

829 East Washington Avenue

Madison, Wisconsin 53703

February 5, 2014 - Plan Commission Submittal

Revision	Date

Project Name
829 East Washington

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PROJECT INFORMATION	
Existing Building:	Interior remodel/change of use
Zoning District:	TE-WP 24
Occupancy Type:	First Floor- Assembly Group A-2: Restaurant Second Floor-Business B: Office Space
Site Area:	10,890 sf/ .25 acre
Bldg. Stories (above grade):	Two stories along E. Washington, One story in rear
Max. Height (Zoning):	5 stories/68' allowable, 2 stories/29' Existing
Max. Height (Code):	3 stories (Table 503, 504.2 sprinkled)
Type of Construction:	Type IIIB
Sprinklered:	Fully sprinklered throughout per NFPA 13
Allowable area/floor (Code):	19,000 sf (Table 503, 506.3 sprinkled)
Total Building Area:	Basement: 1,000 sf First Floor: 6,588 sf Sec. Floor: 1,673 sf Total (Above Grade): 8,261 sf
Courtyard:	2,936 sf
Occupancy:	First Floor: 203 persons Sec. Floor: 17 persons (1,673/100 sf) Courtyard: 200 persons
Parking:	Street parking in front- no parking required, pending conditional use approval
Bike Stalls:	16 Vertical Bike Racks- see landscape plans

PROJECT TEAM	
DEVELOPMENT	Fourcap Real Estate PHONE: (608) 698-8174 629 S. Dickinson Street Madison, Wisconsin 53703
ARCHITECTURE	Tills Architecture LLC PHONE: (608) 235-6240 2501 Balden St. Madison, Wisconsin 53713
CIVIL & LANDSCAPE	SAA DESIGN GROUP PHONE: (608) 255-0800; FAX: (608) 255-7750 101 E. Badger Road Madison, Wisconsin 53713



Madison, Wisconsin

EAST WASHINGTON VIEW



PROJECT CONTEXT



PROJECT LOCATION



Drawn By: AW
 Checked By: BM
 File: P-T
 Issued For: Review
 Issue Date: 02/05/2014
 Project No. 2547

COVER SHEET

Sheet Number
CS

Revision	Date

Project Name

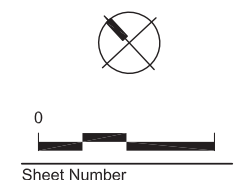
829 East Washington



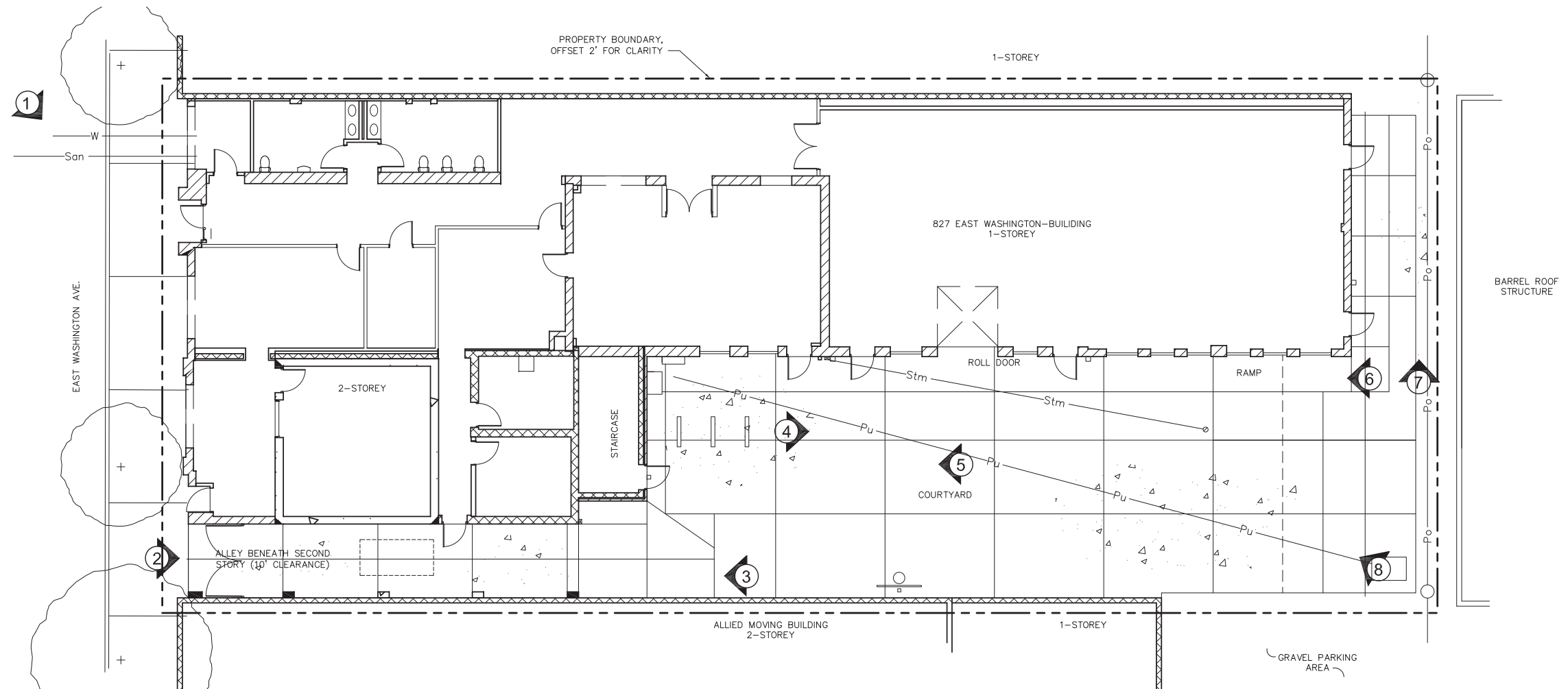
Madison, Wisconsin

Drawn By: AW
 Checked By: BM
 File: P-EXPHOTO
 Issued For: Review
 Issue Date: 02/05/2014
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EXISTING SITE PHOTOS



C000



1 VIEW OF FACADE ALONG EAST WASHINGTON



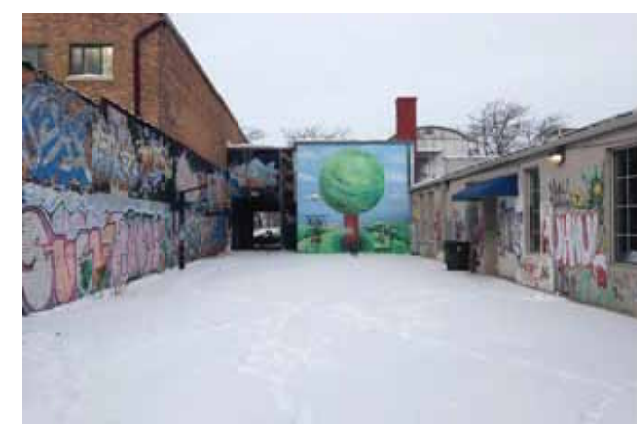
2 VIEW OF TUNNEL FROM E. WASHINGTON AVE. SIDEWALK



