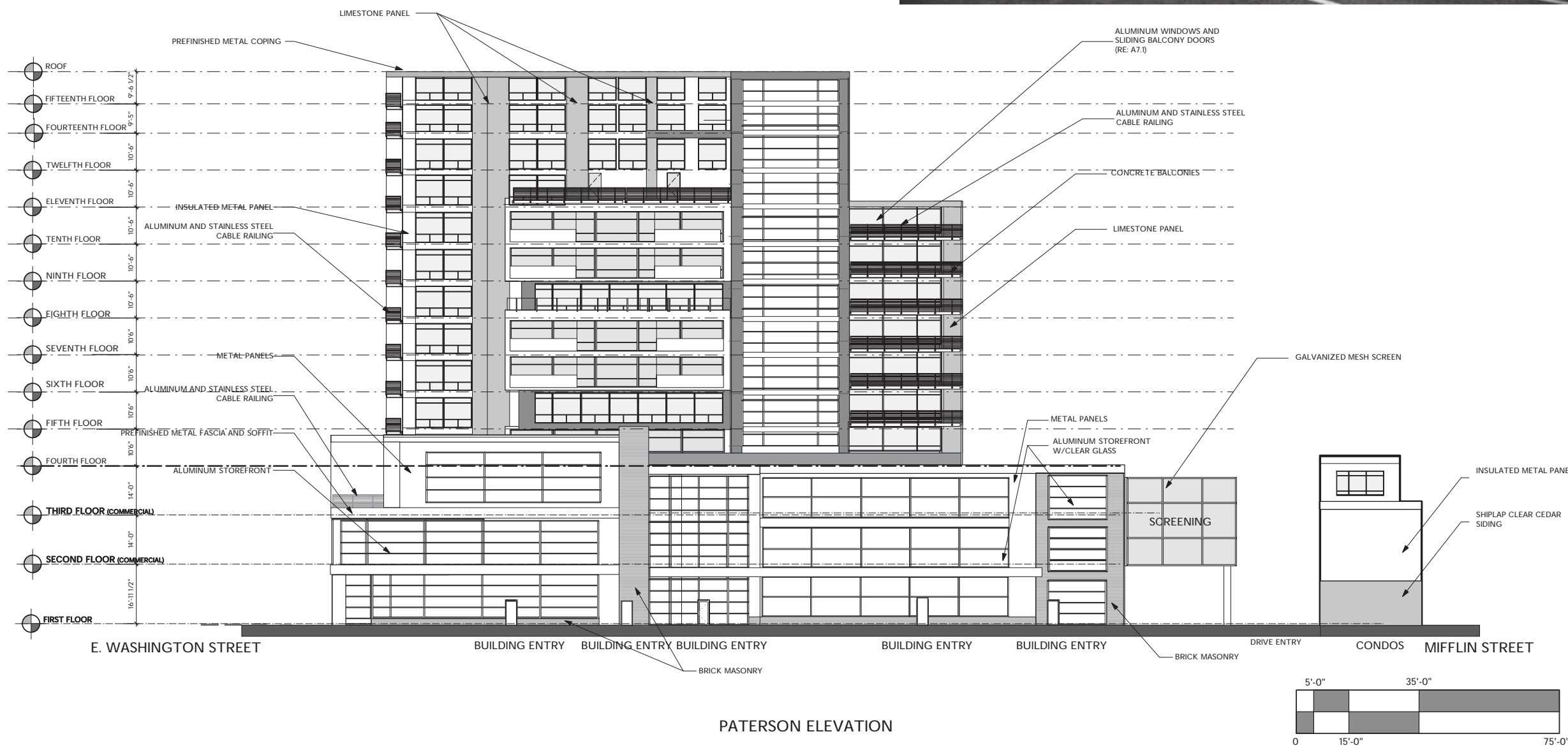
A4.1



GENERAL NOTES

DRAWING NOTES

CODE NOTES



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MIDWISCONSIN, WI

BUILDING ELEVATIONS

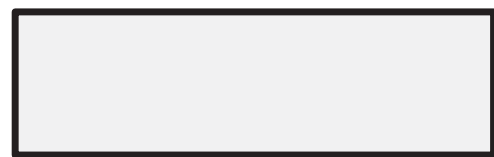
A4.2

SCALE: 1/8"=1'-0"





MIFFLIN STREET CONDOS



RESIDENTIAL METAL PANEL



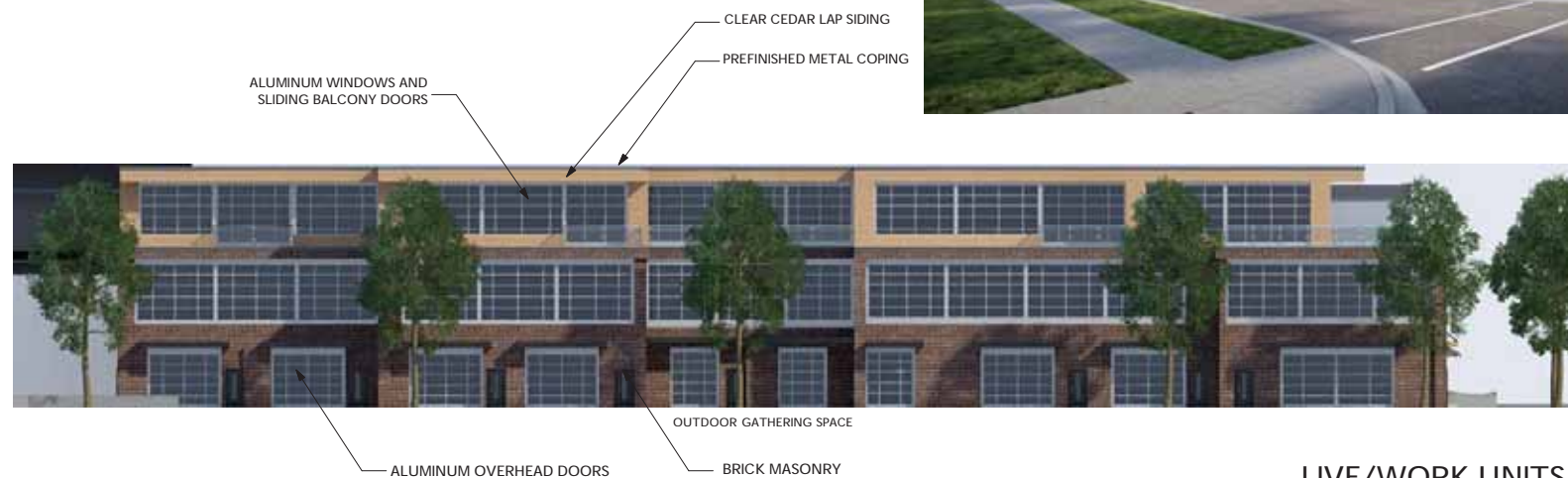
BRICK



1X8 LAP CLEAR SHIPLAP CEDAR



6" OR 8" LAP CLEAR CEDAR



LIVE/WORK UNITS



OWNER-OCCUPIED

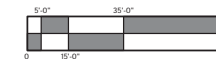


LIVE/WORK



CONSTELLATION

EAST mifflin streetscape



GENERAL NOTES

REFER TO SHEETS A4.5, A4.6 FOR ADDITIONAL DIMENSIONS

DRAWING NOTES

CODE NOTES

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galaxie  
800N BLOCK EAST WASHINGTON AVENUE  
MADISON, WI

BUILDING ELEVATIONS

A4.3

SCALE: 3/8"=1'-0"





