

PRELIMINARY PLANS  
FOR



John Nolan Drive  
City of Madison, Wisconsin

CIVIL DRAWINGS SHEETS C1-C5 PREPARED BY STS

- C1 EXISTING SITE CONDITIONS
- C2 SITE LAYOUT PLAN
- C3 GRADING AND EROSION CONTROL PLAN
- C4 UTILITY PLAN
- C5 SITE DETAILS
- S1 ARCHITECTURAL SITE PLAN prepared by Design II

LANDSCAPING DRAWINGS SHEETS L1-L3 PREPARED BY SAA

- L1 LANDSCAPE PLAN
- L2 LANDSCAPE DETAILS
- L3 LIGHTING PLAN

ARCHITECTURAL PLANS SHEETS A1-A10 PREPARED BY DESIGN II  
SHEETS A11-A14 PREPARED BY KAHLER SLATER

- A1 FIRST FLOOR PLAN
- A2 SECOND FLOOR AND THIRD FLOOR PLANS
- A3 THIRD FLOOR PLAN
- A4 FOURTH FLOOR PLAN
- A5 FIFTH FLOOR PLAN
- A6 ROOF PLAN
- A7 BASEMENT PLAN
- A8 EXTERIOR ELEVATIONS
- A9 EXTERIOR ELEVATIONS
- A10 EXTERIOR ELEVATIONS
- A11 RESTAURANT ELEVATIONS
- A12 RESTAURANT ELEVATIONS
- A13 3D ELEVATIONS
- A14 3D ELEVATIONS



KahlerSlater

design II



STS | AECOM



fratellos  
WATERFRONT RESTAURANT  
AND BREWERY

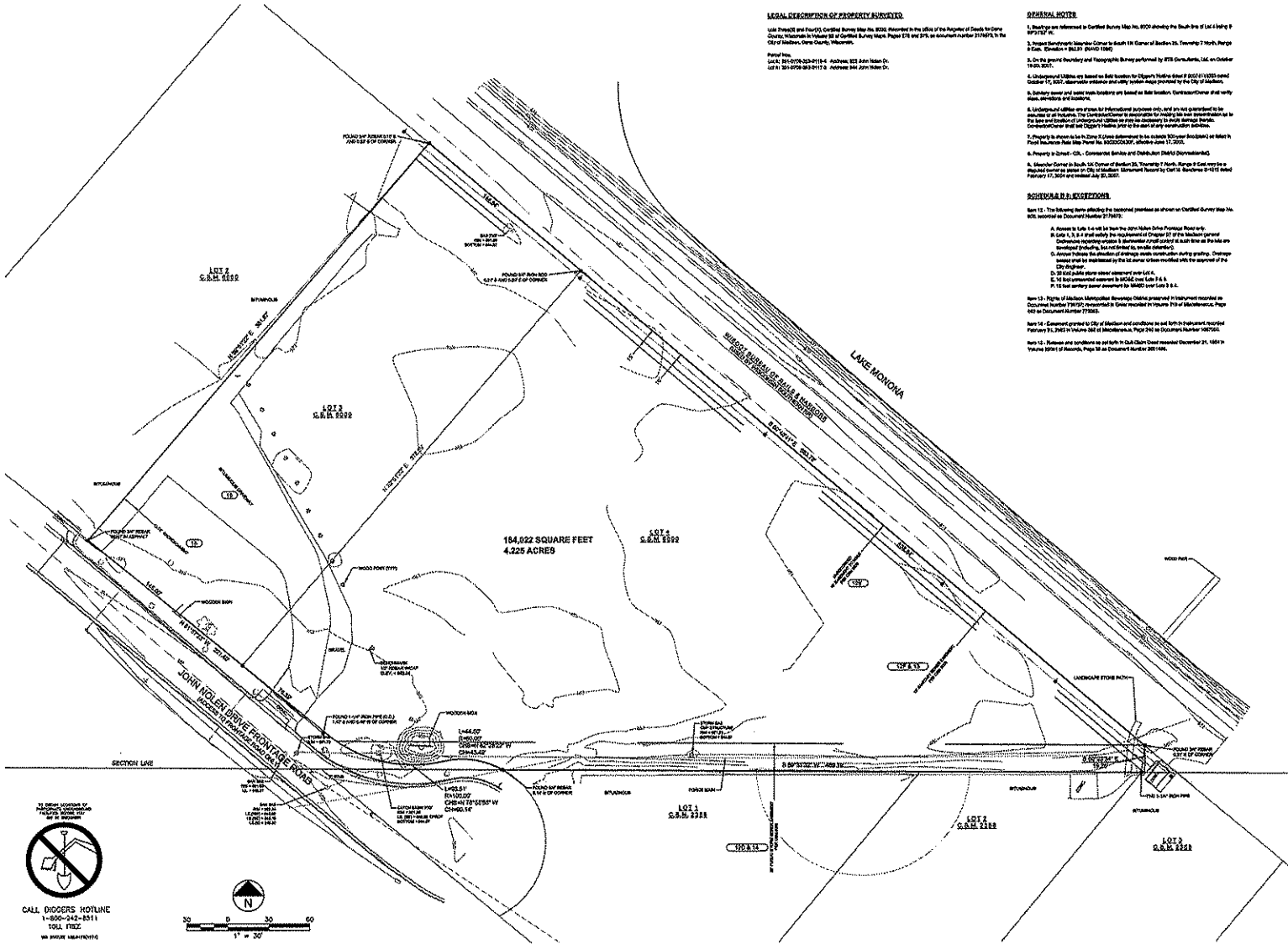
Image Name

SHEET NAME  
COVER SHEET

MADISON • ALOFT / FRATELLO'S

• 18 JUNE 2008

- LEGEND**
- PROPERTY LINE
  - EXISTING LOT LINE
  - UNDERGROUND ELECTRIC
  - UNDERGROUND STEAM CONDENSED RETURN
  - UNDERGROUND SANITARY SEWER
  - UNDERGROUND GAS
  - UNDERGROUND ELECTRICITY
  - UNDERGROUND FIBER OPTIC
  - UNDERGROUND WATER MAIN
  - EXISTING TRENCH
  - RAILROAD TRACKS
  - EDGE OF WATER
  - TRAIL LINE
  - FOUND IRON ROD (IN TRENCH)
  - FOUND IRON PIPE (IN TRENCH)
  - ⊕ POWER POLE
  - ⊙ STORM MANHOLE
  - CATCH BASIN / RESERVE
  - CAST IRON / ROUND
  - ~ WATER VALVE
  - ⊕ JOINT
  - ⊕ WOOD POST
  - SIGN
  - GOOD OLIVE TREE



**LEGAL DESCRIPTION OF PROPERTY SUBMITTED**

1641 PROPERTY AND FACILITY Certified Survey Map No. 8333, Recorded in the Office of the Register of Deeds for Dane County, Wisconsin in Volume 28 of Certified Survey Maps, Pages 278 and 279, as subdivision number 277450, in the City of Madison, Dane County, Wisconsin.

Parcel No. L44: 20107323-0114 Address: 822 John Nelson Dr. L44: 20107323-0114 Address: 244 John Nelson Dr.

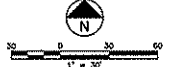
**GENERAL NOTES**

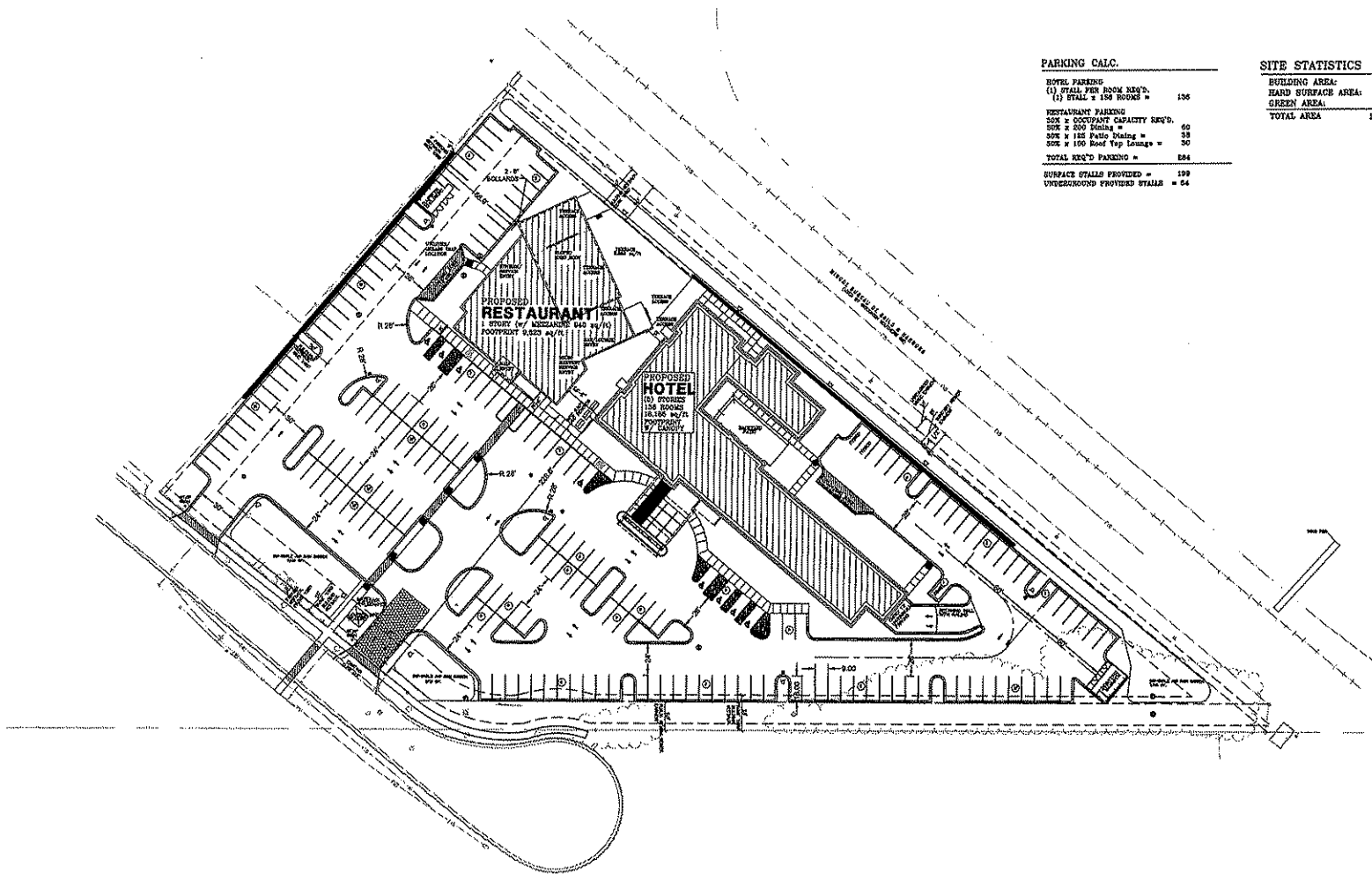
1. Existing site information is derived from a 2004 aerial photograph of the South Side of Lake Kegonsa and 2007 aerial photograph.
2. Project Surveyor: Madison County to South 16 Corner of Section 25, Township 7 North, Range 6 East, Section 2523, 2540, 2545.
3. On the ground boundary and topographic survey performed by RFS Consultants, Inc. on October 19th, 2007.
4. Construction of utility lines based on field notes by Gregory Thibodeau dated 9/20/07 and 10/20/07 and October 17, 2007, associated electronic field notes, as prepared by the City of Madison.
5. Boundary lines and utility lines are based on field notes by Madison County Surveyor dated 2007.
6. Locations of utility lines are shown by 1/2" diameter symbols only, and are not intended to be construed as to location. The construction of utility lines is intended for existing site information as to the location and depth of utility lines are shown by 1/2" diameter symbols only.
7. Property is shown to be in Dane County, Wisconsin in the subject 30-acre Subsection 4 of Section 25, Township 7 North, Range 6 East, Section 2523, 2540, 2545, and Section 2510, 2515, 2520, 2525, 2530, 2535, 2540, 2545, 2550, 2555, 2560, 2565, 2570, 2575, 2580, 2585, 2590, 2595, 2600, 2605, 2610, 2615, 2620, 2625, 2630, 2635, 2640, 2645, 2650, 2655, 2660, 2665, 2670, 2675, 2680, 2685, 2690, 2695, 2700, 2705, 2710, 2715, 2720, 2725, 2730, 2735, 2740, 2745, 2750, 2755, 2760, 2765, 2770, 2775, 2780, 2785, 2790, 2795, 2800, 2805, 2810, 2815, 2820, 2825, 2830, 2835, 2840, 2845, 2850, 2855, 2860, 2865, 2870, 2875, 2880, 2885, 2890, 2895, 2900, 2905, 2910, 2915, 2920, 2925, 2930, 2935, 2940, 2945, 2950, 2955, 2960, 2965, 2970, 2975, 2980, 2985, 2990, 2995, 3000.
8. Property is shown - G.S., Corner of Section 25, Township 7 North, Range 6 East, Section 2523, 2540, 2545, 2550, 2555, 2560, 2565, 2570, 2575, 2580, 2585, 2590, 2595, 2600, 2605, 2610, 2615, 2620, 2625, 2630, 2635, 2640, 2645, 2650, 2655, 2660, 2665, 2670, 2675, 2680, 2685, 2690, 2695, 2700, 2705, 2710, 2715, 2720, 2725, 2730, 2735, 2740, 2745, 2750, 2755, 2760, 2765, 2770, 2775, 2780, 2785, 2790, 2795, 2800, 2805, 2810, 2815, 2820, 2825, 2830, 2835, 2840, 2845, 2850, 2855, 2860, 2865, 2870, 2875, 2880, 2885, 2890, 2895, 2900, 2905, 2910, 2915, 2920, 2925, 2930, 2935, 2940, 2945, 2950, 2955, 2960, 2965, 2970, 2975, 2980, 2985, 2990, 2995, 3000.

**NOTICES AND EXCEPTIONS**

- Item 12 - The following items affecting the proposed project are shown on Certified Survey Map No. 8333, recorded in Document Number 277450:
  - A. Project to Lake Kegonsa - 4.225 acres by John Nelson Date Proposed Record 10/19/07.
  - B. Lake Kegonsa - 4.225 acres by John Nelson Date Proposed Record 10/19/07.
  - C. Project to Lake Kegonsa - 4.225 acres by John Nelson Date Proposed Record 10/19/07.
  - D. Project to Lake Kegonsa - 4.225 acres by John Nelson Date Proposed Record 10/19/07.
  - E. Project to Lake Kegonsa - 4.225 acres by John Nelson Date Proposed Record 10/19/07.
  - F. Project to Lake Kegonsa - 4.225 acres by John Nelson Date Proposed Record 10/19/07.
- Item 13 - Rights of Madison Metropolitan Sewerage District are shown in treatment recorded as Document Number 277450, recorded in Document Number 277450, recorded in Volume 28 of Certified Survey Maps, Page 278 as Document Number 277450.
- Item 14 - Easement granted by City of Madison and recorded as set forth in instrument recorded as Document No. 2942 in Volume 28 of Certified Survey Maps, Page 279 as Document Number 277450.
- Item 15 - Easement and conditions set forth in Club Order recorded October 21, 1988 in Volume 2791 of Records, Page 58 as Document Number 287146.

