

PROJECT

NEW RETAIL LOCATION FOR BARRIQUES

961 AND 967 SOUTH PARK STREET MADISON, WI

DRAWING INDEX

DRAWING INDEX

1.1 COVER SHEET

2.1 EXISTING SURVEY/SITE PLAN

2.2 PROPOSED SITE PLAN

2.3 GRADING/EROSION CONTROL PLAN

2.4 LANDSCAPE PLAN AND DETAILS

2.5 LANDSCAPE SCHEDULE

3.1 FIRST FLOOR PLAN

3.2 WALL TYPES

3.3 SCHEDULES AND NOTES

3.4 INTERIOR ELEVATIONS-REFUSE ELEVATION

4.1 ELEVATIONS AND SECTIONS

4.2 ELEVATIONS

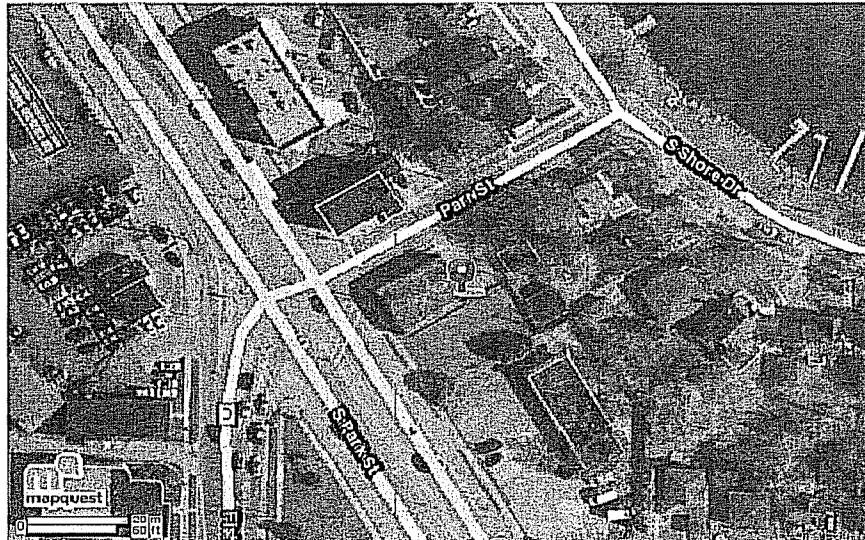
4.3 EXISTING ELEVATIONS

4.4 EXISTING ELEVATIONS

5.1 STRUCTURAL INFORMATION

P. 1 CONTEXT PHOTOGRAPHS

P. 2 CONTEXT PHOTOGRAPHS



1 AREA LOCATION PLAN

SCALE: NONE



PROJECT TEAM

ARCHITECT

BARNETT ARCHITECTURE LLC
118 N. BREESE TERRACE, SUITE 1
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LANDSCAPE ARCHITECT

RICHARD SLAYTON, ASLA
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SURVEYOR

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CODE REFERENCES

MUNICIPALITY CITY OF MADISON

BUILDING CODE WISCONSIN COMMERCIAL BUILDING CODE

ZONING CODE CITY OF MADISON GENERAL ORDINANCE CHAPTER 28

BUILDING DATA

1 NUMBER OF STORIES/LEVELS

AREAS - gross square footage; Informational only

LEVEL	Existing SF	Proposed SF
First	2696	2696

PROPERTY INFORMATION

PLATE OF SURVEY

Parts of Lots 22 and 23, Block 10, South Madison, Located in the NW 1/4 of Section 26, T17N, R9E, City of Madison, Dane County, Wisconsin.

ZONING CODE INFORMATION

C2	ZONING CLASSIFICATION - both properties
YES	PERMITTED USE
4941SF	PARCEL A: 961 S. PARK STREET
4958 SF	PARCEL B: 967 S. PARK STREET
	BUILDING HEIGHT LIMIT
	FRONT YARD SETBACK
	SIDE YARD SETBACK
	REAR YARD SETBACK
	URBAN DESIGN COMMISSION APPROVAL DATE

PROPOSED OCCUPANCY LOADS

66	INTERIOR PATRONS
26	EXTERIOR PATRONS
4	STAFF
96	TOTAL

STRUCTURAL INFORMATION - SEE "S" SHEETS

2000 SOIL BEARING PRESSURE PSF, ASSUMED

ALTERNATE BID INFORMATION

ALTERNATE BID NO. 1: PROVIDE

UNIT COST INFORMATION

UNIT COST NO. 1:

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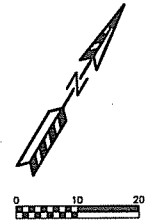
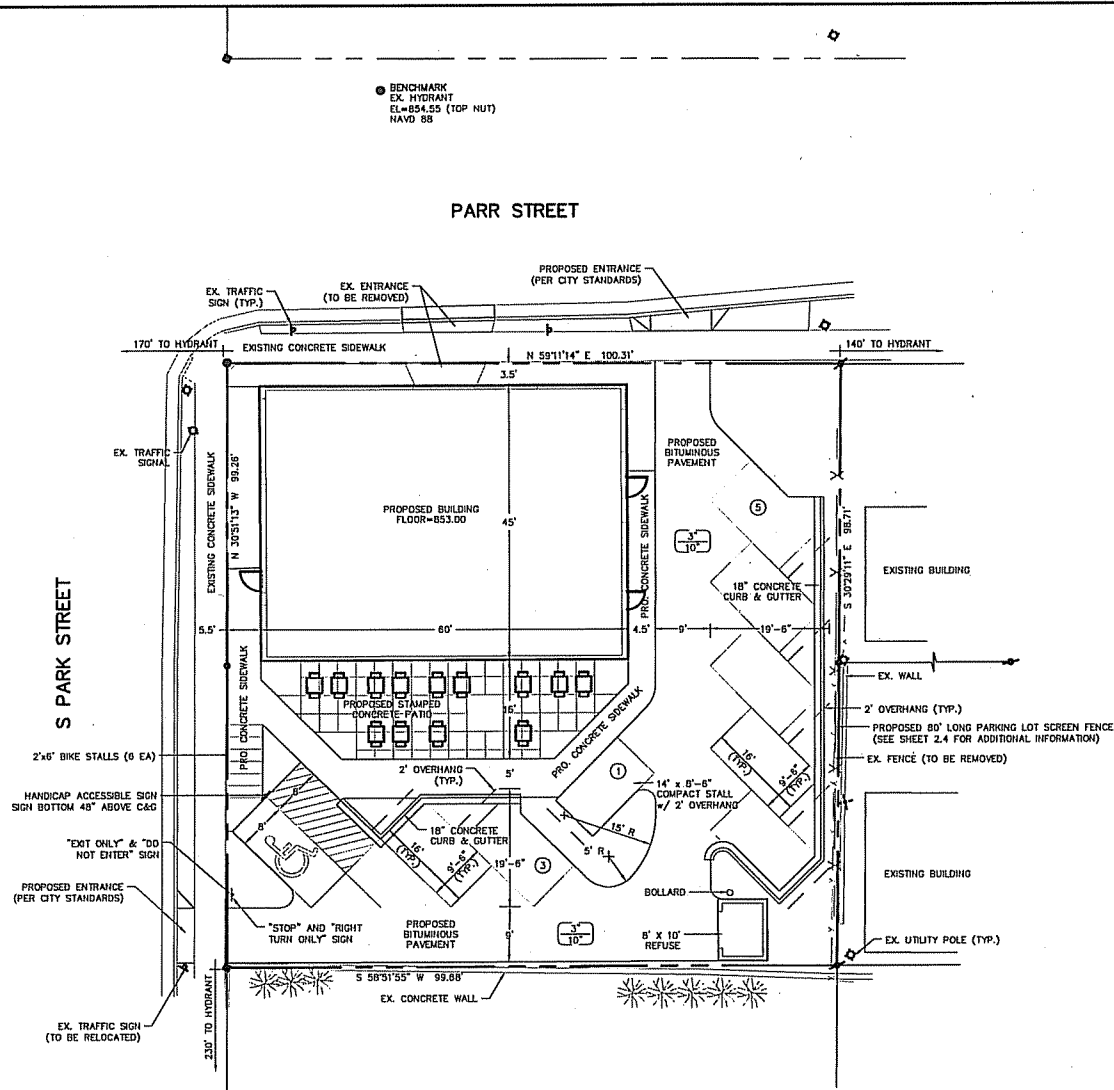