GENERAL NOTES

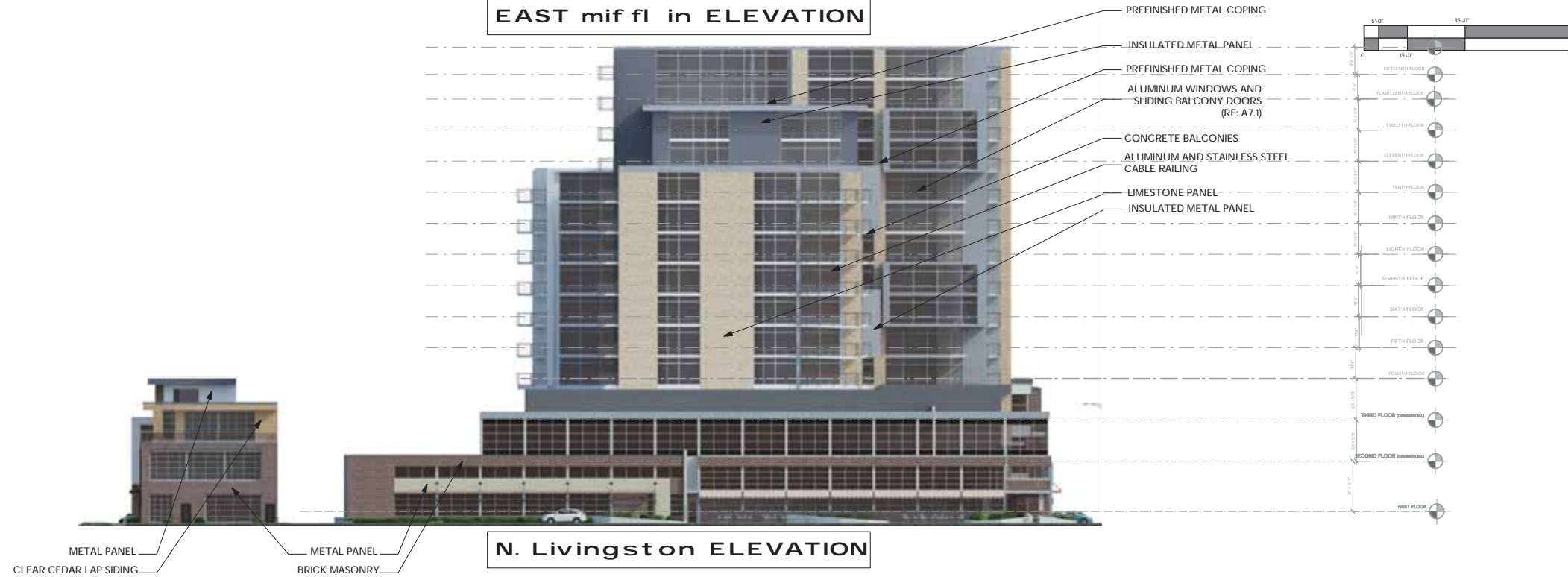
REFER TO SHEETS A4.5, A4.6 FOR ADDITIONAL DIMENSIONS

DRAWING NOTES

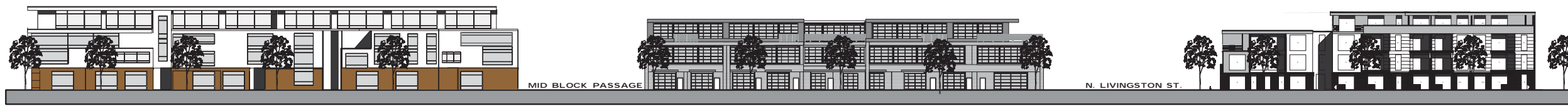
CODE NOTES



EAST mif fl in ELEVATION



N. Livingston ELEVATION



EAST mif fl in streetscape

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THE GALAXIE  
800N BLOCK EAST WASHINGTON AVENUE  
MADISON, WI

BUILDING ELEVATIONS

A4.4

SCALE: 3/8"=1'-0"



GENERAL NOTES

REFER TO SHEETS A4.5, A4.6 FOR ADDITIONAL DIMENSIONS

DRAWING NOTES

CODE NOTES

PLAN COMMISSION SUBMITTAL



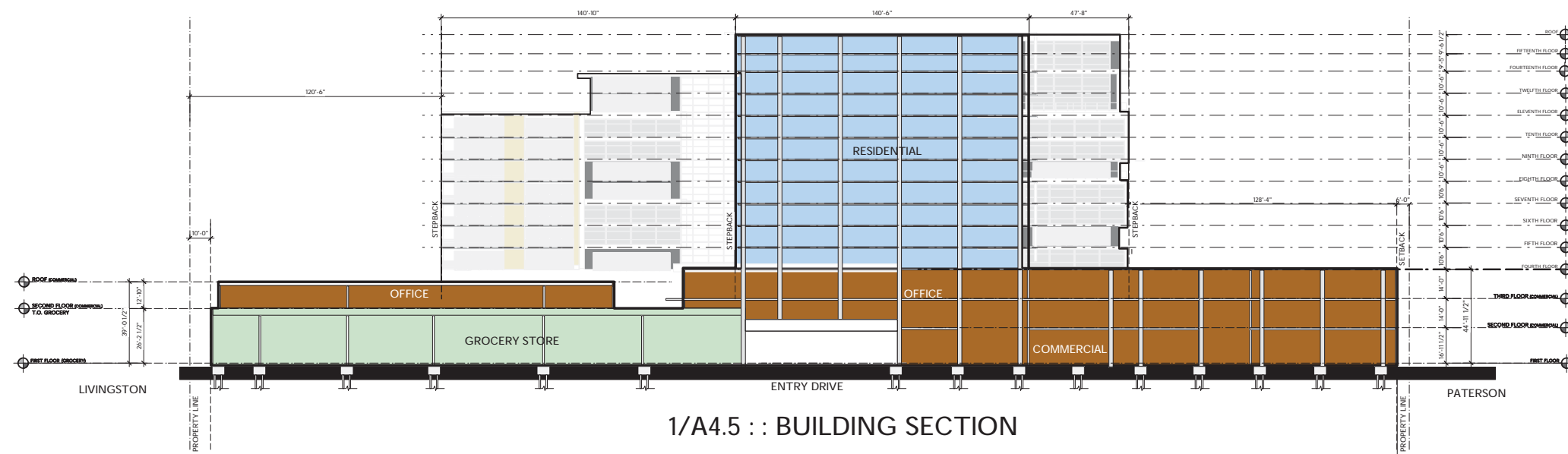
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02.20.14