CALL DODGERS HOTLINE  
1-800-242-8511  
TOLL FREE  
WE PROUDLY REPRESENT



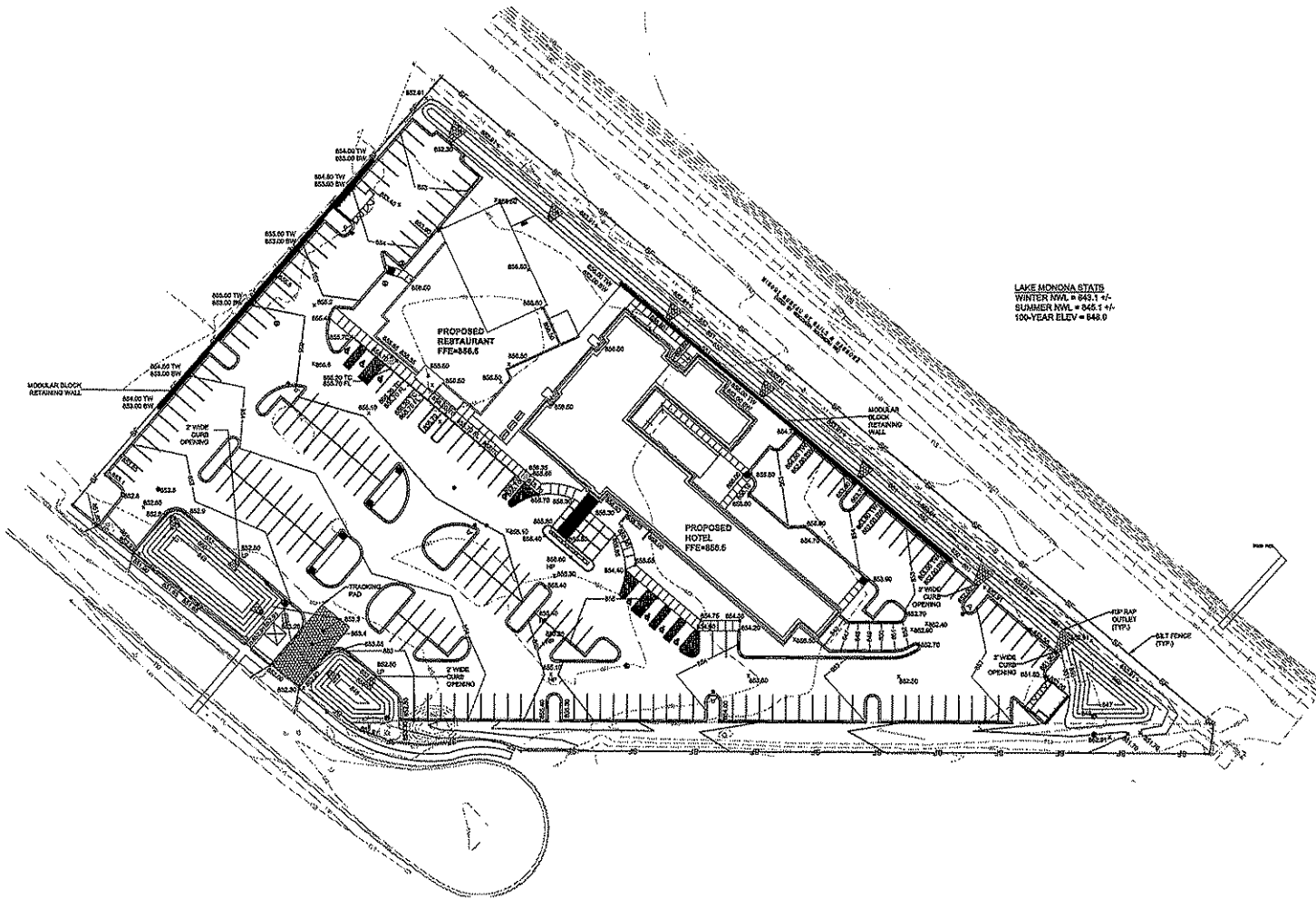


**PARKING CALC.**

<b>HOTEL PARKING</b>	
(1) STALL PER ROOM REQ'D.	
(2) STALL x 150 ROOMS =	150
<b>RESTAURANT PARKING</b>	
50% x COOPANT CAPACITY REQ'D.	
50% x 200 Seating =	60
50% x 150 Patio Seating =	38
50% x 150 Roof Top Lounge =	30
<b>TOTAL REQ'D PARKING =</b>	<b>284</b>
<b>SURFACE STALLS PROVIDED =</b>	<b>199</b>
<b>UNDERGROUND PROVIDED STALLS =</b>	<b>84</b>

**SITE STATISTICS**

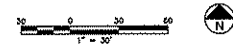
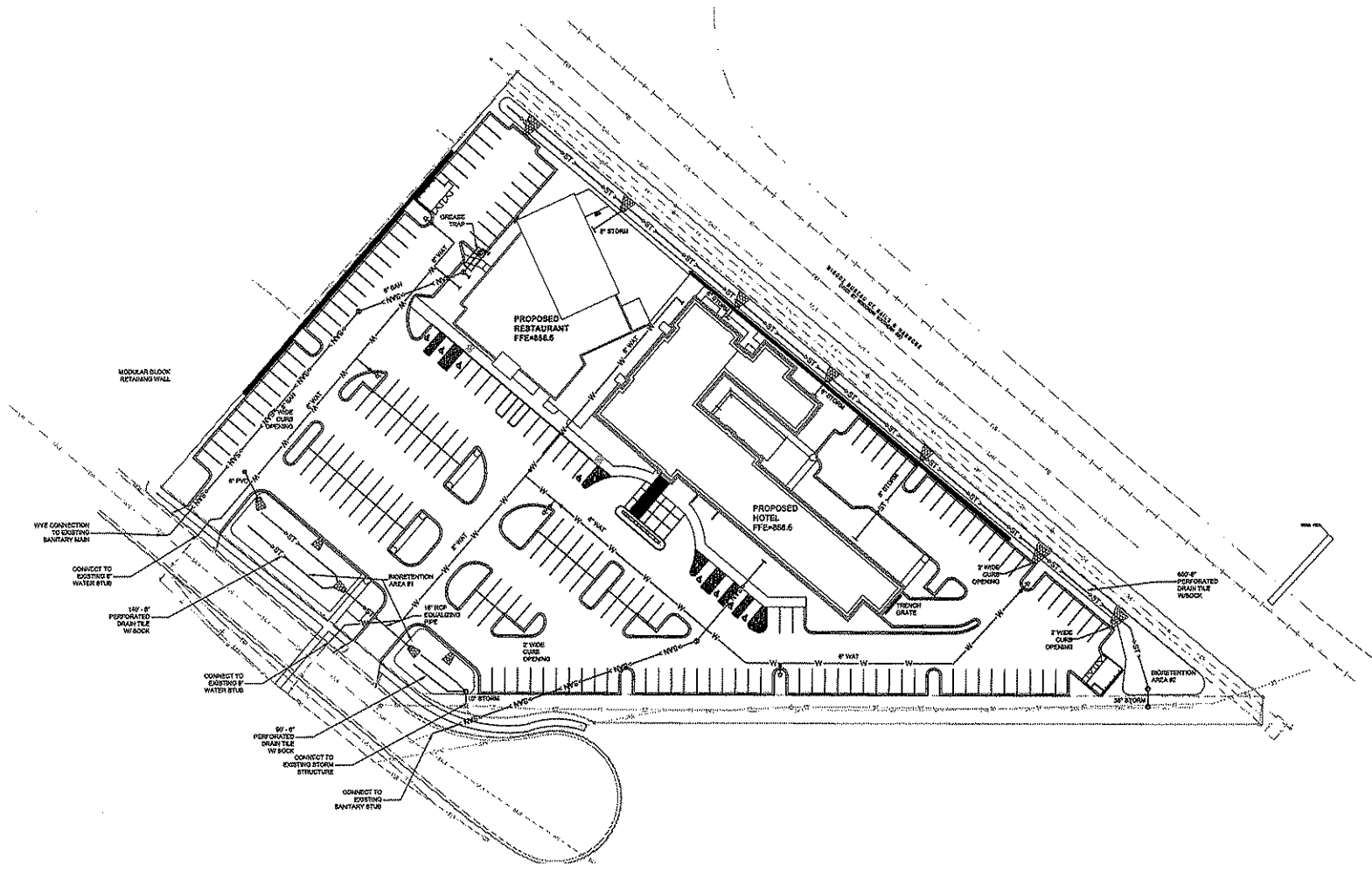
<b>BUILDING AREA:</b>	26,727 SQ. FT. (14.0%)
<b>HARD SURFACE AREA:</b>	102,619 SQ. FT. (56.7%)
<b>GREEN AREA:</b>	55,768 SQ. FT. (30.3%)
<b>TOTAL AREA</b>	<b>184,628 SQ. FT. (100%)</b>
	4.22 ac.



LAKE MONONA STATS  
 WINTER NWL = 845.1 +/-  
 SUMMER NWL = 845.1 +/-  
 100-YEAR ELEV = 848.0



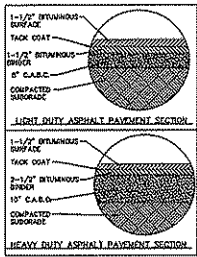
**C3 GRADING & EROSION CONTROL PLAN**



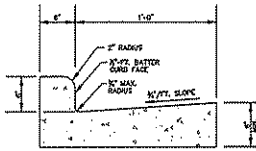
**C4 UTILITY PLAN**

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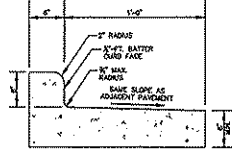
• 18 JUNE 2008



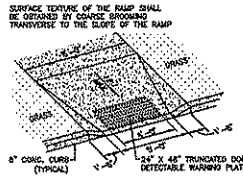
**PAVEMENT SECTION DETAILS**  
NOT TO SCALE



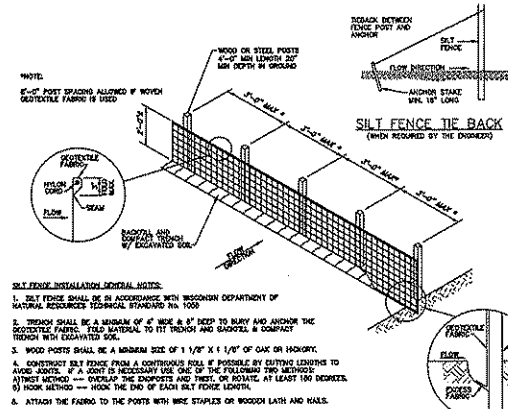
**18" LOW SIDE CONCRETE CURB & GUTTER**  
NOT TO SCALE



**18" HIGH SIDE CONCRETE CURB & GUTTER**  
NOT TO SCALE

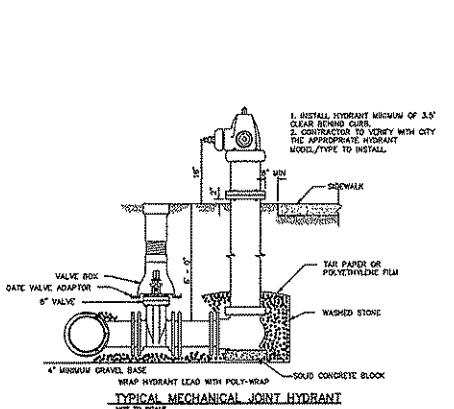


**SIDEWALK/CURB RAMP DETAIL**  
NOT TO SCALE

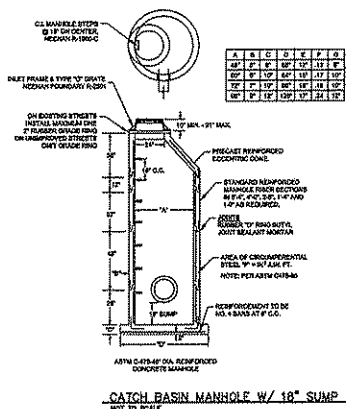


- SILT FENCE INSTALLATION GENERAL NOTES:**
- SILT FENCE SHALL BE IN ACCORDANCE WITH DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD No. 1009.
  - TRENCH SHALL BE A MINIMUM OF 4" WIDE & 8" DEEP TO BURRY AND ANCHOR THE DETECTABLE FABRIC. IT IS NECESSARY TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
  - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" X 1 1/2" OF OAK OR HICKORY.
  - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LEADING TO JUNE JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
    - STITCH METHOD — OVERLAP THE CONCRETE AND TIE, OR BOARD, AT LEAST 100 INCHES.
    - HOOK METHOD — HOOK THE END OF EACH SILT FENCE LENGTH.
  - ATTACH THE FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS.

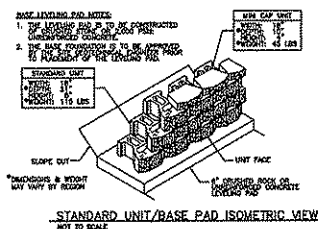
**SILT FENCE INSTALLATION DETAIL**  
NOT TO SCALE



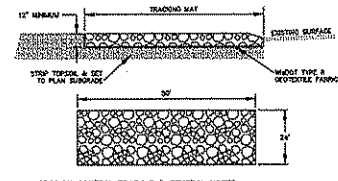
**TYPICAL MECHANICAL JOINT HYDRANT**  
NOT TO SCALE



**CATCH BASIN MANHOLE W/ 18" SUMP**  
NOT TO SCALE



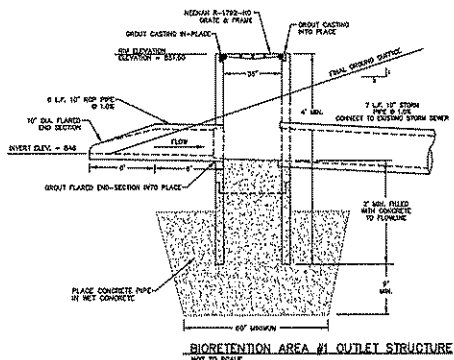
**STANDARD UNIT/BASE PAD ISOMETRIC VIEW**  
NOT TO SCALE



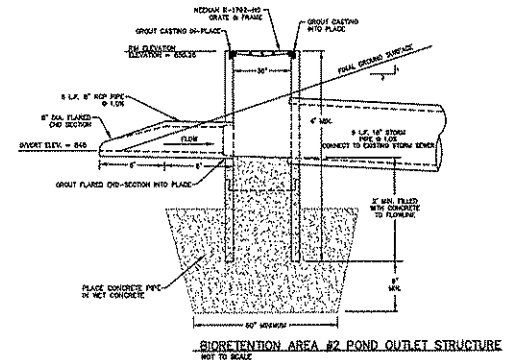
**EROSION CONTROL TRACK PAD GENERAL NOTES:**

- CONTRACTOR SHALL PROVIDE THE STONE TRACKING PAD IN ACCORDANCE WITH THE DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD No. 1009.
- TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. IF CONDITIONS ARE SUCH THAT SEDIMENT IS NOT REMOVED FROM TIRES BY THE TRACKING PAD, THEN THIS SHALL BE REPORTED BY ACCORDANCE WITH MORE TECHNICAL STANDARD No. 1009.
- USE 3 TO 6 HIGH CLEAR ON WOODEN STONE. ALL MATERIAL TO BE INSTALLED ON A 3-INCH MIN. MINIMUM SPACING MINIMUM 12" TIGHT, AND SHALL BE THE TAIL WITHIN OF THE CORNER POINT.
- TEST WITH A HIGH WATER TABLE. ON MOIST SATURATED CONDITIONS ARE EXPECTED, THE STONE TRACKING PAD SHALL BE UNDERLAIN WITH A WEARY TYPE & SCHEDULE FABRIC TO PREVENT UPROOTING OF CORNERING SOIL INTO THE STONE.
- SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. FLOOD SHALL BE DIVERTED AWAY FROM TRACKING PADS ON CONCRETE LUNCH AND AROUND THEM BY USING A VARIETY OF PRACTICES SUCH AS GRASSMOUTH, WATER BARR, OR OTHER DRAINAGE PRACTICES.
- THE DISTANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT WITH PUBLIC HOVS-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND/OR CLEANING OF ANY WEARERS LEADS TO TRAP SEDIMENT.
- WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING PUBLIC HOVS-OF-WAYS. WHEN WASHING IS DONE, IT SHALL BE DONE IN AN AREA STABILIZED WITH AND WHICH DRAINAGE TO AN APPROVED SEDIMENT TRAPPING DEVICE.
- ALL SEDIMENT TRAPPED, DEPOSITED, WASHED, OR TRACKED INTO A PUBLIC HOVS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
- ADHERE PERMIT TO PUBLIC ROADS MUST BE OBTAINED PRIOR TO CONSTRUCTION.
- EASEMENTS ARE SHOWN AT APPROPRIATE LOCATIONS.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF TRACK PAD MATERIAL AND STABILIZE THE AREA AT PROJECT COMPLETION.

