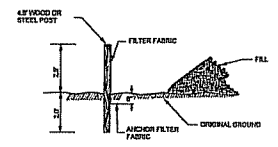
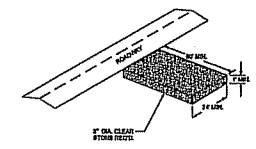


LEGEND

- ⊙ ROAD 1-1/2" SOLID ROUND IRON STAKE
- ⊙ ROAD 3/4" SOLID ROUND IRON STAKE
- UNDEGROUND ELECTRIC
- SANITARY SEWER
- WATER MAIN
- GAS MAIN
- STORM SEWER
- TELEPHONE PESTAL
- ELECTRIC TRANSFORMER
- MANHOLE
- CATCH BASIN/INLET
- LIGHT POLE
- GAS METER
- VALVE
- HYDRANT
- ACCESSIBLE PARKING SPACE
- CONC. CURB - WALK
- EXIST. CONTOUR
- PAVEMENT GRADE
- PROPOSED CONTOUR
- SILT FENCE
- TRACKING PAD
- LIMITS OF DISTURBANCE
- TOP OF CURB GRADE



SILT FENCE DETAIL
NOT TO SCALE



STONE TRACKING PAD DETAIL
NOT TO SCALE

- SITE GRADING AND EROSION CONTROL NOTES**
- Top grades and parking lot slopes have been rounded off to the nearest foot.
 - All site grading and erosion control shall conform with the City of Madison Standard Specifications and all addendums issued prior to the contract bid date.
 - Areas disturbed within any street right-of-way shall be restored with 4" topsoil, fertilizer, sand, and seeds.
 - Disturbed areas within the street right-of-way shall be restored with seed, fertilizer and mulch in its accordance with an approved landscape plan. All slopes 4:1 and greater to be treated with double row stone erosion mat.
 - Public streets and adjacent parking lots shall be cleaned daily as necessary.
 - Erosion control shall be the responsibility of the Earthwork Contractor until the site has been stabilized. Erosion measures in total shall be the minimum measure that will be acceptable.
 - The Contractor shall install additional erosion measures as requested by the project superintendent or the City of Madison within 24 hours of notification.
 - Schedule:
Erosion Control = August 8, 2007 (24 hours, Tracking pad)
Land Disturbance (removal of existing trees, removal of existing building, stump grinding and grading) = August 8, 2007
Dow = not to include building foundation, tree cutting, or foundation setting.
Parking Lot Paving = Per Contractor's Schedule
Restoration of trees and soil site = October 1, 2007
Final Landscaping Award Bidding = November 18, 2007
 - City of Madison Standard Silt fence protection shall be placed in the lot and catch basins as soon as the structure is set.
 - Preventing tracking onto Gammon and Schroeder Roads shall be the utmost concern. The period of greatest risk is during excavation and access soil removal. The contractor shall take every step as necessary by silt curtains to prevent tracking. Possible silt curtains, but are not limited by installing length of tracking pad, attaching tracking pad more often than usual, cover during severe rain days, or recycling work during wet conditions.

CONTRACTOR TO DEMONSTRATE BY A 6\"/>

SITE GRADING AND EROSION CONTROL PLAN

FN: 07-05-120 DATE: 08-08-07

SCALE:
1" = 20'

D'AMICO ENGINEERS AND ASSOCIATES, INC.
7539 Woodland Way, Madison, WI 53717
Phone: 608.253.2310 Fax: 608.253.1089
1000 NORTH KENNEDY DRIVE, SUITE 1000, MADISON, WI 53704

