

## Project Information



ICONICA

### **Pacific Cycle - Office Expansion 20120410**

#### **Background**

The Pacific Cycle Headquarters serves the central point for new product development and sales of bicycle lines for companies around the world. Currently one of the largest developers of bicycles, the company is forecasting continued growth and need for additional space for new employees.

#### **Building**

The existing build has a foot print of 19,073 s.f. with parking for 93 stalls.

The proposed building expansion has been located to the southwest of the existing build to maximize the reuse of the existing space, while allowing the addition to create a new fresh look for the tired southern façade of the existing building. Existing grades will be utilized to minimize the affect of the building's adjacency to the existing residential units by recessing the structure into the ground. The height of the new structure will offer the flexibility of adding an interior second floor structure within the building volume in the event of additional future growth for Pacific.

The proposed Parking lot across Hammersley Rd will provide the needed parking for the added employees. A pedestrian cross walk will be provided to connect to the existing sidewalk along Hammersley Rd. Bike parking will be provided indoors for a min of 20 bikes.

Building materials will consist of low maintenance, durable, yet affordable materials including brick and EIFS. The massing will compliment the existing addition on the north side of the site and be flexible for the potential of adaptive reuse of the building should it be required in the future. The building will be of type II-B construction and will be sprinkled.

#### **Site Access**

Site access for the building will be through an existing curb cut off of Hammersley into the existing parking lot on the east side of the site. The existing second curb-cut will be infilled and a new second curb-cut is proposed on the west side of the site to provide appropriate truck delivery and fire truck access. Truck delivery is made nearly completely via smaller panel trucks owned by Pacific Cycle and coming from their off site warehouse.

#### **Parking**

Parking will be provided on the existing site, the proposed adjacent site and the site across Hammersley Rd. A total of 165 stall is proposed, including 5 HDCP stalls. Pacific Cycle graciously allows parking on site during non-business hours for people wishing to drive to the access point for the bike trail. A painted crosswalk will connect the new parking to the site.

#### **Easements**

Easements are currently being negotiated and drafted for the relocation of Sanitary, Telecommunications and Site Access for the neighboring condominium association.

EXHIBIT 1

EASEMENT AGREEMENT

THIS AGREEMENT, Made and entered into this 23rd day of November, 1972, by and between Television Wisconsin Incorporated, a Wisconsin corporation, herein called "Grantor", and Whitcomb Village Association, Inc., of Dane County, Wisconsin, herein called "Grantee",

WITNESSETH:

WHEREAS, Grantor owns that certain real estate located in Dane County, Wisconsin, hereinafter described in paragraph 1 hereof; and

WHEREAS, Grantee owns that certain real estate located in Dane County, Wisconsin, described as

Lot Six (6), Whitcomb Square, in the City of Madison and

WHEREAS, Grantor desires to establish and convey to Grantee, its successors and assigns, an easement and right of way to provide pedestrian access to and from the land of Grantee to and from Hammersley Road, which abuts the real estate of Grantor;

NOW, THEREFORE, in consideration of the sum of One (\$1.00) Dollar and other good and valuable consideration, the receipt whereof is hereby acknowledged:

1. Grant of Easement. Grantor hereby grants to Grantee, its successors and assigns, an easement and right of way for pedestrian ingress and egress over and upon the following described real estate of Grantor:

Part of the Northwest Quarter of Section Thirty-two (32), Town Seven (7) North, Range 9 East, in the City of Madison, Dane County, Wisconsin, described as follows:

Beginning at the Southeast corner of Lot One (1), Plat of

EXHIBIT 2

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Orchard Ridge, in the City of Madison, in the Northwest Quarter of Section Thirty-two (32), Town 7 North, Range 9 East, Dane County, Wisconsin; thence North 23° 22' West, 153.8', along the Northeast line of said Lot One to the Northeast corner of said Lot One; thence North 0° 0', West, to the point of intersection with a line that is parallel to and 4' Northeast of and measured at right angles to the Northwest prolongation of the Northeast line of said Lot One (1); thence South 23° 22' East, along said line parallel to and 4' Northeast of and measured at right angles to the Northwest prolongation of the Northeast line of said Lot One (1) to the North line of Hammersley Road; thence North 89° 10' West along said North line to the point of beginning.

~~Subject to a reservation of right in Grantor, its successors and assigns to use said right-of-way.~~

2. Improvement of Right of Way: Sidewalk. ~~Grantee shall at its own expense construct a permanent concrete or asphalt sidewalk not in excess of four feet in width thereon and shall at all times keep the same in good repair at its own expense.~~

3. Nature of Easement. The easement herein granted shall run with the land, is ~~nonexclusive and is for the common use of the parties, their respective lessees, invitees, employees, agents representatives, successors and assigns.~~ It is understood that an easement for sewer purposes in favor of the City of Madison, Wisconsin, exists in the premises over and upon which this easement is granted, and that said easement for sewer purposes was granted prior hereto. Grantor makes no warranties or representations hereby or hereth with respect to the effect of said easement for sewer purposes upon this Agreement.

4. Grantee shall abide by all applicable zoning and construction ordinances and shall obtain all necessary permits at its own expense.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by their respective authorized representatives on the date first above written.

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In the presence of:

Lois L. Weisman

Lois L. Weisman

Signed in the presence of:

TELEVISION WISCONSIN INCORPORATED

By Elizabeth B. Murphy  
Title President

Attest George Stantis  
Title Secretary

WHITCOMB VILLAGE ASSOCIATION, INC.

By Richard E. Welch  
Title \_\_\_\_\_

Attest Keith Anderson  
Title \_\_\_\_\_

STATE OF WISCONSIN )  
( ss  
COUNTY OF DOUGLAS )

Personally came before me this 17th day of August, 1972, the above named Elizabeth B. Murphy, President, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said Television Wisconsin Incorporated and acknowledged that she executed the foregoing instrument as such officer of the corporation.

Norman M. Notenberg  
Notary Public, Douglas County, Wisconsin  
My Commission: My Commission Expires May 20, 1973  
Norman M. Notenberg

STATE OF WISCONSIN )  
( ss  
COUNTY OF DANE )

Personally came before me this 6th day of November, 1972, the above named George Stantis, Secretary, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said Television Wisconsin Incorporated and acknowledged that he executed the foregoing instrument as such officer of the corporation.

Gerardine A. McLean

Notary Public, Dane County, Wisconsin My Commission: My Commission expires October 6, 1973

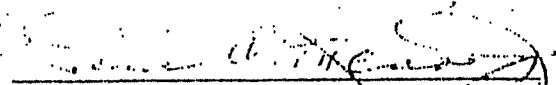
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STATE OF WISCONSIN )  
( SS )  
COUNTY OF DARE )

Personally came before me this 27th day of November  
1972, the above named Richard E. Welch  
and Keith Anderson, to me

known to be the persons who executed the foregoing instrument and to  
me known to be such officers of said Whitcomb Village Association, Inc.  
and acknowledged that they executed the foregoing instrument as such  
officers of the corporation.

  
Notary Public, Dane County, Wisconsin  
My Commission: Expires 10/14/73  
John C. Heffernan, Jr.

Drafted by Dale R. Thompson, Attorney, Madison, Wisconsin.

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