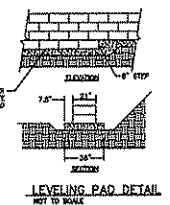
**TRACKING PAD DETAIL**  
NOT TO SCALE



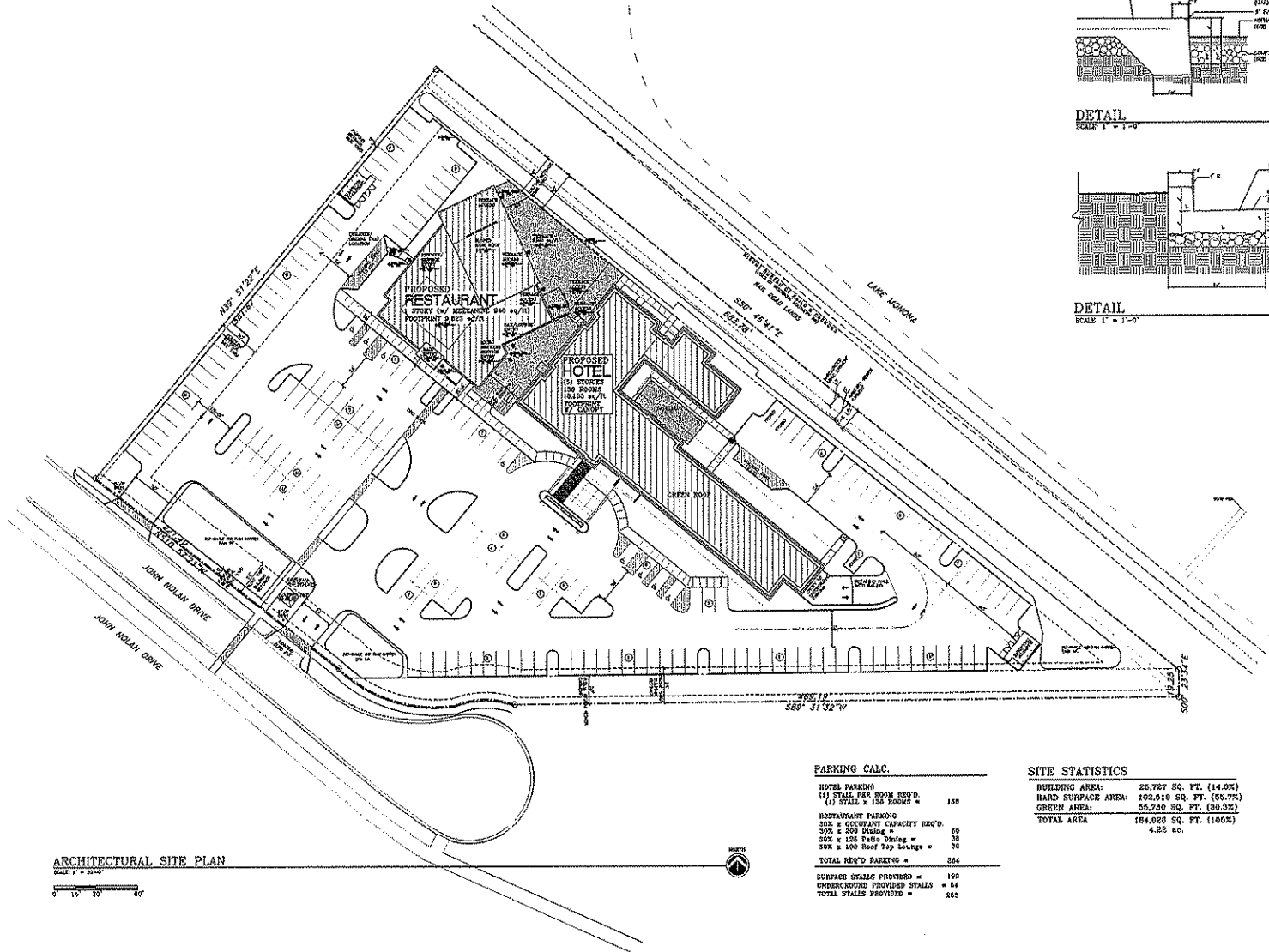
**BIORETENTION AREA #1 OUTLET STRUCTURE**  
NOT TO SCALE



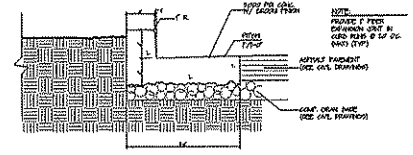
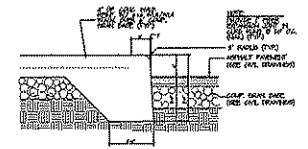
**BIORETENTION AREA #2 POND OUTLET STRUCTURE**  
NOT TO SCALE



**LEVELING PAD DETAIL**  
NOT TO SCALE



ARCHITECTURAL SITE PLAN  
SCALE: 1" = 1'-0"



**PARKING CALC.**

<b>HOTEL PARKING</b>	
(1) STALL PER ROOM REST'D.	
(12) STALL x 150 ROOMS =	180
<b>RESTAURANT PARKING</b>	
300' x OCCUPANT CAPACITY REST'D	60
300' x 200 Dining =	30
300' x 100 Patio Dining =	30
300' x 100 Roof Top Seating =	30
<b>TOTAL REST'D PARKING =</b>	<b>240</b>
<b>SURFACE STALLS PROVIDED =</b>	<b>160</b>
<b>UNDERGROUND PROVIDED STALLS =</b>	<b>84</b>
<b>TOTAL STALLS PROVIDED =</b>	<b>244</b>

**SITE STATISTICS**

<b>BUILDING AREA:</b>	25,727 SQ. FT. (14.0%)
<b>HARD SURFACE AREA:</b>	102,619 SQ. FT. (55.7%)
<b>GREEN AREA:</b>	55,729 SQ. FT. (30.3%)
<b>TOTAL AREA:</b>	184,075 SQ. FT. (100%)
	4.26 ac.



KahlerSlater

design III

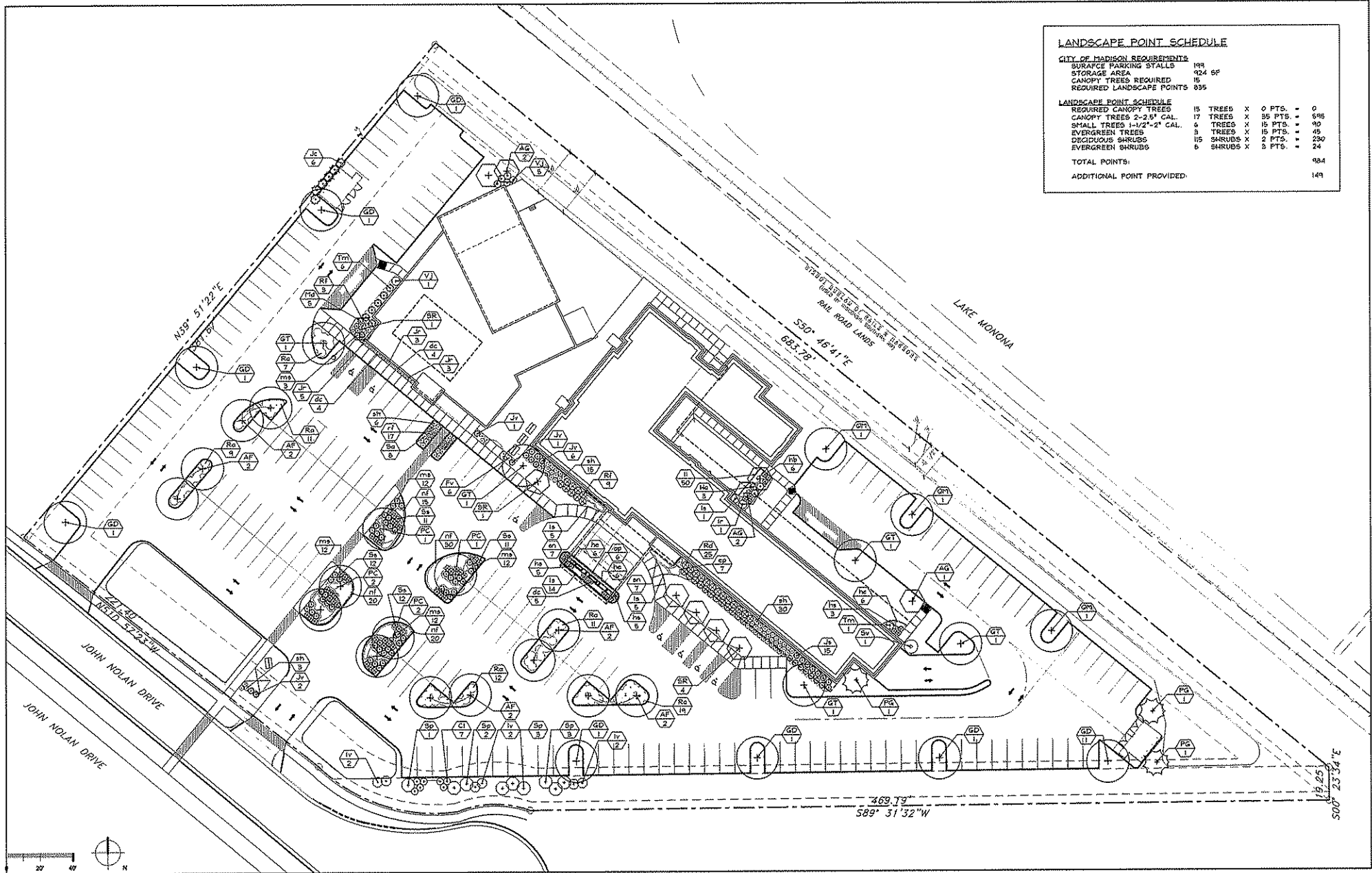
SAA | STS | AECOM

aloft  
A VISION OF W HOTELS

fratellos  
WATERFRONT RESTAURANT  
AND BREWERY

SHEET NAME  
ARCHITECTURAL SITE PLAN  
MADISON • ALOFT / FRATELLO'S

• 18 JUNE 2008



**LANDSCAPE POINT SCHEDULE**

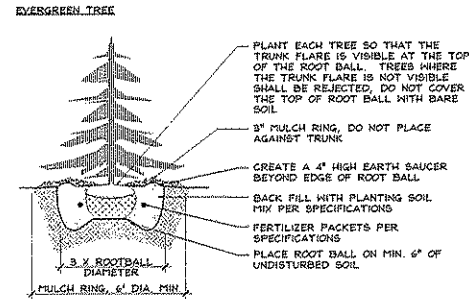
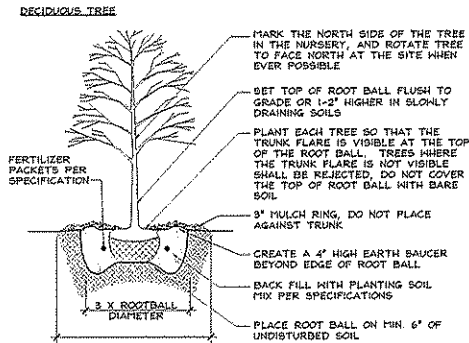
**CITY OF MADISON REQUIREMENTS**

SURFACE PARKING STALLS	198
STORAGE AREA	324 SF
CANOPY TREES REQUIRED	15
REQUIRED LANDSCAPE POINTS	835

**LANDSCAPE POINT SCHEDULE**

REQUIRED CANOPY TREES	15	TREES X	0	PTS.	=	0
CANOPY TREES 2-2.5' CAL.	17	TREES X	35	PTS.	=	595
SMALL TREES 1-1/2"-2" CAL.	6	TREES X	15	PTS.	=	90
EVERGREEN TREES	3	TREES X	15	PTS.	=	45
DECIDUOUS SHRUBS	15	SHRUBS X	2	PTS.	=	230
EVERGREEN SHRUBS	5	SHRUBS X	5	PTS.	=	24
<b>TOTAL POINTS:</b>						<b>984</b>
<b>ADDITIONAL POINT PROVIDED:</b>						<b>149</b>

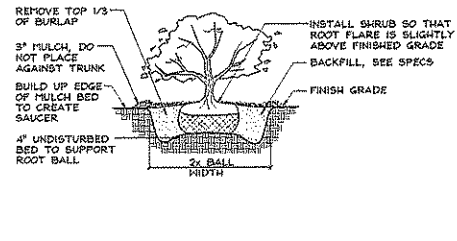
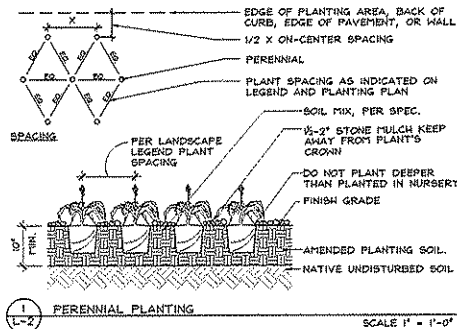