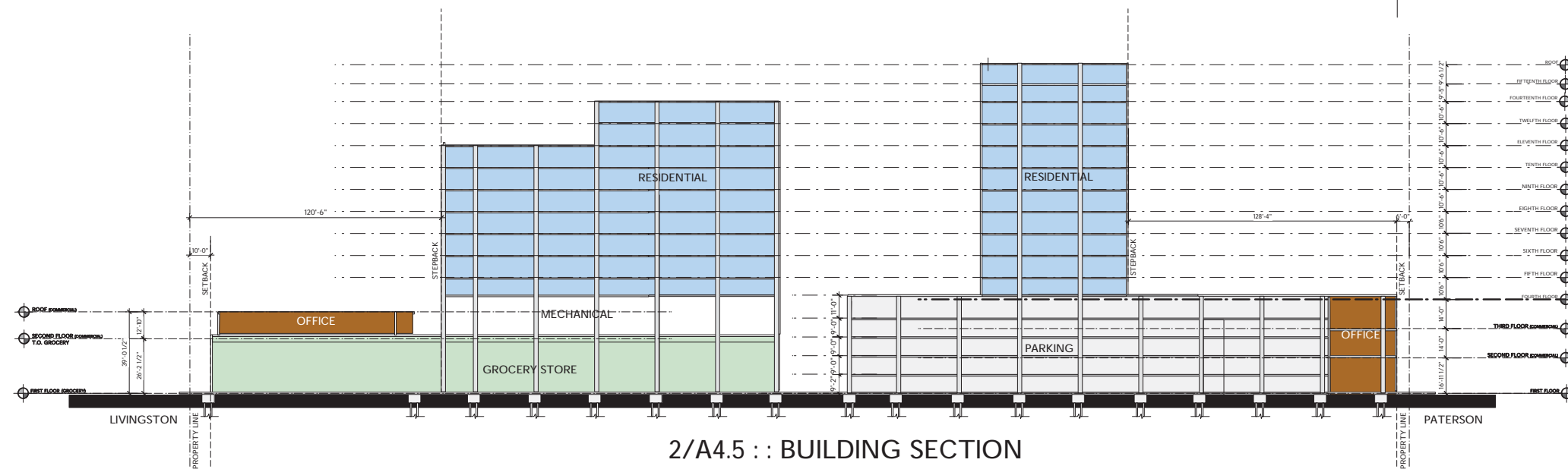
THE GALAXIE  
800N BLOCK EAST WASHINGTON AVENUE  
MADISON, WI

BUILDING SECTIONS

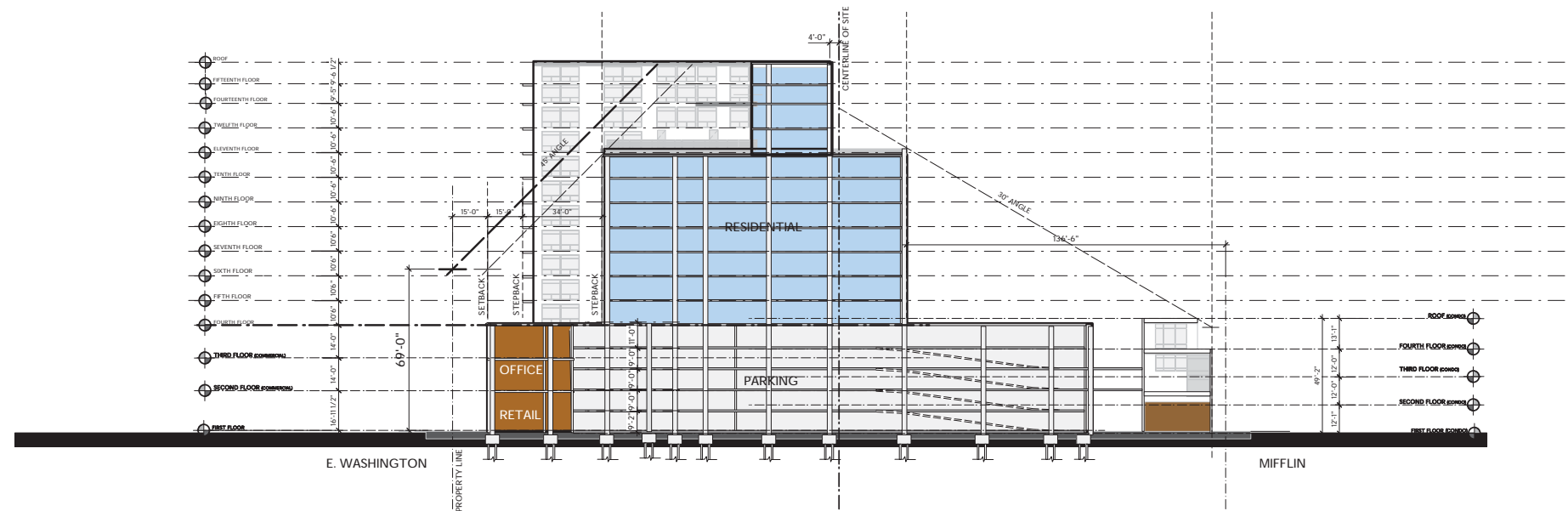
A4.5



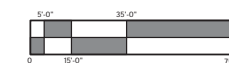
1/A4.5 :: BUILDING SECTION



2/A4.5 :: BUILDING SECTION



3/A4.5 :: BUILDING SECTION

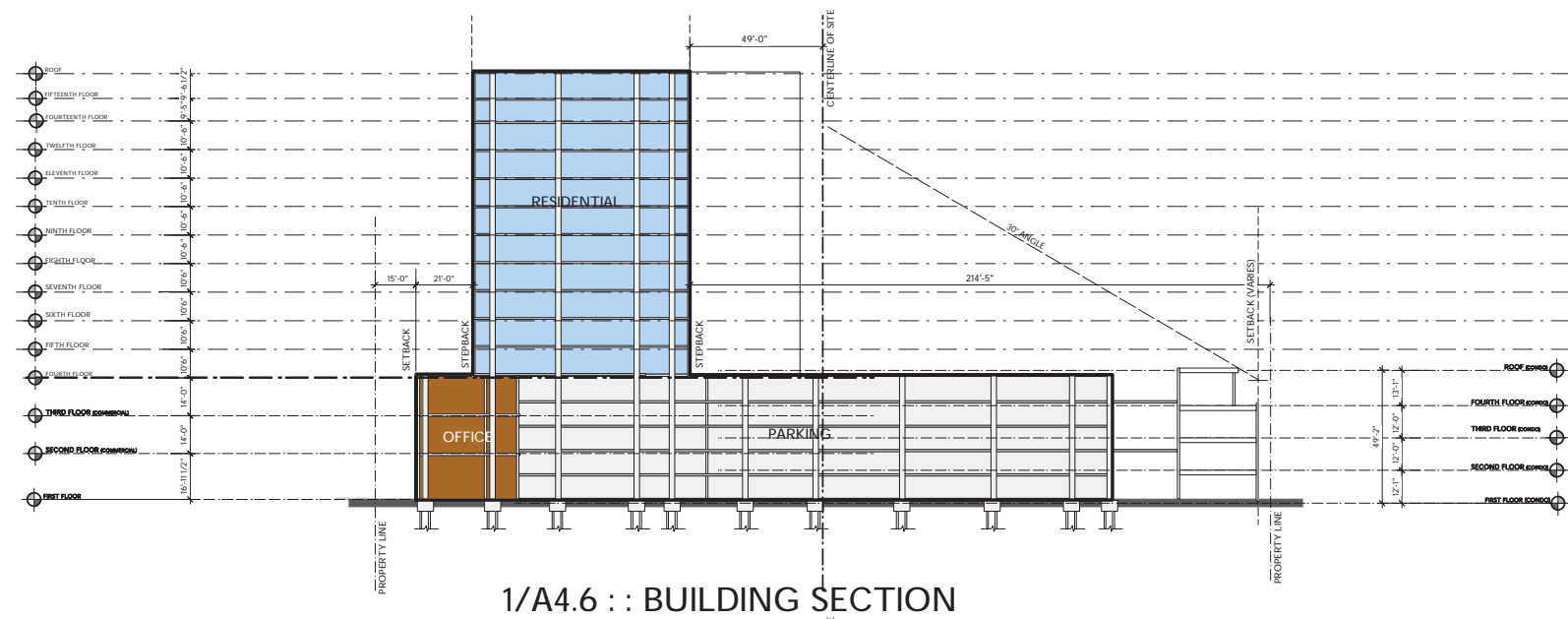




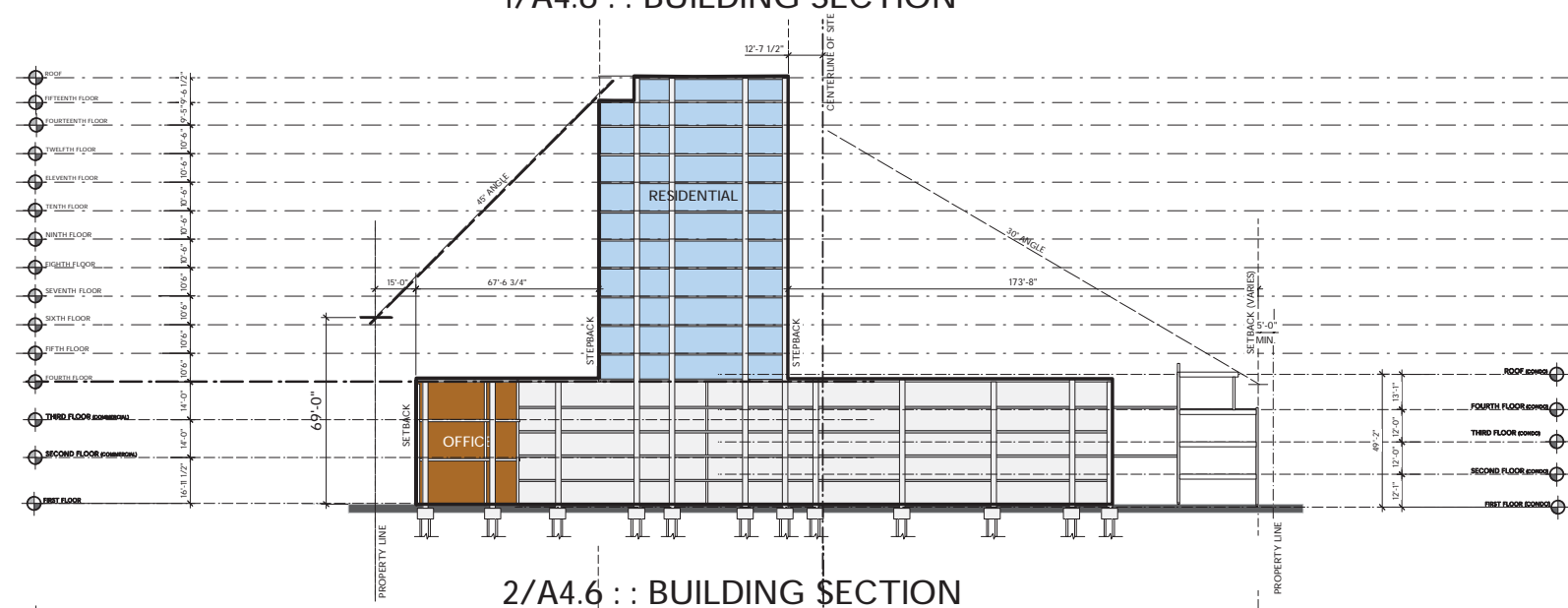
GENERAL NOTES

DRAWING NOTES

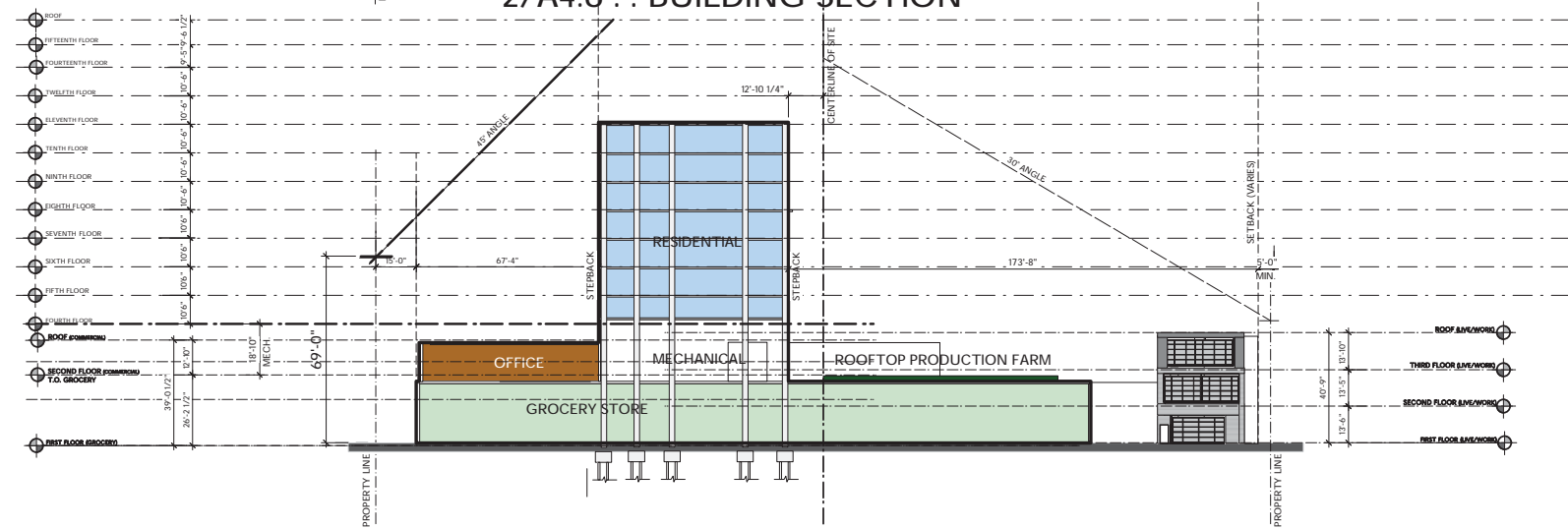
CODE NOTES



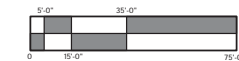
1/A4.6 :: BUILDING SECTION



2/A4.6 :: BUILDING SECTION



3/A4.6 :: BUILDING SECTION



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THE GALAXIE  
800N BLOCK EAST WASHINGTON AVENUE  
MADISON, WI

BUILDING SECTIONS

A4.6





GENERAL NOTES

DRAWING NOTES

CODE NOTES



CORNER OF EAST WASHINGTON AND PATERSON

PLAN COMMISSION SUBMITTAL



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02.20.14

THE GALAXIE  