TJK
DESIGN/BUILD

634 WEST MAIN STREET
MADISON, WI 53703
608-257-1090
FAX 608-257-1092

PROPOSED FACILITY FOR:
SJR ENTERPRISES, LLC
821 SOUTH GAMMON ROAD
MADISON, WISCONSIN

C-1.3

06.06.07



634 WEST MAIN STREET
MADISON, WI 53703
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FAX 608-257-1092

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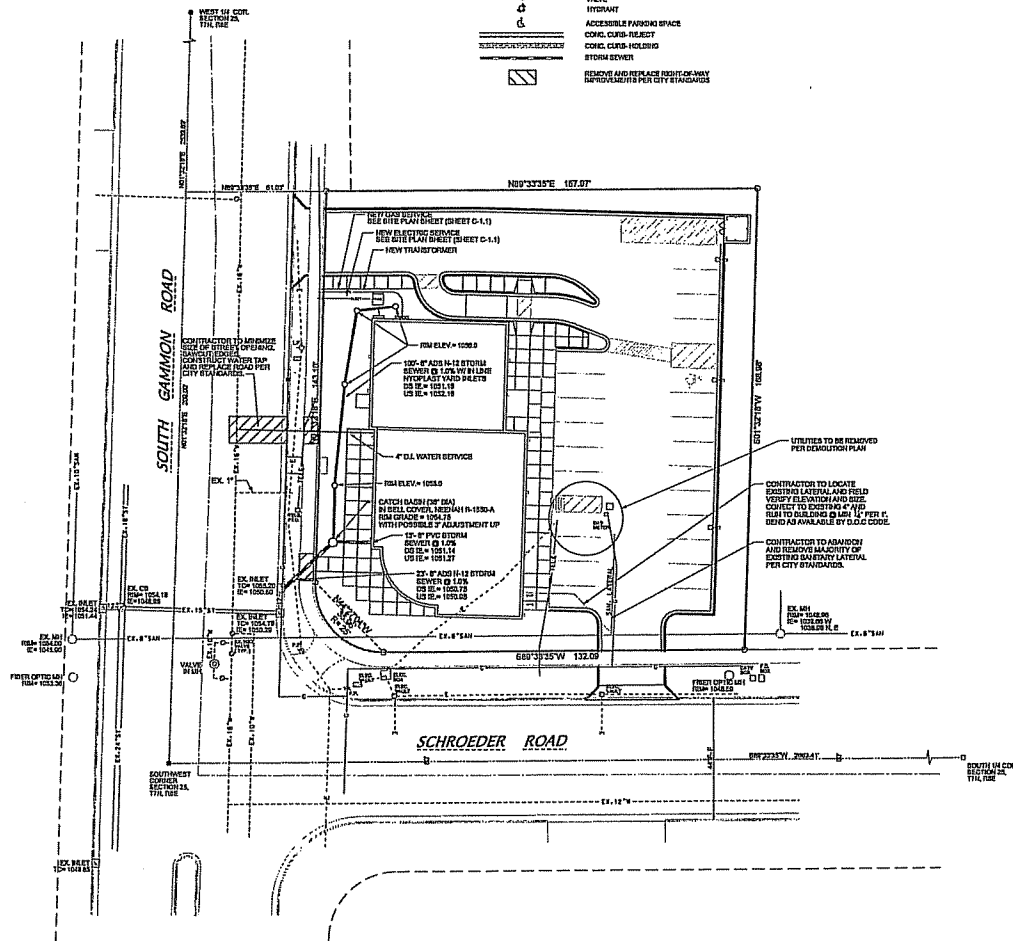
821 SOUTH GAMMON ROAD
MADISON, WI 53703

C-14

06.06.07

LEGEND

- ⊙ FOUND 4" W/ SOLID ROUND HIGH STAKE
- ⊙ FOUND 24" SOLID ROUND HIGH STAKE
- EX. UNDERGROUND ELECTRIC
- EX. SANITARY SEWER
- EX. WATER MAIN
- EX. GAS MAIN
- EX. STORM SEWER
- TELEPHONE PEDESTAL
- ELECTRIC TRANSFORMER
- MANHOLE
- CATCH BASIN/BOCKET
- LIGHT POLE
- GAS METER
- VALVE
- HYDRANT
- ACCESSIBLE PARKING SPACE
- CONAL CURB-HOLECT
- CONAL CURB-HOLDING
- STORM SEWER
- ▨ REMOVE AND REPLACE SIDEWALKWAY
REPAIRS/ASPH PER CITY STANDARDS



- NOTE: 1. WORK WITHIN THE CITY OF MADISON SHALL BE COMPLETED IN CONFORMANCE WITH CITY OF MADISON STANDARD SPECIFICATION.
2. ALL SIDEWALK SHALL BE REMOVED AND REPLACED BETWEEN THE BAYCUT LINES PER CITY OF MADISON STANDARD SPECIFICATION.
3. CONTRACTOR TO ABANDON EXISTING WATER SERVICE PER CITY OF MADISON STANDARDS.
4. TERRACE AND SIDEWALK DISTURBANCE AREAS OF NEW GAS ELECTRIC INSTALLATION SHALL BE REPAIRED PER CITY SPECIFICATIONS.
5. ROOF DRAIN PIPE CONNECTION TO CATCH BASIN TO BE MADE BY BUILDING CONTRACTOR TO GUARANTEE BLOWER/VENT COORDINATION.