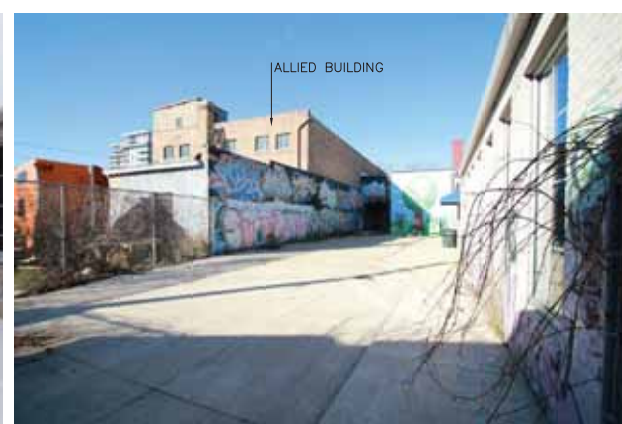
3 VIEW OF TUNNEL FROM INSIDE COURTYARD



4 VIEW SOUTHEAST INSIDE COURTYARD



5 VIEW NORTHWEST INSIDE COURTYARD



6 VIEW NORTHWEST INSIDE COURTYARD

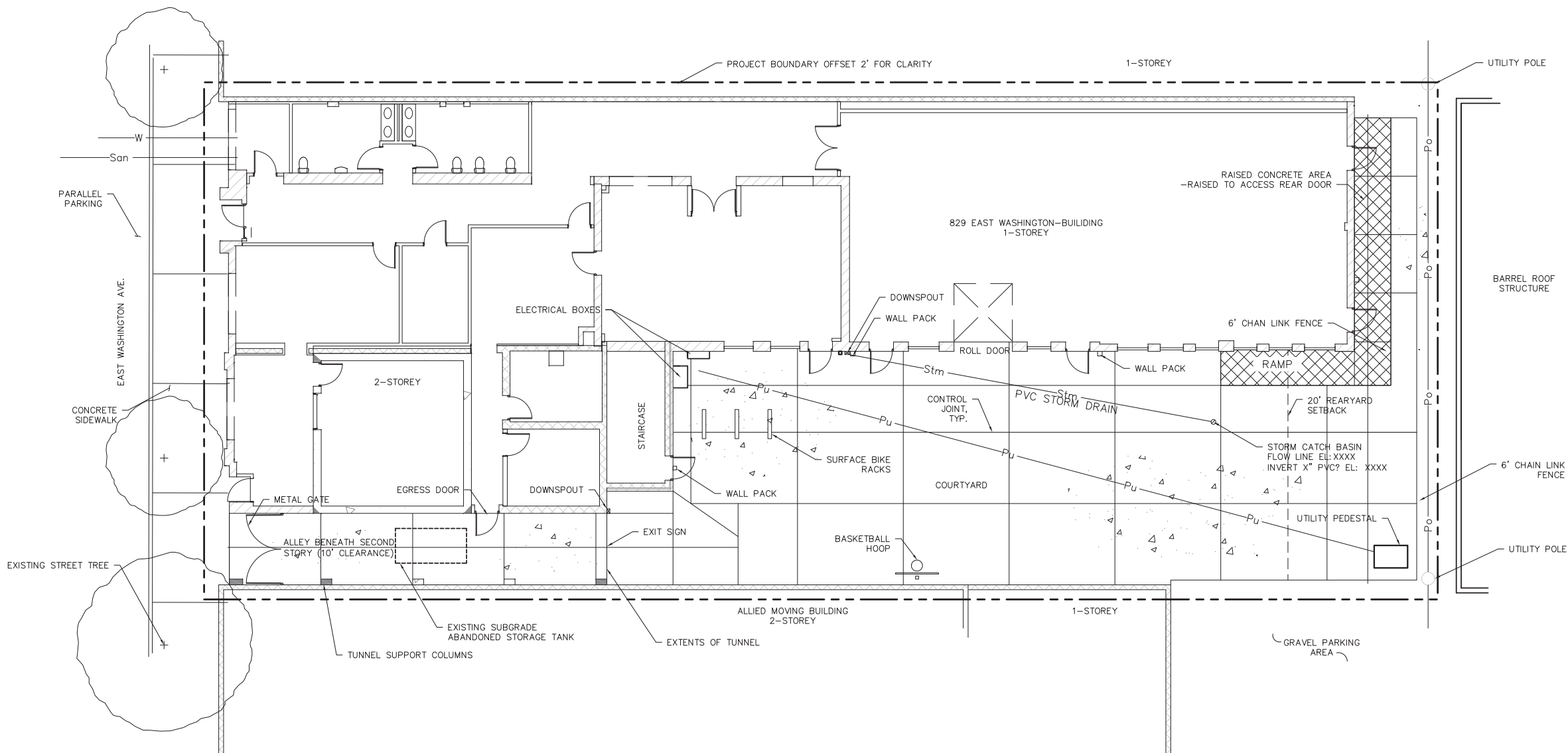


7 VIEW BEHIND EXISTING BUILDING



8 VIEW NORTH INSIDE COURTYARD

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NOTES:

1. BASE LINEWORK COMPILED FROM SITE RECONNAISSANCE, DNR FILE REFERENCE 03-13-207239, AND SUPPLIED INFORMATION.
2. COURTYARD CURRENTLY NON-ACCESSIBLE TO VEHICULAR TRAFFIC.

LEGEND

- PROJECT BOUNDARY
- Po— POWER OVERHEAD
- E— ELECTRIC
- San— SANITARY
- W— WATER
- STORM
- ▨ RAISED CONCRETE AREA
- ▩ CONCRETE PAVEMENT

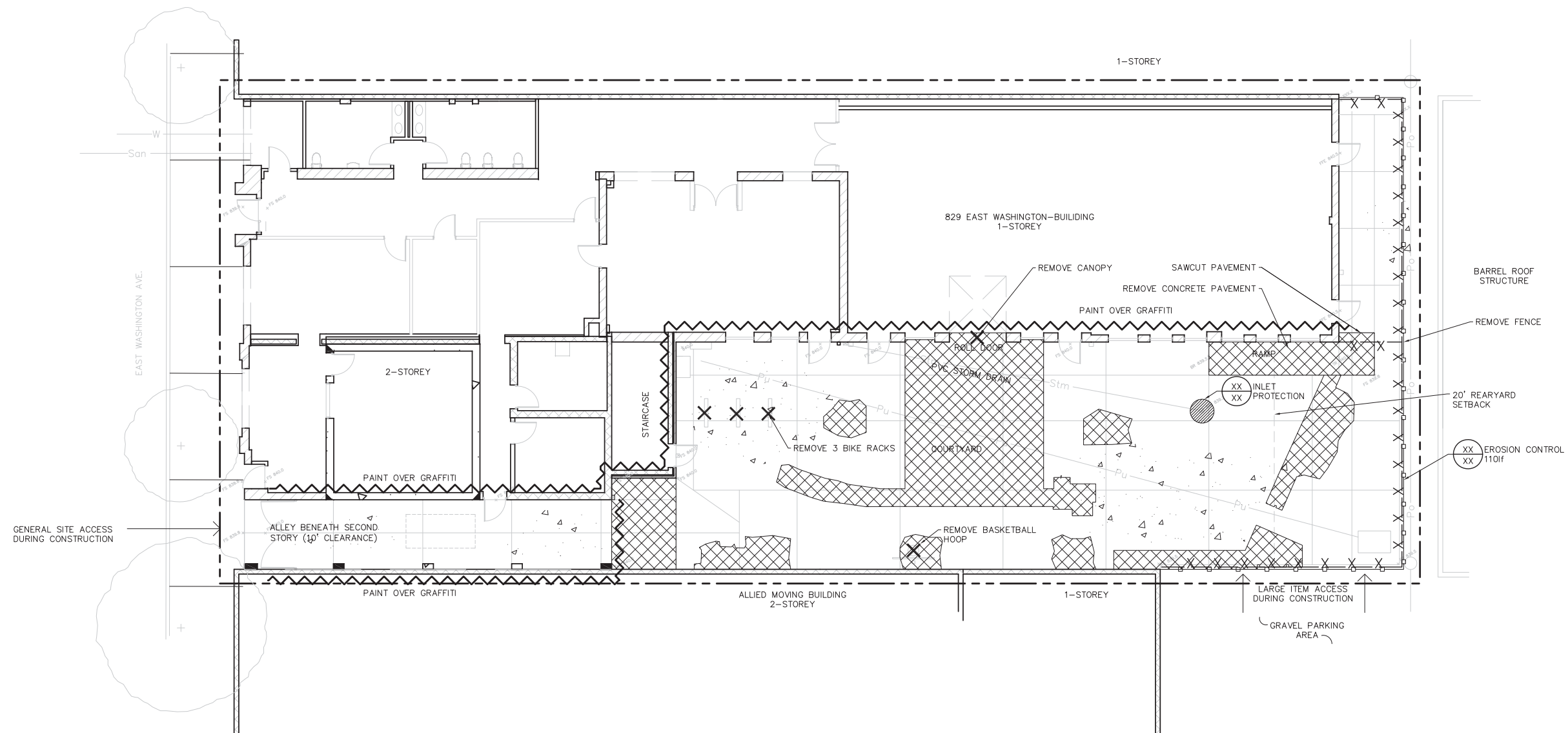


DEMOLITION PLAN



Sheet Number

C200



NOTES:

- EXISTING SITE IS A BROWNFIELD CLASSIFICATION PER DNR. ALL EXCAVATED SOIL SHALL BE PROPERLY REMOVED AND DISPOSED OF LEGALLY OFF-SITE.
- REFER TO SITE PLAN FOR COORDINATION OF PROPOSED ELEMENTS AND REMOVED CONCRETE AREAS. IT IS ADVISED CONCRETE WILL BE JACK HAMMERED OUT UNLESS OTHERWISE INDICATED.
- UNLESS OTHERWISE INDICATED, ALL ITEMS DESIGNATED FOR DEMOLITION SHALL BE REMOVED AND DISPOSED OF LEGALLY OFF-SITE.
- REMOVE BASKETBALL HOOP AND BIKE RACKS, RETURN TO OWNER.
- CONTRACTOR SHALL CONTACT DIGGERS HOTLINE AND APPROPRIATE UTILITY COMPANIES A MINIMUM OF THREE (3) DAYS PRIOR TO THE START OF ANY CONSTRUCTION TO FIELD VERIFY UTILITIES.
- IT IS ANTICIPATED ALL CONSTRUCTION ACCESS WILL OCCUR VIA THE SOUTHWEST CORNER OF THE SITE THROUGH THE EXISTING CHAINLINK FENCE.
- ALL SITE EROSION CONTROL MEASURES SHALL BE MAINTAINED BY CONTRACTOR AND SHALL BE REPAIRED OR REPLACED AS NEEDED TO SERVE INTENDED FUNCTION.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EROSION CONTROL DEVICES AT PROJECT COMPLETION.