800N BLOCK EAST WASHINGTON AVENUE  
MADISON, WI

BUILDING RENDERINGS

A4.7





GENERAL NOTES

DRAWING NOTES

CODE NOTES




CORNER OF EAST WASHINGTON AND LIVINGSTON

PLAN COMMISSION SUBMITTAL

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02.20.14

THE GALAXIE  
800N BLOCK EAST WASHINGTON AVENUE  
MADISON, WI

BUILDING RENDERINGS

A4.8





GENERAL NOTES

DRAWING NOTES

CODE NOTES



CORNER OF MIFFLIN AND LIVINGSTON

PLAN COMMISSION SUBMITTAL



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02.20.14

THE GALAXIE  
800N BLOCK EAST WASHINGTON AVENUE  
MADISON, WI

BUILDING RENDERINGS

A4.9





GENERAL NOTES

DRAWING NOTES

CODE NOTES



CORNER OF MIFFLIN AND PATERSON

PLAN COMMISSION SUBMITTAL



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02.20.14

THE GALAXIE  
800N BLOCK EAST WASHINGTON AVENUE  
MADISON, WI

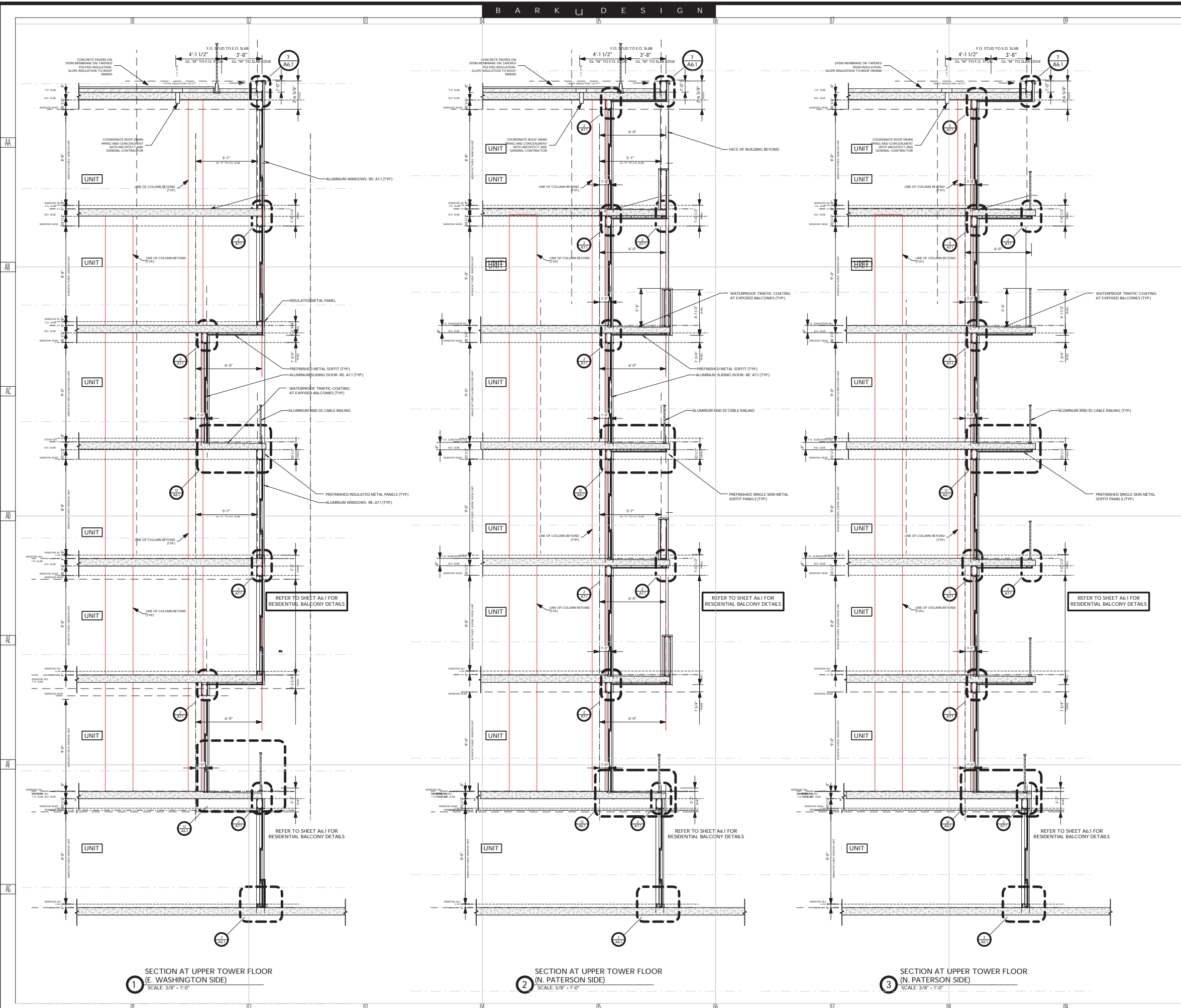
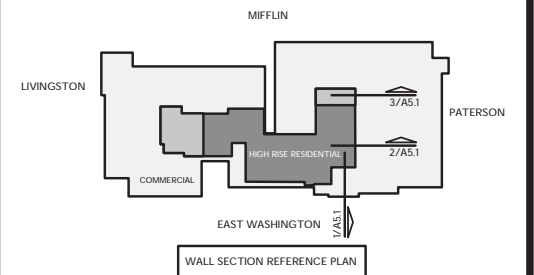
BUILDING RENDERINGS