SITE UTILITY PLAN



SCALE:
1" = 20'

FN: 07-05-120 DATE: 09-08-07

TJK DESIGNBUILD, LLC
7510 Woodland Way, Madison, WI 53717
Phone: 608.257.1090 • Fax: 608.257.1092
YOUR BESTIAL REFERENCE FOR LAND DEVELOPMENT

CITY OF MADISON - LANDSCAPE POINTS REQUIREMENTS

NUMBER OF PARKING STALLS _____ 22
 NUMBER OF 2" - 2 1/2" CAL. SHADE TREES REQUIRED _____ 2
 LOADING BERTH PLANTING REQUIREMENT: 1 BERTH x 75 POINTS/BERTH _____ 75
 NUMBER OF LANDSCAPE POINTS REQUIRED _____ 108
 TOTAL LANDSCAPE POINTS REQUIRED _____ 183

LANDSCAPE POINTS SOLUTION ELEMENT	POINT VALUE	QTY	POINTS ACHIEVED	CREDITS QTY	POINTS
CANOPY TREES 2"-2 1/2"	35	2	70	-	-
DECIDUOUS SHRUBS	3	3	9	-	-
EVERGREEN SHRUBS	5	14	70	-	-
DECORATIVE WALL OR FENCE (PER 10 L.F.)	10	-	-	-	-
EARTH BERM (PER 10 L.F.) AVERAGE HEIGHT - 30" AVERAGE HEIGHT - 15"	10 5	-	-	-	-
EVERGREEN TREES 3' HT. MIN.	30	-	-	-	-
CANOPY TREES OR SMALL ORNAMENTAL TREES 1 1/2"-2"	30	3	90	-	-
SUBTOTALS			239	+	-

TOTAL POINTS

239

Approved by: _____ Date: _____

PLANT SCHEDULE

Deciduous Trees

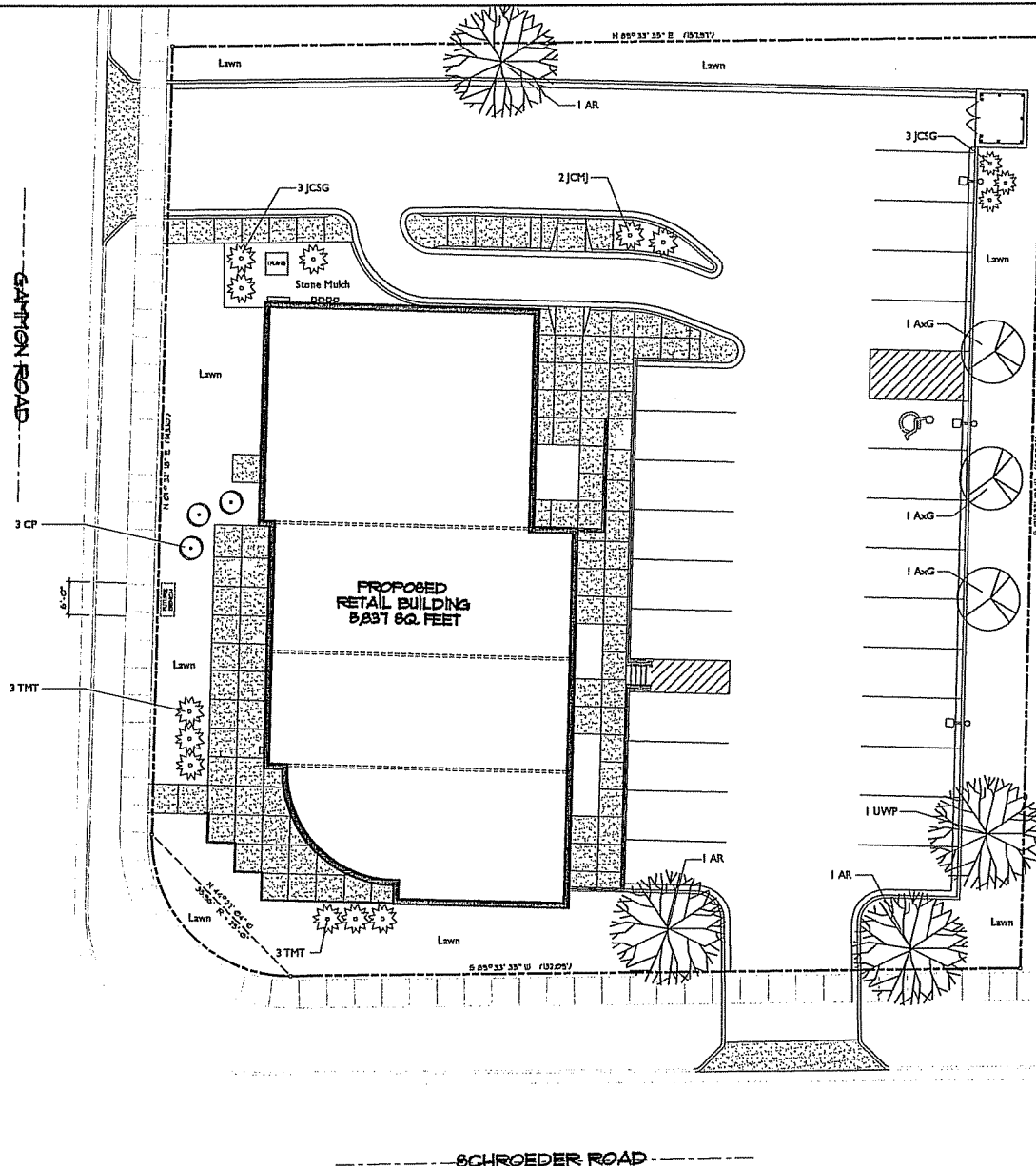
Key	Botanical Name	Common Name	Qty	Planting Size/Root Spec.
AxG	<i>Amelanchier x grandiflora</i>	Apple Serviceberry (multi-stem)	3	2" B&B
AR	<i>Acer rubrum 'October Glory'</i>	October Glory Red Maple	3	2" B&B
UWP	<i>Ulmus wilsoniana 'Prospector'</i>	Prospector Elm	1	2" B&B