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PAVING LEGEND

3" ASPHALT PAVEMENT OVER
10" AGGREGATE BASE COURSE

PARKING LOT PLAN SITE INFORMATION BLOCK

Site Address: 961-967 S PARR STREET
 Site acreage (total): .3322 ACRES

Number of building stories (below grade): 1 STORY
 Building height: 12'
 RUM type of construction (new structures or additions): 10
 Total square footage of building: 7,391

Use of property: RESTAURANT
 Gross square feet of office: N/A
 Gross square feet of retail area: N/A
 Number of employees in workshops: N/A
 Number of employees in production: N/A
 Capacity of restaurant/piece of assembly: 180

Number of bicycle stalls shown: 8

Number of Parking Stalls	Shown
Small Car	7
Large Car	1
Accessible	1
Total	9

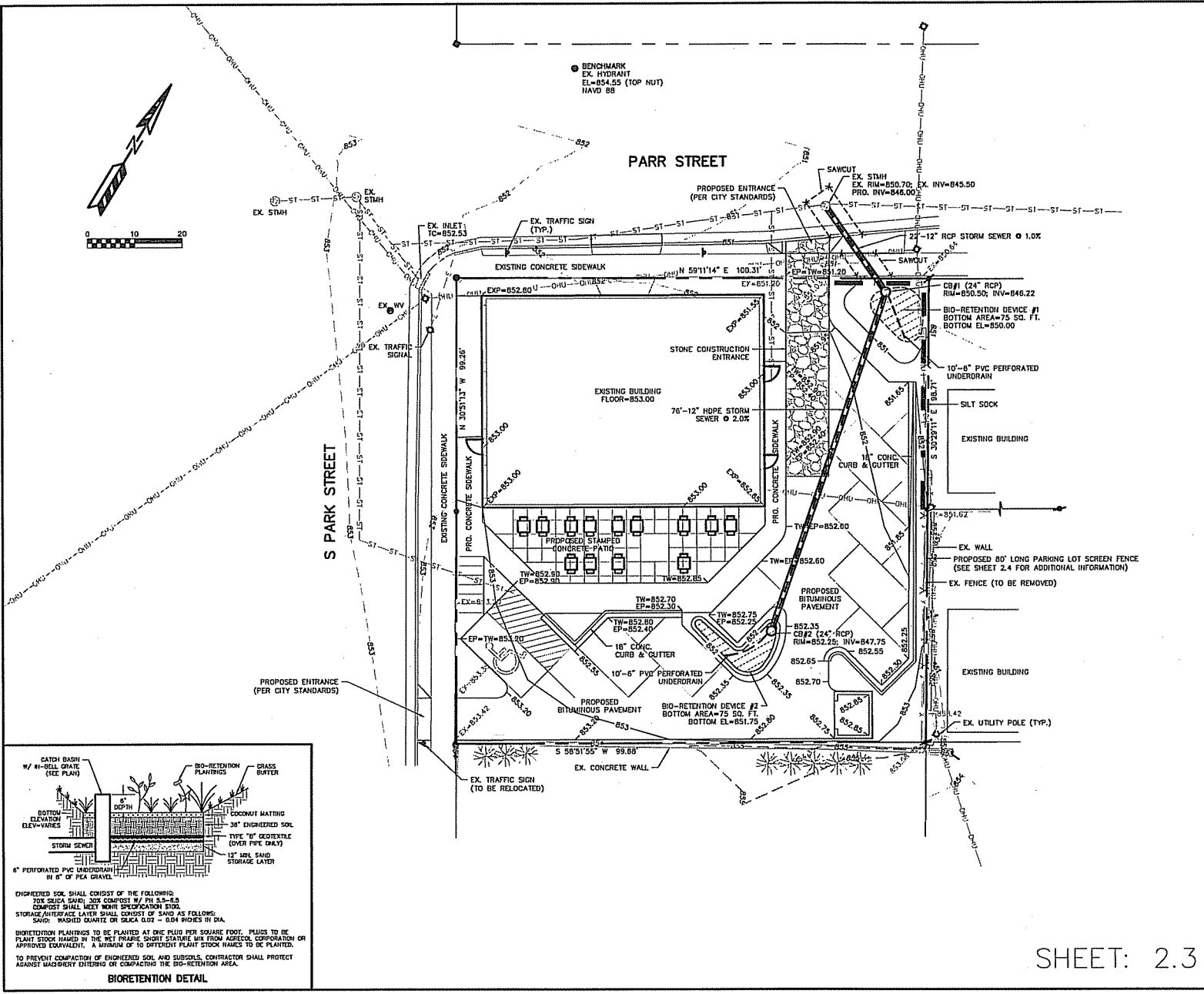
Number of trees shown: (See Landscape Plan)

961-967 S PARK STREET
SITE PLAN
 DATED: FEBRUARY 22, 2011
 REVISED: MARCH 1, 2011

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com

4604 Siggekow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

SHEET: 2.2



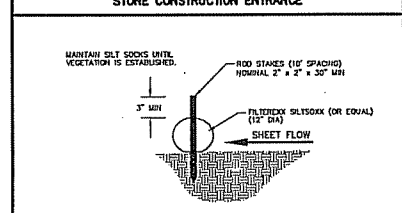
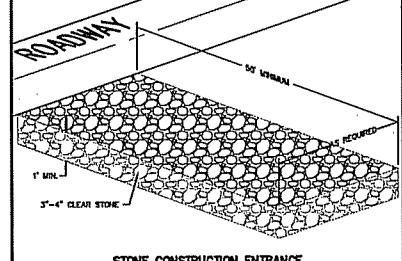
EROSION NOTES:
 THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR AS A CORRIDOR, WHICH WILL PREVENT THE TRACK OF SOIL OR DIRT FROM ENTERING ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (HOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

TIME SCHEDULE:
 APRIL 10, 2011 INSTALL INITIAL EROSION CONTROL DEVICES.
 APRIL 19 - MAY 31, 2011 CONSTRUCT PAVING, PARKING LOT AND DRIVEWAY AND RESTORE PERVIOUSLY DISTURBED AREAS.
 JUNE 1 - 10, 2011 CONSTRUCT BIO-RETENTION DEVICES.

RESTORATION NOTES:
 ALL PERVIOUSLY DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUSLY DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANNING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE RESTORATION AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 830 OF O.S.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.
 SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) HOURS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: INTRODUCTION, NOT LESS THAN 16% PHOSPHORIC ACID, NOT LESS THAN 6% POTASH, NOT LESS THAN 6%.

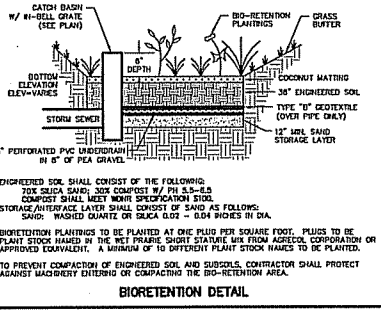
OWNER: QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 1231 MADISON STREET
 MADISON, WI 53711

ENGINEER: QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4604 SIGGELKOW ROAD
 MCFARLAND, WI 53558



SILT SOCK DETAIL

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE
 TOLL FREE
 TDD/VO (FOR THE HEARING IMPAIRED) (800) 542-2289
 WIS. STATUTE 102.075 (1974) REQUIRES 10' OF J WORK DAYS NOTICE BEFORE YOU EXCAVATE



961-967 S PARK STREET
 GRADING AND EROSION CONTROL PLAN
 DATED: FEBRUARY 22, 2011
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**LANDSCAPE ARCHITECT:
 HARD SLAYTON, AS/L**

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LANDSCAPE WORKSHEET

I. Number of Trees Required
 The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls)

Number of Parking Stalls _____ **9**

Total Square Footage of the Storage Area
 Divided by Three Hundred (300) Square Feet _____ **NA**

Number of Canopy Size Trees Required (2" - 2 1/2" Caliper)
 (See Schedule on reverse side) _____ **1**

TOTAL _____ **1**

II. Number of Landscape Points Required
 The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.5 points are required for 10 stalls. A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49 points required.)