A4.10





GENERAL NOTES

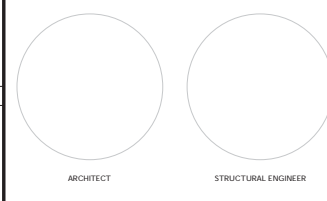


1 SECTION AT UPPER TOWER FLOOR  
(E. WASHINGTON SIDE)  
SCALE: 3/8" = 1'-0"

2 SECTION AT UPPER TOWER FLOOR  
(N. PATERSON SIDE)  
SCALE: 3/8" = 1'-0"

3 SECTION AT UPPER TOWER FLOOR  
(N. PATERSON SIDE)  
SCALE: 3/8" = 1'-0"

DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DATE REVIEW SET
12.29.13	INFORMATIONAL LDC
02.29.14	INITIAL LDC



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GALAXIE  
 800N BLOCK EAST WASHINGTON AVENUE  
 MADISON, WI

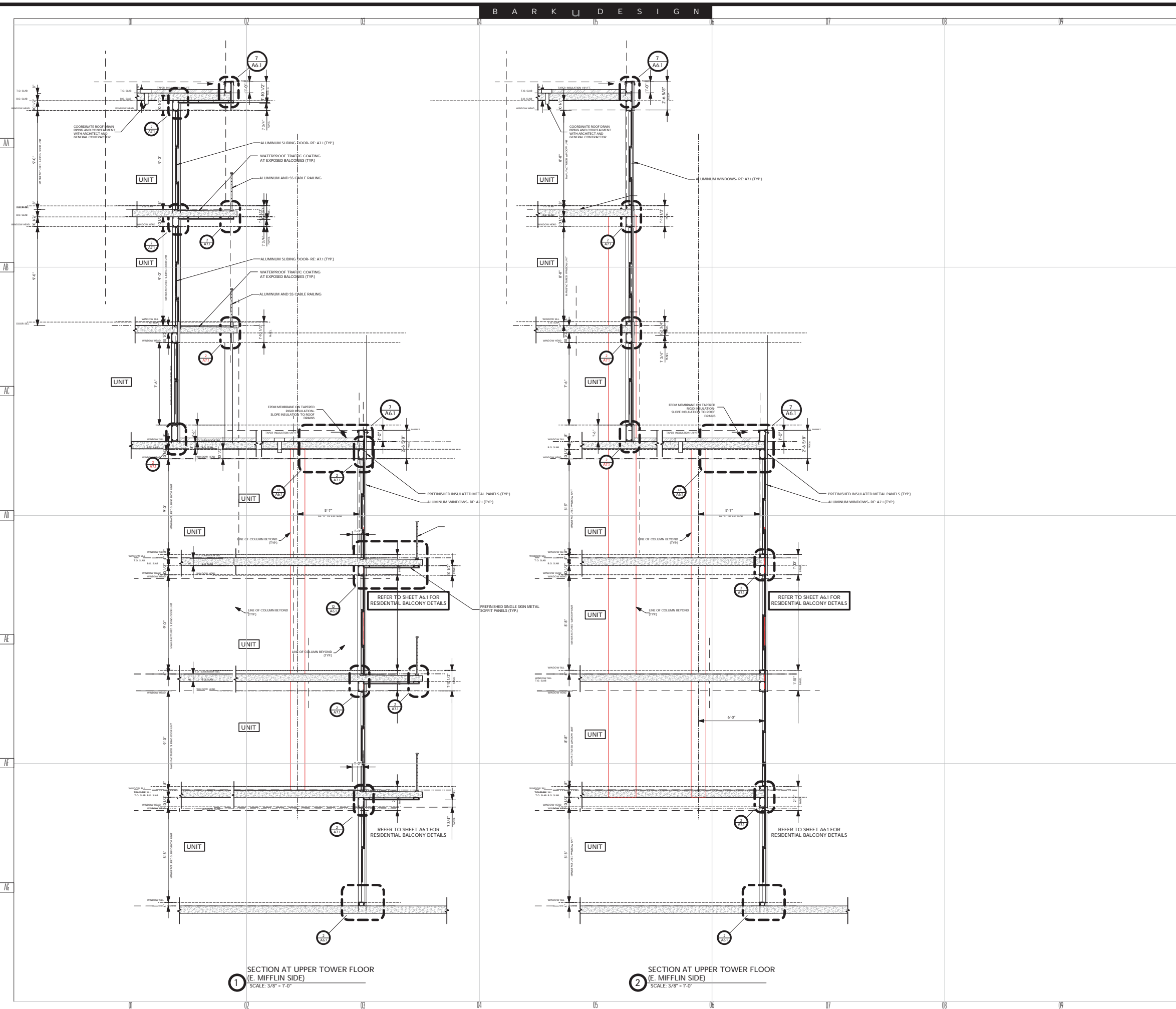
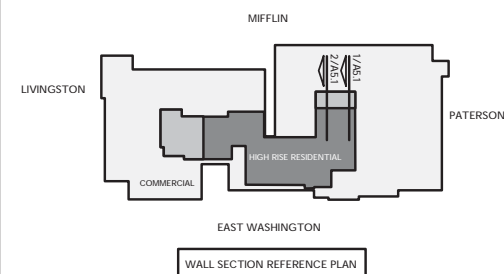
WALL SECTIONS

