



NAKOMA PARK PEDESTRIAN ENTRANCE STEPS - MASONRY REPAIR CITY OF MADISON - CONTRACT #7393

PROJECT GENERAL NOTES

1. THE CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" AT 800-242-8511, 48 HOURS (EXCLUDING WEEKENDS AND/OR HOLIDAYS) PRIOR TO DIGGING ANY EXCAVATION. "DIGGER'S HOTLINE" WILL CONTACT UTILITY COMPANIES TO LOCATE AND MARK THEIR UNDERGROUND FACILITIES. NO SUCH WORK SHALL COMMENCE PRIOR TO VERIFICATION THAT ALL UTILITIES HAVE RESPONDED.
2. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL PERMITS ARE BY THE CONTRACTOR.
3. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF, AND COORDINATION WITH, ALL DIMENSIONS SHOWN ON THESE DRAWINGS RELATIVE TO EXISTING CONDITIONS PRIOR TO BEGINNING WORK.
4. CONTRACTOR SHALL REPORT IMMEDIATELY TO THE ARCHITECT ANY DIMENSION(S) OR DISCREPANCIES VERBALLY. A WRITTEN REPORT SHOULD PROMPTLY FOLLOW. CONTRACTOR SHALL CEASE WORK IN THE AFFECTED AREA UNTIL DIRECTED BY THE ARCHITECT.
5. THE CONTRACTOR SHALL PROVIDE ALL METHODS AND EQUIPMENT FOR PROTECTING THE BUILDING, ALL MATERIALS, AND PERSONNEL FROM FIRE OR OTHER DAMAGE PRIOR TO STARTING. THE CONTRACTOR SHALL SUBMIT THE APPROVED METHODS AND EQUIPMENT IN WRITING FOR THE OWNER AND ARCHITECT'S REVIEW PRIOR TO STARTING WORK.
6. THE CONTRACTOR SHALL COMPLY WITH ALL SAFETY AND HEALTH LAWS AND REGULATIONS.
7. THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SHEATHING, REQUIRED FOR THE SAFETY AND PROPER EXECUTION OF THE WORK. MAINTAIN EGRESS AT DESIGNATED ENTRANCE POINTS. COORDINATE ALL TEMPORARY CLOSURES OF CODE - REQUIRED EGRESS WITH OWNER, ARCHITECT AND FIRE DEPARTMENT IF NECESSARY AND BUILDING ACCESS THROUGHOUT THE COURSE OF ENTIRE CONSTRUCTION SCHEDULE.

8. EXECUTION OF THE WORK WILL INVOLVE CONSIDERATION FOR ALLOWING THE OWNER TO CONTINUE THE OPERATION OF THE PREMISES AND ADJACENT FACILITIES. PRIOR TO AWARD OF THE CONTRACT, A CONSTRUCTION SCHEDULE PREPARED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT AND SHALL BE COORDINATED WITH THE FACILITIES DEPARTMENT. OWNER'S APPROVAL OF THE PROPOSED SCHEDULE SHALL SUPERCEDE THE CONTRACT, PROVIDED THE OVERALL TIME IS NOT CHANGED.
9. THE CONTRACTOR SHALL REVIEW ALL EXISTING CONDITIONS TO DETERMINE ALL SERVICES (ELECTRICAL, MECHANICAL AND PLUMBING) AFFECTED BY THE REPAIR WORK. THE CONTRACTOR SHALL MAKE NECESSARY TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SERVICES TO ALL AREAS OF THE BUILDING DIRECTLY AND INDIRECTLY AFFECTED BY THE WORK. THE CONTRACTOR SHALL SUBMIT METHODS AND SCHEDULE OF CONNECTIONS TO THE OWNER FOR APPROVAL PRIOR TO BEGINNING WORK.
10. AS THE WORK PROGRESSES, THE CONTRACTOR SHALL PRODUCE "AS-BUILT" DRAWINGS FOR THE INSTALLATION OF ALL REPAIR ITEMS UNDER THE CONTRACT. THE ARCHITECT WILL PROVIDE THE GENERAL CONTRACTOR WITH A SET OF REPRODUCIBLE PLANS FOR THIS PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE AS-BUILT DRAWINGS ACCORDING TO THE JOB PROGRESS. EACH PAY REQUEST SUBMITTED BY THE CONTRACTOR SHALL BE ACCOMPANIED BY A COPY OF THE UPDATED AS-BUILT DRAWINGS.
11. PROTECT TREES, SHRUBS, LAWNS, AND OTHER FEATURES WITHIN PROJECT LIMITS. RESTORE DAMAGED FEATURES TO ORIGINAL CONDITION.

