

# DIMENSION IV-MADISON

Architecture, Engineering and Interior Design  
313 West Beltline Hwy., Suite 161 Madison, WI 53713 Phone (608) 229-4444

## LOT 90 MIDTOWN COMMON

Corner of Mayo Drive and Waldorf Boulevard, WISCONSIN 53719

Architecture & Engineering: Dimension IV - Madison, LLC, Madison, WI

Civil Engineer: Calkins Engineering, LLC

Landscaping Engineer: Zeigler Design

PROJECT DATA: 44 RESIDENTIAL CONDOMINIUM AND COMMERCIAL AREA  
MIXED USE DEVELOPMENT

LOT SIZE: 54,826 ACRES 1.25  
IMPERVIOUS AREA: 40,498 SF  
GREEN AREA: 14,328 SF

PARKING DATA: BICYCLE AUTO  
COVERED 30 46  
SURFACE 12 38  
TOTAL 42 84

BUILDING DATA:

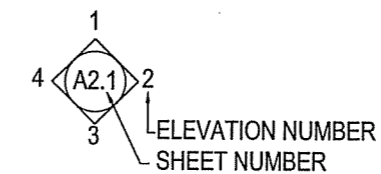
LEVEL	AREA	USE
BASEMENT	17,815 SF	PARKING, MECHANICAL, AND STORAGE
FIRST	18,194 SF	5 - 2BR RESIDENTIAL CONDOMINIUMS
SECOND	18,701 SF	13 - 2BR RESIDENTIAL CONDOMINIUMS
THIRD	18,701 SF	13 - 2BR RESIDENTIAL CONDOMINIUMS
FOURTH	18,701 SF	13 - 2BR RESIDENTIAL CONDOMINIUMS
TOTAL	92,112 SF	44 - RESIDENTIAL CONDOMINIUMS

### INDEX OF DRAWINGS

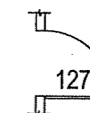
C1 - SITE GRADING, EROSION CONTROL AND SITE  
L1 - LANDSCAPE PLAN

ARCHITECTURAL  
A0.0 KEY PLAN  
A0.1 KEY PLAN  
A1.0 BASEMENT FLOOR PLAN  
A1.1 FIRST FLOOR PLAN  
A1.2 SECOND FLOOR PLAN  
A1.3 THIRD FLOOR PLAN  
A1.4 FORTH FLOOR PLAN  
A2.0 EXTERIOR ELEVATIONS

### GRAPHIC SYMBOLS



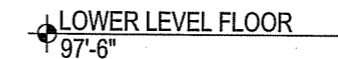
DOOR NUMBER



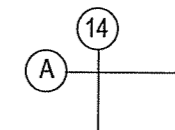
WINDOW TYPE



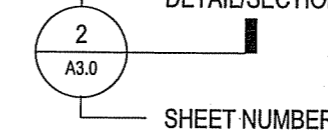
HEIGHT ELEVATION MARKER



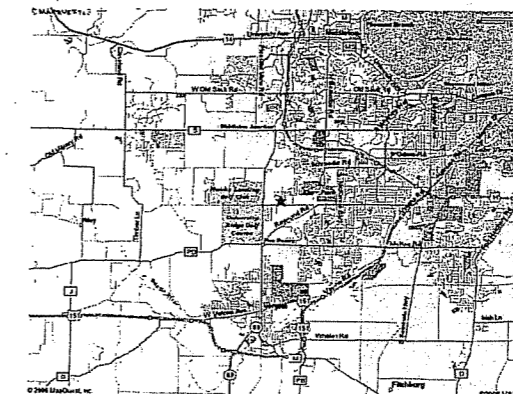
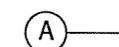
STRUCTURAL GRID



SECTION CUT/DETAIL REFERENCE  
DETAIL/SECTION NUMBER



WALL TYPE



LOCATION MAP

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN MISSOURI CALL DIGGERS HOTLINE 1-800-242-6911 TOLL FREE NO STATE RESIDENTS OVER 18 YEARS OF AGE REQUIRED TO CALL 3 WORK DAYS BEFORE YOU DIG

STARR GRASS DRIVE

### STORM SEWER PIPE SCHEDULE:

PIPE NUMBER	FROM (UPSTREAM)	TO (DOWNSTREAM)	LENGTH	INVERT	DISCHARGE INVERT	SLOPE	PIPE SIZE
P-1	S-1A	S-1	136'	238.98	234.00	3.66	12"
P-1A	S-2	S-1A	14'	239.50	238.98	3.71	12"
P-2	S-4	S-3	6'	244.53	244.50	0.50	12"
P-3	S-5	S-4	6'	244.56	244.53	0.50	12"
P-4	S-7	S-6	53'	257.97	257.70	0.50	10"
P-5	S-9	S-8	21'	258.24	258.14	0.50	8"
P-6	S-11	S-10	19'	258.51	258.42	0.50	8"
P-7	S-13	S-12	14'	258.81	258.74	0.50	8"
P-8	S-15	S-14	14'	259.14	259.07	0.50	6"
P-9	S-17	S-16	14'	259.33	259.26	0.50	4"

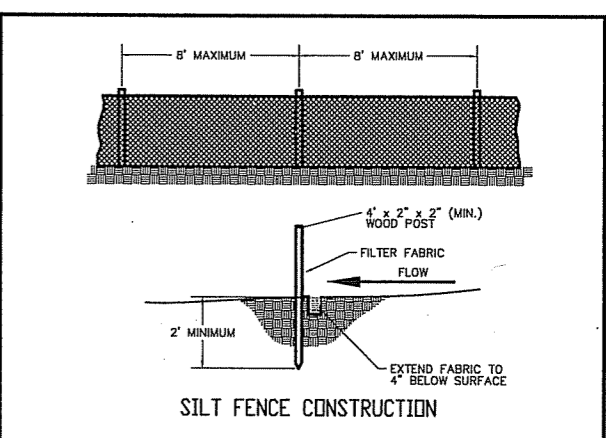
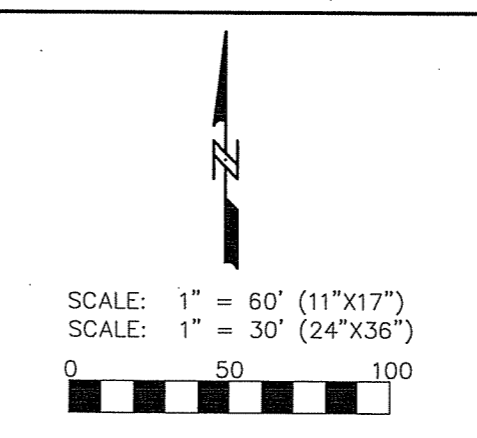
### EROSION CONTROL SCHEDULE:

EROSION CONTROL INSTALLED: SEPTEMBER 15, 2006  
 BEGIN GRADING: SEPTEMBER 15, 2006  
 GRAVEL BASE COURSE INSTALLED IN DRIVEWAY AND PARKING LOT: MAY 6, 2007  
 NOTE: AN EROSION CONTROL PERMIT EXTENSION NEEDS TO BE FILED WITH THE CITY OF MADISON ENGINEERING DEPARTMENT PRIOR TO THE GRAVEL BASE COURSE INSTALLATION DATE INDICATED ABOVE IF THIS DATE WILL NOT BE MET. CONTRACTOR SHALL NOTIFY ENGINEER IF AN EXTENSION IS NECESSARY.

### STORM SEWER STRUCTURE SCHEDULE:

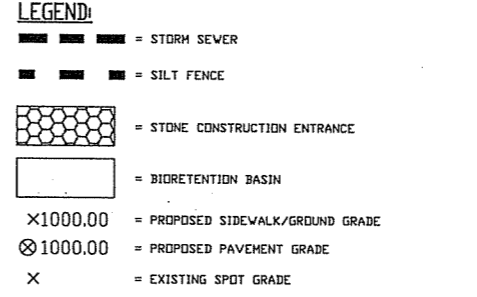
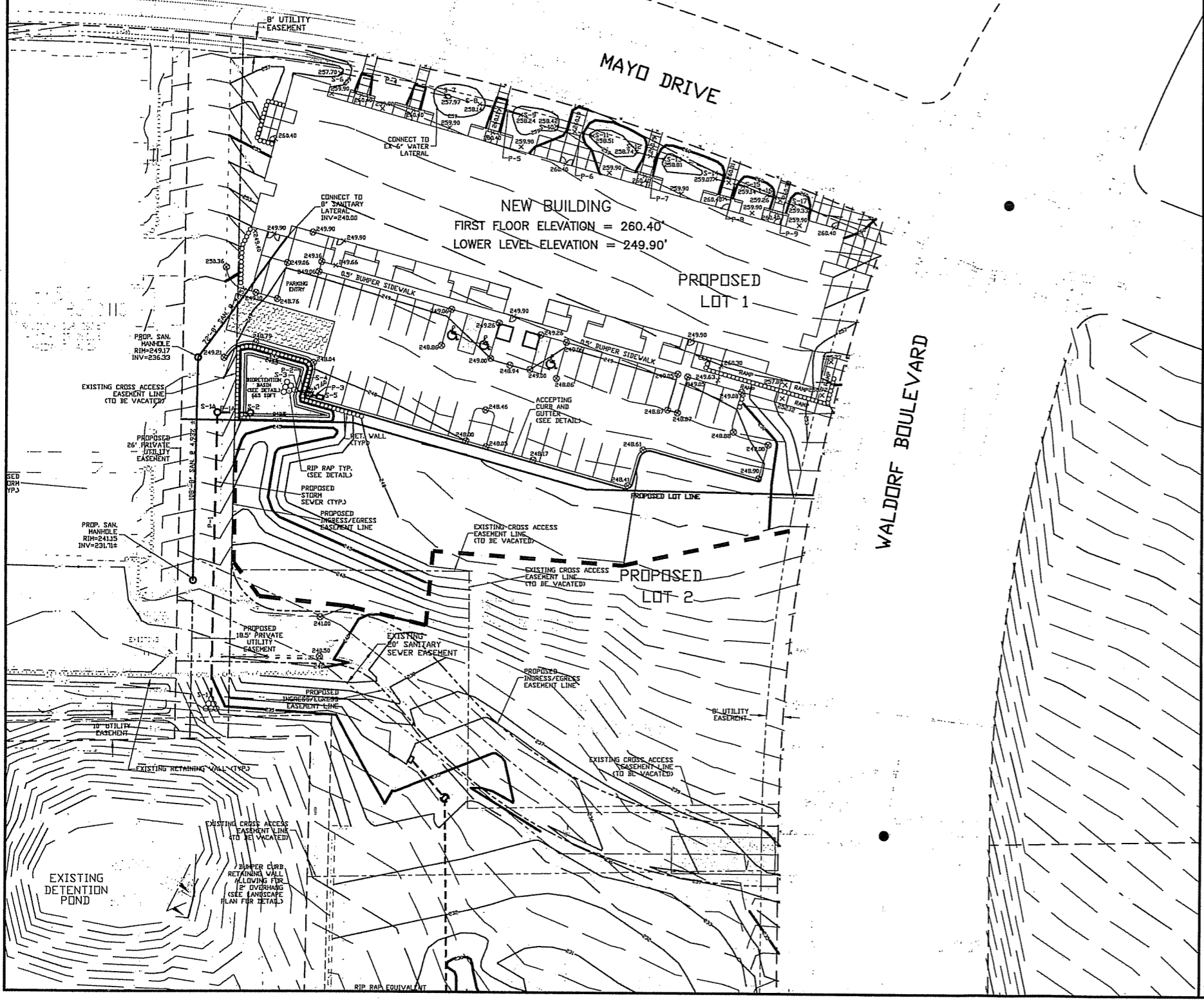
STRUCTURE NUMBER	TYPE	TOP OF CASTING	INVERT	DEPTH	GRADE
S-1	12' ENDWALL	-	234.00	-	-
S-1A	CB	247.83	238.98	8.85	R-1550
S-2	CB W/INLET	244.50	239.50	5.00	R-2557
S-3	12' ENDWALL	-	244.50	-	-
S-4	CB W/INLET	248.04	244.53	3.51	R-3067 DIAG.
S-5	CB W/INLET	248.07	244.56	3.51	R-3067 DIAG.
S-6	10' STUB	-	257.70	-	-
S-7	10' STUB	-	257.97	-	-
S-8	8' STUB	-	258.14	-	-
S-9	8' STUB	-	258.24	-	-
S-10	8' STUB	-	258.42	-	-
S-11	8' STUB	-	258.51	-	-
S-12	8' STUB	-	258.74	-	-
S-13	8' STUB	-	258.81	-	-
S-14	6' STUB	-	259.07	-	-
S-15	6' STUB	-	259.14	-	-
S-16	4' STUB	-	259.26	-	-
S-17	4' STUB	-	259.33	-	-