SCALE AS NOTED

**A5.1**



GENERAL NOTES



1 SECTION AT UPPER TOWER FLOOR (E. MIFFLIN SIDE) SCALE: 3/8" = 1'-0"

2 SECTION AT UPPER TOWER FLOOR (E. MIFFLIN SIDE) SCALE: 3/8" = 1'-0"

DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DATE REVIEW SET
12.29.13	INFORMATIONAL LDC
02.29.14	INITIAL LDC

ARCHITECT

STRUCTURAL ENGINEER

PLAN COMMISSION SUBMITTAL



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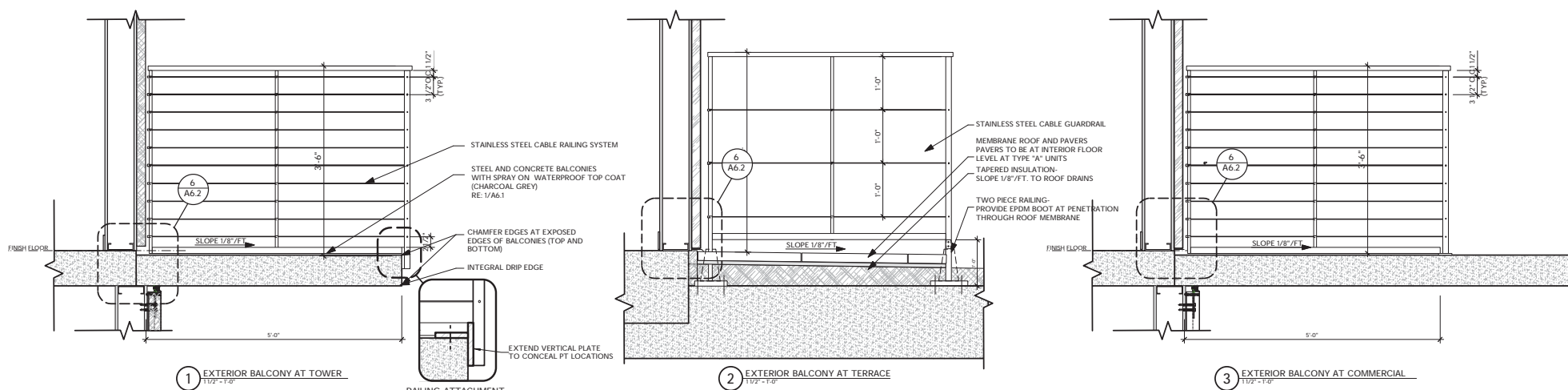
THE GALAXIE  
800N BLOCK EAST WASHINGTON AVENUE  
MADISON, WI

WALL SECTIONS  
SCALE AS NOTED

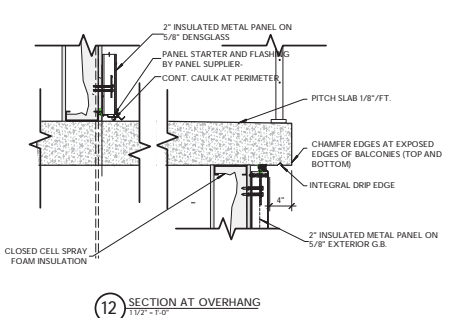
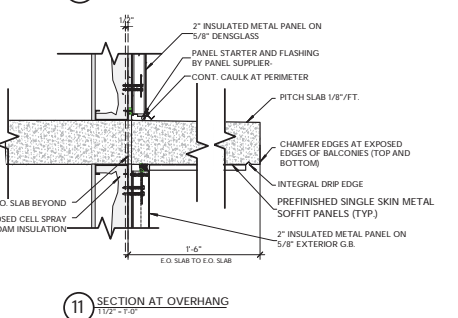
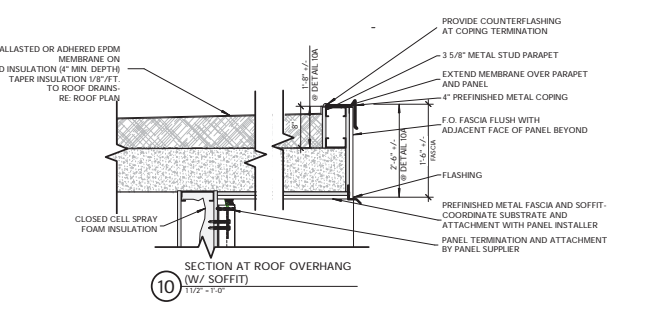
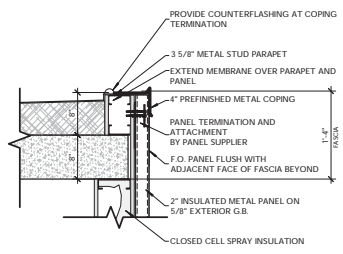
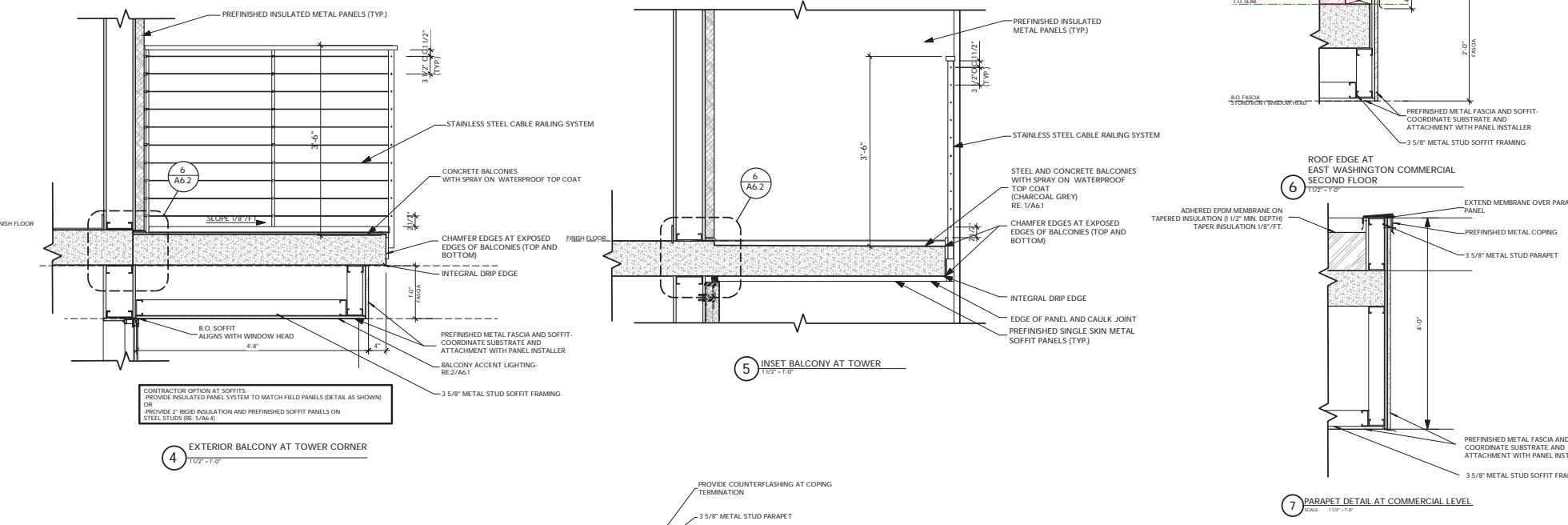
A5.2



GENERAL NOTES



SEE SHEET A7.1 FOR DOOR THRESHOLD DETAILS AT BALCONIES



DRAWING NOTES

CODE NOTES

DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DATE REVIEW SET

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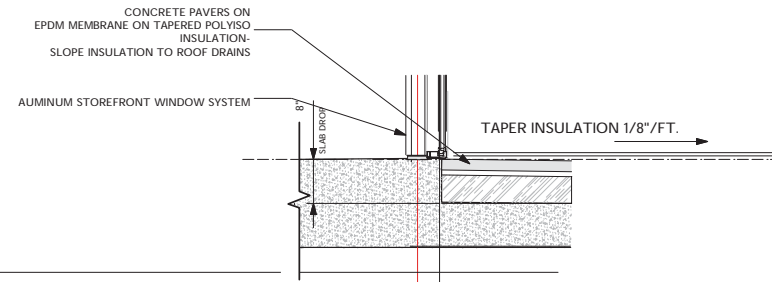
DATE  
2.20.14



GENERAL NOTES

DRAWING NOTES

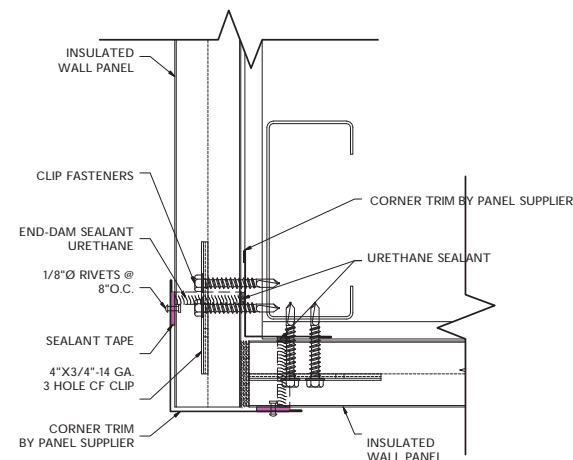
CODE NOTES



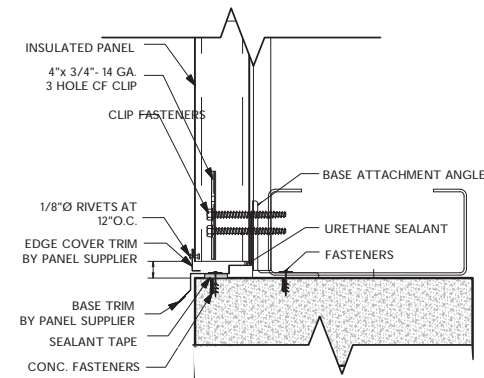
**2** SECTION AT BALCONY DROP  
3/4" = 1'-0"