Evergreen Shrubs

Key	Common Name	Common Name	Qty	Planting Size/Root Spec.
JCMJ	<i>Juniperus chinensis 'Mint Julep'</i>	Mint Julep Juniper	2	18" CONT
JCSG	<i>Juniperus chinensis 'Sea Green'</i>	Sea Green Juniper	6	18" CONT
TMT	<i>Taxus x media 'Taunton'</i>	Taunton Yew	6	18" CONT

Deciduous Shrub

Key	Common Name	Common Name	Qty	Planting Size/Root Spec.
CP	<i>Comptonia peregrina</i>	Sweetfern	3	18" CONT



PROPOSED LANDSCAPE PLAN
 C-15 SCALE: 1" = 10'-0"



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REVISION DATE

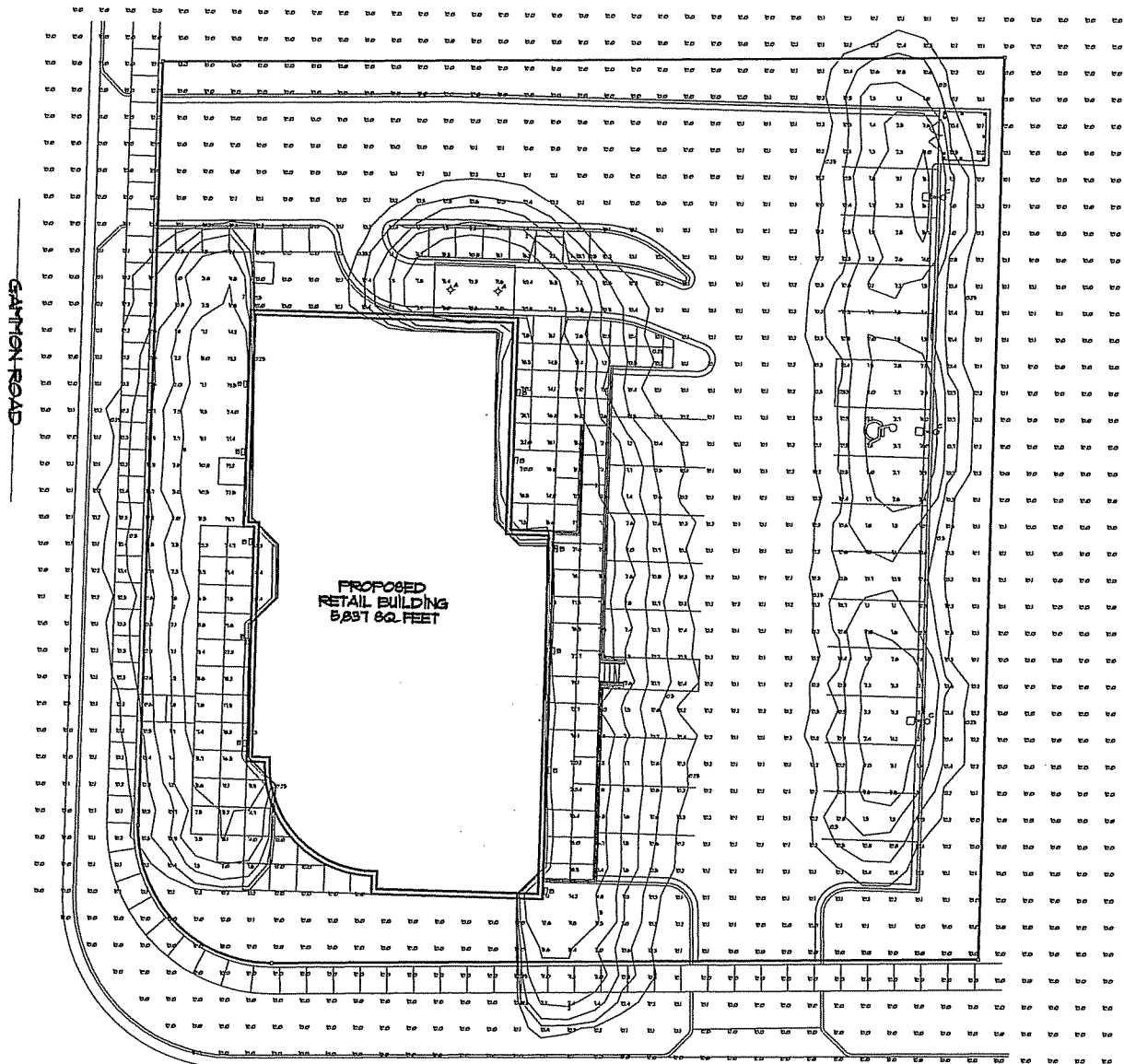
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 APPROVED BY TJK DESIGN STUDIO

PROPOSED FACILITY FOR
SJR ENTERPRISES, LLC

831 SOUTH GATTON ROAD
 MADISON, WISCONSIN