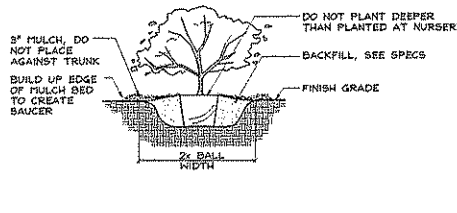
**NOTES:**

- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR BRANCHES AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OR BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN!
- STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT-SEE STAKING DETAILS
- WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT-SEE STAKING DETAILS
- IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN IT INTO THE PLANTING HOLE
- REMOVE ALL TWINE, ROPE/WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL
- REFER TO SPECIFICATIONS FOR FURTHER INFORMATION

**1** DECIDUOUS TREE PLANTING DETAILS  
SCALE 1" = 1'-0"

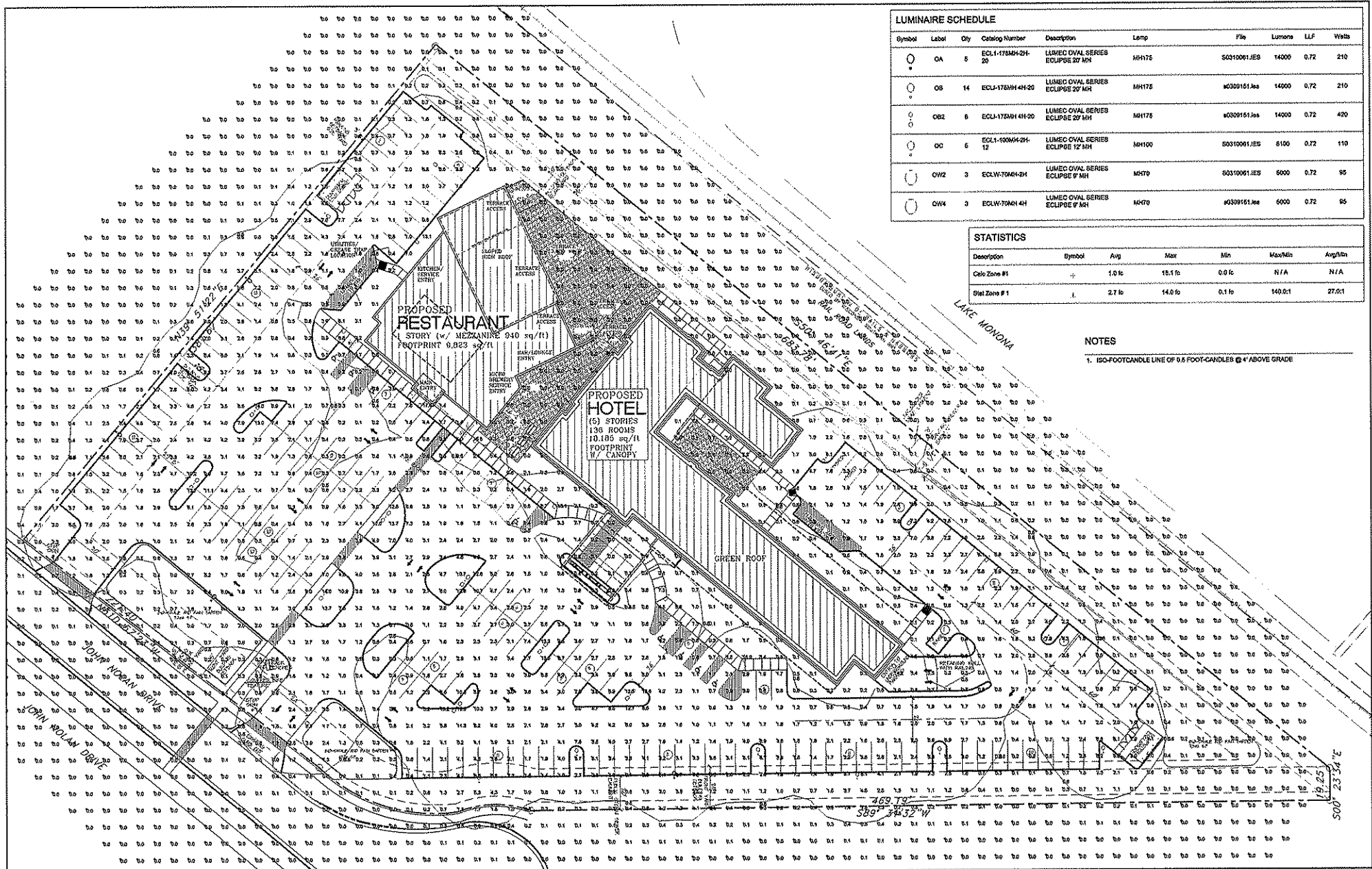


**2** B&B SHRUB PLANTING  
SCALE 1" = 1'-0"



**3** CONTAINER SHRUB PLANTING  
SCALE 1" = 1'-0"

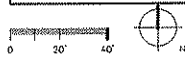
LANDSCAPE PLANT LEGEND						
Symbol	Botanical Name	Common Name	Size	Root	Quantity	Comments
<b>DECIDUOUS TREES</b>						
AF	<i>Acer freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	2.5" Cal.	B&B	10	Single stem
AG	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5" Cal.	B&B	5	Multi-stem
GD	<i>Gymnocladia dioica</i>	Kentucky Coffeetree	2.5" Cal.	B&B	5	-
GT	<i>Gladiolus 'triacanthus Skyline'</i>	Skyline Honeylocust	2.5" Cal.	B&B	5	-
PC	<i>Pyrus calleryana 'Aristocrat'</i>	Aristocrat Callery Pear	2.5" Cal.	B&B	6	-
GM	<i>Quercus muhlenbergii</i>	Chinkapin Oak	2.5" Cal.	B&B	3	-
BR	<i>Syringa reticulata 'Ivory Silk'</i>	Ivory Silk Japanese Tree Lilac	1.5" Cal.	B&B	6	Single stem
<b>EVERGREEN TREES</b>						
PG	<i>Picea glauca var. densata</i>	Black Hills Spruce	9-10'	B&B	3	-
<b>EVERGREEN SHRUBS</b>						
Jc	<i>Juniperus chinensis 'taur'</i>	Tauw Juniper	6-8'	B&B	6	Upright
Jb	<i>Juniperus sabina 'Buffalo'</i>	Buffalo Juniper	#3	CG	15	Low, spreading
Jv	<i>Juniperus virginiana 'Grey Owl'</i>	Grey Owl Juniper	#3	CG	10	Spreading
Jr	<i>Juniperus scopulorum 'Skyrocket'</i>	Skyrocket Juniper	#3	CG	11	Upright
Mc	<i>Microbiota decussata</i>	Siberian Cypress	#5	CG	5	Spreading
Tm	<i>Taxus x media 'Tauxem'</i>	Tauxem Yew	#5	CG	7	Spreading
To	<i>Thuja occidentalis 'Emerald'</i>	Emerald Arborvitae	#5	CG	-	Upright
<b>DECIDUOUS SHRUBS</b>						
Cl	<i>Clethra alnifolia 'Hummingbird'</i>	Hummingbird Clethra	3 Gal.	CG	7	-
Fv	<i>Fraxinus viridis</i>	Bronze Border Forsythia	2 Gal.	CG	6	-
Ho	<i>Hydrangea arborescens 'Annabelle'</i>	Annabelle Hydrangea	3 Gal.	CG	3	-
Is	<i>Ilex verticillata 'Red Sprite'</i>	Red Sprite Holly	3 Gal.	CG	1	Male
Iv	<i>Itea virginica 'Little Henry'</i>	Little Henry Sweetgum	3 Gal.	CG	6	-
Ra	<i>Rhus aromatica 'Gee-Low'</i>	Gee-Low Fragrant Sumac	2 Gal.	CG	64	-
Rd	<i>Rosa 'Dwarf Pavement'</i>	Dwarf Pavement Rose	2 Gal.	CG	25	-
Rf	<i>Rosa 'Foli Pavement'</i>	Foli Pavement Rose	2 Gal.	CG	12	-
Sp	<i>Saxifraga purpurea 'Nano'</i>	Dwarf Arctic Blue Helleborus	3 Gal.	CG	9	-
Sa	<i>Spiraea x bumalda 'Anthony Tricolor'</i>	Anthony Tricolor Spiraea	2 Gal.	CG	8	-
Bo	<i>Spiraea japonica 'Binhtrana'</i>	Binhtrana Spiraea	3 Gal.	CG	46	-
Sv	<i>Syringa vulgaris 'Charles Joly'</i>	Charles Joly Lilac	3 Gal.	CG	1	-
Vj	<i>Viburnum x juddii</i>	Judd Viburnum	5 Gal.	CG	6	-
<b>PERENNIALS / GROUNDCOVERS / GRASSES</b>						
ap	<i>Artemisia 'Powis Castle'</i>	Powis Castle Artemisia	3"	CG	6	-
dc	<i>Deschampsia cespitosa</i>	Tufted Hair Grass	3"	CG	13	-
ep	<i>Echinacea purpurea</i>	Purple Coneflower	3"	CG	7	-
ha	<i>Hosta 'Blue Angel'</i>	Blue Angel Hosta	4"	CG	6	-
ho	<i>Hosta 'Silver Scallops'</i>	Silver Scallops Coral Bells	4"	CG	13	-
hs	<i>Helleborus scaberrimus</i>	Blue Dot Helleborus	1 Gal.	CG	15	-
li	<i>Liriodendron tulipifera</i>	Crossing Lilyturf	3"	CG	50	-
la	<i>Liatris spicata 'Keibold'</i>	Keibold Gayleather	1 Gal.	CG	25	-
ma	<i>Maianthemum canadense</i>	Maianthemum Madon Grass	1 Gal.	CG	61	-
na	<i>Nepeta faassenii 'Walker's Low'</i>	Walker's Low Catmint	4"	CG	85	-
rf	<i>Rudbeckia 'Julius van Nieuwenhuysen'</i>	Goldstruck Black Eyed Susan	4"	CG	17	-
en	<i>Salvia nemorosa 'May Night'</i>	May Night Salvia	4"	CG	14	-
sh	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 Gal.	CG	64	-



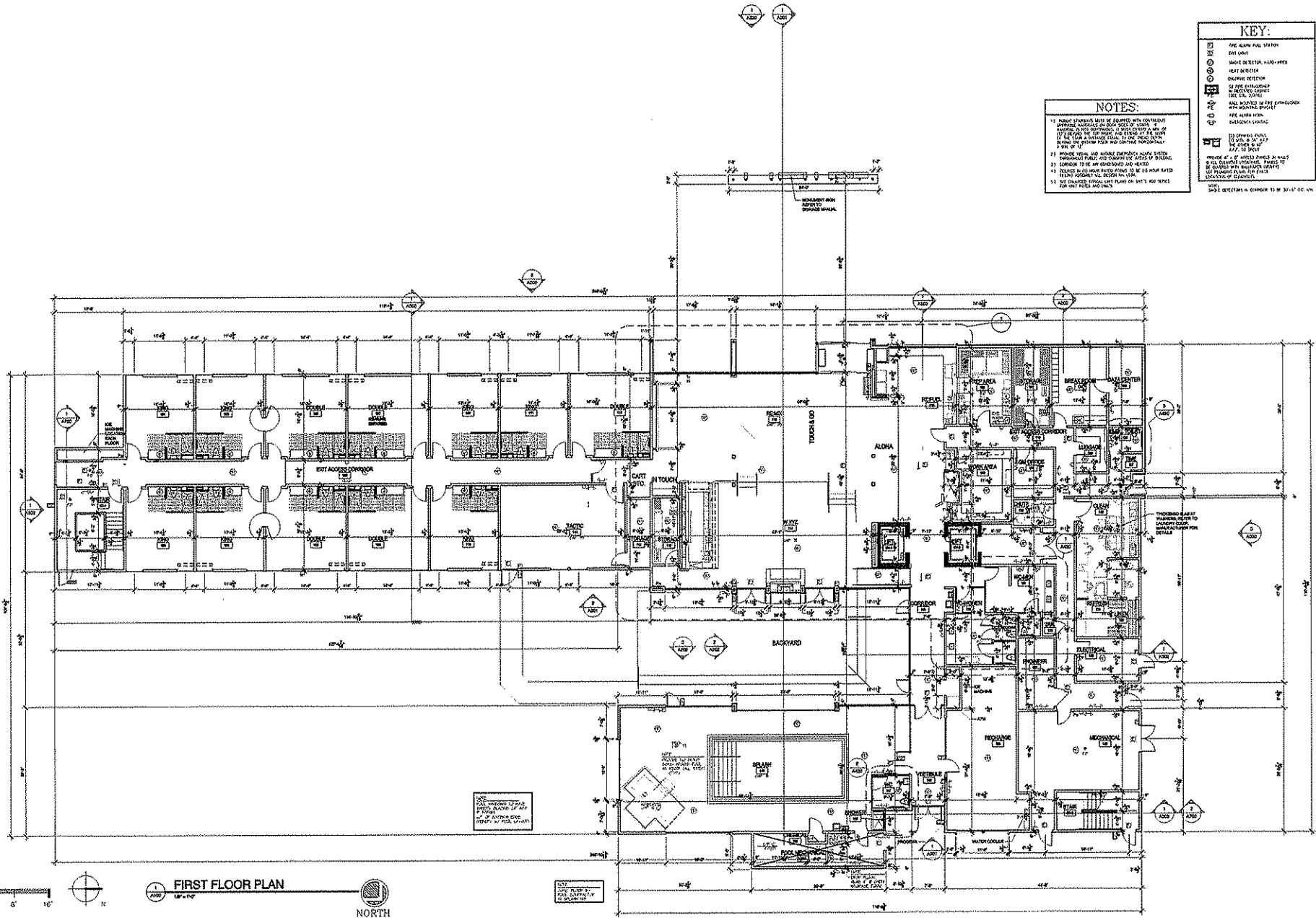
LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
○	OA	5	ECL1-175MH-2H-20	LUMEC OVAL SERIES ECLIPSE 20" MH	MH175	S0310061.JES	14000	0.72	210
○	OB	14	ECL1-175MH-4H-20	LUMEC OVAL SERIES ECLIPSE 20" MH	MH175	M0309151.Jes	14000	0.72	210
○	OB2	6	ECL1-175MH-4H-20	LUMEC OVAL SERIES ECLIPSE 20" MH	MH175	M0309151.Jes	14000	0.72	420
○	OC	5	ECL1-100MH-12-12	LUMEC OVAL SERIES ECLIPSE 12" MH	MH100	S0310061.JES	8100	0.72	110
○	OW2	3	ECLW-70MH-4H	LUMEC OVAL SERIES ECLIPSE 4" MH	M470	S0310061.JES	6000	0.72	95
○	OW4	3	ECLW-70MH-4H	LUMEC OVAL SERIES ECLIPSE 4" MH	M470	M0309151.Jes	6000	0.72	95

STATISTICS					
Description	Symbol	Avg	Max	Min	Max/Min
Calc Zone #1	+	1.0 fc	18.1 fc	0.0 fc	N/A
Stat Zone #1	L	2.7 fc	14.0 fc	0.1 fc	140:1