**3** NOT USED  
A6.2 1 1/2" = 1'-0"

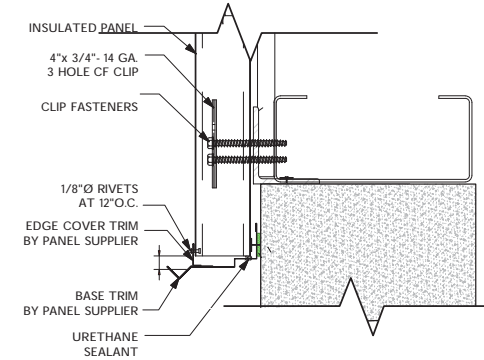
**4** NOT USED  
3/4" = 1'-0"



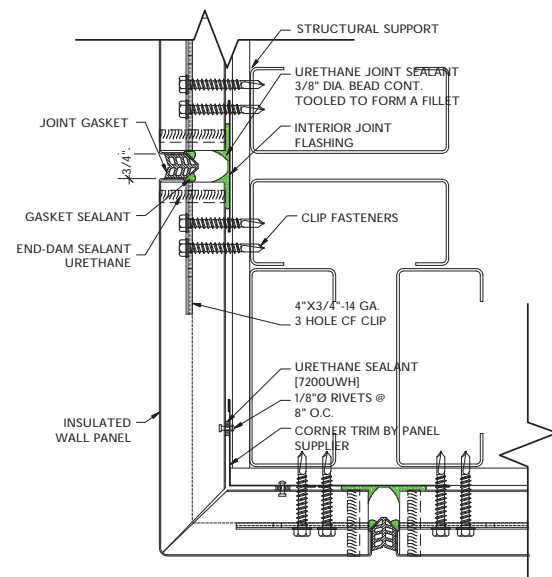
**5** SECTION AT PANEL CORNER  
A6.2 1 1/2" = 1'-0"



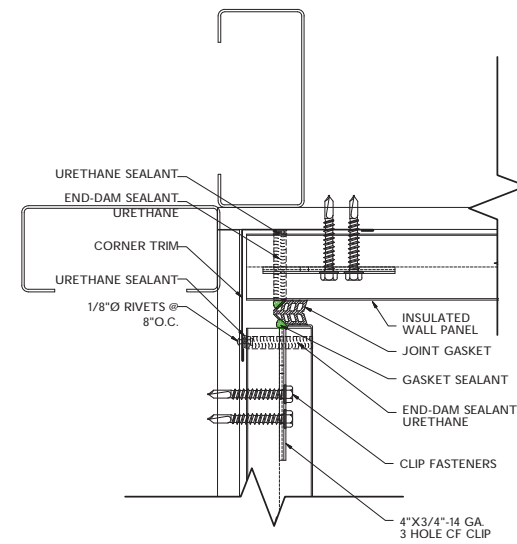
**6** SECTION AT PANEL BASE  
A6.2 1 1/2" = 1'-0"



**7** SECTION AT PANEL BASE  
A6.2 1 1/2" = 1'-0"

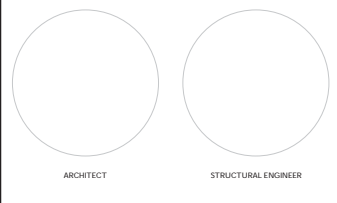


**10** SEAMLESS OUTSIDE CORNER DETAIL  
A6.2 1 1/2" = 1'-0"



**11** INSIDE CORNER DETAIL  
A6.2 1 1/2" = 1'-0"

DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DATE REVIEW SET



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the GALAXIE  
800N BLOCK EAST WASHINGTON AVENUE  
MADISON, WI  
WALL AND PANEL DETAILS  
A6.2



**GENERAL NOTES**

- 1: ALL WINDOWS TO BE LOW-E, INSULATED DOUBLE PANE, ARGON FILLED, THERMALLY BROKEN, WITH DUAL WEATHERSTRIPPING AND INSECT SCREEN.
- 2: ALL WINDOWS AND DOORS TO HAVE CLEAR ANODIZED FINISH
- 3: WINDOWS TO BE INTERIOR GLAZED
- 4: ALL GLASS SHALL BE TEMPERED AT DOOR LOCATIONS AND OTHER LOCATIONS PER 2009 IBC SECTION 2406
- 5: PROVIDE SEALANT AT ALL FIELD MULLED WINDOWS
- 6: PROVIDE INTERIOR AND EXTERIOR SEALANT AT FRAME PERIMETER
- 7: PROVIDE EXPANDABLE FOAM AT ALL VOIDS IN FRAME
- 8: ALL WINDOW ASSEMBLIES TO MEET REQUIREMENTS OF 2009 IBC SECTION 1714.5
- 9: GC TO COORDINATE MULLED UNITS AND PANEL CONNECTIONS AND FLASHING
- 10: PROVIDE WINDOW LIMITING STOPS AT ALL 4TH FLOOR WINDOW LOCATIONS AND AT ALL WINDOWS ADJACENT TO EXTERIOR ROOF DECKS
- 11: PROVIDE REMOVABLE INTERIOR SLIDING DOOR LOCKING MECHANISM AT ALL 4TH FLOOR SLIDING DOOR LOCATIONS AND AT ALL SLIDING DOORS ADJACENT TO EXTERIOR ROOF DECKS

**DRAWING NOTES**

**GLAZING:**

- 1" INSULATED TOTAL THICKNESS
- EXTERIOR = 3/16" SOLARBAN 60 (CLEAR)
  - 5/8" AIR SPACE (ARGON FILLED)
  - INTERIOR = 3/16" (CLEAR)