C-15

66.07



PROPOSED
RETAIL BUILDING
8,831 SQ. FEET

GANTION ROAD

SCHROEDER ROAD

1 PROPOSED PHOTOMETRIC PLAN
C-16 SCALE: 1" = 10'-0"

- LIGHT FIXTURE KEY**
- 1) 100 WATT 10" BALL-BULB WITH DEEP SHELDON, ROAD CATALOG #E8407-D (11'-0" FROM GRADE)
 - 2) 100 WATT 10" BALL-BULB ON CONCRETE, SQUARE FOOTING ROAD CATALOG #A8407-D (PROVIDE LEVISED AT ALL COLLARS, ROAD CATALOG #A8407-D)
 - 3) 100 WATT 10" BALL-BULB ON CONCRETE, SQUARE FOOTING ROAD CATALOG #A8407-D (PROVIDE LEVISED AT ALL COLLARS, ROAD CATALOG #A8407-D)



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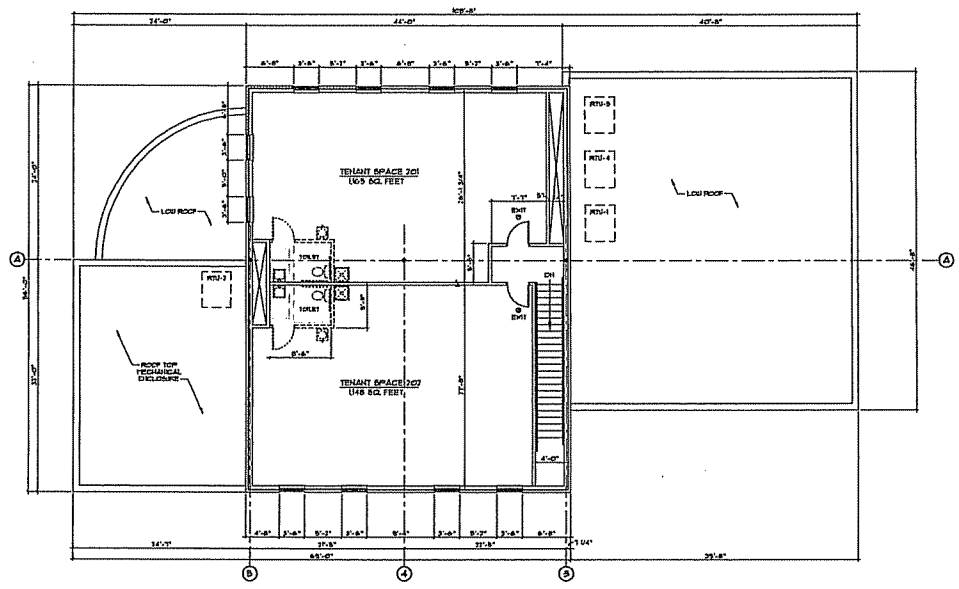
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SJR ENTERPRISES, LLC
CORNER OF GANTION + SCHROEDER ROADS
MADISON, WISCONSIN