LEGEND

- PROJECT BOUNDARY
- Po— POWER OVERHEAD
- E— ELECTRIC
- San— SANITARY
- W— WATER
- STORM
- ~ ~ ~ PAINT WALLS - NEUTRAL COLOR TBD
- X-X- REMOVE FENCE
- X REMOVE ELEMENT
- CONCRETE TO BE REMOVED
- EXISTING CONCRETE PAVEMENT

LANDSCAPE POINTS

DEVELOPED AREA REQUIREMENTS:
 DEVELOPED AREA (EXCLUDING BUILDING FOOTPRINT) 3,636 SF
 DEVELOPED AREA POINTS REQUIRED (3,636/300) 12.1 POINTS
 DEVELOPED AREA POINTS PROVIDED (XXXXXX) XXX POINTS

DEVELOPMENT FRONTAGE LANDSCAPING:
 NOT APPLICABLE

INTERIOR PARKING LOT LANDSCAPING:
 NOT APPLICABLE

FOUNDATION PLANTING LANDSCAPING:
 NOT APPLICABLE

TOTAL LANDSCAPE POINTS REQUIRED 12.1 POINTS
 TOTAL LANDSCAPE POINTS PROVIDED XXX POINTS

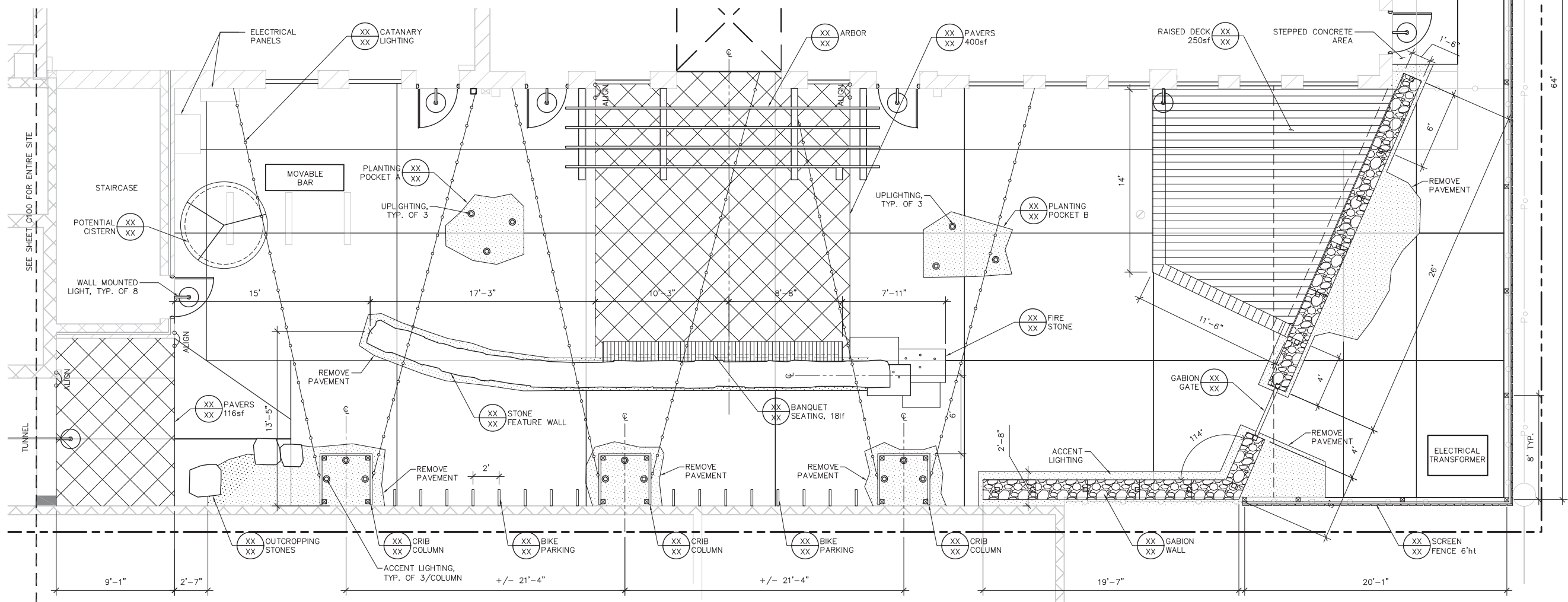
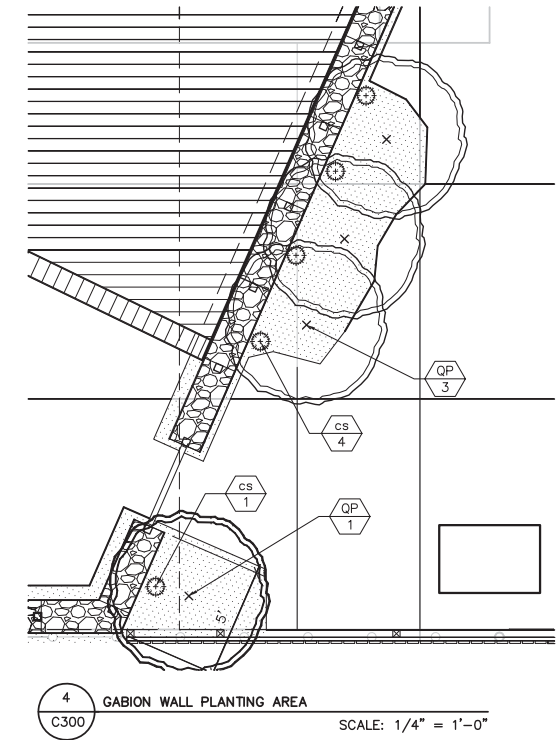
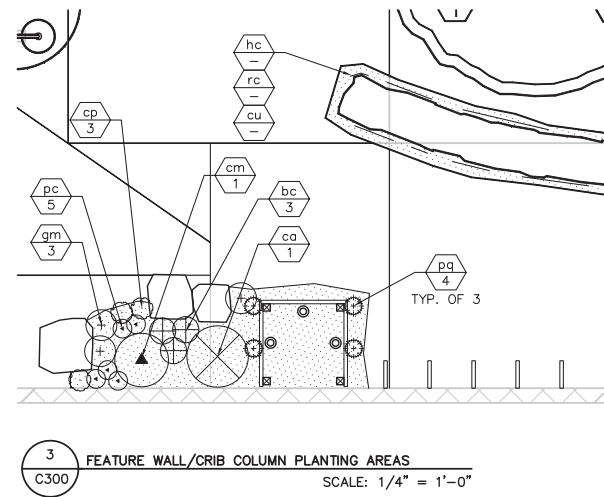
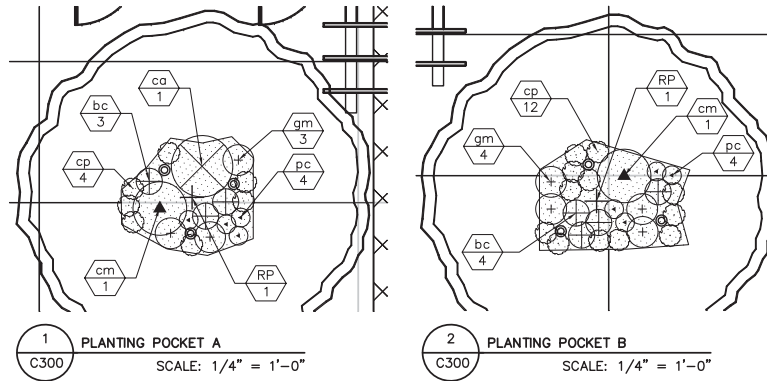
SITE STATISTICS