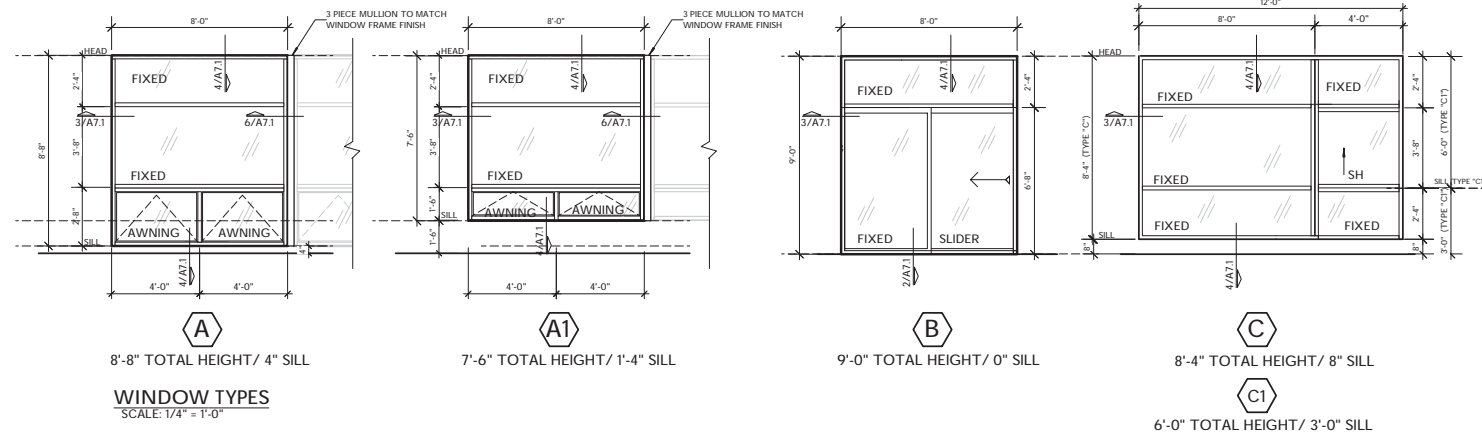
PROVIDE TEMPERED GLASS AT DOORS AND OTHER LOCATIONS PER 2009 IBC SECTION 2406

**FINISH:**

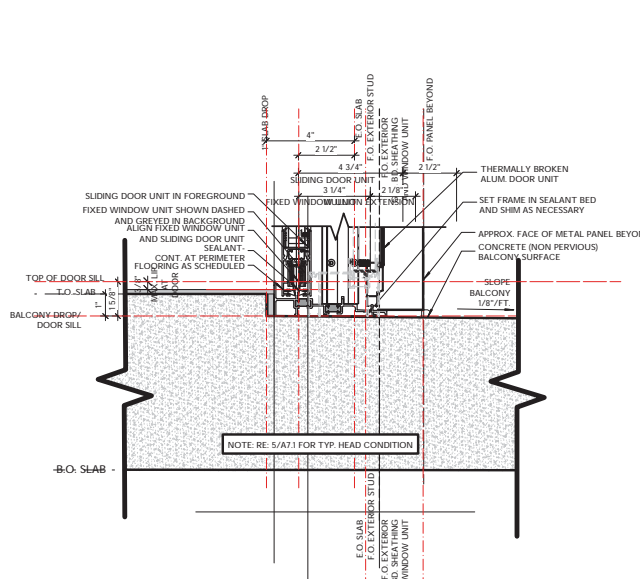
CLASS II CLEAR ANODIZED OR SELECTED FROM MANUFACTURER'S STANDARD FINISH PALETTE

**CODE NOTES**

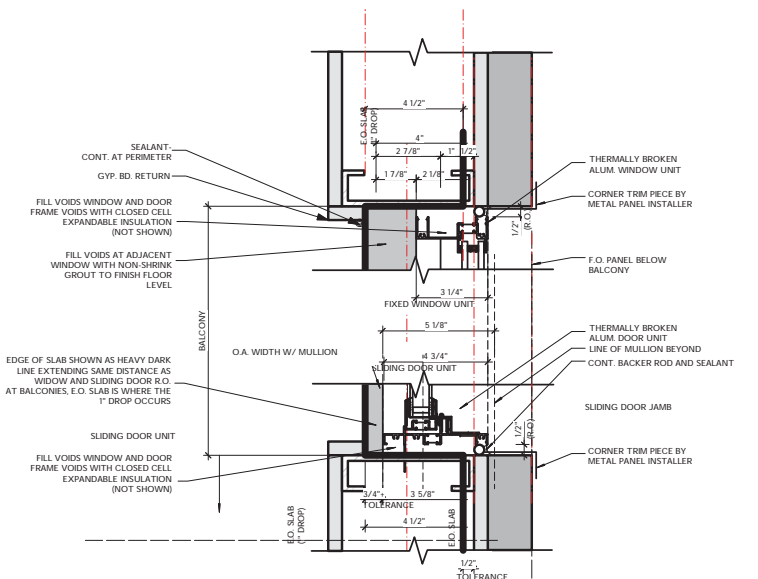
- 1: MAX. THRESHOLD:
- BALCONY SLIDING DOOR- INTERIOR: 3/4"
  - EXTERIOR: 4"
  - BALCONY SWING DOOR- INTERIOR: 1/2"
  - EXTERIOR: 1/2"



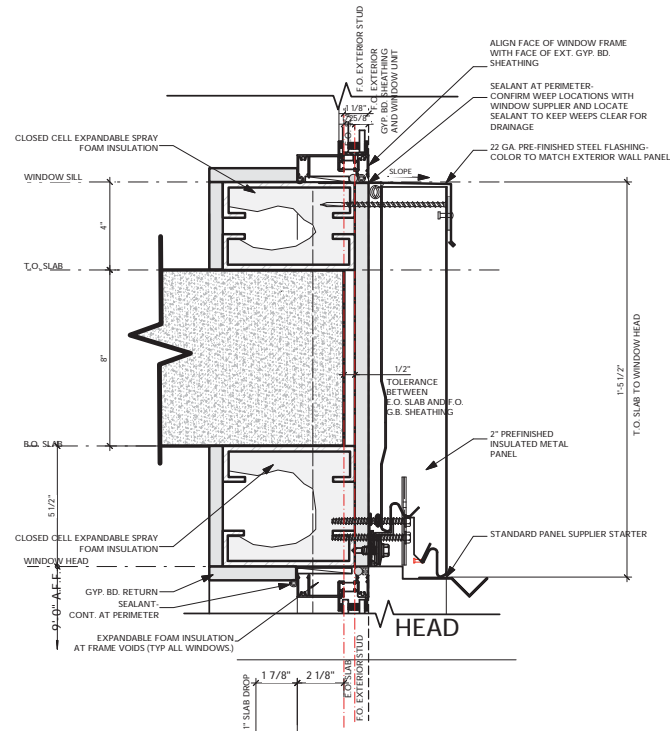
**WINDOW TYPES**  
SCALE: 1/4" = 1'-0"



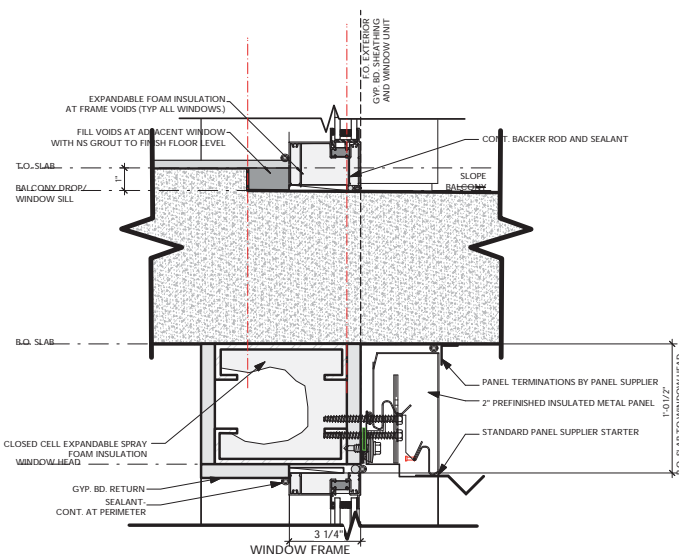
**2** THRESHOLD DETAIL AT SLIDING DOORS AT BALCONIES AND TERRACES  
A7.1 1" = 3"



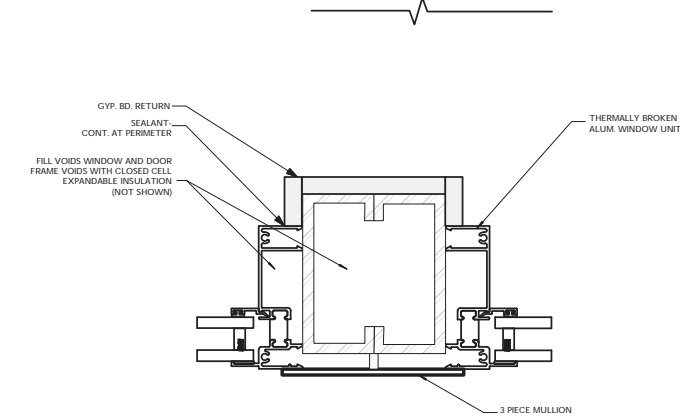
**3** PLAN AT SLIDING DOORS AND WINDOWS AT 1" SLAB DROP AT BALCONIES  
A7.1



**4** TYP. WINDOW SILL AND HEAD AT TOWER  
A7.1 1" = 3"



**5** WINDOW SILL AND HEAD AT BALCONIES  
A7.1 1" = 3"



**6** MULLION DETAIL  
A7.1

DATE	DESCRIPTION
05.01.13	PRELIMINARY REVIEW SET
08.21.13	DATE REVIEW SET

**PLAN COMMISSION SUBMITTAL**



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DATE  
02.20.14

WINDOW SCHEDULE AND DETAILS

**A7.1**