The number of points required for landscaping is _____ **NA**

The number of points required for landscaping is _____ **45**

TOTAL _____ **45**

Number of Points Required (See Schedule on reverse side)

Tabulation of Points and Credits
 Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

ELEMENT	POINT VALUE	QUANTITY	POINTS PROVIDED	
			QUANTITY	POINTS
Canopy Tree: 2" - 2 1/2"	35	2	70	
Deciduous Shrub	7	7	49	
Evergreen Shrub	3	9	27	
Decorative Wall or Fence (per 10 L.F.)	5			
Earth Screen (per 10 L.F.)	3			
Avg. Height 30"	3			
Avg. Height 15"	3			
Evergreen Trees 3" minimum	15			
Canopy Tree or Small Tree 1 1/2" - 2" Caliper (i.e., Crab, Hawthorn)	15	2	30	
TOTAL			141	141

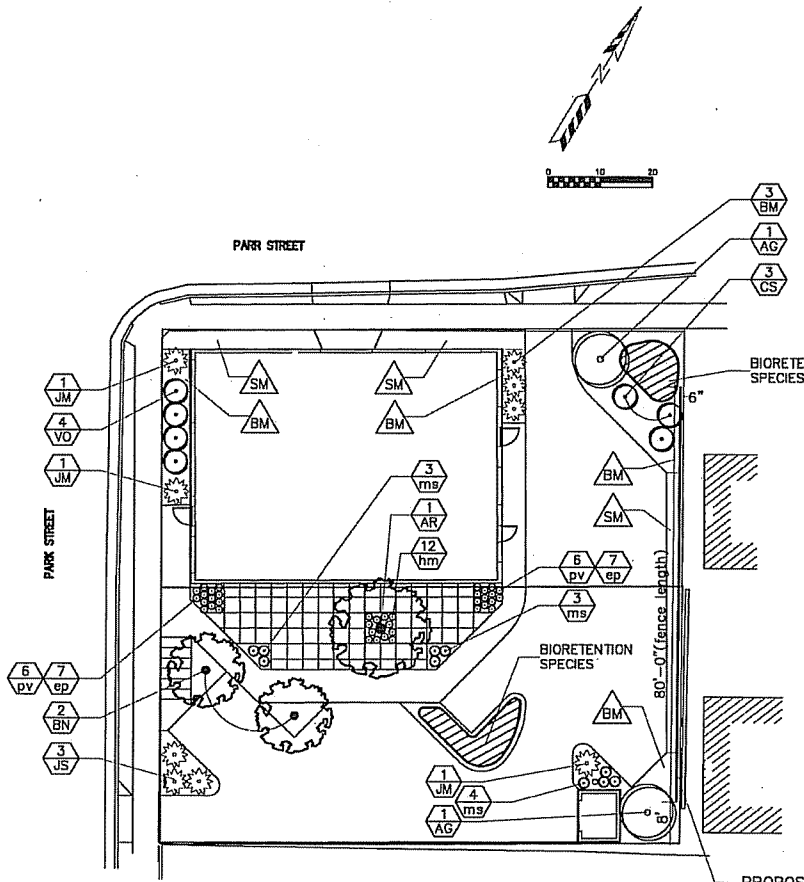
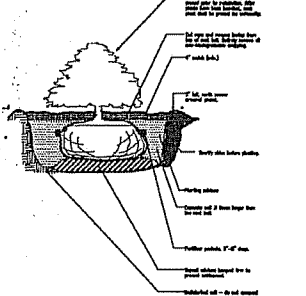
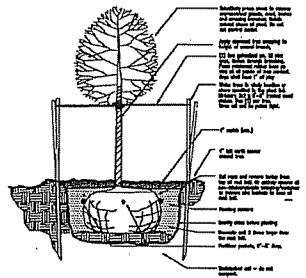
Total No. of Points Provided (Equal to or greater than points required)

*Trees required in Part I above, are not to be included in the point count



Approved by: _____ Date: _____

PROPOSED PARKING LOT SCREEN
 6'-0" HIGH X 80'-0" LONG
 FENCE MEETING CITY OF
 MADISON ZONING CODE SECTION
 28.04(12)(b). SEE SHEET 3.4
 FOR SCREENING ELEVATION

961-967 S PARK STREET
PLANTING PLAN AND DETAILS
 SHEET:
 DATED: FEBRUARY 21, 2011
 MARCH 2, 2011



PLANT SCHEDULE AND LEGEND

Key	Botanical Name	Common Name	Qty	Planting Size	Root Spec	Spacing	Comments
Major Deciduous Trees							
BN	Betula nigra 'Heritage'	Heritage River Birch	2	2-2 1/2" cal	B&B	As shown	multi-stem
AR	Acer rubrum 'Red Sunset'	Red Sunset Maple	1	2-2 1/2" cal	B&B	As shown	Straight leader
Minor Deciduous Trees							
AG	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2	6' HT min	B&B	As shown	Multi-stem, matched full plants
Evergreens							
BM	Buxus microphylla 'Wintergreen'	Wintergreen Boxwood	3	18" HT min	B&B	As shown	Full plants, matched
JS	Juniperus sabina 'Buffalo'	Buffalo Savin Juniper	3	18" HT min	B&B	As shown	Full plants, matched
JM	Juniperus x media 'Saybrook Gold'	Saybrook Gold Juniper	3	3' HT min	B&B	As shown	Full plants, matched
Deciduous Shrubs							
CS	Cornus sericea 'Kelseyi'	Kelsey Redtwig Dogwood	3	3' HT min	CONT	As shown	Full, matched plants
VO	Viburnum opulus 'Compactum'	Compact Euro Cranberrybush	4	3' HT min	CONT	As shown	Full, matched plants
Perennials, Grasses and Groundcovers							
hm	heuchera micrantha 'Palace Purple'	Palace Purple Coral Bells	12	1 GAL	CONT	18" o.c.	Vigorous plants
ep	Echinacea purpurea	Purple Coneflower	14	3 Gal	CONT	18" o.c.	Vigorous plants
ms	Miscanthus sinensis 'Gracillimus'	Gracillimus Maiden Grass	6	3 GAL	CONT	As shown	Full, matched plants
pv	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	12	1 GAL	CONT	18" o.c.	Full, matched plants
	Stone Mulch			Shredded Bark Mulch: all planting areas shall receive bark mulch			

961-967 S PARK STREET
PLANT SCHEDULE AND LEGEND
 SHEET:
 DATED: FEBRUARY 21, 2011
 MARCH 2, 2011



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**LANDSCAPE ARCHITECT:
 HARD SLAYTON, ASLA**