**NOTES**  
 1. ISO-FOOTCANDLE LINE OF 0.6 FOOT-CANDLES @ 4' ABOVE GRADE



**L-3 LIGHTING PLAN**



**KEY:**

(A) (B) (C) (D) (E) (F) (G) (H) (I) (J) (K) (L) (M) (N) (O) (P) (Q) (R) (S) (T) (U) (V) (W) (X) (Y) (Z)	FIRE ALARM PULL STATION
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20)	SMOKE DETECTOR, WASH-HAND
(A) (B) (C) (D) (E) (F) (G) (H) (I) (J) (K) (L) (M) (N) (O) (P) (Q) (R) (S) (T) (U) (V) (W) (X) (Y) (Z)	HEAT DETECTOR
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20)	OBSCURE DETECTOR
(A) (B) (C) (D) (E) (F) (G) (H) (I) (J) (K) (L) (M) (N) (O) (P) (Q) (R) (S) (T) (U) (V) (W) (X) (Y) (Z)	24 HOUR VESTIBULE
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20)	24 HOUR VESTIBULE
(A) (B) (C) (D) (E) (F) (G) (H) (I) (J) (K) (L) (M) (N) (O) (P) (Q) (R) (S) (T) (U) (V) (W) (X) (Y) (Z)	24 HOUR VESTIBULE
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20)	24 HOUR VESTIBULE
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(1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20)	24 HOUR VESTIBULE
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(1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20)	24 HOUR VESTIBULE

**NOTES:**

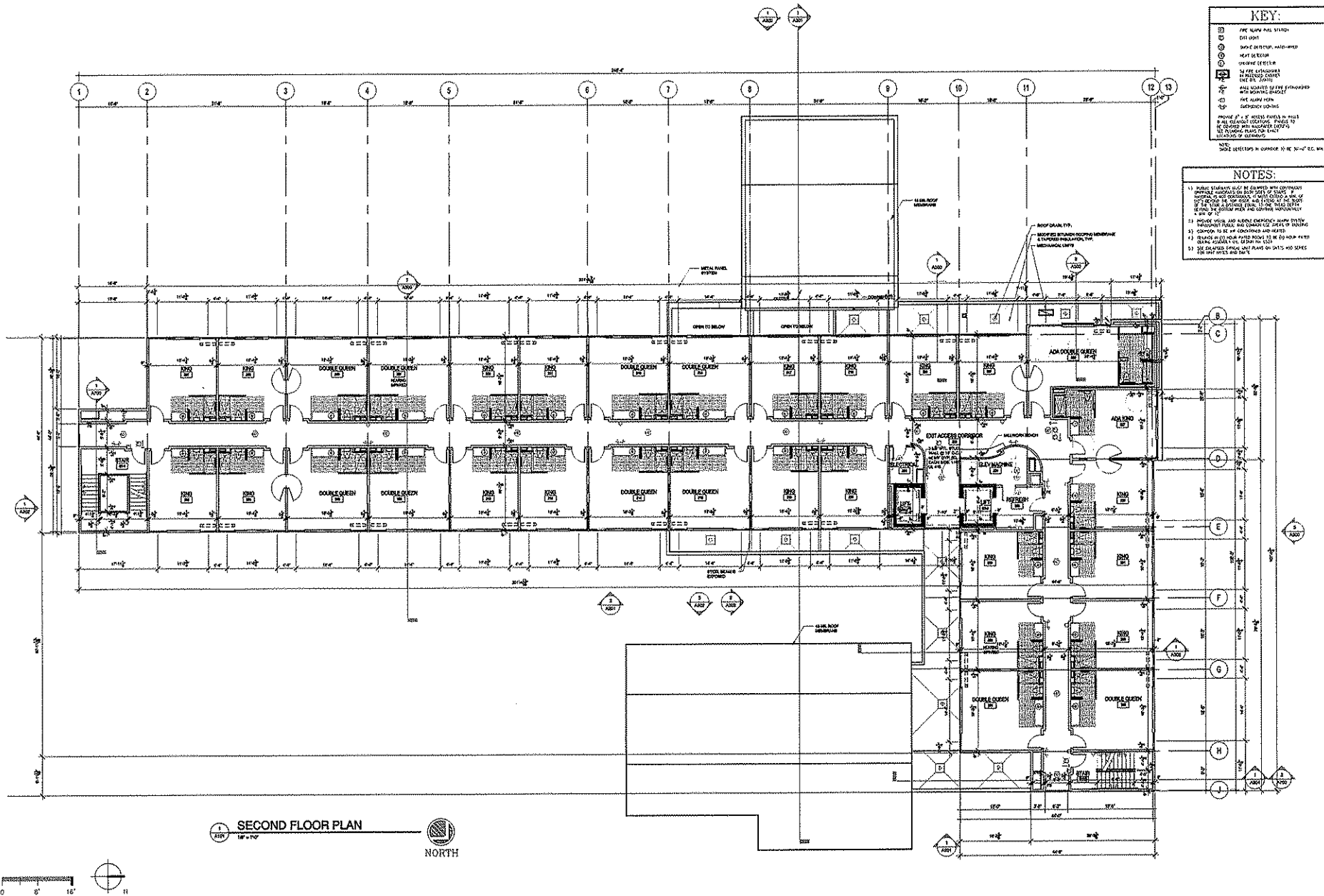
- 11 ALL FIRE ALARMS SHALL BE WIRELESS AND SHALL BE INSTALLED IN ALL ROOMS AND AREAS AS SHOWN ON THIS PLAN. ALL WIRELESS ALARMS SHALL BE INSTALLED IN ALL ROOMS AND AREAS AS SHOWN ON THIS PLAN. ALL WIRELESS ALARMS SHALL BE INSTALLED IN ALL ROOMS AND AREAS AS SHOWN ON THIS PLAN.
- 12 ALL WIRELESS ALARMS SHALL BE INSTALLED IN ALL ROOMS AND AREAS AS SHOWN ON THIS PLAN. ALL WIRELESS ALARMS SHALL BE INSTALLED IN ALL ROOMS AND AREAS AS SHOWN ON THIS PLAN.
- 13 ALL WIRELESS ALARMS SHALL BE INSTALLED IN ALL ROOMS AND AREAS AS SHOWN ON THIS PLAN. ALL WIRELESS ALARMS SHALL BE INSTALLED IN ALL ROOMS AND AREAS AS SHOWN ON THIS PLAN.
- 14 ALL WIRELESS ALARMS SHALL BE INSTALLED IN ALL ROOMS AND AREAS AS SHOWN ON THIS PLAN. ALL WIRELESS ALARMS SHALL BE INSTALLED IN ALL ROOMS AND AREAS AS SHOWN ON THIS PLAN.
- 15 ALL WIRELESS ALARMS SHALL BE INSTALLED IN ALL ROOMS AND AREAS AS SHOWN ON THIS PLAN. ALL WIRELESS ALARMS SHALL BE INSTALLED IN ALL ROOMS AND AREAS AS SHOWN ON THIS PLAN.

0 5' 10'

**FIRST FLOOR PLAN**

**NORTH**

Image Name



**KEY:**

⊖	FIRE ALARM CALL STATION
⊕	DATA POINT
⊗	SMALL ELECTRICAL PANEL
⊙	MEAT ISLAND
⊚	CHICKEN RESTAURANT
⊛	BY FIRE EXTINGUISHER
⊜	BY FIRE EXTINGUISHER
⊝	BY FIRE EXTINGUISHER
⊞	BY FIRE EXTINGUISHER
⊟	BY FIRE EXTINGUISHER
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⊿	BY FIRE EXTINGUISHER

PROVIDE "P" & "R" ACCESS PANELS IN WALLS  
 & ALL EXISTING DOORS, FINISHES TO  
 BE SHOWN WITH ASSOCIATED COORDS  
 TO EXISTING FLOOR FOR EXISTING  
 LOCATION OF CORRIDORS

NOTE:  
 MAKE SECTIONS IN CONCORD TO BE SHOWN TO R.C. WALL

- NOTES:**
- 1) PUBLIC STAIRWELL AND BE CLIMBED AND CORRIDOR  
 SHALL BE KEPT CLEAR OF ALL OBSTACLES, FURNITURE, ETC. AT  
 ALL TIMES. THE STAIRS AND CORRIDORS SHALL BE KEPT  
 CLEAR OF ALL OBSTACLES, FURNITURE, ETC. AT ALL TIMES.  
 IF THE STAIRS AND CORRIDORS ARE TO BE KEPT CLEAR  
 OF ALL OBSTACLES, FURNITURE, ETC. AT ALL TIMES,  
 A SIGN SHALL BE PLACED AT THE ENTRANCE TO THE STAIRS
  - 2) PROVIDE VISA AND ALBERT EXTERIOR LIGHTS WITH  
 EXTERIOR WALLS AND CORRIDORS. SEE SCHEDULE 10  
 FOR DETAILS.
  - 3) CORRIDOR TO BE KEPT CLEAR AND HEATED
  - 4) STAIRS TO BE KEPT CLEAR AND HEATED. SEE SCHEDULE 10  
 FOR DETAILS.
  - 5) SEE EXISTING FLOOR PLAN FOR EXISTING  
 LOCATION OF CORRIDORS
  - 6) SEE EXISTING FLOOR PLAN FOR EXISTING  
 LOCATION OF CORRIDORS

**SECOND FLOOR PLAN**  
 1/8" = 1'-0"

NORTH

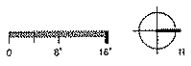


Image Name

Kahler Slater

design III

SAA

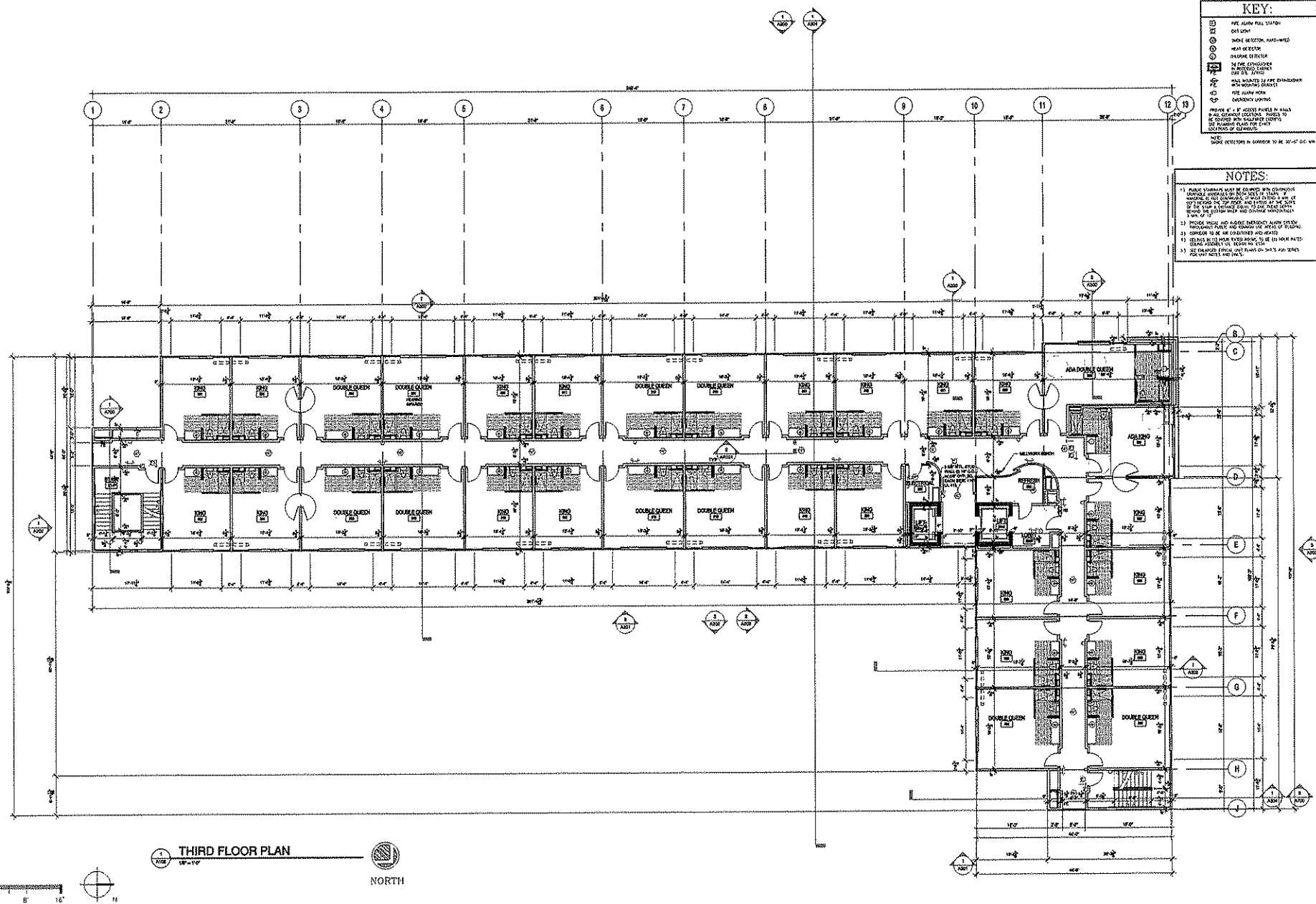
STS | AECOM

aloft  
 A VISION BY IH HOTELS

fratellos  
 WATERFRONT RESTAURANT  
 AND BREWERY

**SHEET NAME**  
**SECOND FLOOR PLAN A-2**  
 MADISON • ALOFT / FRATELLO'S

18 JUNE 2008



**KEY:**

⊙	FIRE ALARMS PANEL STATION
⊙	EXIT LIGHT
⊙	SMOKE DETECTOR, PANDA-WHOLE
⊙	SMOKE DETECTOR
⊙	WINDUP ELECTRICAL
⊙	WINDUP ELECTRICAL
⊙	1/2 PINE ENCLOSURE IN RECESSING CABINET
⊙	1/2 PINE ENCLOSURE
⊙	1/2 PINE ENCLOSURE WITH WORKING BRACKET
⊙	FIRE ALARMS WIRE
⊙	GRABBAR SUPPORT
⊙	WINDUP # 1/2 ACCESS PANEL IN WALL IN ALL OCCUPANCY AREAS. PANELS TO BE COORDINATED WITH OCCUPANCY COPY'S OF FLOOR PLAN FOR CORRECT LOCATION OF GRABBARS.
⊙	WINDUP DETECTORS IN CORRIDOR TO BE 30'-0" DIA. W/

- NOTES:**
- 1) PUBLIC STAIRWAYS SHALL BE EQUIPPED WITH COMPOSITE FLOORING AND WALLS OF 2" MIN. THICKNESS. ALL STAIRWAYS SHALL BE 44" CLEARANCE TO TOP OF HEAD CASING. ALL STAIRWAYS SHALL BE 44" CLEARANCE TO TOP OF HEAD CASING. ALL STAIRWAYS SHALL BE 44" CLEARANCE TO TOP OF HEAD CASING. ALL STAIRWAYS SHALL BE 44" CLEARANCE TO TOP OF HEAD CASING.
  - 2) PROVIDE STAIRS AND ADJACENT INTERIOR ACCESS WITH IMPROVED FLOORING AND HANDRAILS AT LEVELS OF FINISH.
  - 3) CORRIDORS TO BE 44" CLEARANCE AND 44" CLEARANCE TO TOP OF HEAD CASING. ALL STAIRWAYS SHALL BE 44" CLEARANCE TO TOP OF HEAD CASING.
  - 4) SEE MECHANICAL SYMBOL FLOOR PLAN FOR MECHANICAL AND ELECTRICAL SYMBOLS.