C-16

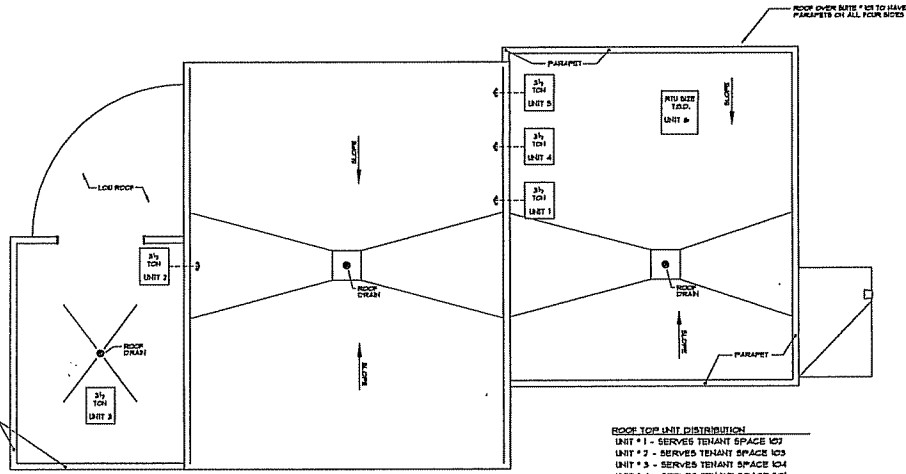
6.6.07

REVISION	DATE



PROPOSED SECOND FLOOR PLAN
A-12 SCALE: 1/8" = 1' - 0"

- GENERAL NOTES** **SUITE # 101, # 102 CONSTRUCTION NOTES**
- TYPICAL TENANT: 3" W/16 GAUGE STEEL STUDS AT 16" O.C. FULL HEIGHT STEEL BOUD
OUTSIDE WALL: ATTENTION TO DETAILS IN THIS GARAGE AND ALL OTHER WALL
DOORS TO MATCH KEYS TO STRUCTURE (AS SHOWN ON DRAWINGS)
1 1/2" AND FINISH TO 4" READY ROOF PANEL
1. LIGHT BOWS SHALL BE ILLUMINATED AT ALL TIMES. BOWS CONTAIN ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS. LIGHT BOWS SHALL BE CONNECTED TO BATTERY AS PER ELECTRICAL. BATTERIES PROVIDED FROM STORAGE BATTERIES.
 2. PROVIDE AN EMERGENCY ILLUMINATION POWER ALSO EXISTING PARTS IN ACCORDANCE OF IBC ELECTRICAL CODE. ILLUMINATION IS TO LAST FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES (INTERIOR & EXTERIOR)
 3. ELECTRIC CONTRACTOR TO PROVIDE OVERSEER OUTLETS BASED ON 1.5 IN. OUTLET PER 60 SQ. FT.
 4. ELECTRIC CONTRACTOR TO PROVIDE PRACTICAL LED, FLUORESCENT, & HALL LAY-IN LIGHT FIXTURES BASED ON 1 FIXTURE PER 60 SQ. FT.
 5. EACH TENANT SPACE IS TO HAVE AN ACCESSIBLE ELEVATOR BOTTLE PROVIDED WITH AN EMERGENCY RELEASE CLIPS PURSUED BY TENANT (NO PLUMBING) ELECTRICAL TO PROVIDE OUTLET FOR COOLERS.
 6. PROVIDE AND INSTALL STANDARD 7 x 4 FIBERGLASS CELLS TILE IN STANDARD GRID AT 16" O.C.
 7. PROVIDE AND INSTALL DUCTWORK, FLEX AND DIFFUSERS AND CELLS GRID FOR STANDARD "WHITE-COAT"
- RESTROOM TOILET ROOM NOTES:**
- BATHROOM LIGHTING TO BE A SINGLE T8 - USE SURFACE MOUNTED BRAN FIXTURE
 - BATHROOM FLOORING TO BE VET. AND 4" VINYL COVER BASE
 - BATHROOM DOORS TO BE 3'-0" x 7'-0" SOLID CORE GRC DOOR IN SILLUSI METAL FRAMES WITH 4" TYPED PRIVACY LOCKS. DOORS TO BE SHARED / FRAMES TO BE PAINTED
 - BATHROOMS TO HAVE SHAMPOO BARS VENTED THRU ROOF BY HVAC CONTRACTOR
 - PLUMBING CONTRACTOR TO PROVIDE 7.5 - GALLON ELECTRIC WATER HEATER MOUNTED ABOVE ROOF ON FINISHED PLUMBING
 - 7 x 4 VINYL COATED METALROCK CELLS AT 8" O.C.