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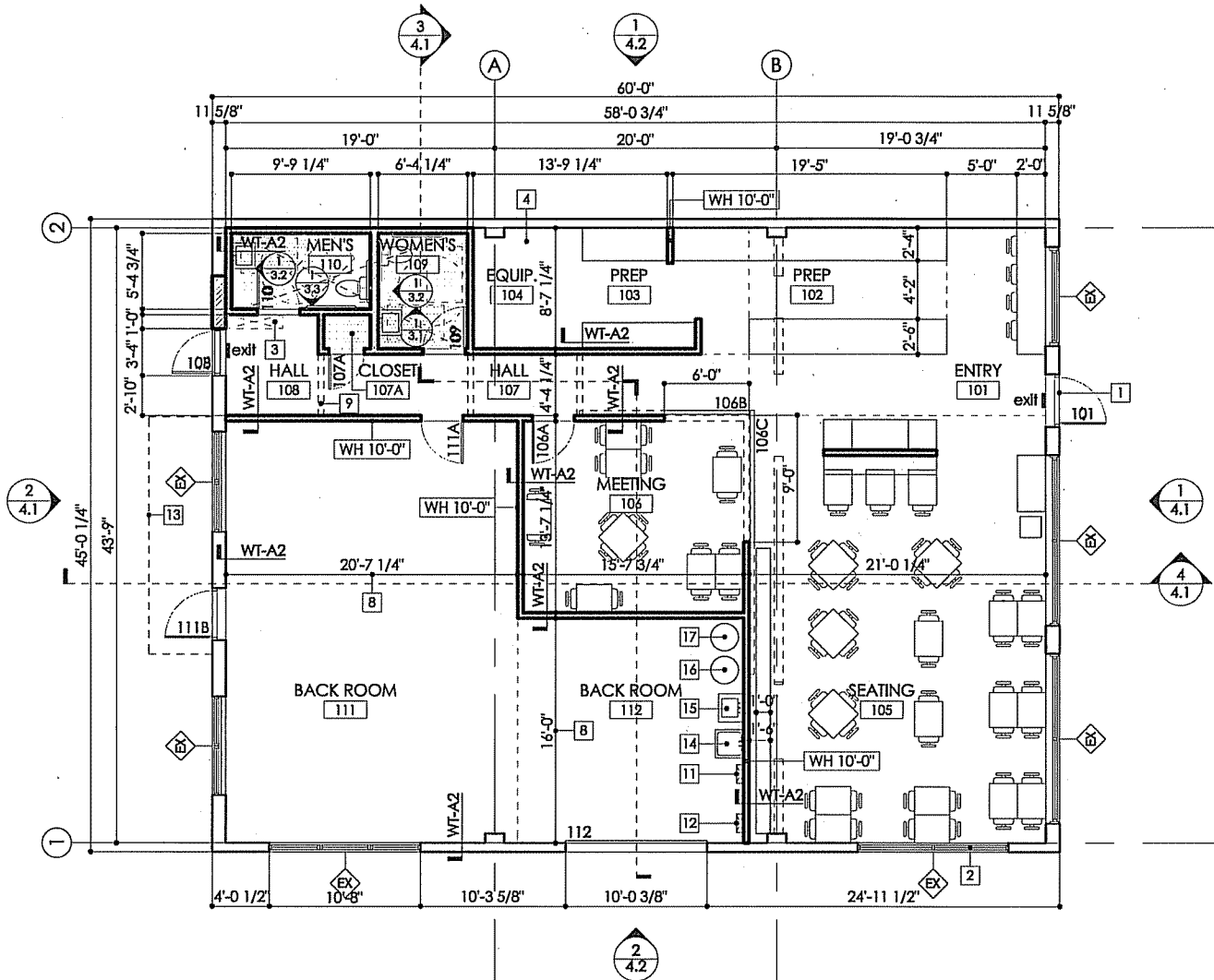


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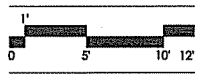
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1 FIRST FLOOR
SCALE: 1/8" = 1'-0"

LEGEND
— EXISTING WALL TO REMAIN
- - - EXISTING CONSTRUCTION TO BE REMOVED
▨ PROPOSED FRAME WALL CONSTRUCTION
▩ PROPOSED CMU WALL CONSTRUCTION

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FI-1 CONCRETE SLAB - BY OWNER
4" WELDED WIRE FABRIC REINFORCED
CONCRETE SLAB
VAPOR BARRIER
2" RIGID INSULATION
GRANULAR FILL BASE COURSE
Z STRIP CONTROL JOINTS
2" RIGID INSULATION THERMAL BREAK AT
SLAB-WALL

ROOF TYPES

RT-1 SHED ROOF - EXISTING
RUBBER ROOF MEMBRANE
RIGID INSULATION
SHEATHING
STEEL OPEN-WEB PURLINS
STEEL BOW-STRING TRUSSES
EDGE GUTTERS TO INTERIOR ROOF DRAINS

EXISTING WALL TYPES

WT-E1 EXTERIOR WALL - EXISTING
EXISTING CMU - VERIFY THICKNESS IN FIELD

EXTERIOR WALL TYPES

WT-E1 EXTERIOR WALL OPTION 1
EXISTING CMU - VERIFY THICKNESS IN FIELD
2" RIGID INSULATION TAPED AND CAULKED
2X4 FRAMING LAYED FLAT AT 16" O.C.
5/8" PAPERLESS GWB

INTERIOR WALL TYPES

WT-I1 INTERIOR WALL - PROPOSED
2X4 FRAMING AT 16" O.C.
5/8" GWB EACH FACE

WT-I2 INTERIOR WALL - PROPOSED
2X6 FRAMING AT 16" O.C.
5/8" GWB EACH FACE

WT-I3 INTERIOR WALL - PROPOSED
2X4 FRAMING AT 16" O.C.
5/8" GWB EACH FACE
LOW VOC FG SOUND ATTENUATION INSUL

WT-I4 INTERIOR WALL - PROPOSED
2X6 FRAMING AT 16" O.C.
5/8" GWB EACH FACE
LOW VOC FG SOUND ATTENUATION INSUL

WALL AND ROOF TYPE NOTES

1. PROVIDE CEMENT BOARD BEHIND BATH/SHOWER AND SHOWER WALLS IN LIEU OF GWB.
2. PROVIDE SOUND ATTENUATION BATTS IN PROPOSED BEDROOM AND BATHROOM WALLS.
3. COORDINATE TO OFF FLOOR FRAMING ELEVATION WITH PROPOSED FINISH FLOOR FOR LEVEL CONDITIONS.

FINISH FLOOR NOTES

1. SEE SPECIFICATIONS FOR FINISH FLOORING NOTES.



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GENERAL NOTES FOR PROJECT

1. VERIFY EXISTING DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
2. EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF SHEATHING TO OUTSIDE FACE OF SHEATHING/FACE OF FOUNDATION WALL.
3. INTERIOR DIMENSIONS ARE FROM FACE OF FINISH MATERIAL.
4. REPAIR AND MATCH EXISTING FINISHES.
5. SEE 3.3 FOR FINISH NOTES.
6. PROPOSED MECHANICAL, ELECTRICAL AND PLUMBING DEVICES AND EQUIPMENT ARE CONCEPTUAL ONLY AND ARE THE RESPONSIBILITY OF THE MEP CONTRACTORS.

EXISTING KEYED NOTES

- E1. EXISTING CMU.
- E2. EXISTING POURED CONCRETE WALL BASE.
- E3. EXISTING OVERHEAD DOOR.
- E4. EXISTING PARAPET.
- E5. EXISTING WINDOW.
- E6. EXISTING POURED CONCRETE UNTEL.

PROPOSED PLAN AND ELEVATION KEYED NOTES

1. REMOVE DOOR, FRAME AND ASSOCIATED CONSTRUCTION AND REPLACE WITH NEW DOOR AND TRANSOM WINDOW.
2. REMOVE SECTION OF EXISTING WALL WHERE WALL INFILL IS CLEAR FOR INSTALLATION OF NEW WINDOW TO MATCH ADJACENT.
3. MAINTAIN 12" X 48" CLEAR SPACE AT PULL SIDE OF DOOR.
4. SHADED AREA INDICATES VOLUME ABOVE EQUIPMENT 104, WOMEN'S 109 AND MENS. 110.
5. REMOVE EXISTING WINDOW AND SECTION OF CMU AS REQUIRED TO INSTALL PROPOSED DOOR ASSEMBLY AND INFILL CMU SECTION.
6. OUTLINE OF PROPOSED AWNING.
7. APPROXIMATE LINE OF PROPERTY LINE.
8. ADJUST THIS DIMENSION AS REQUIRED PER FIELD CONDITIONS, AS REQUIRED. HOLD OTHER DIMENSIONS.
9. WOOD CROSS WALL CROSS-BRACING
10. DOTTED OUTLINE OF BARN DOOR IN OPEN POSITION.
11. PROPOSED ELECTRICAL PANEL.
12. PROPOSED WATER SERVICE AND METER.
13. PROPOSED WALL SUPPORTED HVAC UNIT ENCLOSURE WITH PERFORATED METAL SHROUD.
14. PROPOSED MOP SINK.
15. PROPOSED HAND WASH SINK.
16. PROPOSED WATER HEATER.
17. PROPOSED WATER SOFTENER TANK.
18. LIGHT FIXTURE TYPE "A". 5 COUNT AT SOUTH WALL.
19. CUT-OFF SECURITY LIGHT FIXTURE TYPE "B". 2 COUNT AT EAST WALL.
20. GOOSE NECK LIGHT FIXTURE TYPE "C". 5 COUNT ON NORTH-PARR STREET.