**THIRD FLOOR PLAN**  
 1/8" = 1'-0"  
 NORTH



KEY:	
(Square with dot)	RUE GARAGE ELEV STATION
(Square with circle)	EXIST LEVEL
(Square with circle and dot)	WALL DETECTOR, NON-VENT
(Circle with dot)	WALL DETECTOR
(Circle with cross)	CONCRETE DETECTOR
(Square with 'X')	BY THE CONTRACTOR TO DETERMINE EXISTING
(Circle with 'X')	WALL DETECTOR IN FLOOR FINISHES ONLY
(Circle with 'E')	EXIT
(Circle with 'S')	STAIR
(Circle with 'L')	LIFT
(Circle with 'ELEV')	ELEVATOR LIFTING

**NOTES:**

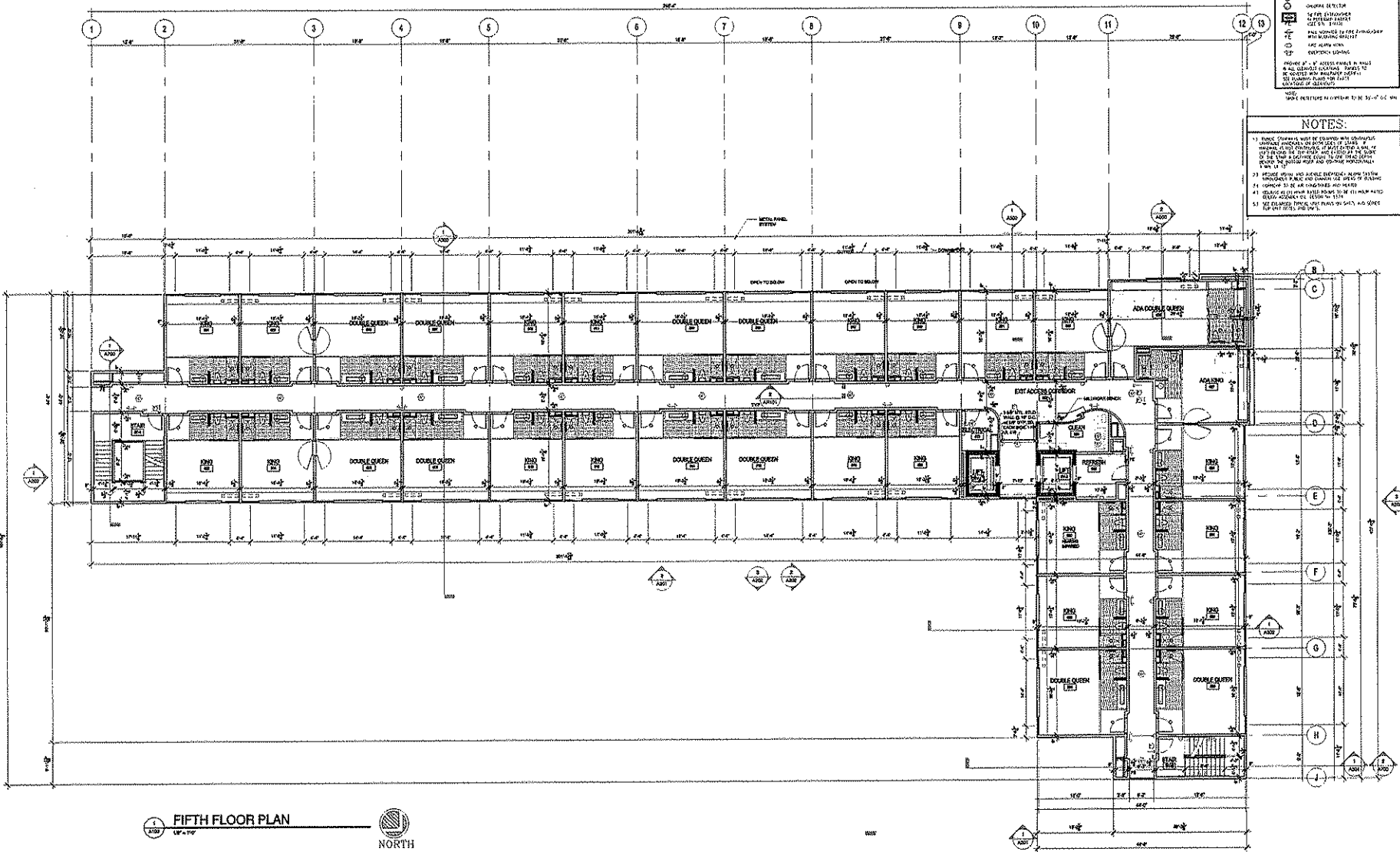
1) THESE CONDITIONS SHALL BE OBSERVED AND CONFORMANT TO ALL APPLICABLE REGULATIONS. VERIFY THE EXISTING CONDITIONS OF THE WORK IN THE FIELD AND REPORT TO THE ARCHITECT. VERIFY THE EXISTING CONDITIONS OF THE WORK IN THE FIELD AND REPORT TO THE ARCHITECT. VERIFY THE EXISTING CONDITIONS OF THE WORK IN THE FIELD AND REPORT TO THE ARCHITECT.

2) VERIFY ALL WALL DETECTORS ALONG THE WALLS AND CORNERS OF ALL ROOMS. VERIFY THE EXISTING CONDITIONS OF THE WORK IN THE FIELD AND REPORT TO THE ARCHITECT.

3) VERIFY ALL WALL DETECTORS ALONG THE WALLS AND CORNERS OF ALL ROOMS. VERIFY THE EXISTING CONDITIONS OF THE WORK IN THE FIELD AND REPORT TO THE ARCHITECT.

4) VERIFY ALL WALL DETECTORS ALONG THE WALLS AND CORNERS OF ALL ROOMS. VERIFY THE EXISTING CONDITIONS OF THE WORK IN THE FIELD AND REPORT TO THE ARCHITECT.

5) VERIFY ALL WALL DETECTORS ALONG THE WALLS AND CORNERS OF ALL ROOMS. VERIFY THE EXISTING CONDITIONS OF THE WORK IN THE FIELD AND REPORT TO THE ARCHITECT.



FIFTH FLOOR PLAN  
1:8" = 1'-0"



Image Name

KahlerSlater

design III

SAA

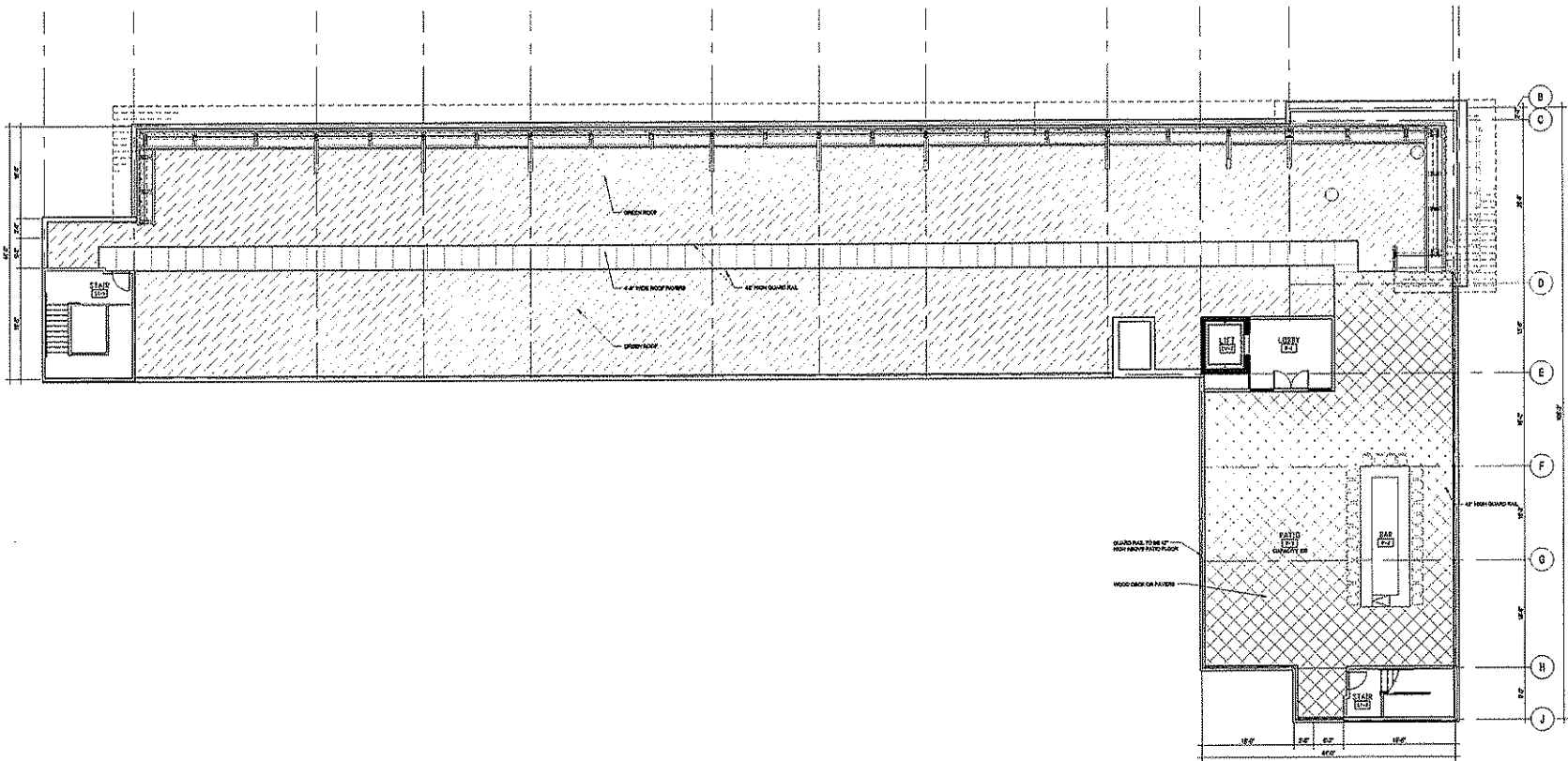
STS | AECOM

**aloft**  
3 DESIGN BY W HOTELS

**fratellos**  
WATERFRONT RESTAURANT  
AND BREWERY

**SHEET NAME**  
**FIFTH FLOOR PLAN A-5**  
MADISON • ALOFT / FRATELLO'S

18 JUNE 2008



1 ROOF PLAN  
1/8" = 1'-0"

NORTH



Image Name



**KEY:**

1	THE MAIN PULL STATION FOR SPACE
2	SHUN DEVIATOR (NON-SHOULD)
3	HEAT EXTRACTOR
4	MACHINE ROOM
5	IF THE COMPASS OF 25 FEET CIRCUMFERENCE
6	IF THE COMPASS OF 25 FEET CIRCUMFERENCE WITH SHOOTING BRACKET
7	THE MAIN HORN
8	EMERGENCY LIGHTING
9	STAIRWELL RISE
10	IF THE COMPASS OF 25 FEET CIRCUMFERENCE
11	IF THE COMPASS OF 25 FEET CIRCUMFERENCE WITH SHOOTING BRACKET
12	IF THE COMPASS OF 25 FEET CIRCUMFERENCE WITH SHOOTING BRACKET

**NOTES:**

1) ALL WORK SHALL BE IN ACCORDANCE WITH THE CONDITIONS OF THE CONTRACT AND THE CITY OF MADISON DESIGN SPECIFICATIONS AND STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MADISON AND THE STATE OF WISCONSIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MADISON AND THE STATE OF WISCONSIN.

2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MADISON AND THE STATE OF WISCONSIN.

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6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MADISON AND THE STATE OF WISCONSIN.

7) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MADISON AND THE STATE OF WISCONSIN.

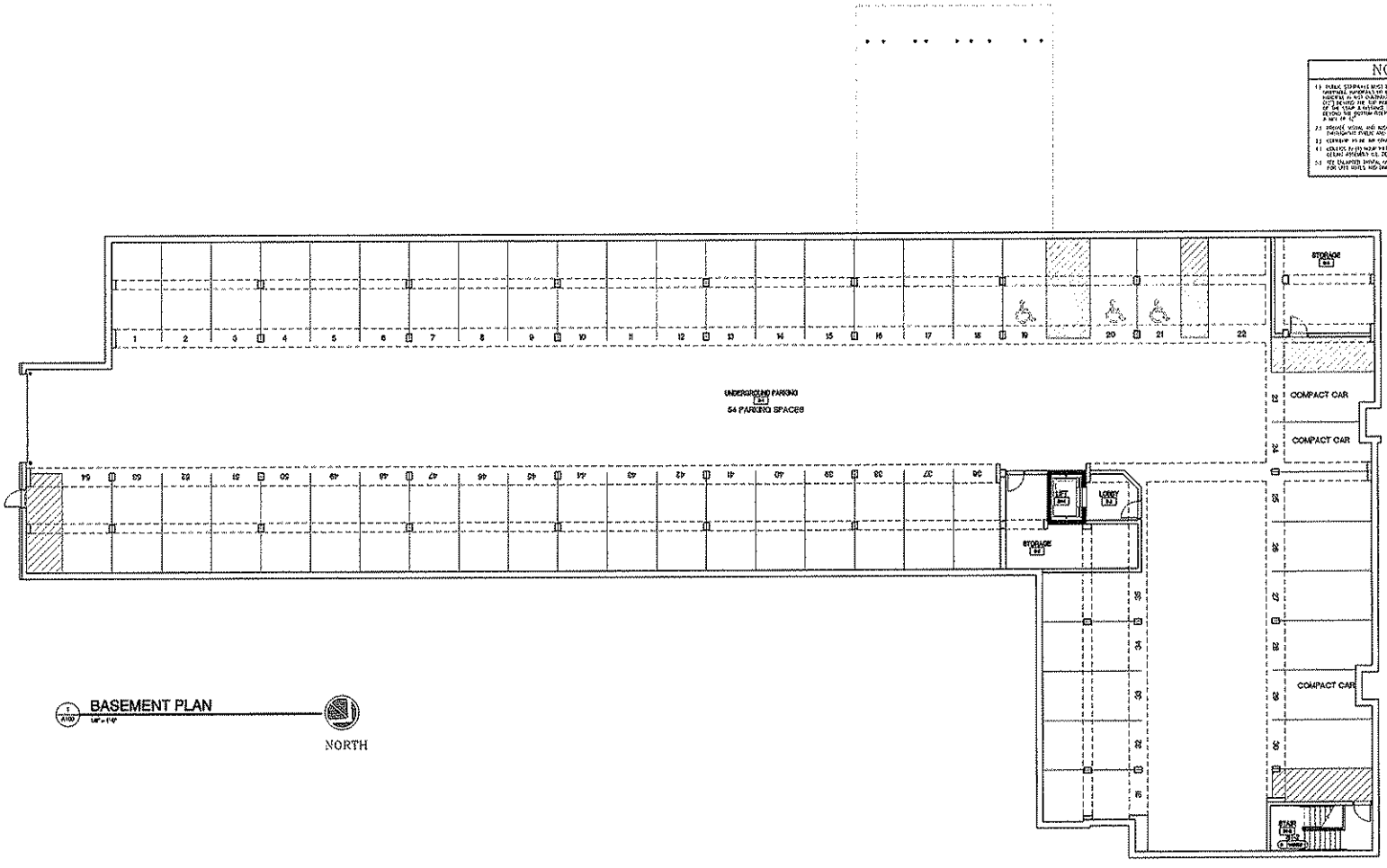
8) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MADISON AND THE STATE OF WISCONSIN.

9) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MADISON AND THE STATE OF WISCONSIN.

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12) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MADISON AND THE STATE OF WISCONSIN.



**BASEMENT PLAN**  
SCALE: 1/8" = 1'-0"

NORTH

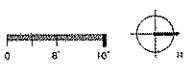
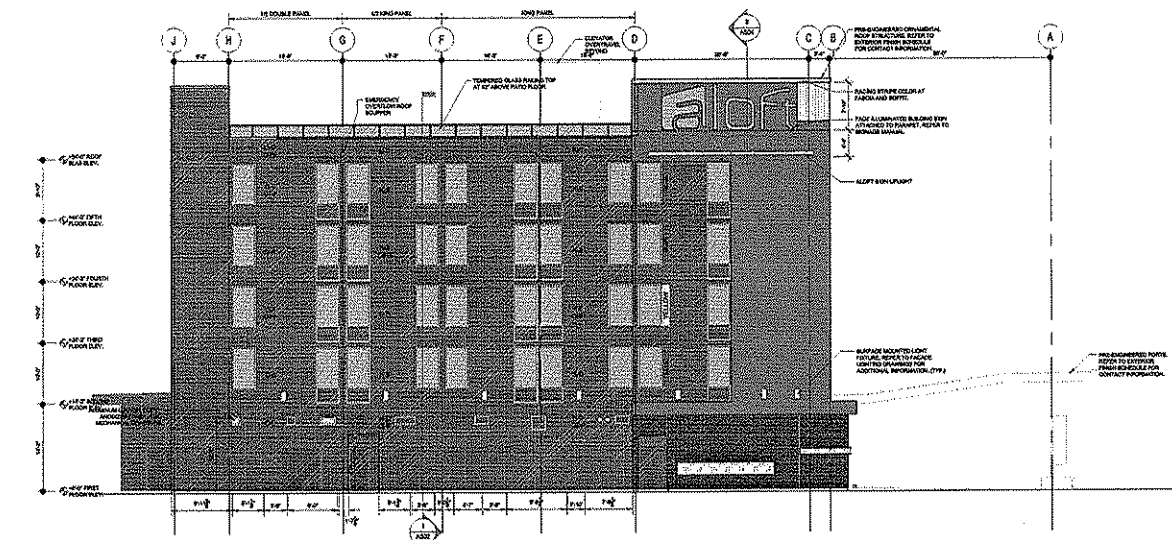
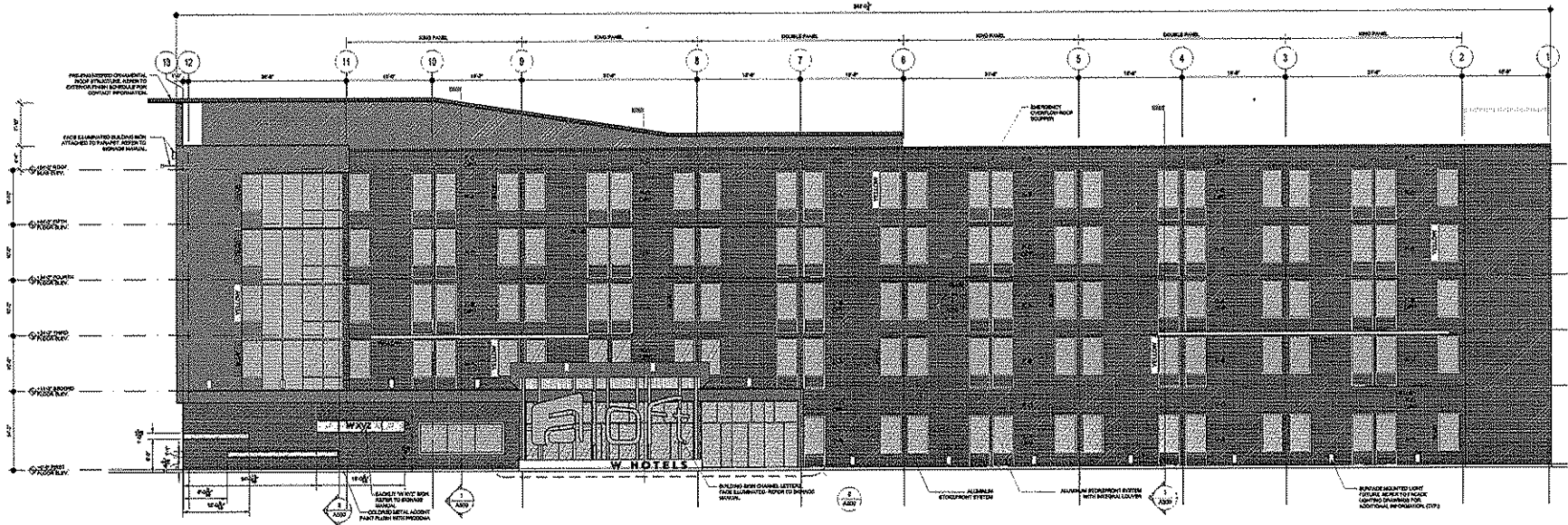


Image Name

FINISH MATERIAL LEGEND			
	SPANDREL GLASS		SAFETY GLASS - 3/4" GLASS WITH TYPICAL TINT COEFFICIENT TO MATCH THE GLASS FINISH
	WINDOW GLASS		ALUMINUM COMPOSITE MATERIAL (ACM) - COLOR TO BE DETERMINED BY THE ARCHITECT
	METAL PANELS		ALUMINUM PANELS - FINISH TO BE DETERMINED BY THE ARCHITECT
	INSULATION		POLYSTYRENE INSULATION - LIGHT COLOR
	CONCRETE		BRICK - TO BE DETERMINED BY THE ARCHITECT



1 SOUTH ELEVATION  
1/8" = 1'-0"



1 EAST ELEVATION  
1/8" = 1'-0"

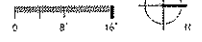
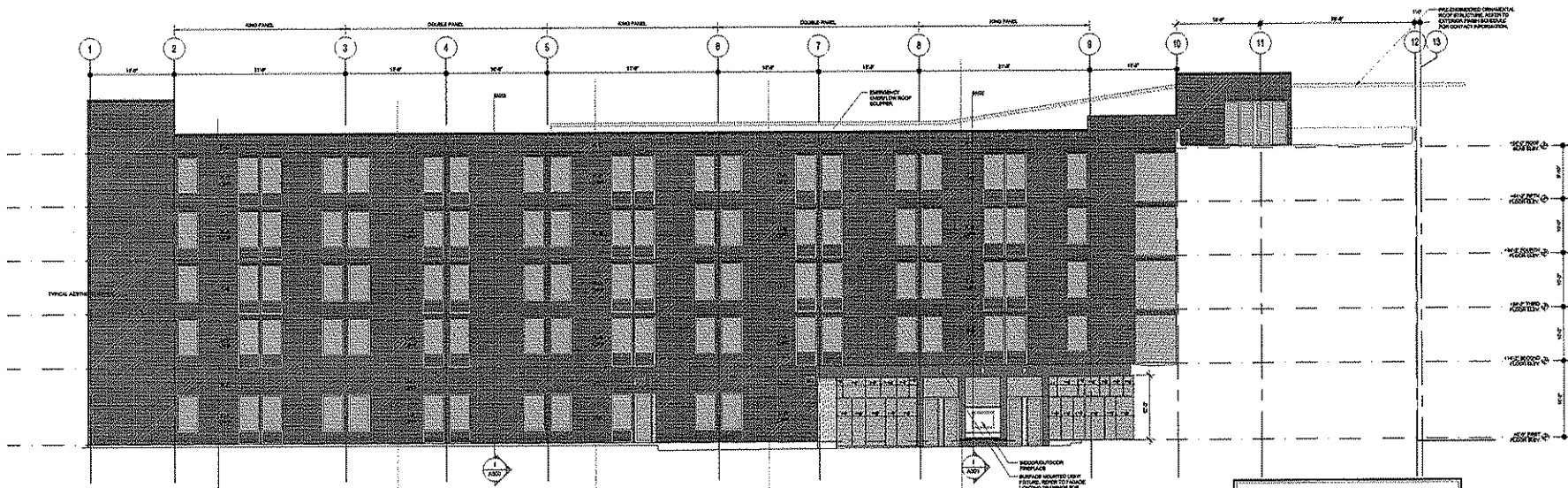


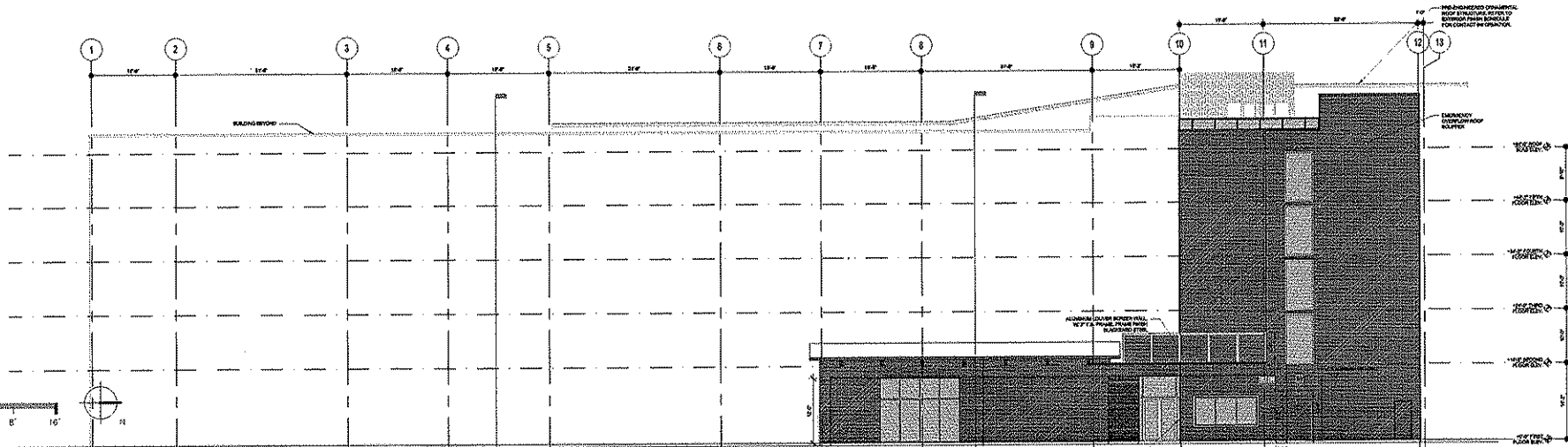
Image Name



WEST ELEVATION @ BACK

**FINISH MATERIAL LEGEND**

SPANGLED GLASS	FLAT GLASS	2" FLAT GLASS	2" FLAT GLASS
ROUGH GLASS	ALUM. PANELS	ALUM. PANELS	ALUM. PANELS
METAL PANEL	ALUM. PANELS	ALUM. PANELS	ALUM. PANELS
BRONZE	BRONZE	BRONZE	BRONZE
SOLID METAL	SOLID METAL	SOLID METAL	SOLID METAL

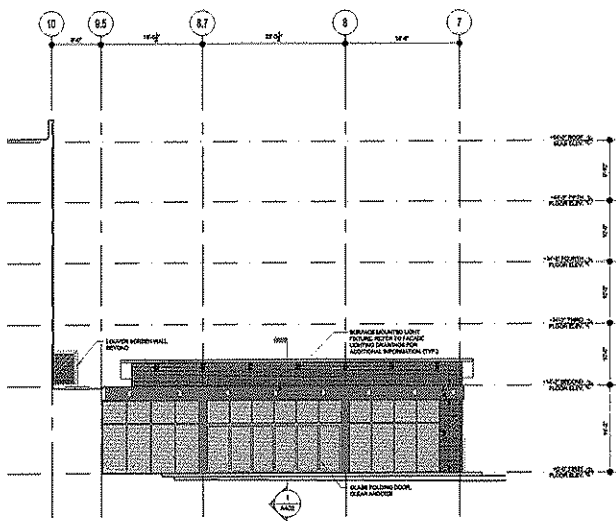


WEST ELEVATION

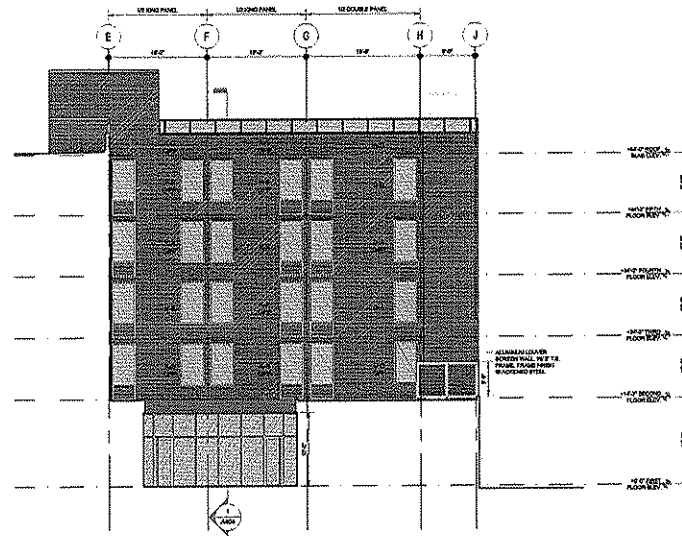
Kahler Slater design III SAA STS AECOM

aloft fratellos WATERFRONT RESTAURANT AND BREWERY

SHEET NAME ELEVATIONS A-9 MADISON • ALOFT / FRATELLO'S 18 JUNE 2008

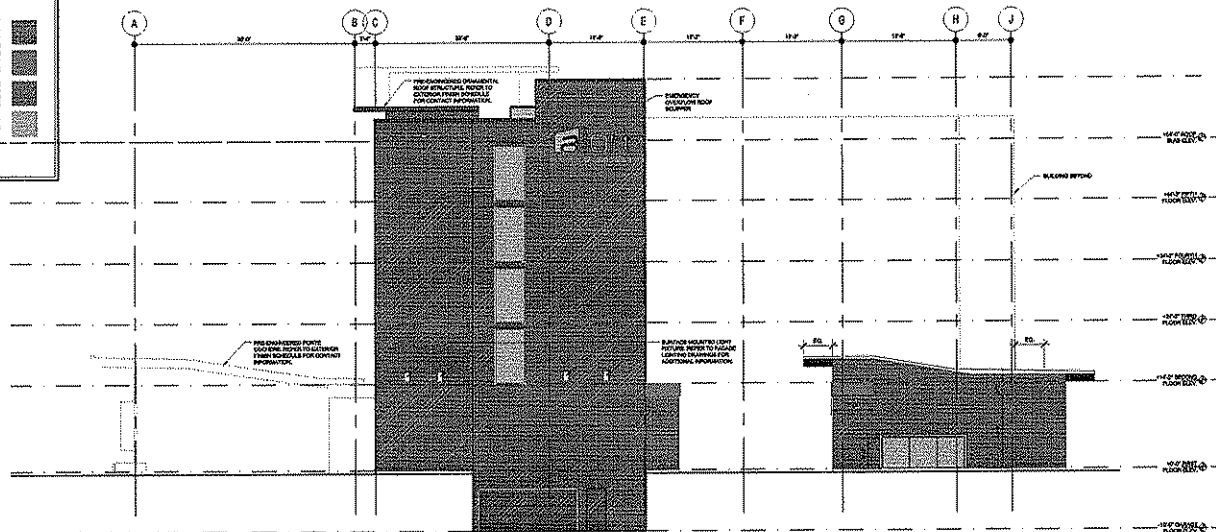


1 EAST POOL ELEVATION @ BACK  
1/8" = 1'-0"



1 NORTH ELEVATION @ BACK  
1/8" = 1'-0"

FINISH MATERIAL LEGEND	
SPANDREL GLASS	4" UTILITY GRID - SUBJECT TO FINISH TO BE DETERMINED BY FINISH SCHEDULE
VISION GLASS	4" AIR RESISTANCE COMPOSITE MATERIAL - QUANTIFIED PER FINISH SCHEDULE
METAL FRAME SYSTEM	ALUM. LUNGS IN FINISH SCHEDULE PER FINISH SCHEDULE
FRONTAL COLOR TO BE MATCH	OUTDOOR LIGHT FIXTURE
WOODEN LATH, FORMER FINISH SEE ELEVATION FOR COLOR	