NOTES:  
 -GRATE AND LID TYPES REFERENCE NEENAH FOUNDRY COMPANY CATALOG.



Calkins Engineering, LLC  
 5010 Vogels Road  
 Madison, MO 64741  
 (608) 838-0444

DATE: 05-10-06  
 REVISIONS:  
 08-12-06



### GENERAL NOTES:

STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED UNTIL GRAVEL BASE COURSE IS INSTALLED.

SILT FENCE SHALL BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS. SILT FENCE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.

TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORK DAY OR AS DIRECTED BY THE CITY.

CONTRACTOR SHALL PERFORM EROSION CONTROL INSPECTIONS WEEKLY AND AFTER EVERY RAINFALL EVENT EXCEEDING 0.5" DURING CONSTRUCTION.

INLET SEDIMENTATION FILTERS SHALL BE INSTALLED AT ALL INLET LOCATIONS, AND ADJACENT DOWNSTREAM INLETS.

ALL WORK WITHIN CITY RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

CONTRACTOR SHALL OBTAIN A STREET EXCAVATION PERMIT AS NECESSARY PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL OBTAIN ALL NECESSARY SEWER CONNECTION PERMITS AND SEWER PLUGGING PERMITS PRIOR TO CONSTRUCTION.

ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.

PRIVATE STORM SEWER SHALL BE ADS N-12.

PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151-CLASS 52).

PRIVATE SANITARY SEWER AND LATERALS SHALL BE PVC (ASTH D3034-SDR35).

PUBLIC SIDEWALK AT DRIVEWAY LOCATIONS SHALL BE 7" THICK.

BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.

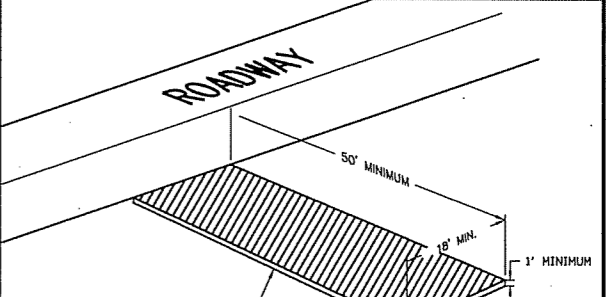
PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.

DEVELOPER SHALL REPAIR/REPLACE ANY SIDEWALK, CURB, OR PAVEMENT DAMAGED DURING CONSTRUCTION OR AS DEEMED NECESSARY BY THE CITY ENGINEER.

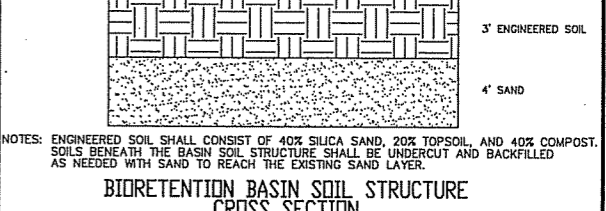
CONTOURS AND SPOT GRADES ASSOCIATED WITH LOT 91 AND PROPOSED LOT 2 CONSTRUCTION ARE PROPOSED AND HAVE NOT BEEN FIELD VERIFIED.

BIORETENTION BASIN SHALL BE CONSTRUCTED AFTER PARKING LOT GRAVEL BASE COURSE INSTALLATION TO PREVENT IT FROM CLOGGING WITH SEDIMENT.

ROOTSTOCK AND PLUGS SHALL BE USED TO ESTABLISH WATER TOLERANT VEGETATION IN BIORETENTION BASINS AS SPECIFIED IN THE PLANTING PLAN.



NOTES: ENGINEERED SOIL SHALL CONSIST OF 40% SILICA SAND, 20% TOPSOIL, AND 40% COMPOST. SOILS BENEATH THE BASIN SOIL STRUCTURE SHALL BE UNDERCUT AND BACKFILLED AS NEEDED WITH SAND TO REACH THE EXISTING SAND LAYER.



### GENERAL NOTES:

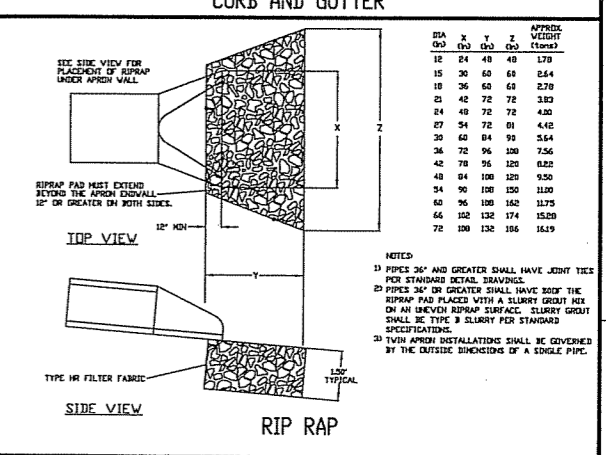
LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.

EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE-PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

### CURB AND GUTTER

STA (0+00)	X (ft)	Y (ft)	Z (ft)	APPROX VOLUME (cu yds)
10	24	48	48	178
15	26	60	64	244
18	36	60	64	270
21	42	72	72	383
24	48	72	72	430
27	54	72	81	440
29	60	84	99	554
36	72	96	108	756
42	78	96	120	822
48	84	108	120	930
54	90	108	120	1110
60	96	108	120	1175
66	102	120	120	1320
72	108	120	120	1419