ROOM FINISH SCHEDULE KEYED NOTES

1. CMU IS EXISTING EXCEPT AT INFILL AT DOOR 108 AND WINDOW A AREAS OF CONSTRUCTION.

DOOR SCHEDULE KEYED NOTES

1. CMU IS EXISTING EXCEPT AT INFILL AT DOOR 108 AND WINDOW A AREAS OF CONSTRUCTION.
 2. BARN DOOR ON TRACK.
 3. VERIFY SIZE WITH EXISTING OPENING.
 4. DOOR WITH INTEGRAL ALUMINUM FRAMED TRANSOM.
 5. FULL HEIGHT DOOR TO MATCH OR, AT OWNER OPTION, MINIMUM 84" TALL DOOR WITH BRAKE-METAL OR AZEK TRIM INFILL ABOVE DOOR HEAD. DOOR WIDTH TO SUIT EXISTING OPENING. VERIFY DIMENSION IN FIELD.
- H1. PRIVACY LOCKSET
H2. KEYED LOCKSET.

WINDOW SCHEDULE KEYED NOTES

1. MATCH WINDOW PATTERN, MATERIALS AND DETAILS ALONG PARK STREET.

ROOM FINISH SCHEDULE

NO.	NAME	FLOOR	BASE	WALL				CEILING		NOTES	NO.
				N	S	E	W	TYPE	HT.		
101	ENTRY	CONC-1	B-1	-	CMU-P	CMU-P	-	EX-P	VARIABLES	1	101
102	PREP	CONC-1	B-1	GWB-P	GWB-P	GWB-P	GWB-P	EX-P	VARIABLES	1	102
103	PREP	CONC-1	B-1	-	GWB-P	-	-	EX-P	VARIABLES	1	103
104	EQUIPMENT	CONC-1	B-1	GWB-P	GWB-P	GWB-P	GWB-P	EX-P	VARIABLES		104
105	SEATING	CONC-1	B-1	CMU-P	-	CMU-P	GWB-P	EX-P	VARIABLES		105
106	MEETING	CONC-1	B-1	GWB-P	GWB-P	GWB-P	GWB-P	EX-P	VARIABLES		106
107	HALL	CONC-1	B-1	GWB-P	GWB-P	-	-	EX-P	VARIABLES		107
108	HALL	CONC-1	B-1	GWB-P	GWB-P	CMU-P	-	EX-P	VARIABLES		108
109	WOMEN'S	CONC-1	B-1	GWB-P	GWB-P	GWB-P	GWB-P	GWB-P	8'-0"		109
110	MEN'S	CONC-1	B-1	GWB-P	GWB-P	GWB-P	GWB-P	GWB-P	8'-0"		110
111	BACK ROOM	CONC-1	B-1	CMU-P	GWB-P	CMU-P	GWB-P	EX-P	VARIABLES		111
112	BACK ROOM	CONC-1	B-1	CMU-P	GWB-P	-	GWB-P	EX-P	VARIABLES	1	112

DOOR SCHEDULE

TAG	W	H	T	TYPE	MAT.	GLASS	LOUVER	U' CUT	HW	LBL.	FRAME				NOTES	TAG
											MAT.	HEAD	JAMB	SILL		
101	41	84	1 3/4		ALUM						ALUM				3,4	
106A	36	84	1 3/4		SCW						WD.					
106B	72	84	1 3/4		SCW						WD.				2	
106C	111	84	1 3/4		SCW						WD.				2	
107A	30	84	1 3/4		SCW				H2		WD.					
108	36	84	1 3/4		HM						HM					
109	36	84	1 3/4		SCW				H1		WD.					
110	36	84	1 3/4		SCW				H1		WD.					
111A	34	84	1 3/4		SCW						WD.					
111B	40	91	1 3/4		HM						HM				5	
112	EXISTING														1	

WINDOW SCHEDULE

TAG	STYLE	MANUF	MODEL	FRAME SIZE	ROUGH OPENING	NOTES	TAG
A	AWNING	MARVIN	CAWN4024	3'-4" X 1'-11 1/8"	3'-5" X 1'-11 5/8"	1	
ex	EXISTING WINDOW						ex

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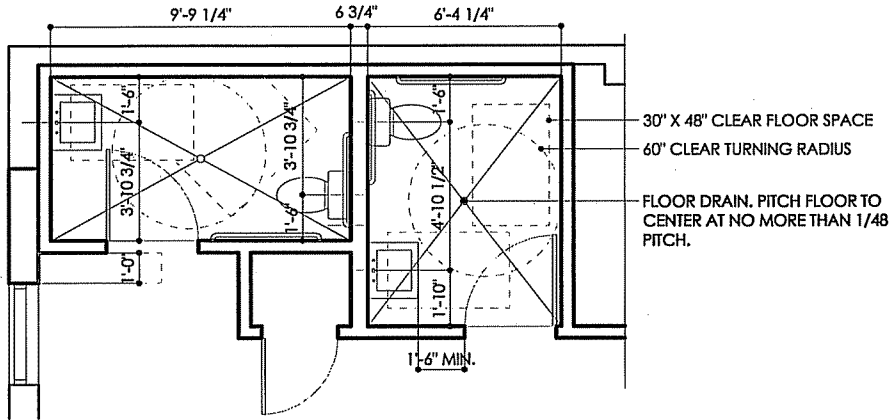


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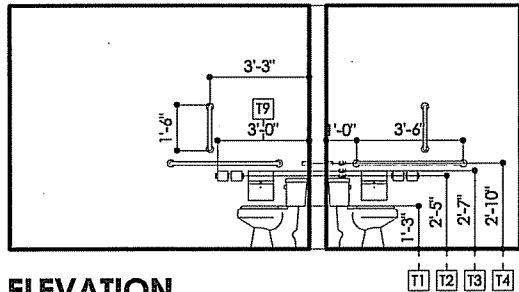
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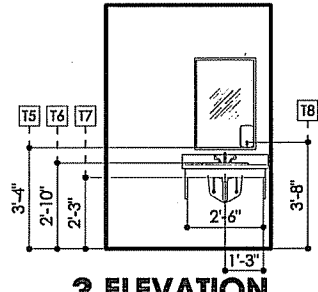


- ADA DIMENSION NOTES**
- T1. TO TOP OF SEAT.
 - T2. TO CENTER OF TOILET PAPER DISPENSER.
 - T3. TO TOP OF SANITARY NAPKIN DISPOSAL.
 - T4. TO CENTER OF GRAB BAR.
 - T5. TO BOTTOM OF MIRROR REFLECTIVE SURFACE.
 - T6. TO TOP OF SINK EDGE.
 - T7. CLEAR DIMENSION, MINIMUM.
 - T8. TO CENTER OF SOAP DISPENSER CONTROL, MAX.
 - T9. TO EDGE OF TOILET PAPER DISPENSER, MAX.

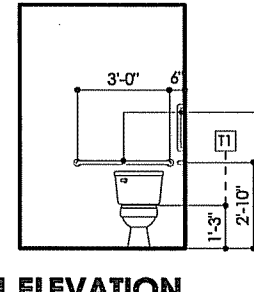
1 ENLARGED TOILET ROOM PLAN
SCALE: 1/4"=1'-0"



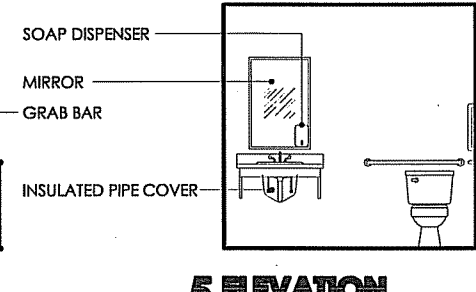
2 ELEVATION
SCALE: 1/4"=1'-0"



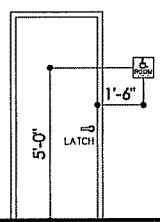
3 ELEVATION
SCALE: 1/4"=1'-0"



4 ELEVATION
SCALE: 1/4"=1'-0"

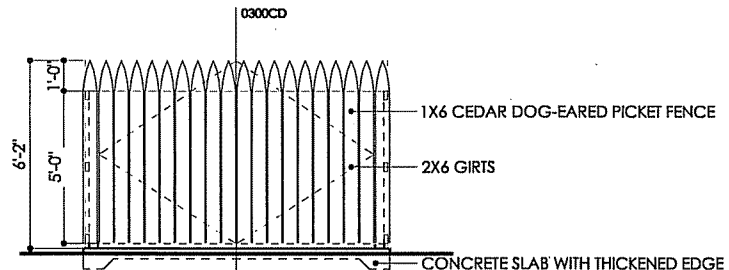


5 ELEVATION
SCALE: 1/4"=1'-0"



6 ADA SIGNAGE
SCALE: 1/4"=1'-0"

WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED IN THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT SHALL BE 60" ABOVE FINISH FLOOR TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION FOR SUCH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH TO WITHIN 3" OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.