1 NORTH ELEVATION  
1/8" = 1'-0"



Image Name

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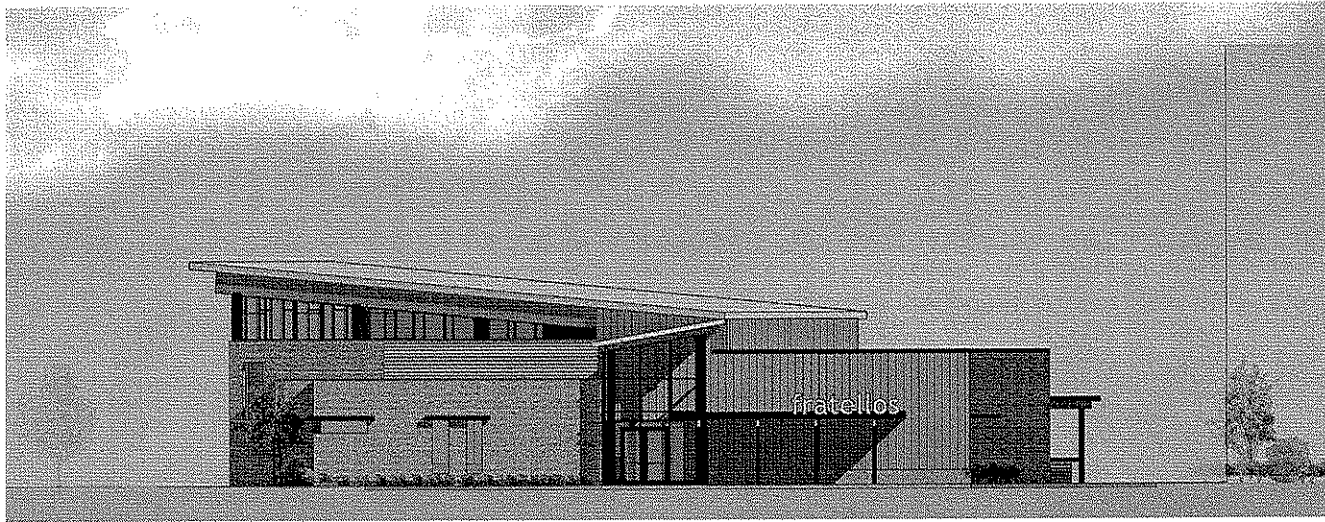
aloft  
A VISION OF W. HOTELS

fratellos  
WATERFRONT RESTAURANT  
AND BREWERY

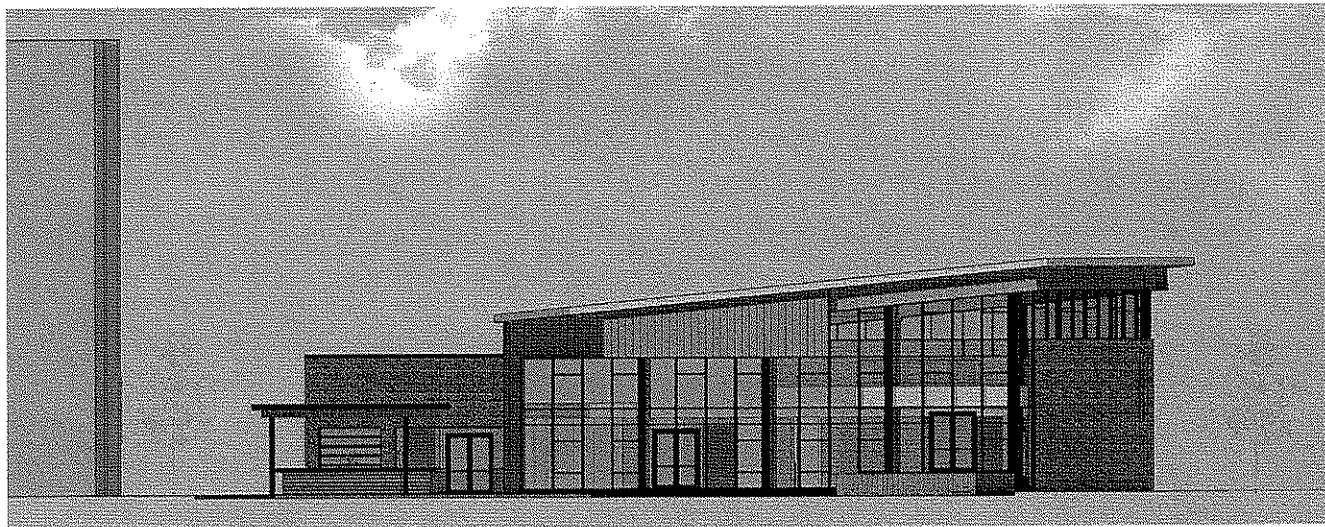
SHEET NAME  
ELEVATIONS A-10  
MADISON • ALOFT / FRATELLO'S

• 18 JUNE 2008

# Building Materials and Color Scheme



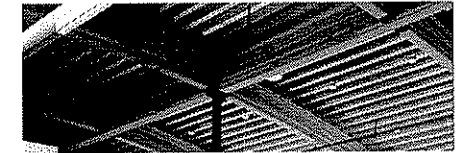
west elevation



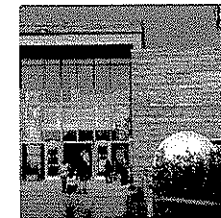
east elevation



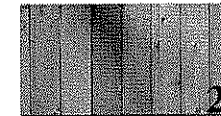
Precedent One



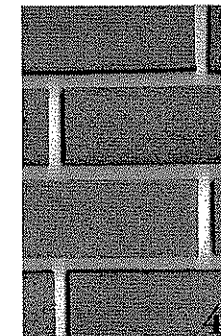
Precedent Two



Brick (Same as Aloft)



Cedar Cladding



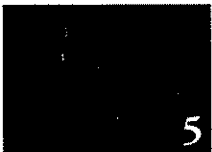
Brick (Same as Aloft)



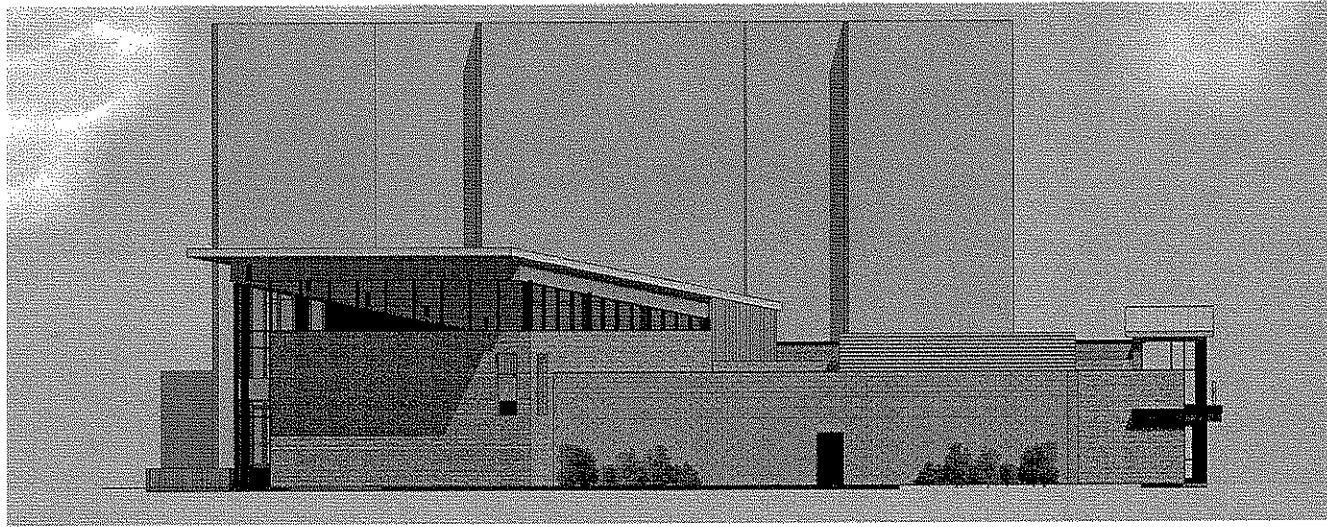
Corrugated Metal Panel



Glulam Beams



Metal Panels & Mullions

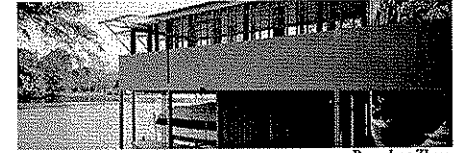


north elevation



south elevation

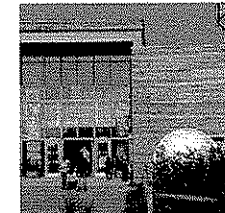
## Building Materials and Color Scheme



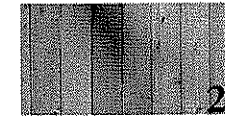
Precedent Three



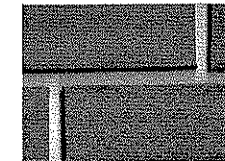
Precedent Four



1  
Corrugated Metal Panel



2  
Cedar Cladding



3  
Brick (Same as Aloft)

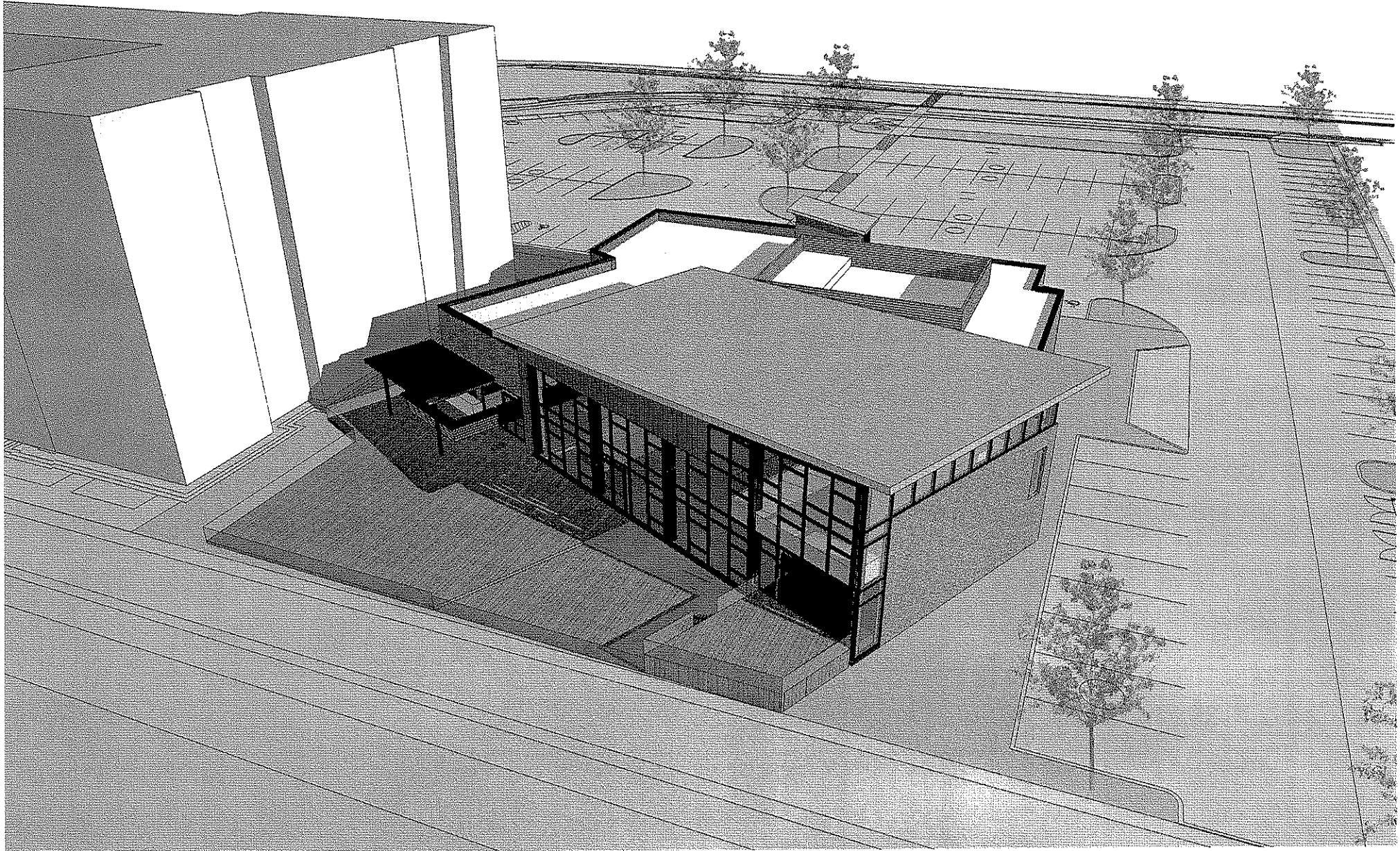


3  
Glulam Beams



5  
Metal Panels & Mullions





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WATERFRONT RESTAURANT  
AND BREWERY

A14 - Rear Bird's Eye View

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