SITE AREA 10,850 SF
 EXISTING IMPERVIOUS SURFACES 10,850 SF
 EXISTING ISR 1.0
 PROPOSED IMPERVIOUS SURFACES 10,650 SF
 PROPOSED ISR 0.98

Symbol	Botanical name	Common Name	Size	Root	Quantity	Comments
RP	Robinia pseudoacacia	Black Locust	3" Cal.	B&B	2	
QP	Quercus palustris 'Green Pillar'	Green Pillar Pin Oak	3" Cal.	B&B	4	Upright
bc	Bouteloua curtipendula	Sideoats Gramma	3" Cal.	Cont.	10	
ca	Ceanothus americanus	New Jersey Tea	3" Cal.	Cont.	2	Shrub
cm	Carex muskingumensis	Palm Sedge	3" Cal.	Cont.	3	
cp	Carex pensylvanica	Penn Sedge	3" Cal.	Cont.	19	
gm	Geranium maculatum	Wild Geranium	3" Cal.	Cont.	10	
pc	Polemonium coeruleum	Jacob's Ladder	3" Cal.	Cont.	13	
cs	Celastrus scandens	American Bittersweet	1 Gal.	Cont.	5	Vine
pq	Parthenocissus quinquefolia 'Englem'	Englemann Ivy	1 Gal.	Cont.	12	Vine
hc	Haircap Moss			Mix	15sf	Moss
rc	Rock Cap Moss			Mix	15sf	Moss
cu	Cushion Moss			Mix	15sf	Moss

NOTES:

1. ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS
2. THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS.
3. DIMENSIONS TAKEN TO FACE OF BUILDING



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Project Name

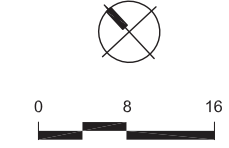
829 East Washington



Madison, Wisconsin

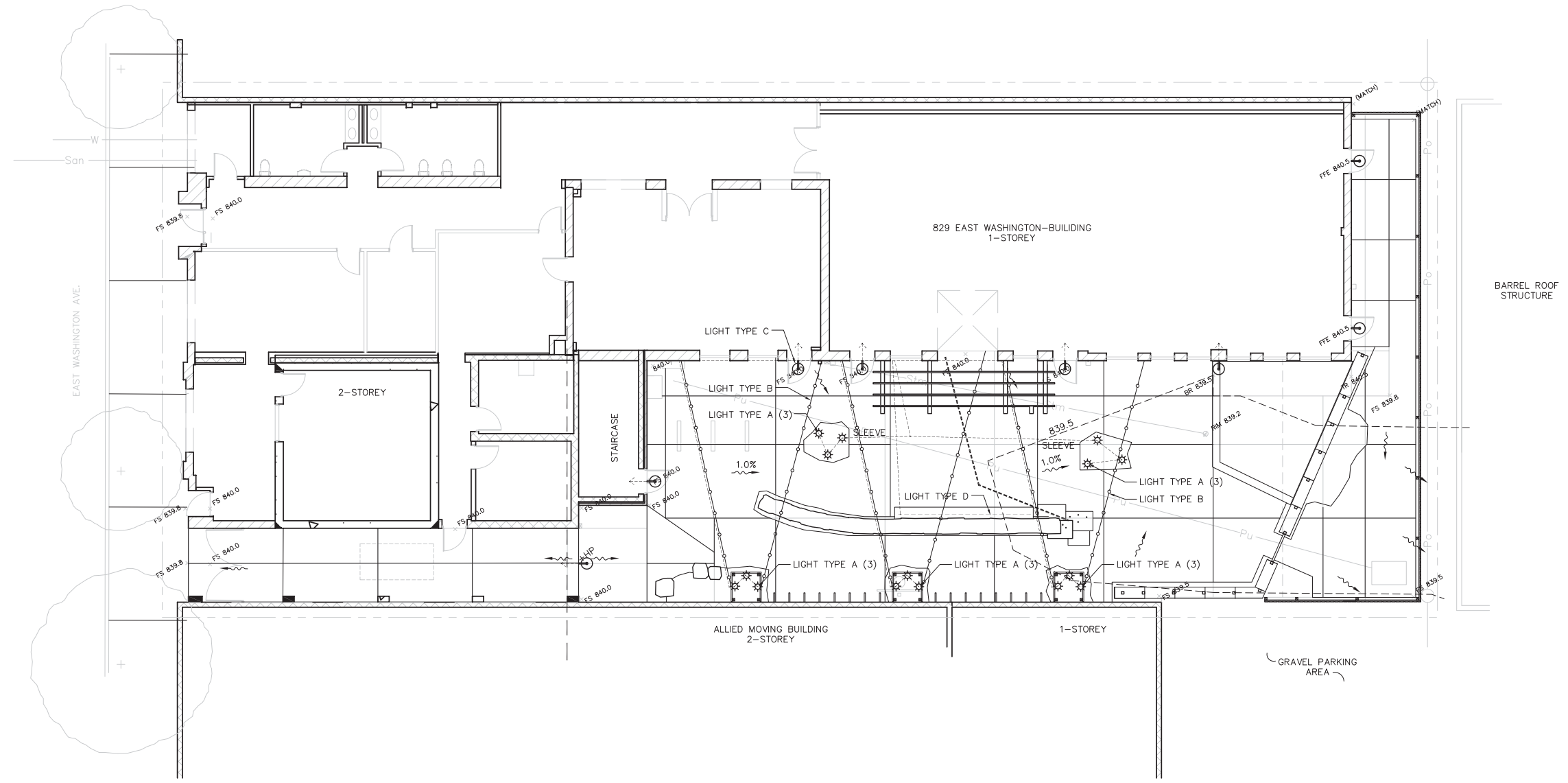
Drawn By: AW
 Checked By: BM
 File: P-DEMO
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SITE GRADING & UTILITY PLAN



Sheet Number

C400



TYPE	SYM	CATALOG NO.	DESCRIPTION	LAMP	LUMENS	LLF	WATTS	QTY
A	☼	TBD	COLUMN/TREE UPLIGHT	XX	XXX	-	-	-
C	—○—	TBD	CATANARY LIGHTING	XX	XXX	-	-	-
D	⊙	TBD	WALL LIGHT	LED	XXX	-	-	-
E	—○—	TBD	UNDERBENCH LIGHTING	XX	XXX	-	-	-

CALCULATION SUMMARY							
LABEL	CALC.	TYPE	UNITS	AVG	MAX	MIN	AVG/MIN
TYPE D	ILLUMINANCE	FC	0.XX	X.X	0.0	NA	NA

ANTICIPATED CONSTRUCTION SCHEDULE:

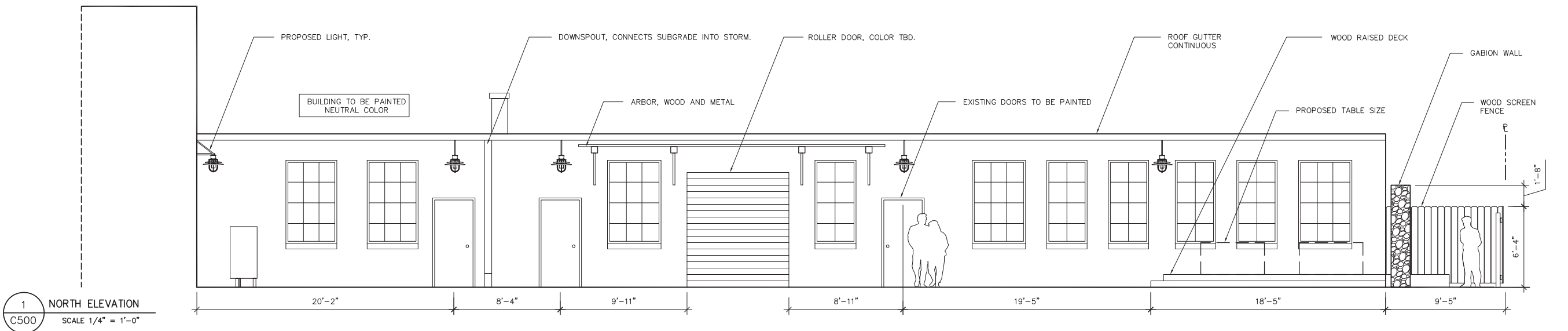
1. INSTALL INLET PROTECTION AS DETAILED ON THE PLAN.
2. REMOVE EXISTING ITEMS AS DETAILED IN THE DEMOLITION PLAN.
3. REMOVE PORTIONS OF EXISTING CONCRETE PAVEMENT AS INDICATED..
4. CONSTRUCT UTILITIES AND WALLS AS PRESCRIBED IN THE PLAN
5. CONSTRUCT PAVEMENT.
6. LANDSCAPE AS INDICATED.
7. REMOVE EROSION CONTROL ITEMS.