7 REFUSE ENCLOSURE-PARKING SCREENING
SCALE: 1/4"=1'-0"



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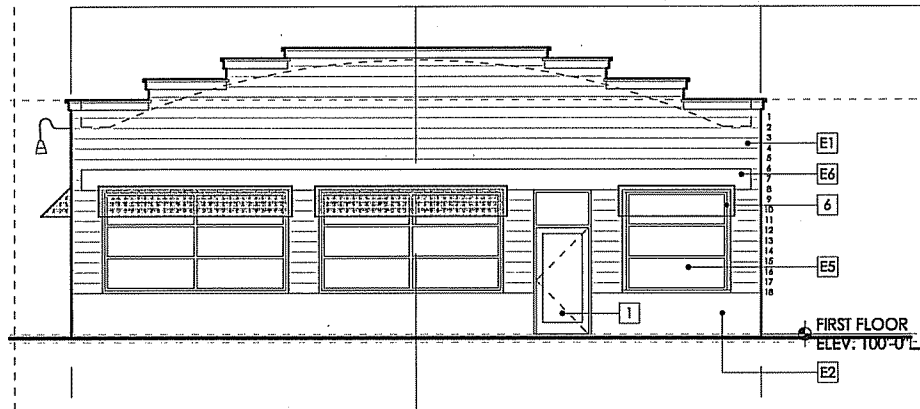
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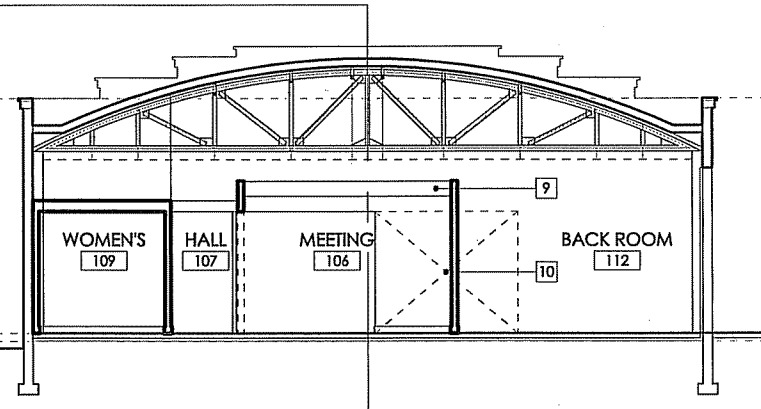
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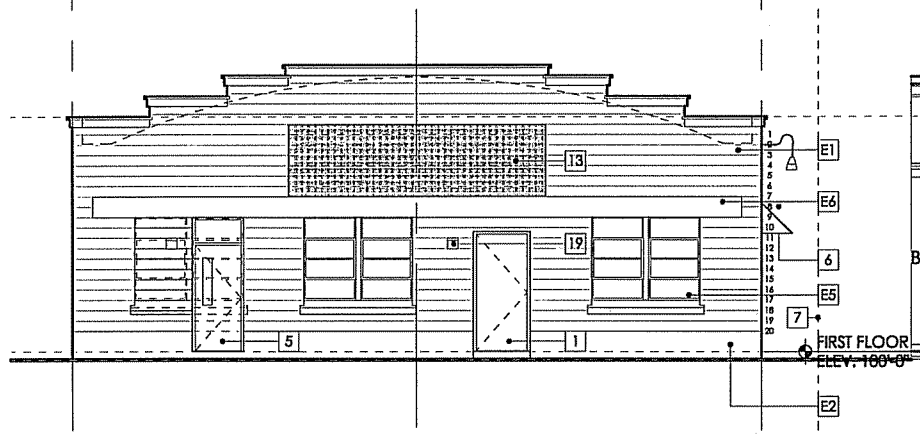
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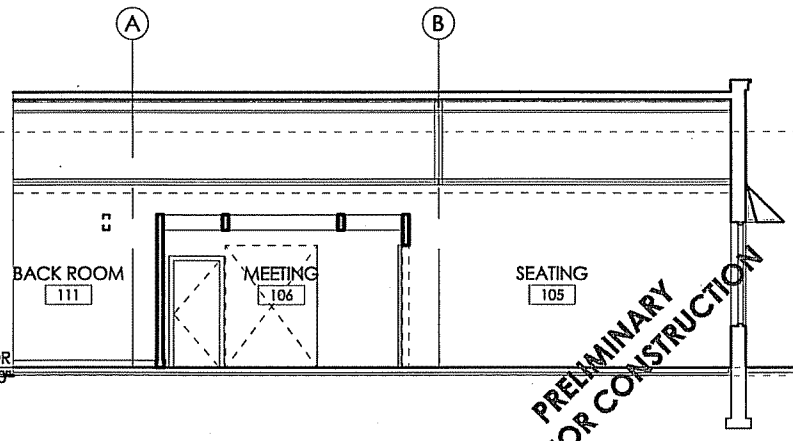
1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



3 SECTION LOOKING WEST
 SCALE: 1/8" = 1'-0"

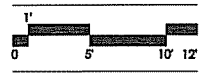


2 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



4 SECTION LOOKING SOUTH
 SCALE: 1/8" = 1'-0"

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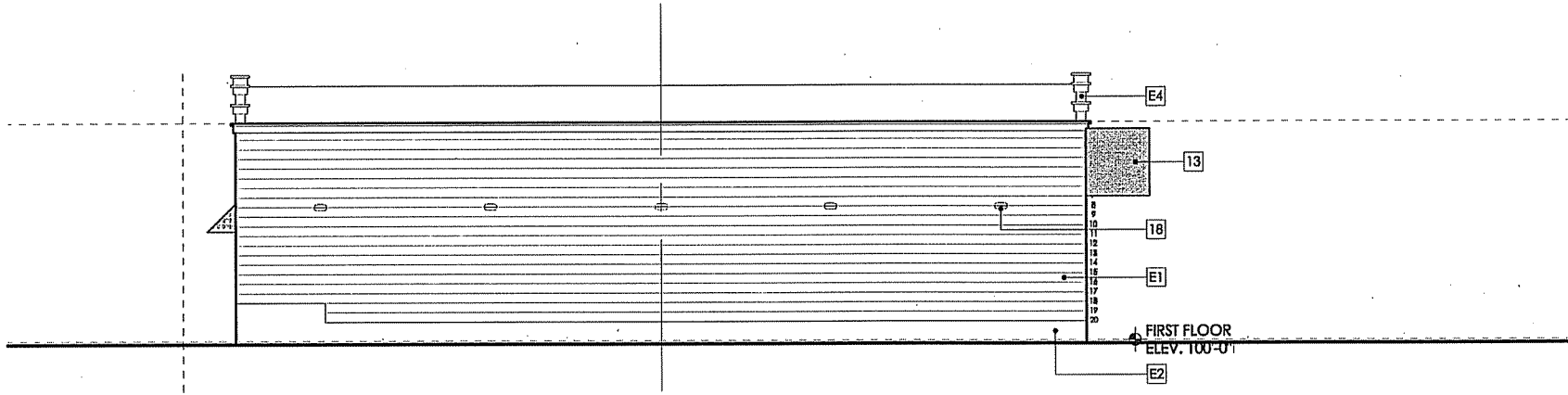
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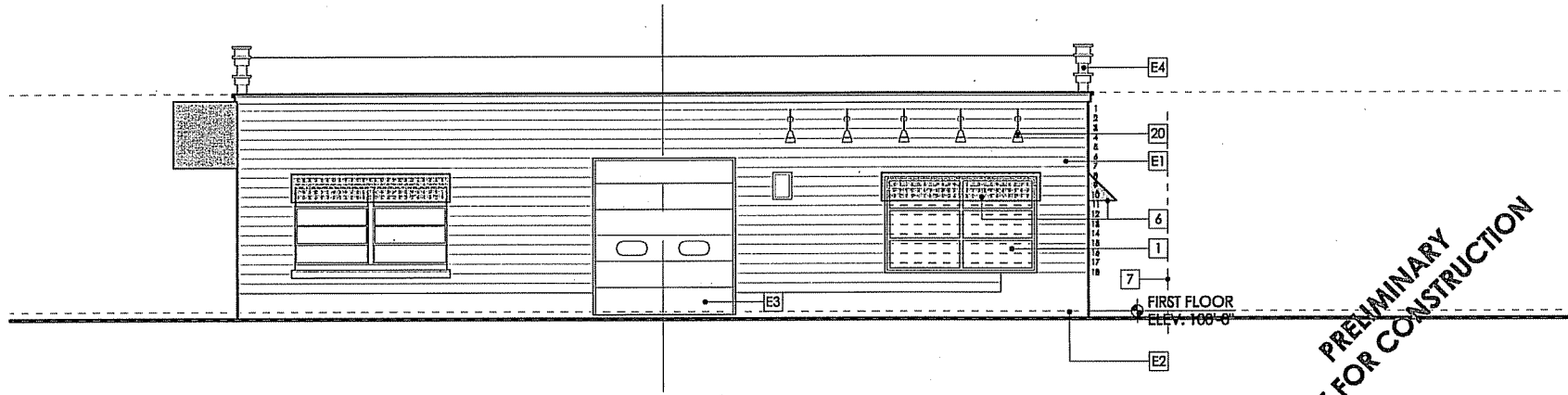
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1 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