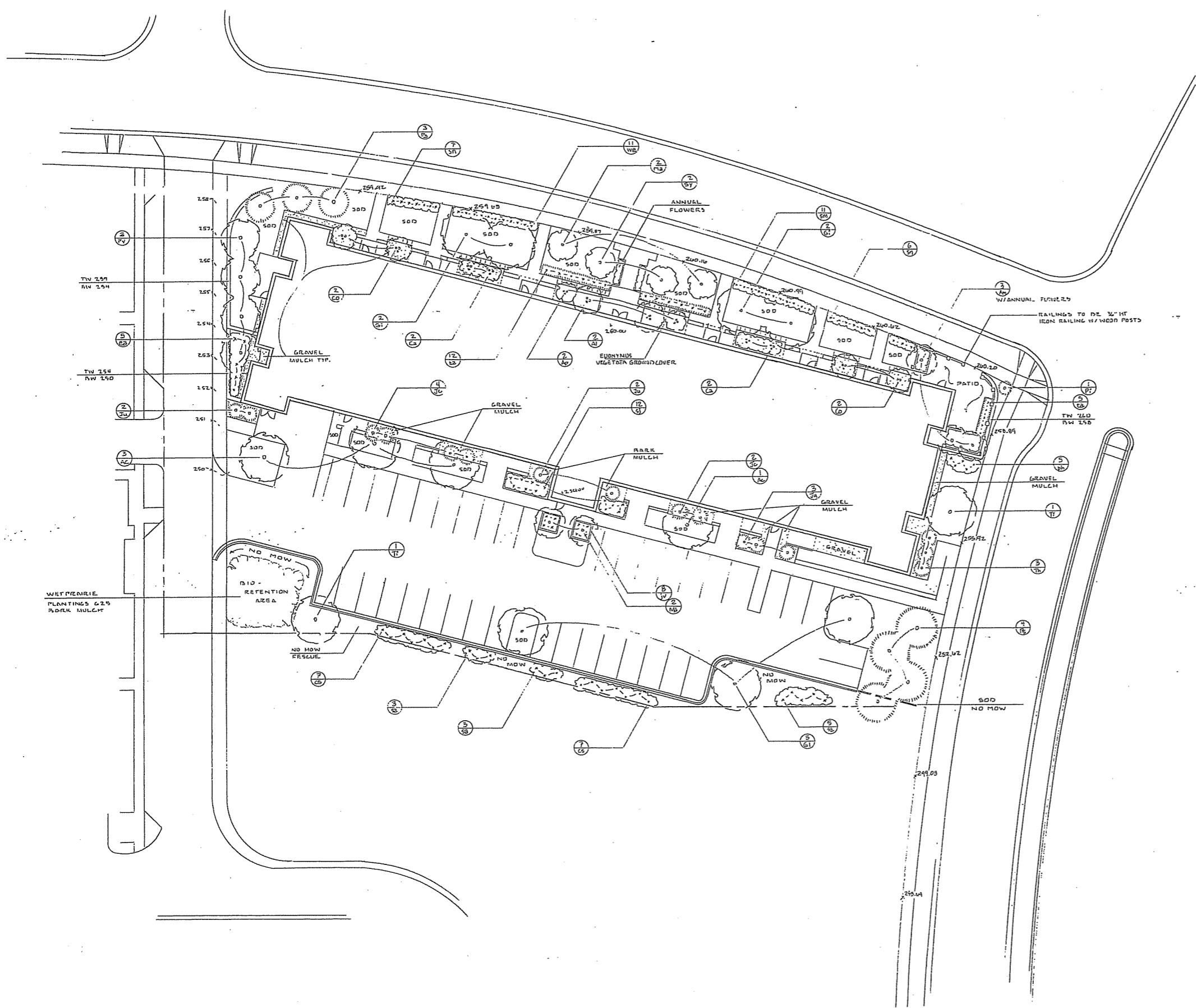


LOT 90 - SECOND ADDITION TO MID TOWN COMMONS  
 GRADING, EROSION CONTROL, AND UTILITY PLAN

DRAWING NAME: P:\VIM06\DESIGN\BASE.DWG  
 FN: DIM04

Calkins Engineering, LLC  
 Civil Engineers & Land Surveyors

PAGE C-1.0



**Planting Schedule for Parcel A, Lot 90, Mid Town Commons**  
As per Landscape Plan 5-10-06  
Ziegler Design Associates

Deciduous Canopy Trees				
Sym.	Qty.	Size	Rt Cond	Botanical Name, Common Name
Ac	4	2" cal	B&B	<i>Acer freemanii</i> , Armstrong Red Maple
Gi	4	2" cal	B&B	<i>Ginkgo biloba</i> , Male Ginkgo
Gl	4	2" cal	B&B	<i>Gleditsia triacanthos</i> , Honeylocust
Ti	2	2" cal	B&B	<i>Tilia x 'Redmond'</i> , Redmond Linden

Evergreen Trees				
Sym.	Qty.	Size	Rt Cond	Botanical Name, Common Name
Jc	6	5'	B&B	<i>Juniperus chinensis 'Hooks #6'</i> , Hooks Juniper
Ju	7	5'	B&B	<i>Juniperus chinensis 'Mountbatten'</i> , Mountbatten Juniper
Pg	3	5'	B&B	<i>Picea glauca 'Densata'</i> , Black Hills Spruce
Pi	1	36"	B&B	<i>Pinus aristata</i> , Bristlecone Pine
Ps	4	5'	B&B	<i>Pinus strobus</i> , White Pine
Th	3	5'	B&B	<i>Thuja occidentalis 'Nigra'</i> , Dark Green Arborvitae

Deciduous Small Trees				
Sym.	Qty.	Size	Rt Cond	Botanical Name, Common Name
Ap	2	4-5'	B&B	<i>Acer palmatum</i> , 'Bloodgood' Japanese Maple
Al	2	6'	B&B	<i>Amelanchier laevis</i> , Allegheny Serviceberry
Am	3	2" cal	B&B	<i>Amelanchier laevis</i> , 'Cumulus' Serviceberry
Ca	4	5'	B&B	<i>Carpinus caroliniana</i> , Muscledwood
Co	4	5'	B&B	<i>Cornus alternifolia</i> , Pagoda Dogwood
Ma	4	2" cal	B&B	<i>Malus x species</i> , Prairiefire Crabapple
Py	4	2" cal	B&B	<i>Pyrus calleryana</i> , Bradford Pear
Sy	2	2" cal	B&B	<i>Syringa reticulata</i> , Japanese Tree Lilac

Deciduous Shrubs				
Sym.	Qty.	Size	Rt Cond	Botanical Name, Common Name
cs	14	24-30"	cont	<i>Cornus sericea</i> , Bailey Redtwig Dogwood
ea	5	36"	B&B	<i>Euonymus alatus</i> , Burning Bush
ph	5	24-30"	cont	<i>Physocarpus opulifolius 'Diablo'</i> , Diablo Ninebark
sa	11	24-30"	cont	<i>Sambucus canadensis</i> , Elderberry
sj	12	18-24"	cont	<i>Spiraea japonica</i> , 'Anthony Waterer' Spirea
sn	16	24"	cont	<i>Spiraea nipponica</i> , 'Snowmound' Spirea
sm	11	24"	cont	<i>Syringa meyeri 'Palibin'</i> , Dwf. Korean Lilac
we	11	18"	cont	<i>Weigela florida</i> , Dark Horse Weigela

Evergreen Shrubs				
Sym.	Qty.	Size	Rt Cond	Botanical Name, Common Name
eu	50	1 gal	cont	<i>Euonymus fortunei 'Vegetus'</i> , Big Leaf Wintercreeper
ju	8	15-18"	cont	<i>Juniperus virginiana 'Gray Owl'</i> , Grey Owl Juniper
ta	12	18-24"	B&B	<i>Taxus x media 'Tauntonii'</i> , Taunton Yew

Grasses, Forbs				
Sym.	Qty.	Size	Rt Cond	Botanical Name, Common Name
-	625	2 1/2" plug	cont	Assorted wet prairie species

**Field Notes**

- LAWN AREAS**
- All lawn areas and tree way area to be sod.
  - All disturbed areas to the south of parking to be no-mow fescue seed mix.
- MULCHES**
- All individual trees and shrub beds to receive bark mulch unless otherwise specified.
  - All bark mulch to be shredded hardwood, 3" minimum depth.
  - All gravel mulch to be 3/4" clear Dresser Trap Rock or equivalent; 3" depth minimum on weed barrier fabric with plastic edging as needed.
- WALLS**
- All walls to be modular concrete block, Keystone, Versa-Lok or equivalent.

**PARCEL A, LOT 90**  
**MID TOWN COMMONS**  
Landscape Planting Plan  
Mayo Drive and Waldorf Blvd., Madison, WI

**ZIEGLER DESIGN ASSOCIATES**  
4697 Capitol View Road  
Middleton, WI 53562  
608.831.5098  
Drawn by: SGZ/MLG 5-10-06

Drawing Scale: 1" = 20'-0"

**DIMENSION IV  
MADISON**

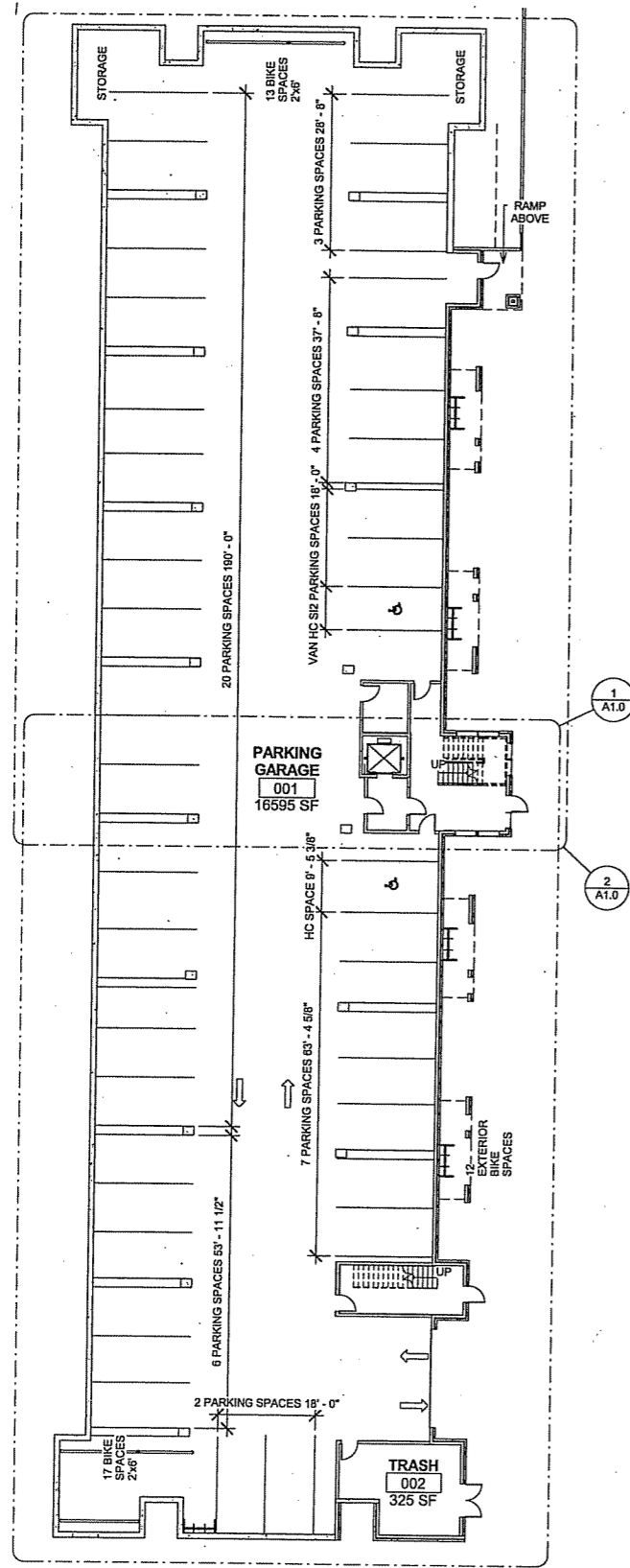
Architecture  
Engineering  
Interior Design

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Madison, WI 53713  
phone (608) 229-4444 fax (608) 229-4445

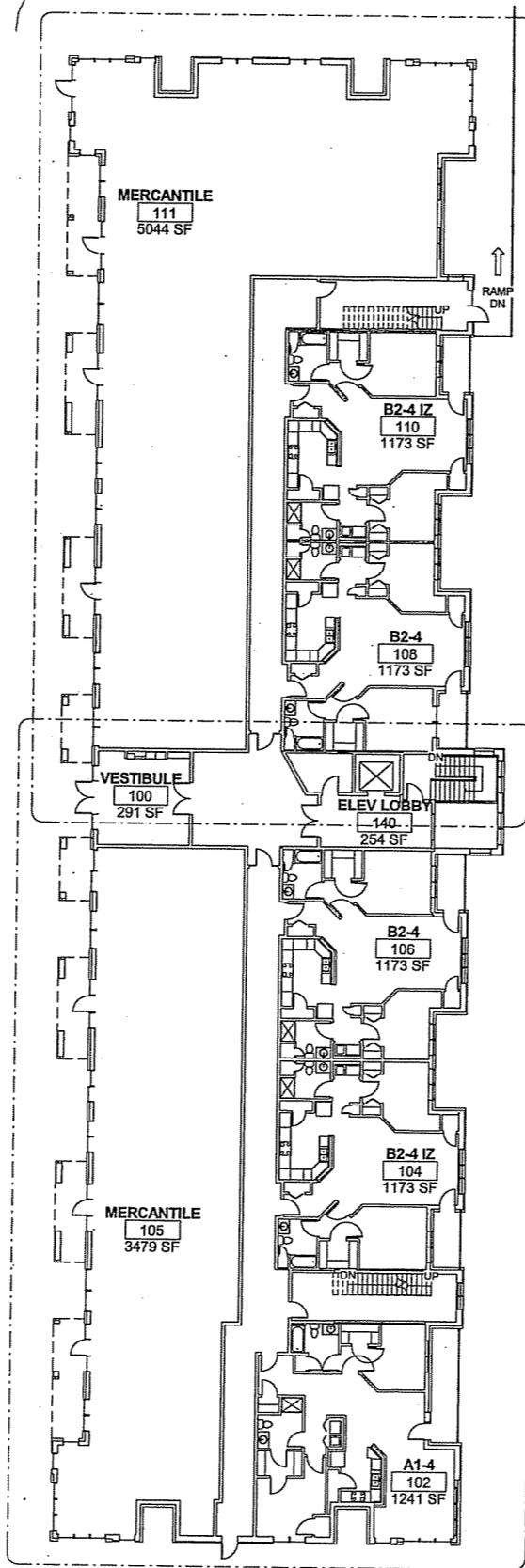
CONSULTANTS:

LOT 90 MIDTOWN

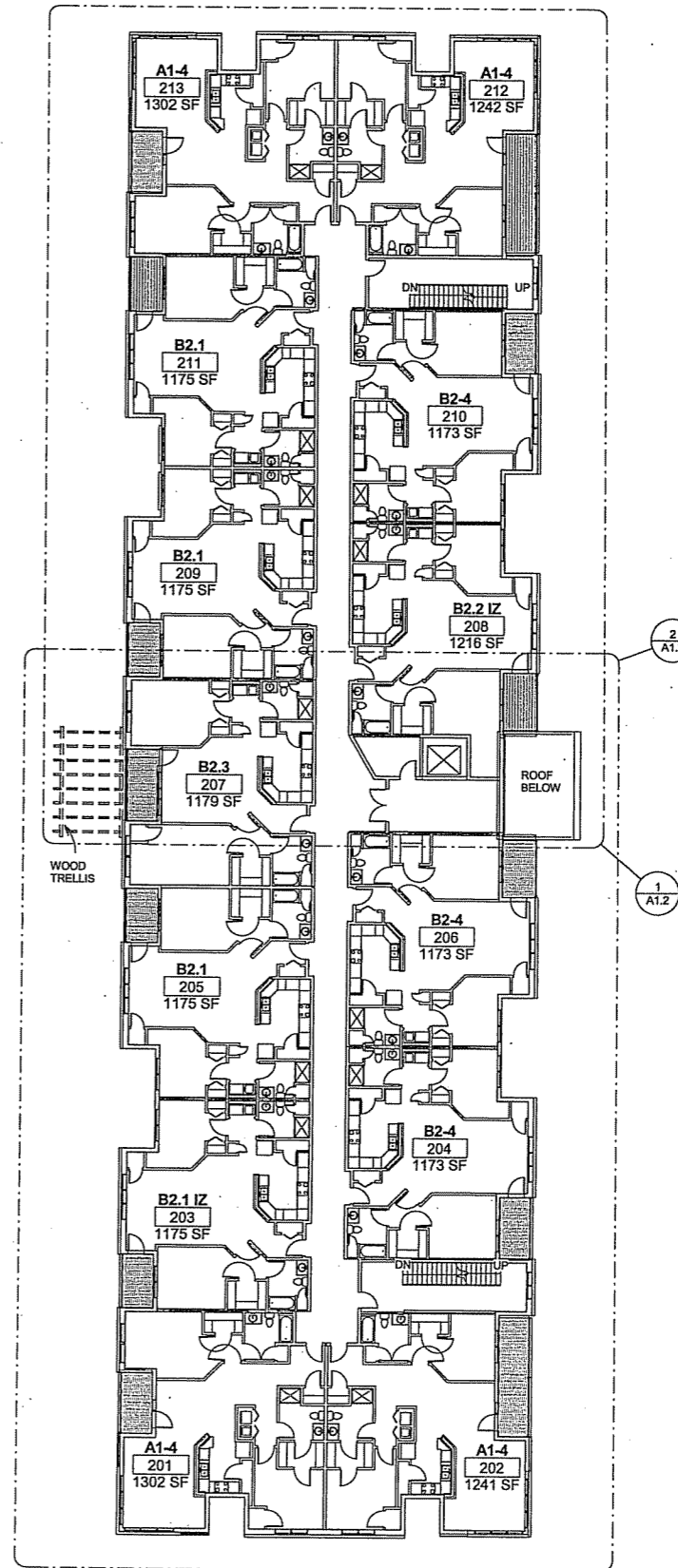
CORNER OF MAYO DRIVE &  
WALDORF BLVD  
MADISON, WI 53719



1 BASEMENT FLOOR PLAN  
1/16" = 1'-0"



2 FIRST FLOOR PLAN  
1/16" = 1'-0"



3 SECOND FLOOR PLAN  
1/16" = 1'-0"

DATE OF ISSUE: JUNE 14 2006

URBAN DESIGN SUBMISSION

REVISIONS:


PROJECT # 06018

KEY PLANS

**DIMENSION IV  
MADISON**

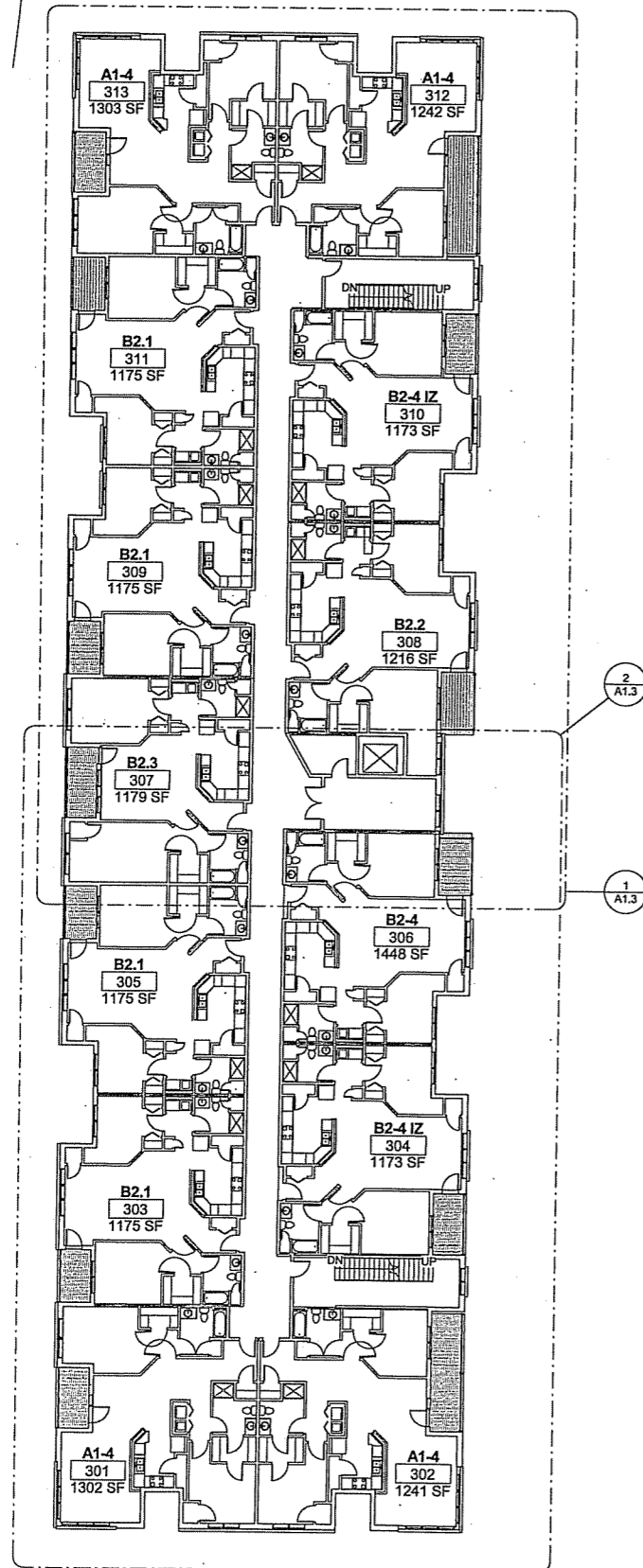
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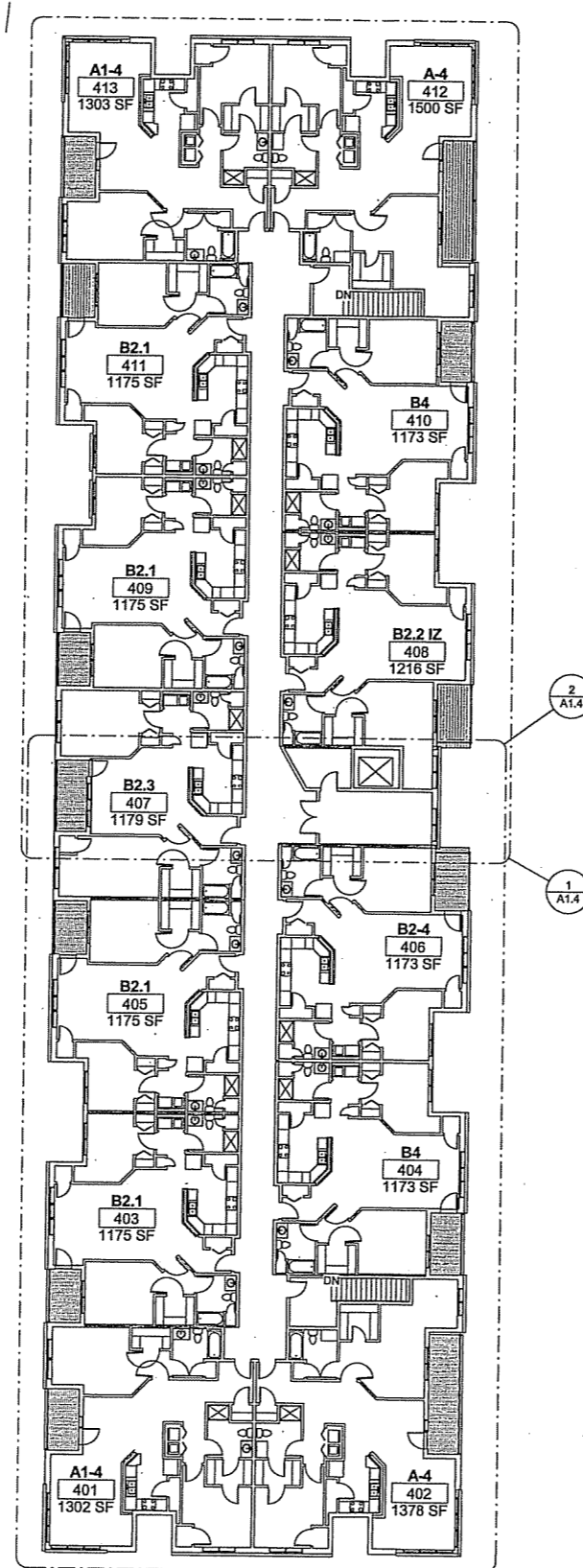
CONSULTANTS:

LOT 90 MIDTOWN

CORNER OF MAYO DRIVE &  
WALDORF BLVD  
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① THIRD FLOOR PLAN  
1/16" = 1'-0"



② FOURTH FLOOR PLAN  
1/16" = 1'-0"

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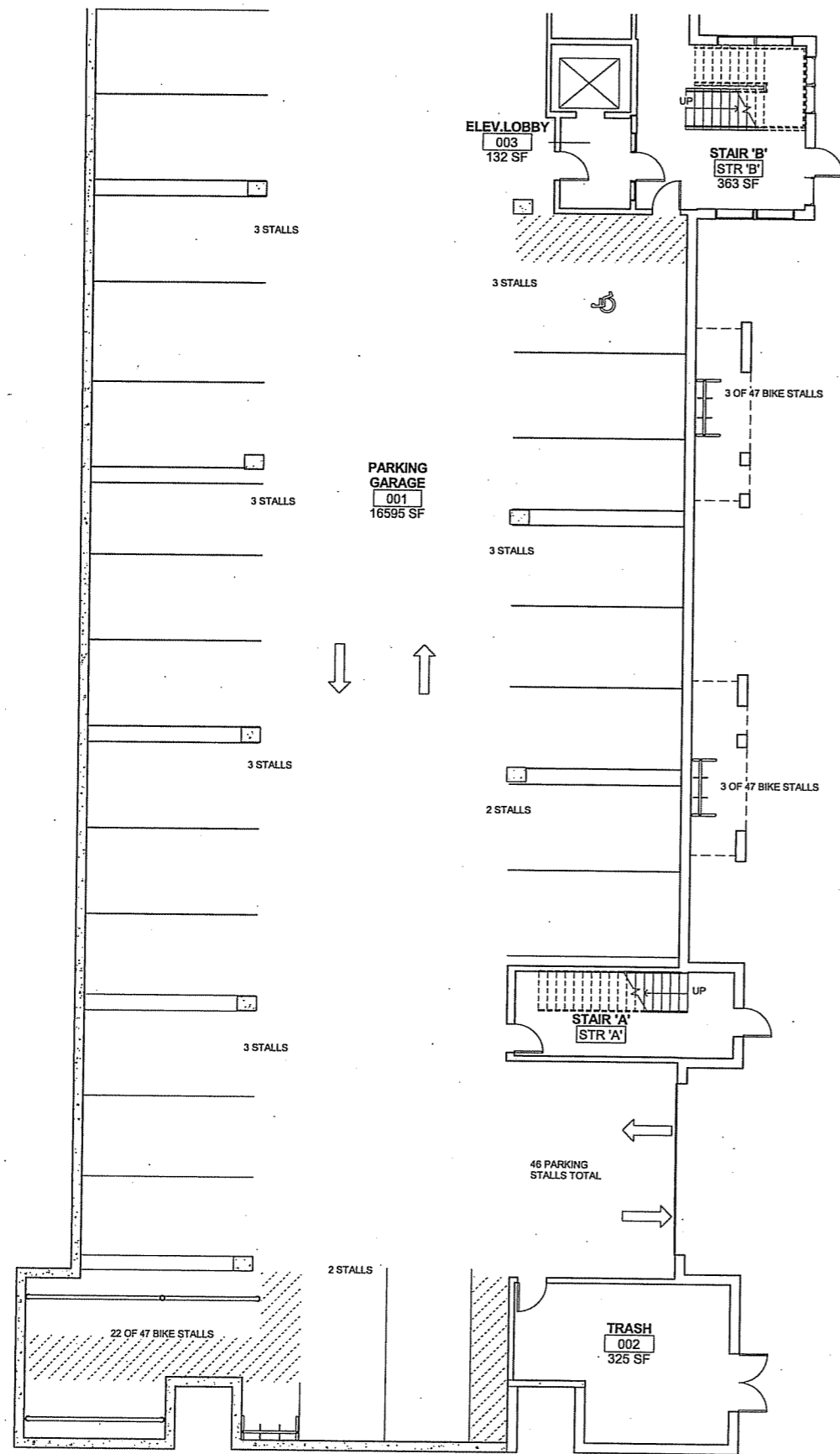
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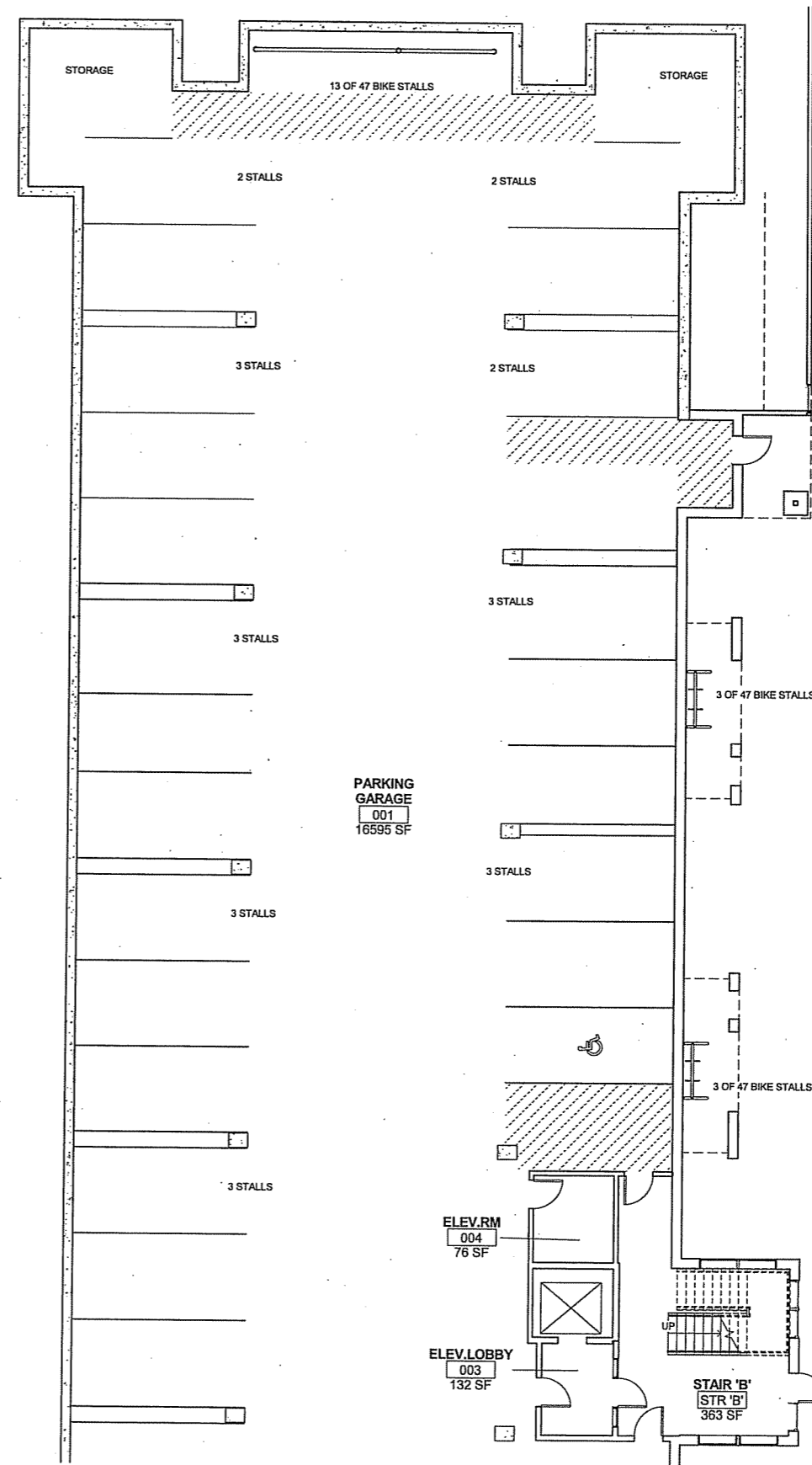
REVISIONS:

PROJECT # 06018

Basement Floor Plan



1 EAST BASEMENT FLOOR PLAN  
1/8" = 1'-0"



2 WEST BASEMENT FLOOR PLAN  
1/8" = 1'-0"



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MADISON**

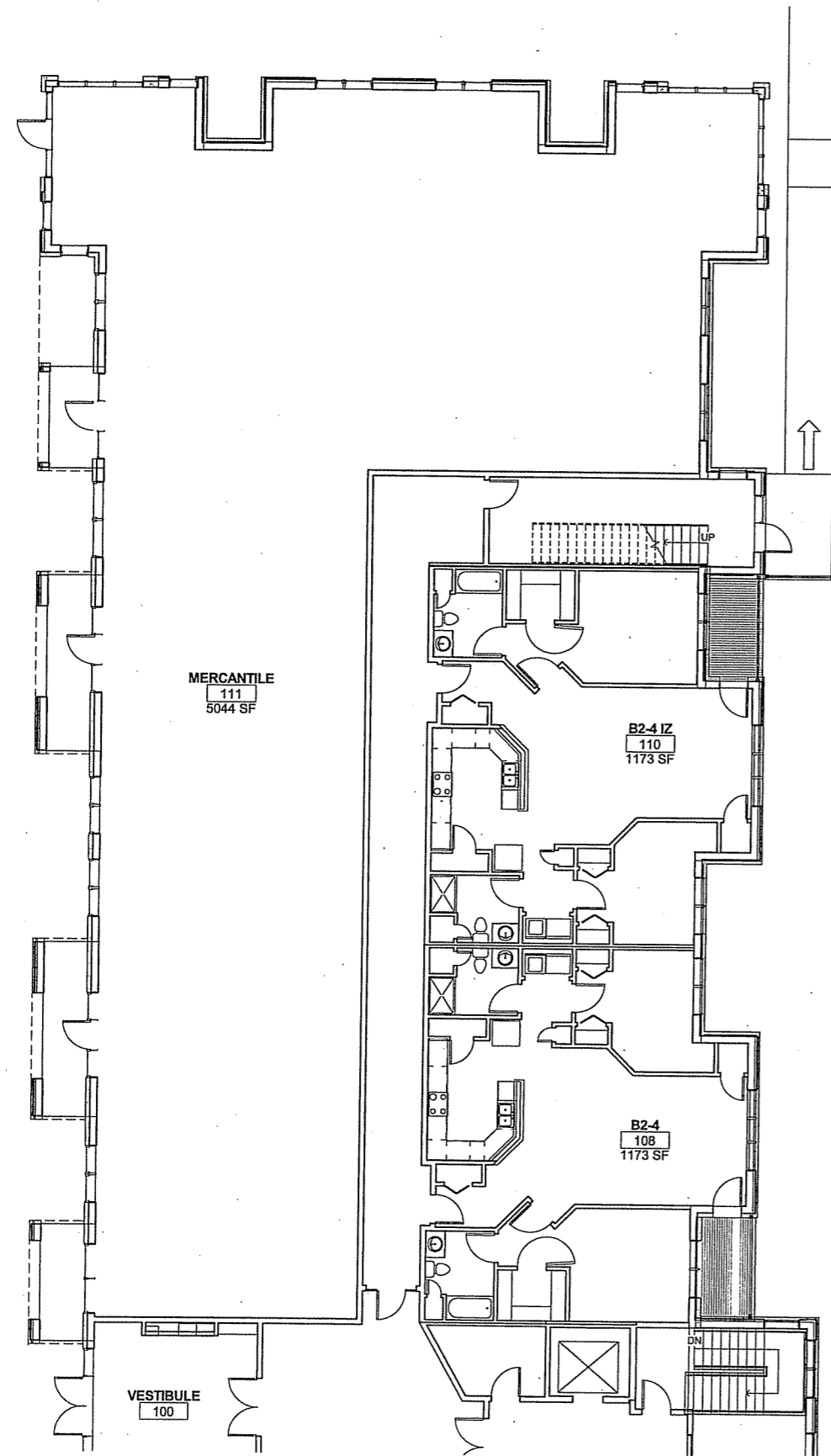
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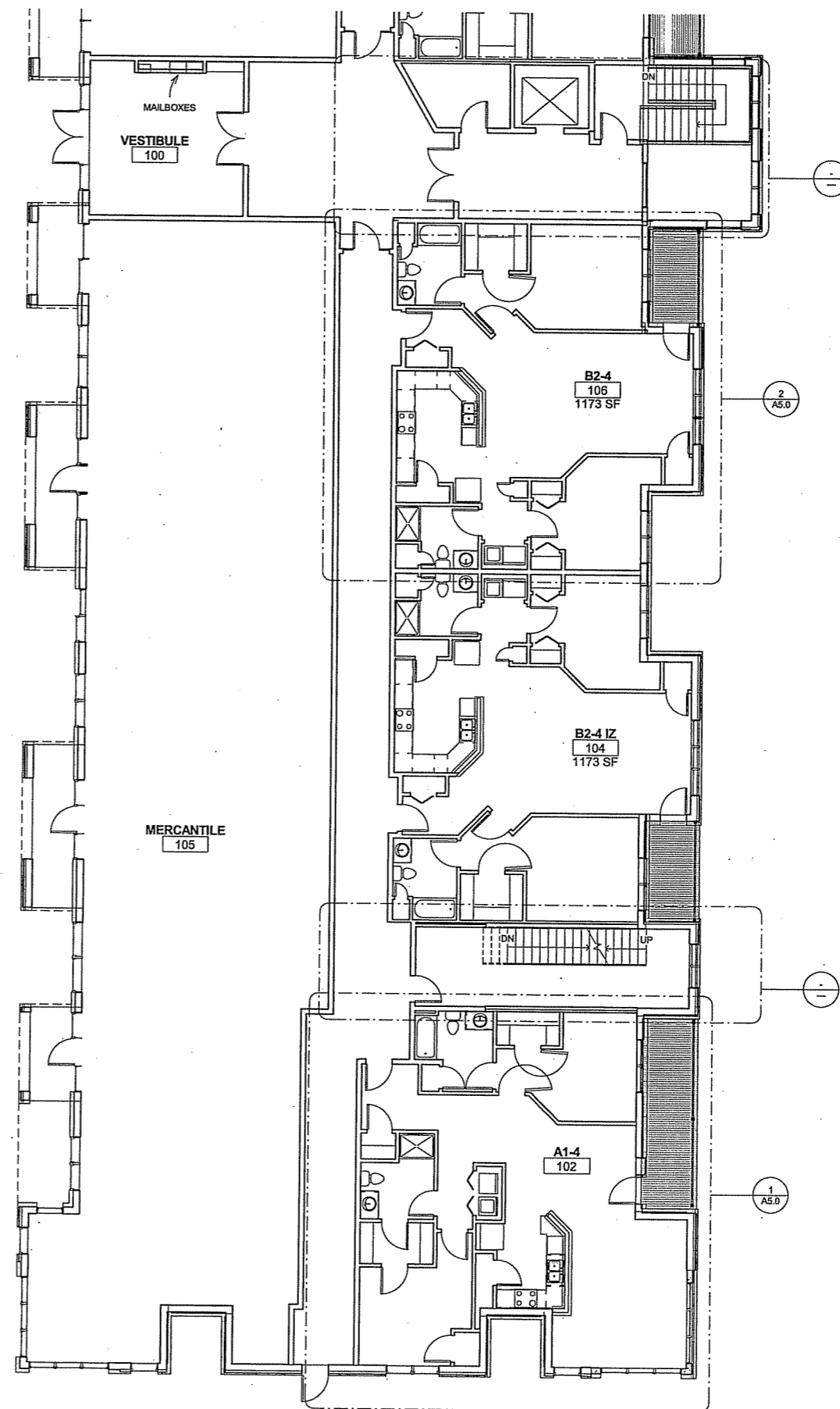
CONSULTANTS:

LOT 90 MIDTOWN

CORNER OF MAYO DRIVE &  
WALDORF BLVD  
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② WEST 1ST FLOOR PLAN  
1/8" = 1'-0"



① EAST 1ST FLOOR PLAN  
1/8" = 1'-0"

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First Floor Plan

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CONSULTANTS:

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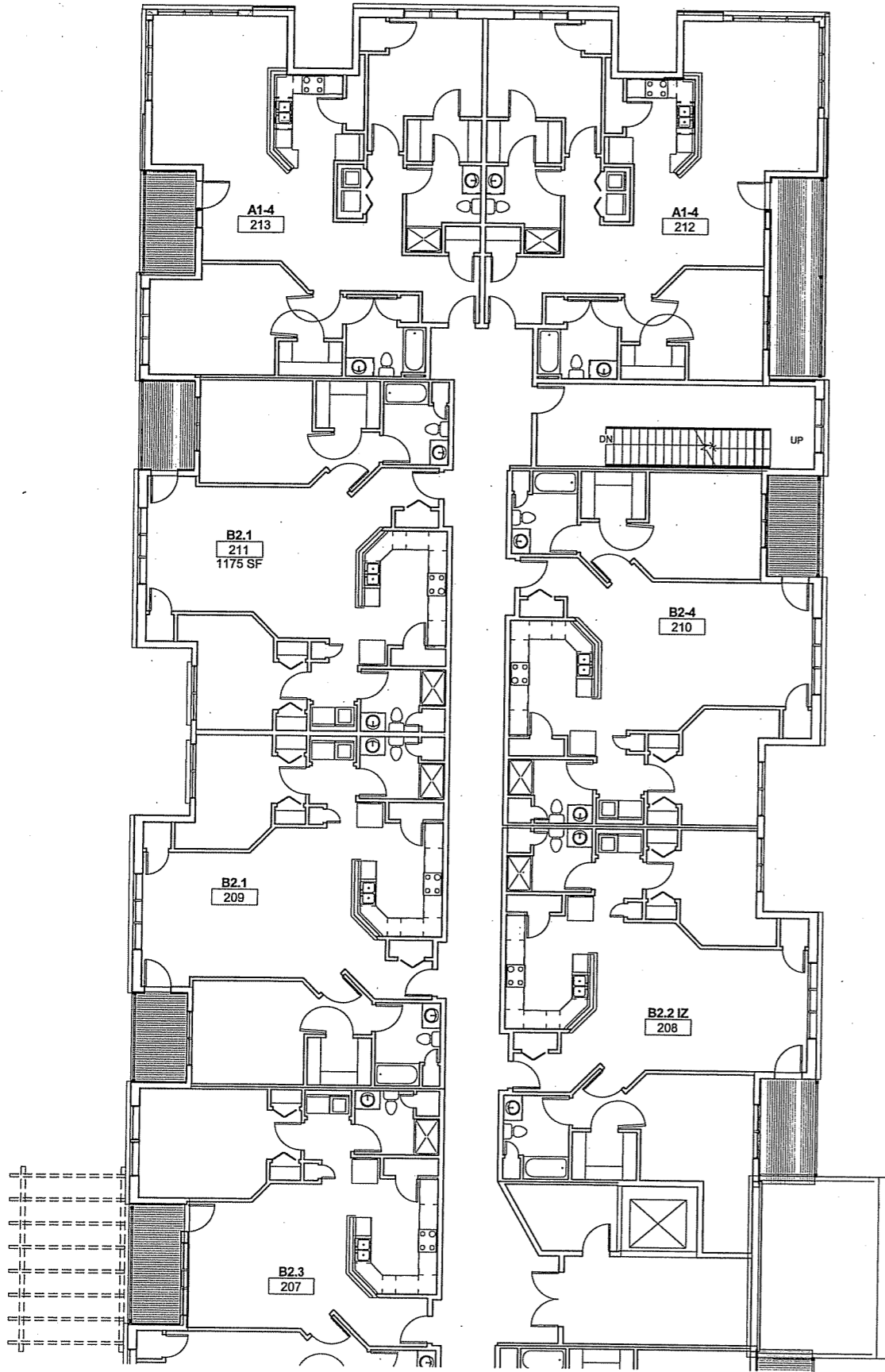
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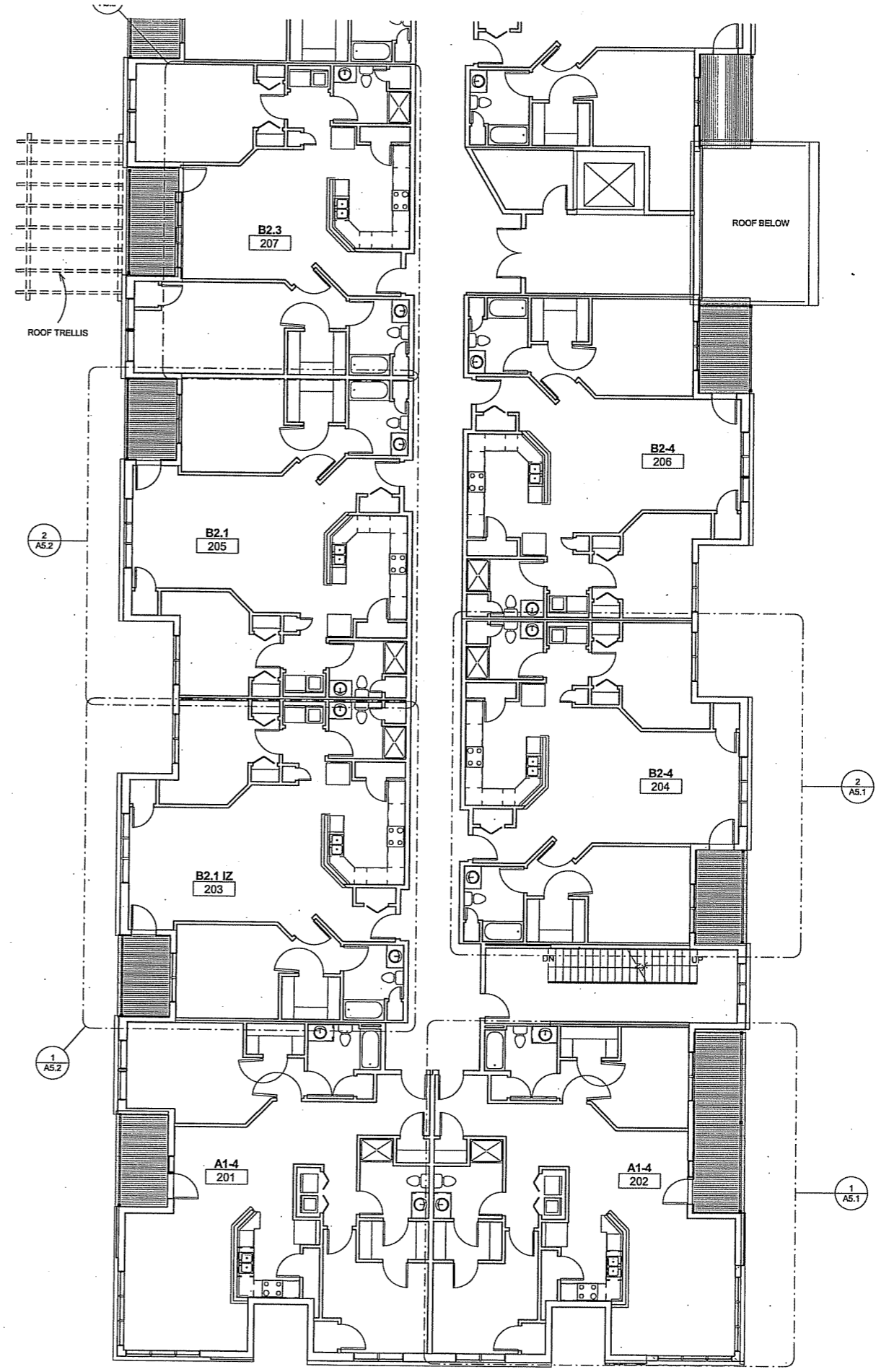
REVISIONS:


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Second Floor Plan

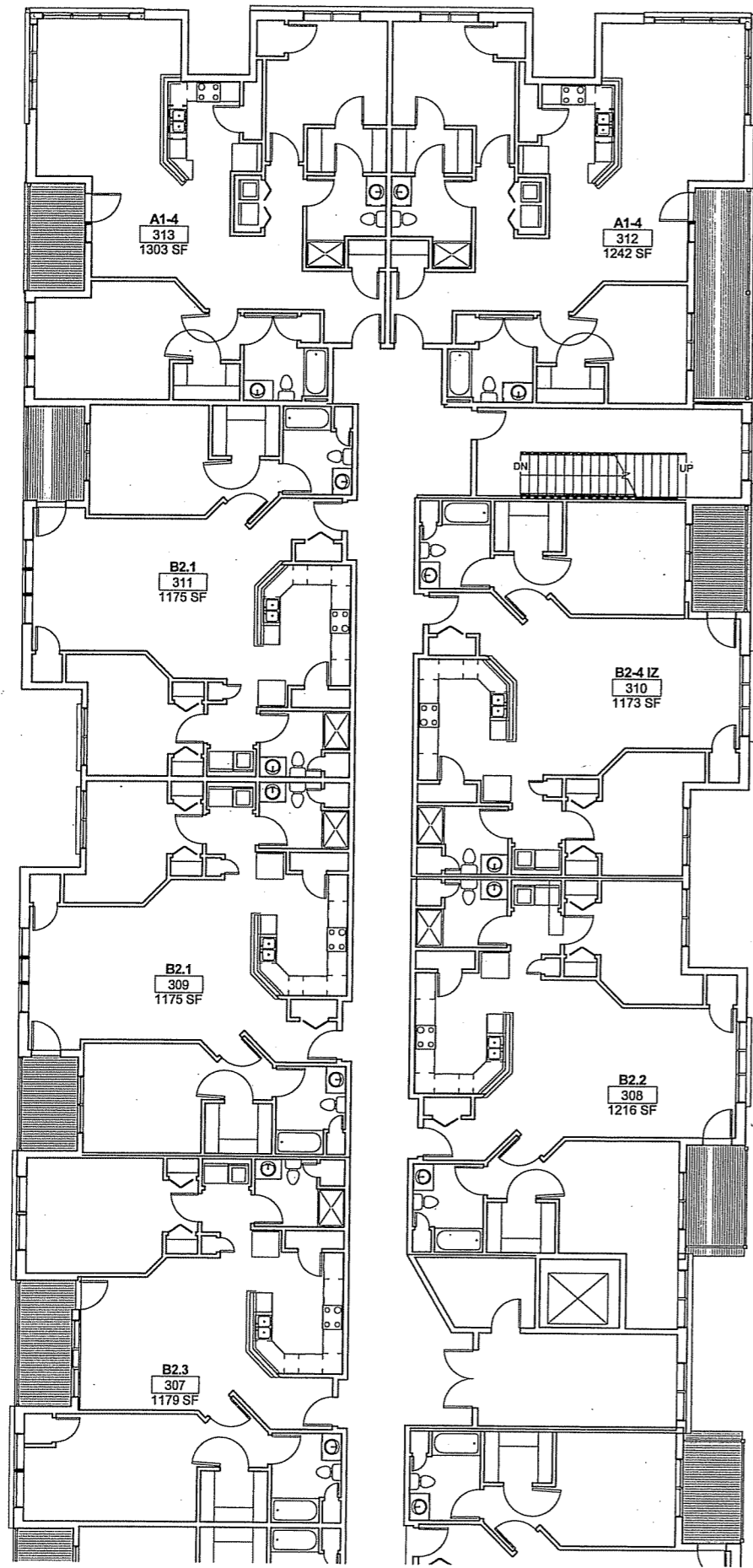


1 EAST 2ND FLOOR PLAN  
1/8" = 1'-0"

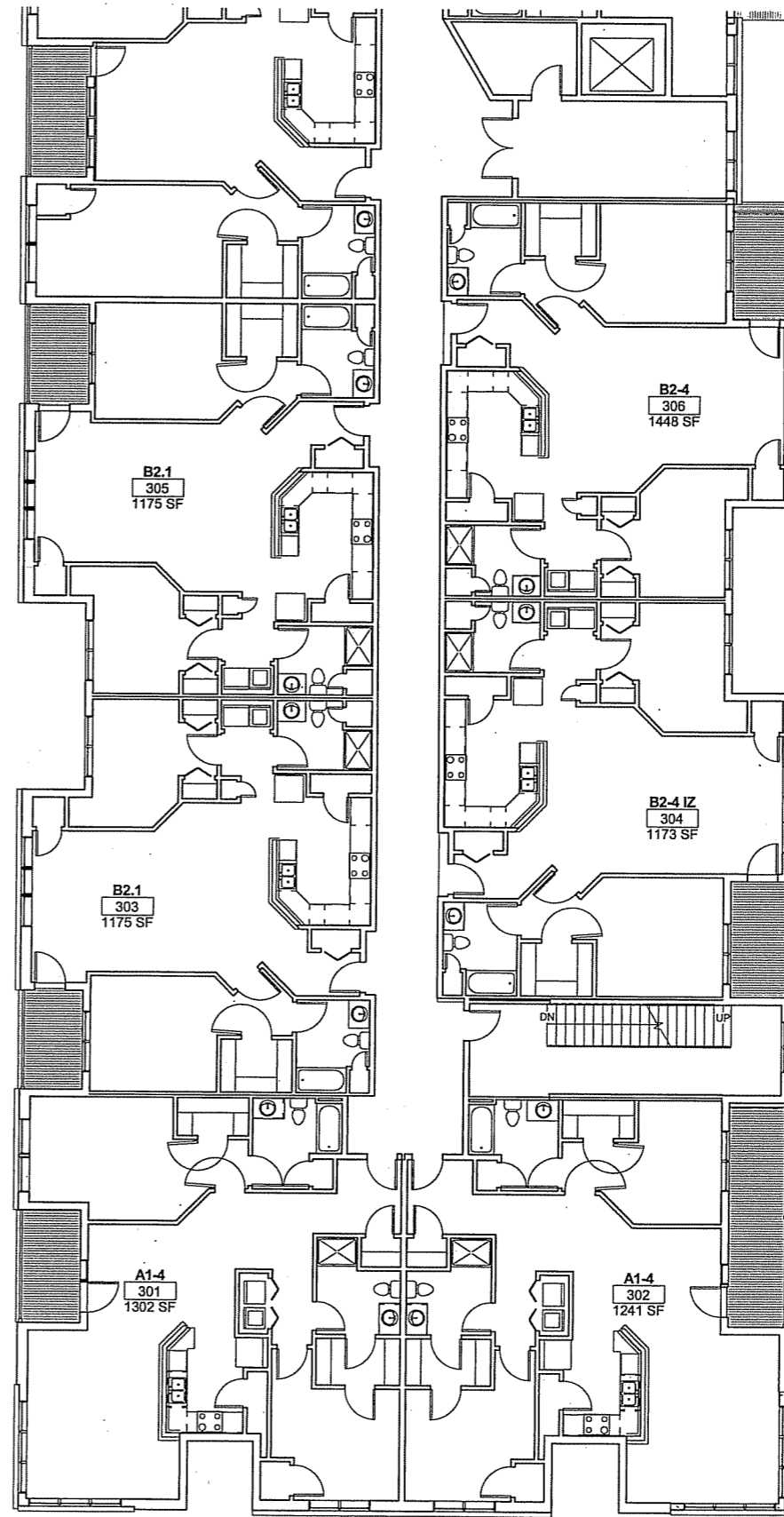


2 WEST 2ND FLOOR PLAN  
1/8" = 1'-0"





① EAST 3RD FLOOR PLAN  
1/8" = 1'-0"