GRADING NOTES

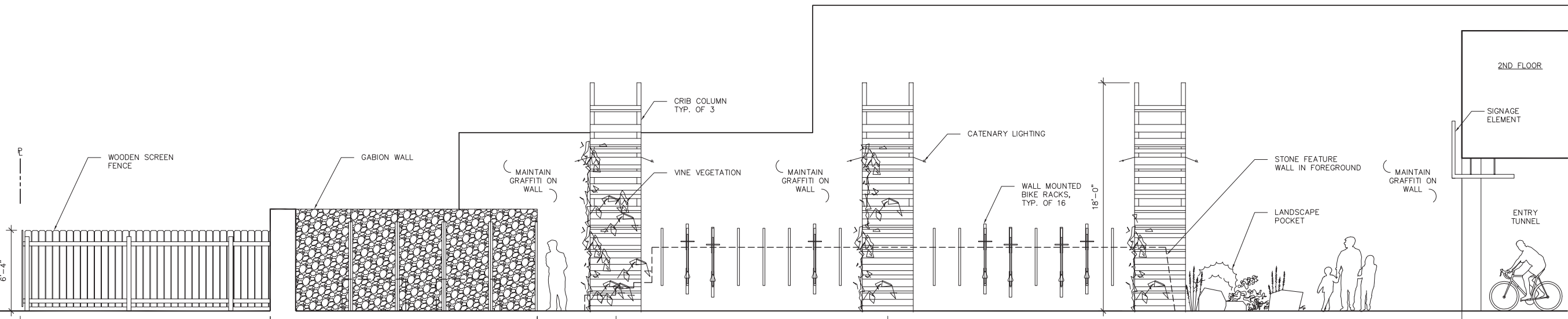
1. CONTRACTOR SHALL MEET EXISTING GRADE AT PROJECT LIMITS WITH A SMOOTH AND CONTINUOUS TRANSITION.
2. CONTOURS SHOWN ON FINISH SURFACE INDICATE FINAL GRADE.
3. CONTOUR INTERVAL IS HALF (1/2) FOOT.
4. CONTOURS AND SPOT ELEVATIONS REPRESENT THE DESIGN INTENT OF FINISH GRADES AND FINISH SURFACES. SUBGRADES SHALL BE PER DETAIL DRAWINGS. THERE SHALL BE A MINIMUM OF 8" OF TOPSOIL IN ALL LANDSCAPE AREAS.

SPOT ELEVATION ABBREVIATIONS:

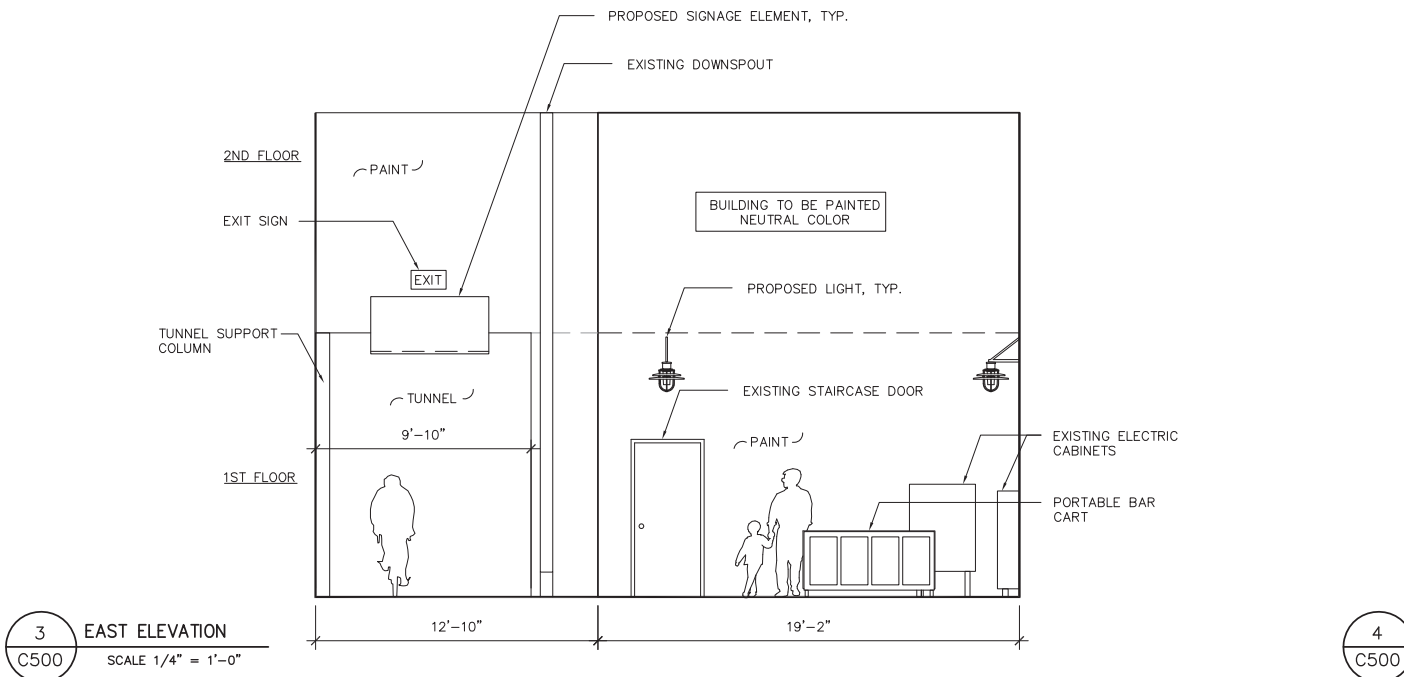
- EG = EXISTING GRADE
- EC = EXISTING CONCRETE
- FS = FINISHED SURFACE
- FG = FINISHED GRADE
- TW = TOP OF WALL
- BW = BOTTOM OF WALL
- TR = TOP OF ROCK
- TS = TOP OF STAIRS
- BS = BOTTOM OF STAIRS
- IE = INVERT ELEVATION
- R = RIM



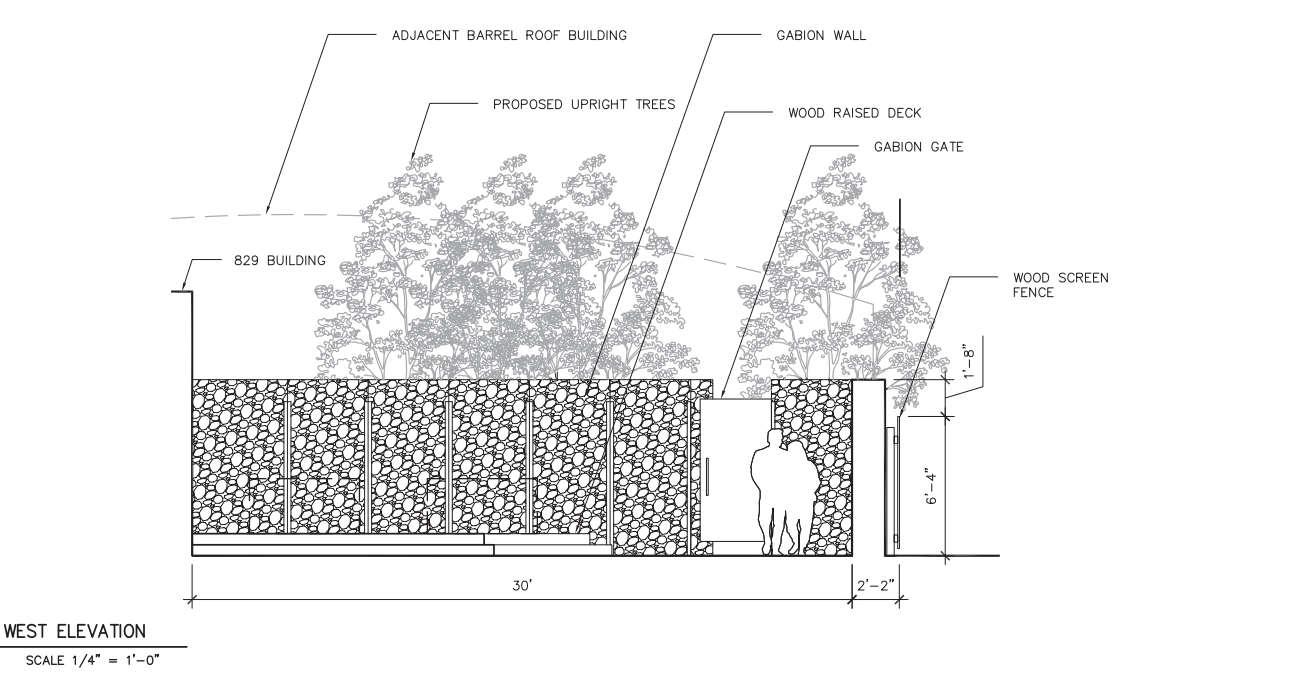
1 NORTH ELEVATION
 C500 SCALE 1/4" = 1'-0"