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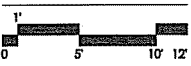
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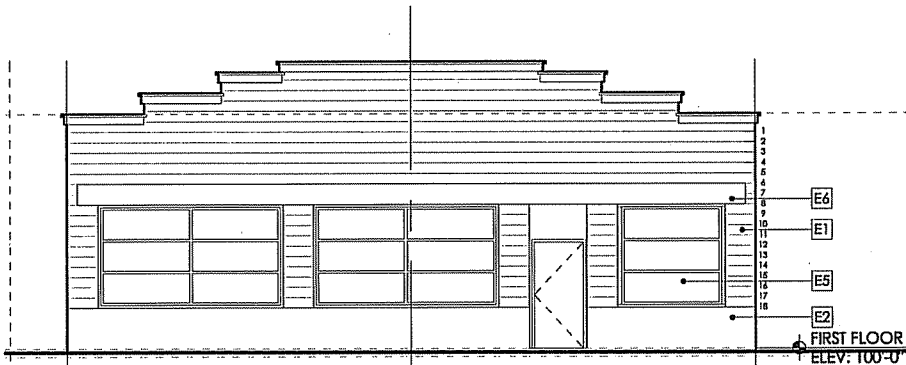


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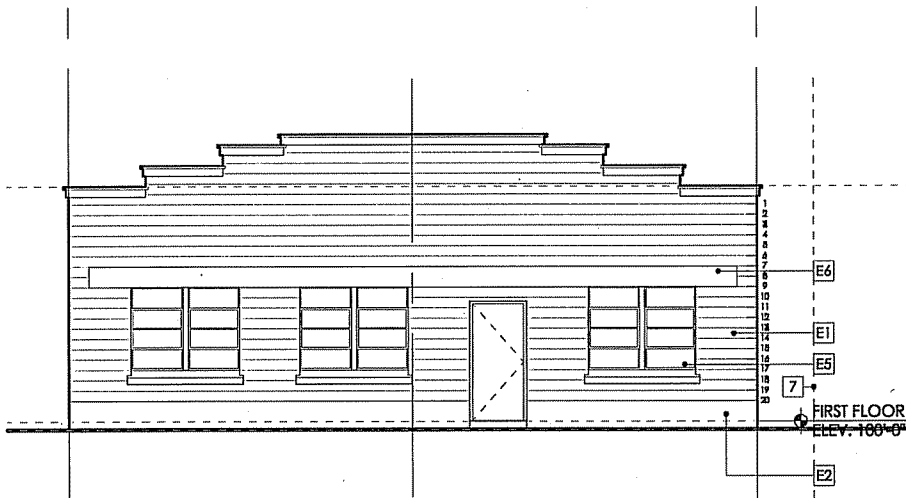
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1 WEST ELEVATION - exist.
 SCALE: 1/8" = 1'-0"



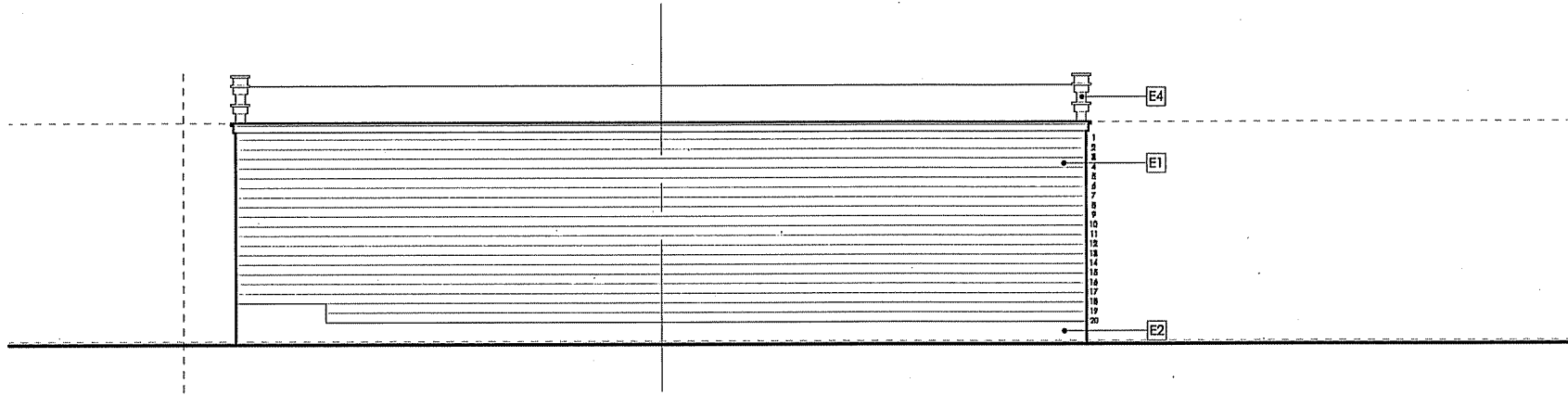
2 EAST ELEVATION - exist.
 SCALE: 1/8" = 1'-0"

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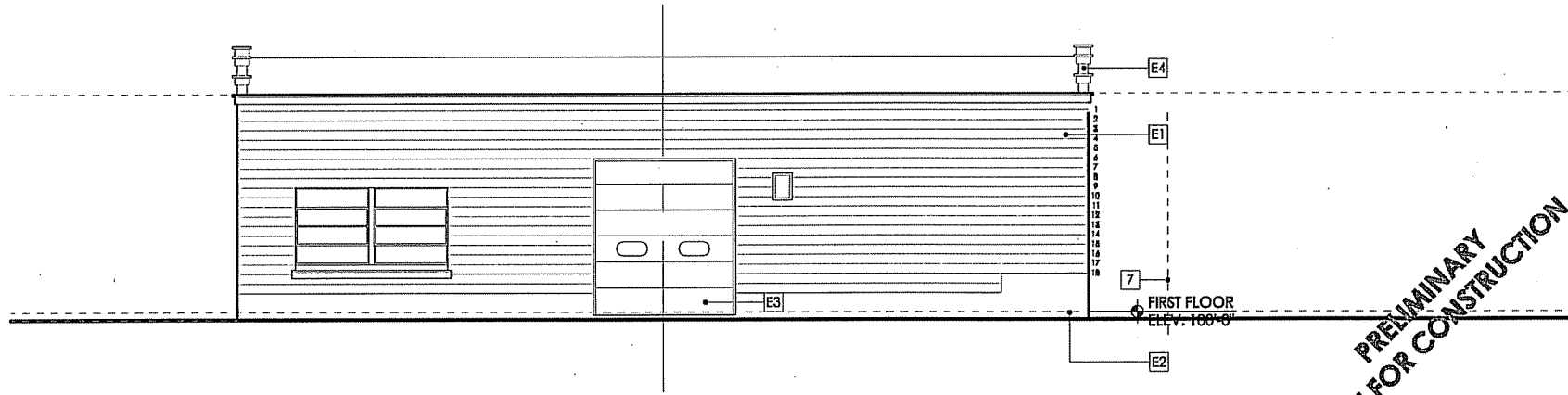