② WEST 3RD FLOOR PLAN  
1/8" = 1'-0"

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Third Floor Plan

**DIMENSION IV  
MADISON**

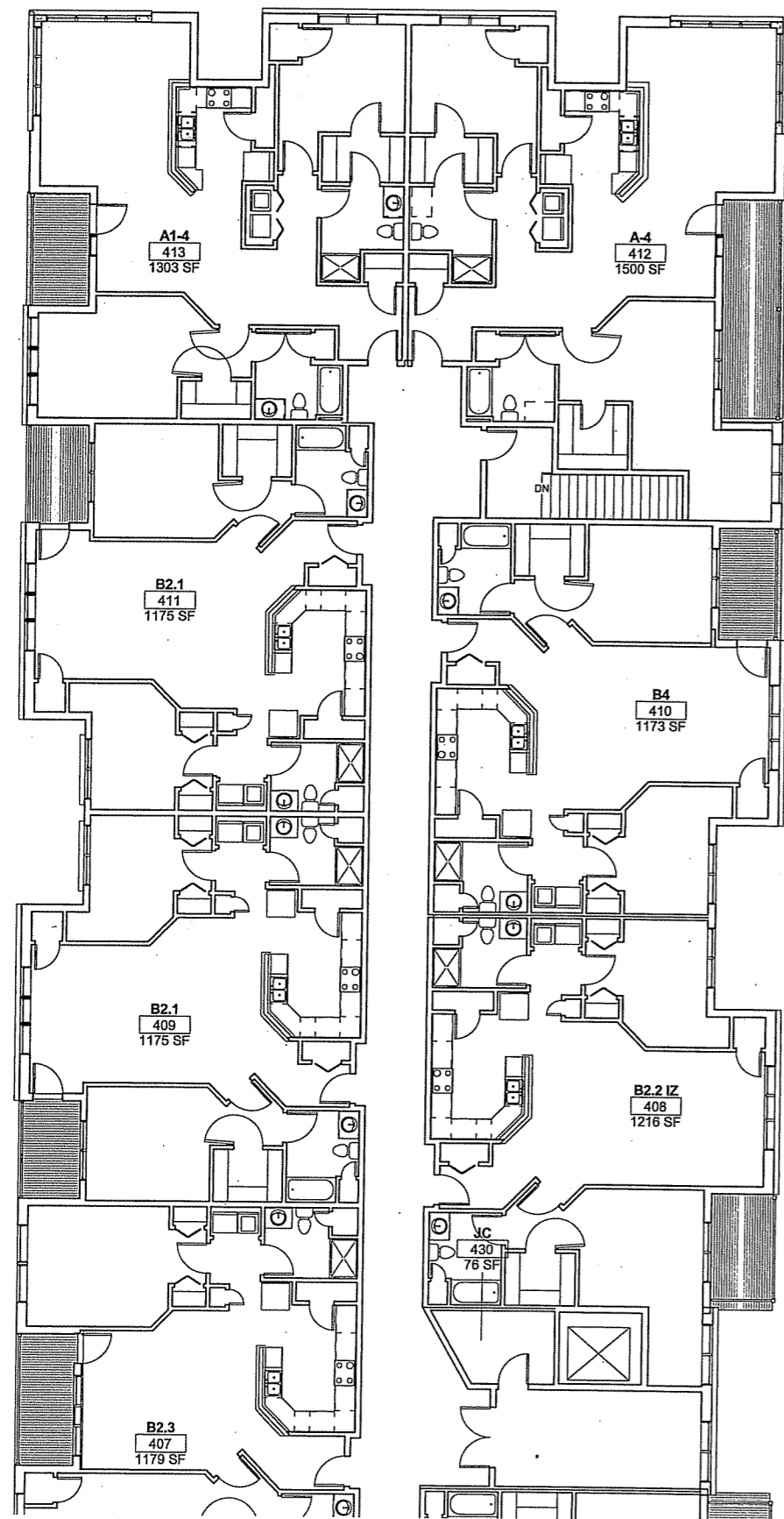
Architecture  
Engineering  
Interior Design

313 West Bellline Hwy., Suite 161  
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phone (608) 229-4444 fax (608) 229-4445

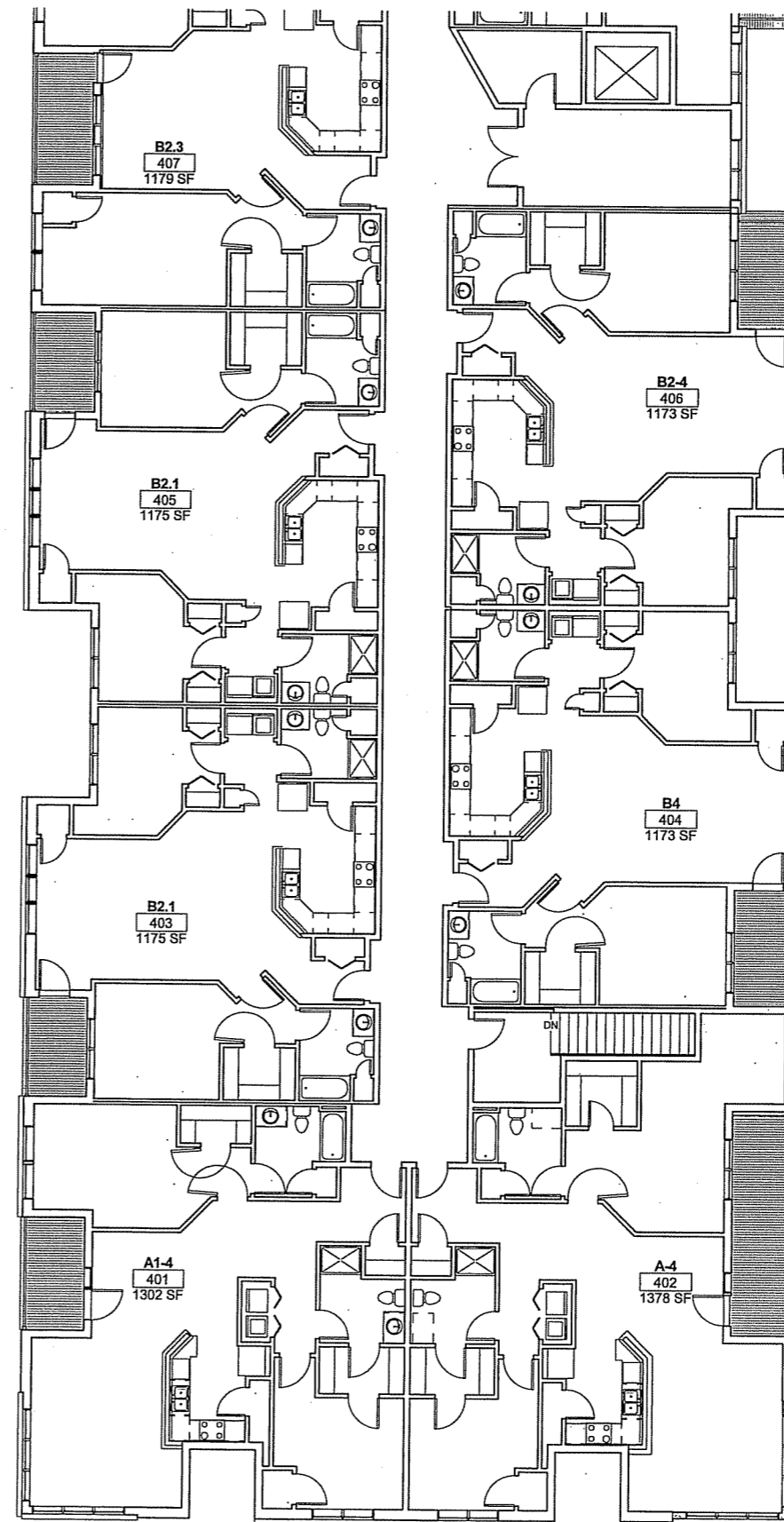
CONSULTANTS:

LOT 90 MIDTOWN

CORNER OF MAYO DRIVE &  
WALDORF BLVD  
MADISON, WI 53719



① EAST 4TH FLOOR PLAN  
1/8" = 1'-0"



② WEST 4TH FLOOR PLAN  
1/8" = 1'-0"

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REVISIONS:


PROJECT # 06018

Forth Floor Plan

# DIMENSION IV MADISON

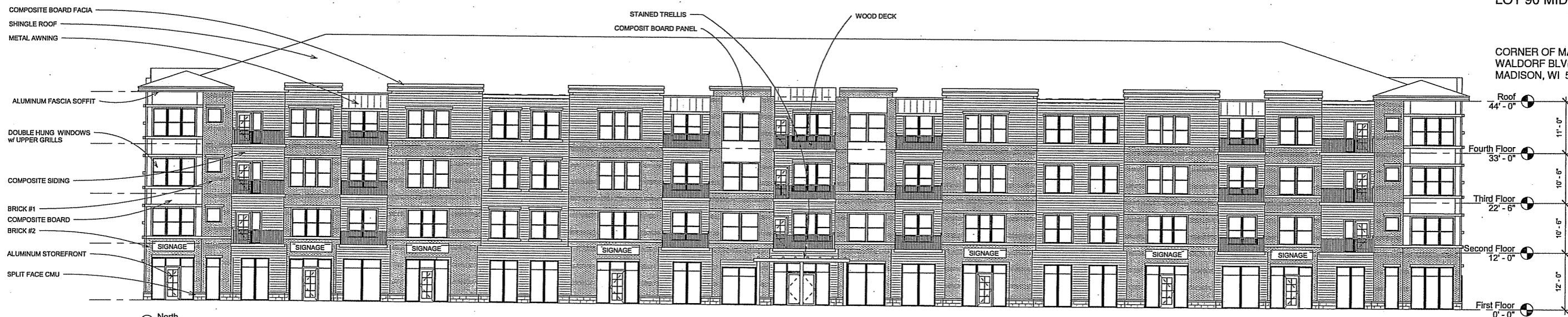
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CONSULTANTS:



② South  
3/32" = 1'-0"



① North  
3/32" = 1'-0"



③ West  
3/32" = 1'-0"



④ East  
3/32" = 1'-0"

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Exterior Elevations