2 SOUTH ELEVATION
 C500 SCALE 1/4" = 1'-0"

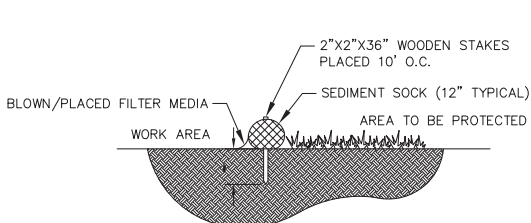


3 EAST ELEVATION
 C500 SCALE 1/4" = 1'-0"

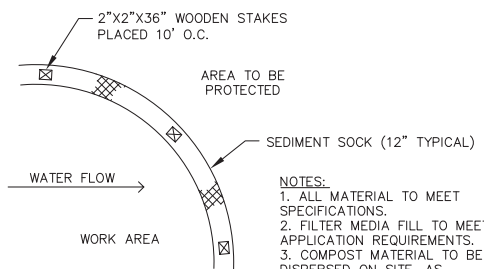


4 WEST ELEVATION
 C500 SCALE 1/4" = 1'-0"

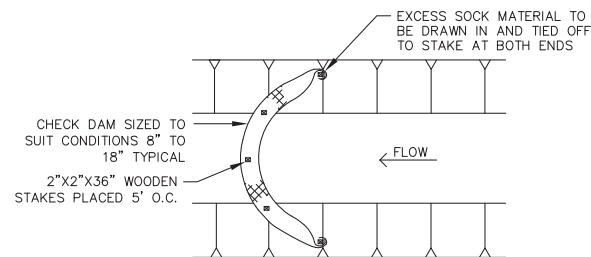
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SECTION

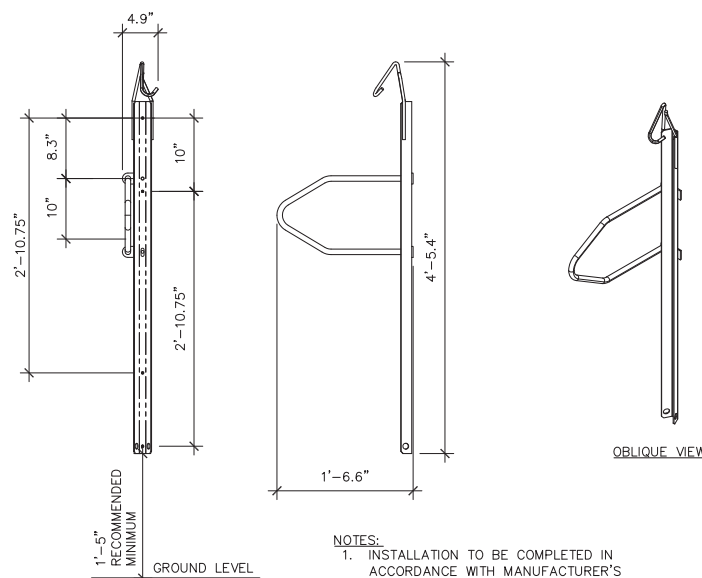


PLAN



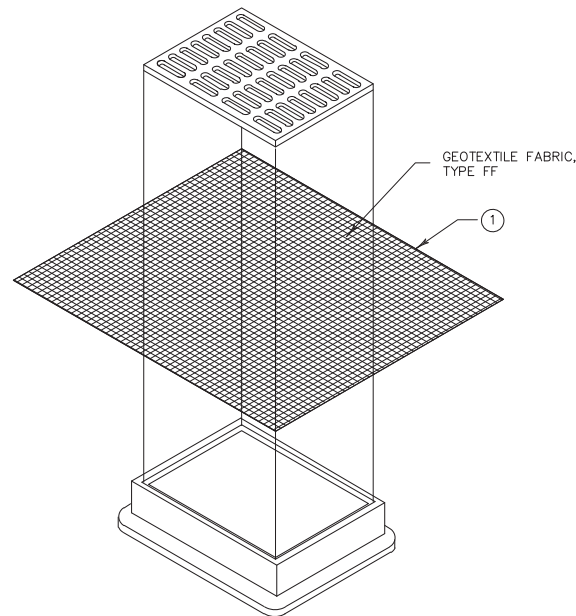
- NOTES:
1. ALL MATERIAL TO MEET SPECIFICATIONS.
 2. SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED 1/2 THE HEIGHT OF THE CHECK DAM.
 3. CHECK DAM CAN BE DIRECT SEEDED AT THE TIME OF INSTALLATION.
 4. UTILIZE SILT SOCK AS INLET PROTECTION PER DMR SPECIFICATIONS IF REQUIRED.

1 SEDIMENT SOCK
C600 SCALE NTS



- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. SPACING BETWEEN RACKS SHALL BE 2'-0"

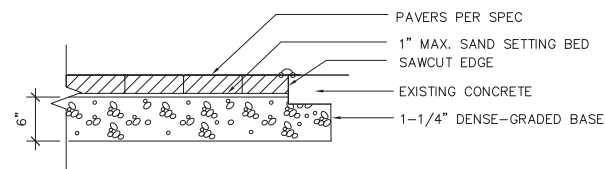
2 LOCKING VERTICAL BIKE RACK
C600 SCALE NTS



- NOTES:
- INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

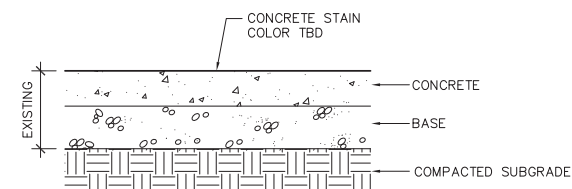
- 1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

3 INLET PROTECTION, TYPE B
C600 SCALE NTS

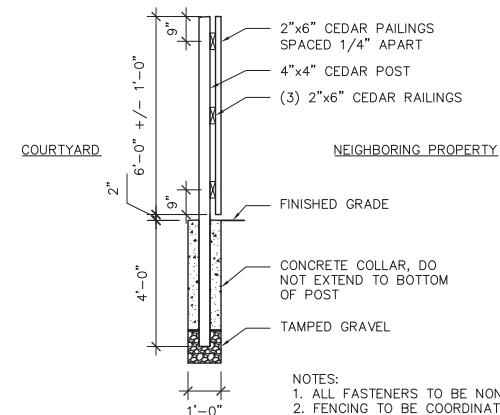
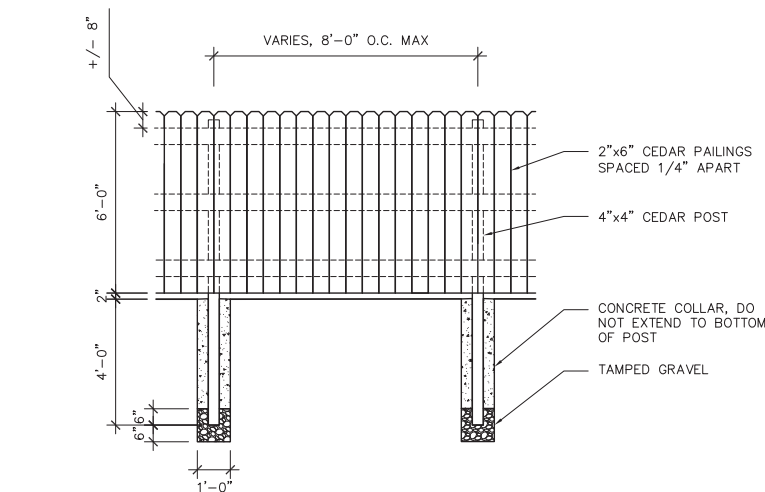