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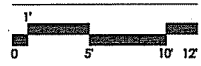


1 SOUTH ELEVATION - exist.
 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION - exist.
 SCALE: 1/8" = 1'-0"

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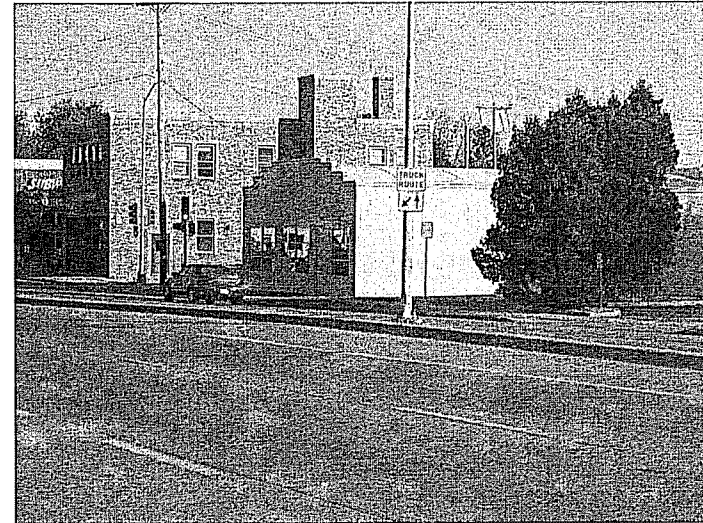
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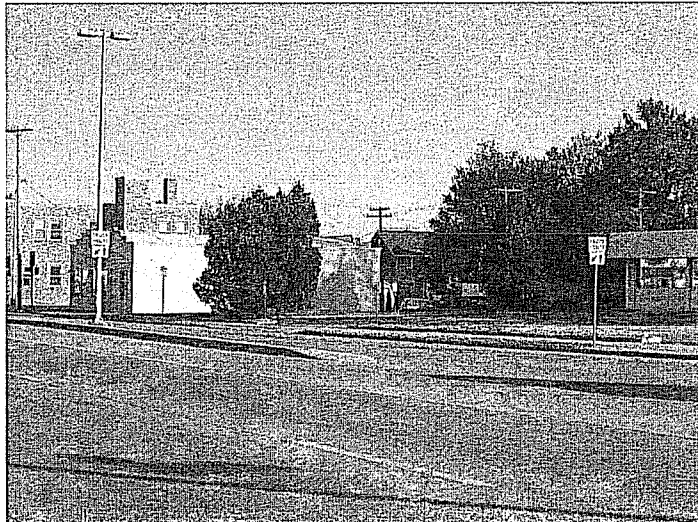
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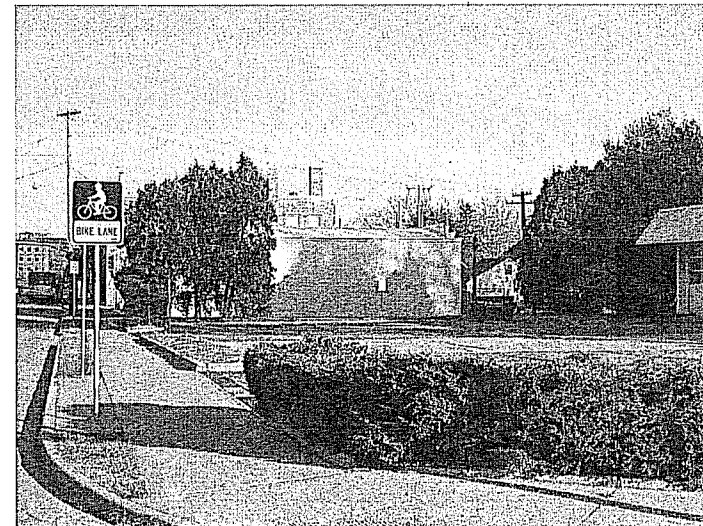
VIEW FROM PARK STREET LOOKING NORTH



VIEW FROM PARK STREET LOOKING NORTHEAST



VIEW FROM PARK STREET LOOKING NORTHEAST



VIEW FROM PARK STREET LOOKING NORTH



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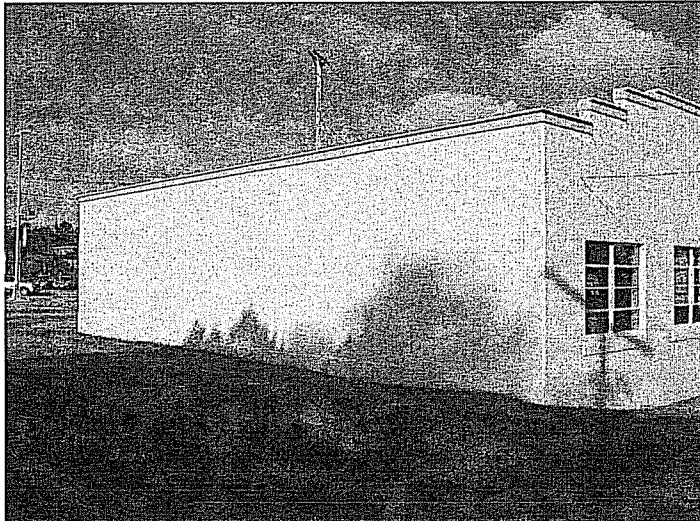


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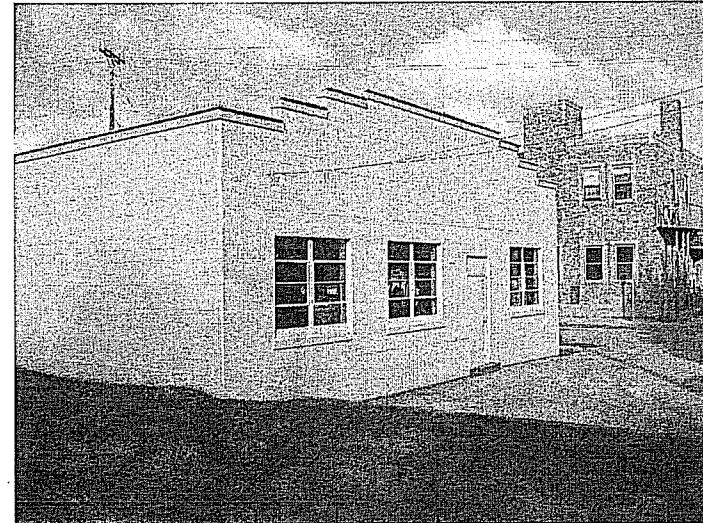
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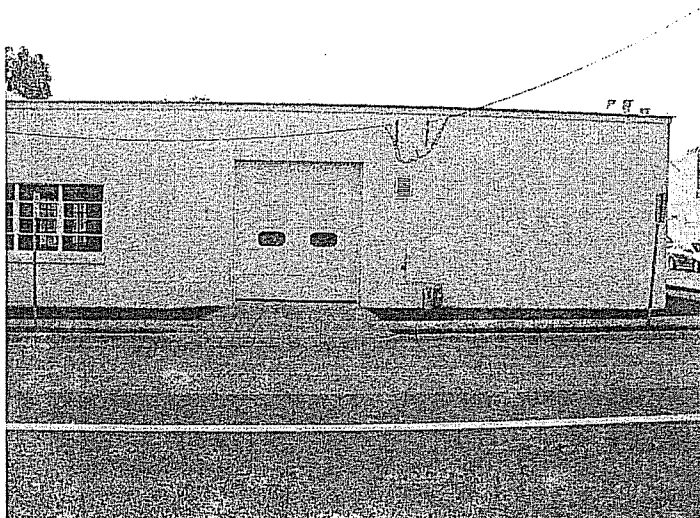
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VIEW FROM 967 SOUTH PARK STREET LOOKING NORTHWEST



VIEW FROM 967 SOUTH PARK STREET LOOKING NORTH



VIEW FROM PARR STREET LOOKING SOUTH



VIEW FROM PARK STREET LOOKING EAST



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