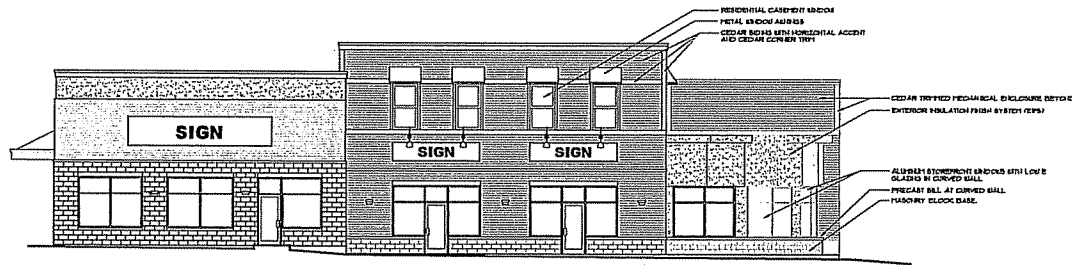


ROOF PLAN / RTU PLACEMENT
A-12 SCALE: 1/8" = 1' - 0"

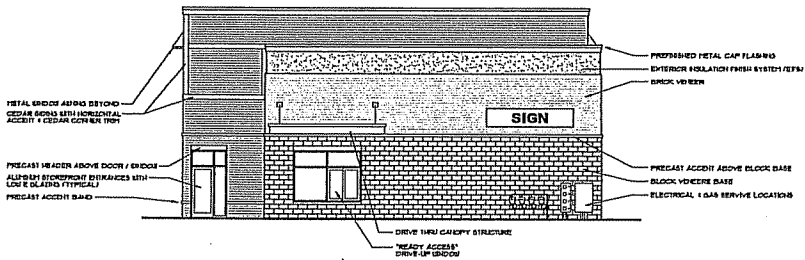
CONTRACTING DRAWINGS
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS AUTHORIZED BY THE DESIGN BUILD

PROPOSED FACILITY FOR:
SJR ENTERPRISES, LLC
821 SOUTH GARDNER ROAD
MADISON, WISCONSIN

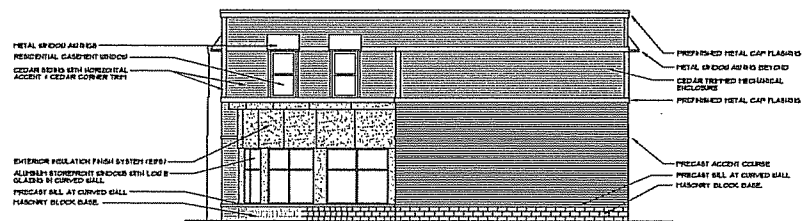
A-12



2 EAST ELEVATION
A-21 SCALE: 1/8" = 1' - 0"



3 NORTH ELEVATION
A-21 SCALE: 1/8" = 1' - 0"



4 SOUTH ELEVATION
A-21 SCALE: 1/8" = 1' - 0"



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PROPOSED FACILITY FOR:
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871 SOUTH GAYTON ROAD
MADISON, WISCONSIN

A-21

6607