- NOTES:
1. SEE ENLARGEMENT FOR LAYOUT PATTERN
 2. CONTRACTOR TO SUPPLY OWNER WITH ANY SURPLUS PAVERS

4 PAVERS OVER AGGREGATE
C600 SCALE 1" = 1'-0"



5 CONCRETE PAVEMENT STAIN
C600 SCALE NTS

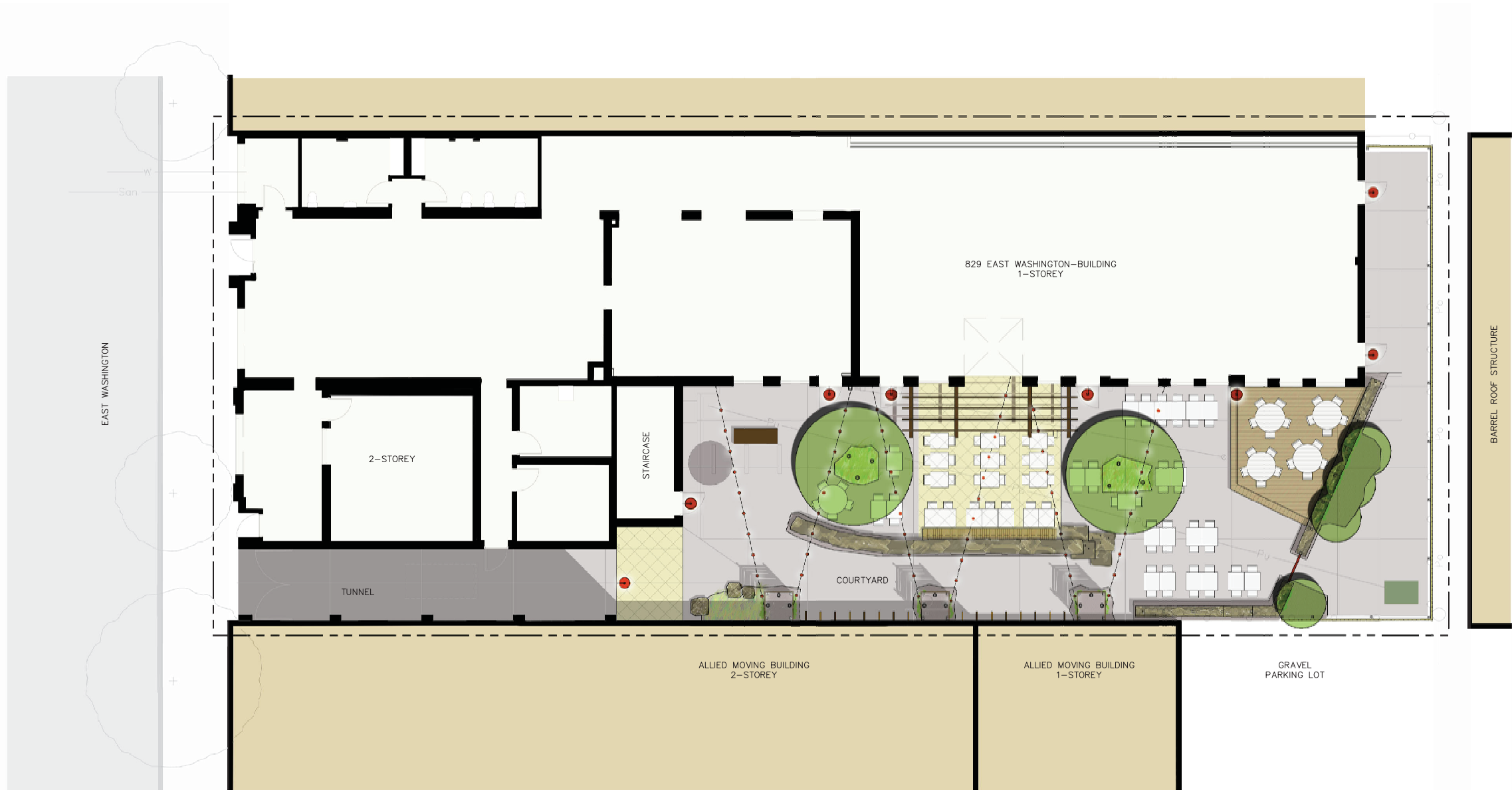


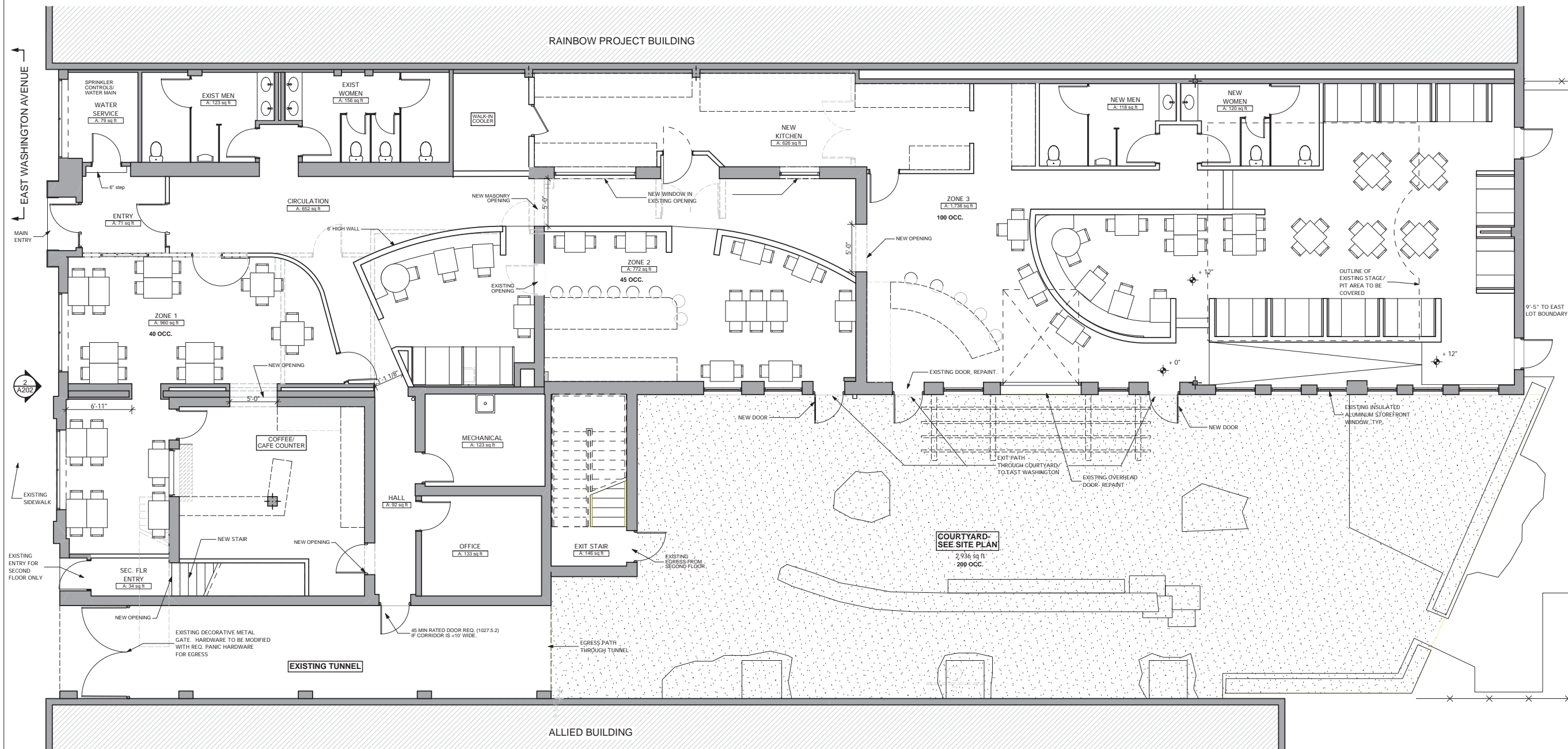
- NOTES:
1. ALL FASTENERS TO BE NON-CORROSIVE.
 2. FENCING TO BE COORDINATED WITH UTILITY CONTRACTOR.
 3. MAINTAIN CLEARANCE AS REQUIRED BY UTILITY CONTRACTOR.

6 WOOD FENCE
C600 SCALE 3/8" = 1'-0"

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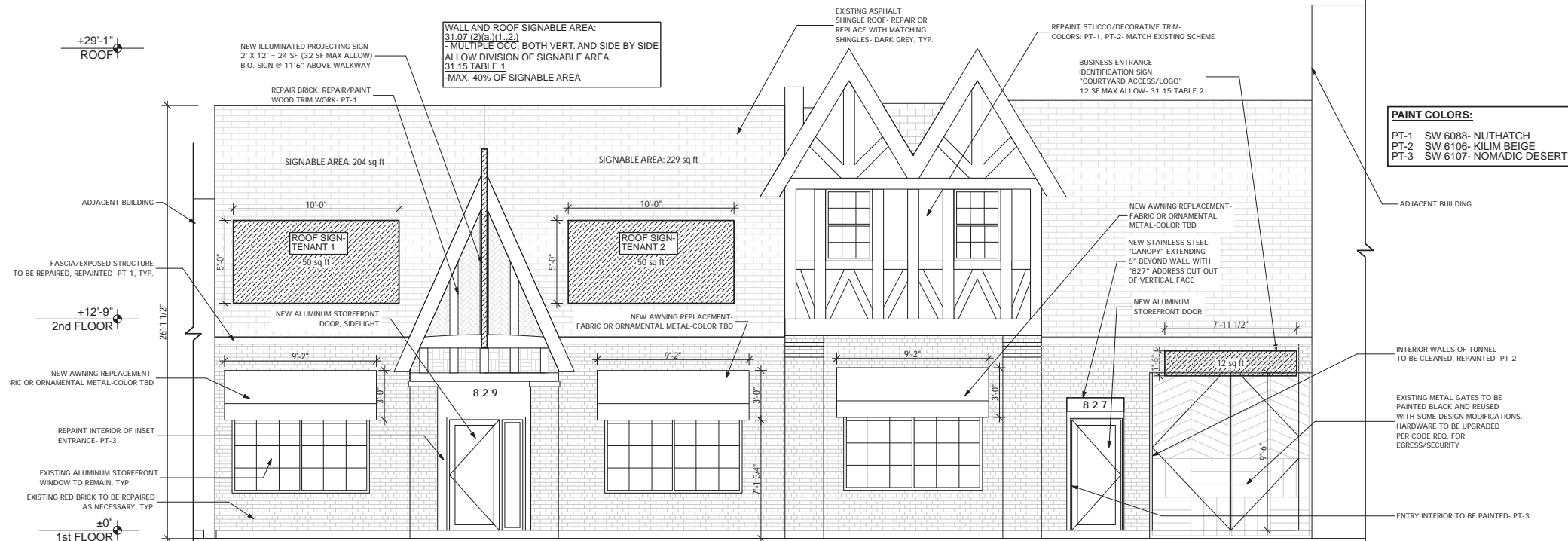
Project Name
829 East Washington





1 PROPOSED FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"

GENERAL NOTE:
 FLOOR PLAN INTERIOR LAYOUT IS PRELIMINARY IN NATURE AND MAY BE SUBJECT TO CHANGE FOLLOWING SPECIFIC TENANT REQUIREMENTS AND CODE/EGRESS REVIEW



2 EAST WASHINGTON ELEVATION (WEST)- PROPOSED
SCALE: 1/4" = 1'-0"

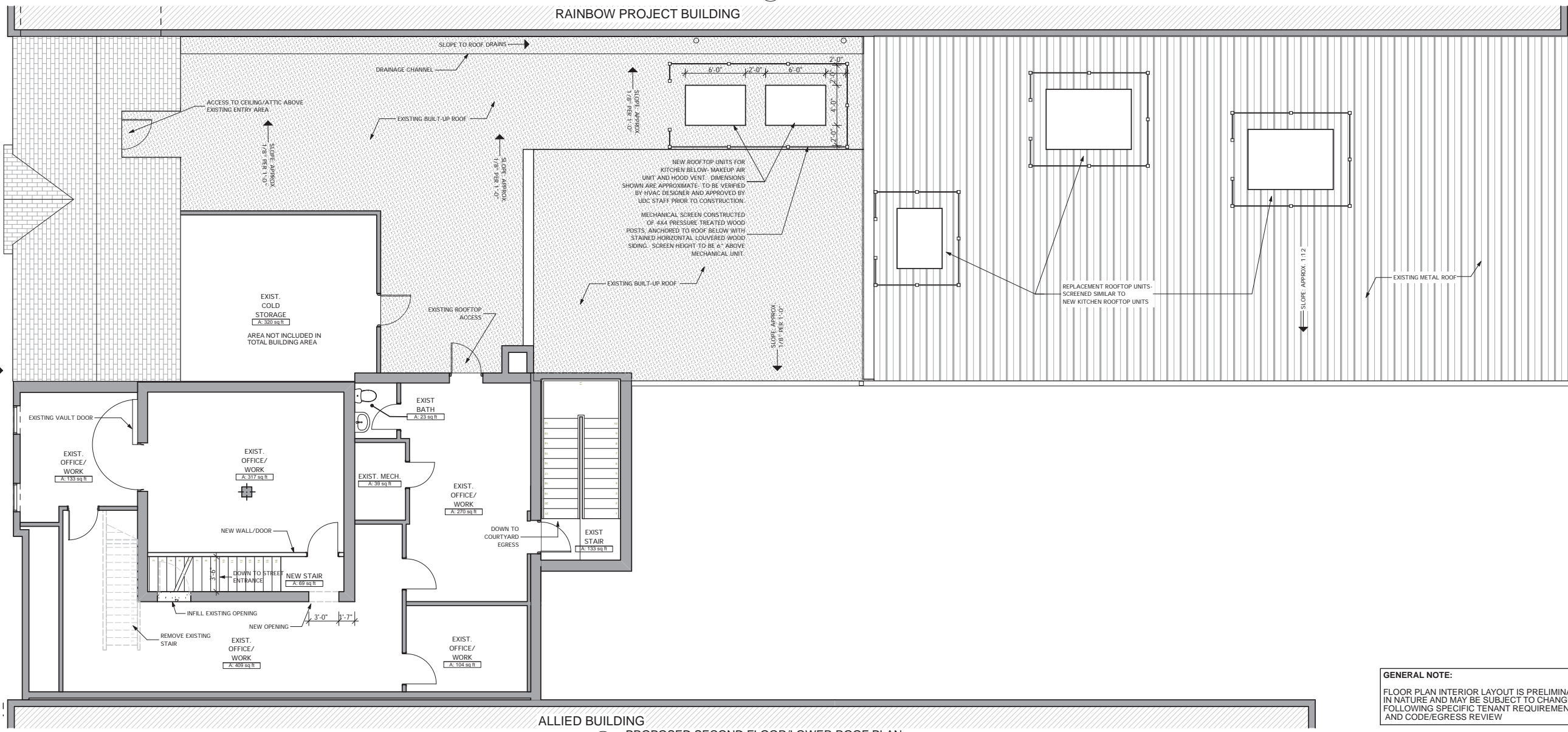
PAINT COLORS:
PT-1 SW 6088- NUTHATCH
PT-2 SW 6106- KILIM BEIGE
PT-3 SW 6107- NOMADIC DESERT

SAA DESIGN GROUP
SAA Design Group, Inc.
101 East Badger Road
Madison, WI 53713
Ph. 608.255.0800
Fx. 608.255.7750
www.saa-madison.com

TILLS ARCHITECTURE
Tills Architecture
2501 Balden Street
Madison, WI 53713
Ph. 608.235.6240
www.tillsarchitecture.com

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Project Name
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1 PROPOSED SECOND FLOOR/LOWER ROOF PLAN
SCALE: 3/16" = 1'-0"

GENERAL NOTE:
FLOOR PLAN INTERIOR LAYOUT IS PRELIMINARY IN NATURE AND MAY BE SUBJECT TO CHANGE FOLLOWING SPECIFIC TENANT REQUIREMENTS AND CODE/EGRESS REVIEW

FOURCAP
FOURCAP
REAL ESTATE

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OPTION
SECOND FLOOR PLAN/WEST ELEVATION

Sheet Number
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