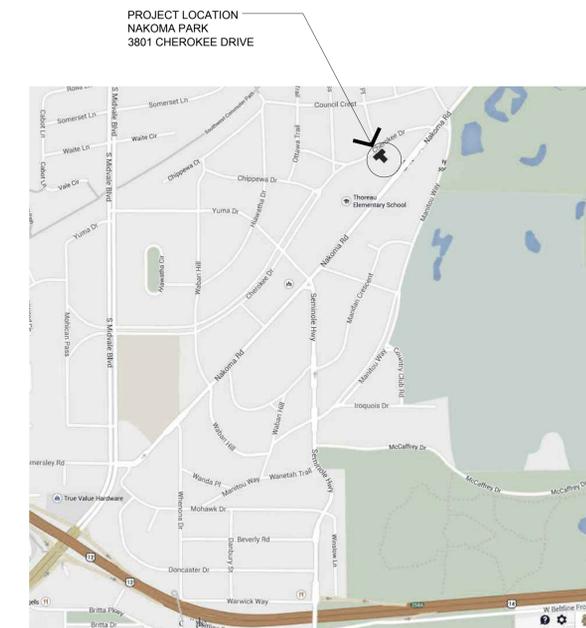


VICINITY MAP
SCALE: NONE

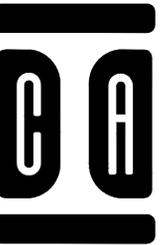


DRAWING INDEX

TS1.0	TITLE SHEET, INDEX, GENERAL NOTES
TS1.1	OVERALL SITE PLAN
TS1.2	EROSION CONTROL AND SITE RESTORATION PLAN
A1.1	STAIR PLANS
A1.2	OVERALL ELEVATIONS
A2.1	ENLARGED ELEVATIONS AND SECTIONS - ZONE 1
A2.2	ENLARGED ELEVATIONS AND SECTIONS - ZONE 2
A2.3	ENLARGED ELEVATIONS AND SECTIONS - ZONE 3
A2.4	ENLARGED ELEVATIONS AND SECTIONS - ZONE 4
A2.5	ENLARGED ELEVATIONS AND SECTIONS - ZONE 5
A3.1	DETAILS



LOCATION MAP
SCALE: NONE



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
866-297-1762 (fax)
info@icsarc.com

Nakoma Park
3801 Cherokee Drive
Madison, WI

NAKOMA PARKS PEDESTRIAN ENTRANCE STEPS - MASONRY REPAIR
 CITY OF MADISON - CONTRACT #7393
 MADISON, WI

ICA NO. COM 14-003

TITLE SHEET, INDEX,
GENERAL NOTES

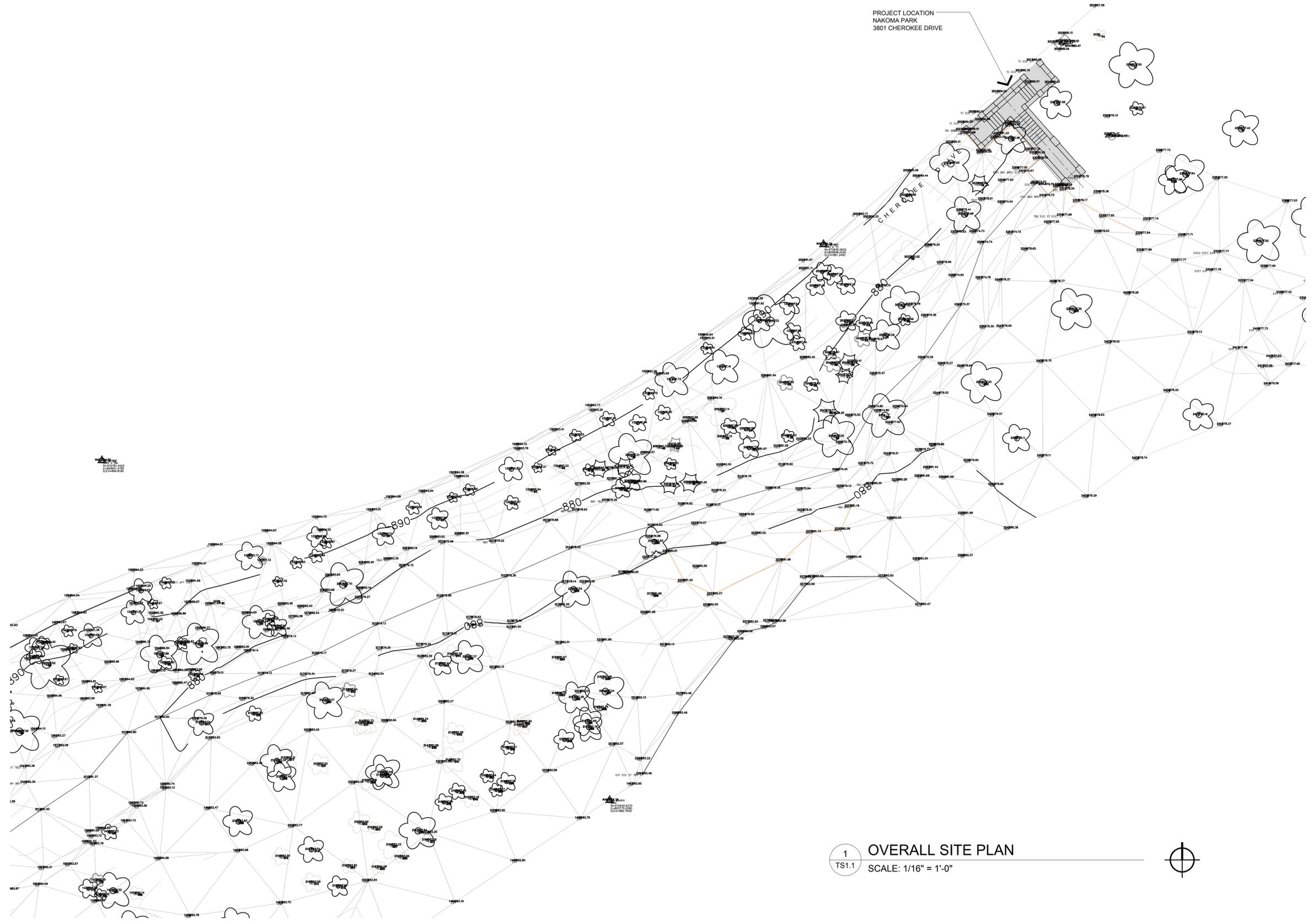
ISSUE FOR BID 4-17-15

TS1.0



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
806-297-1762 (fax)
info@icsarc.com

Nakoma Park
3801 Cherokee Drive
Madison, WI



PROJECT LOCATION
NAKOMA PARK
3801 CHEROKEE DRIVE

1 OVERALL SITE PLAN
TS1.1 SCALE: 1/16" = 1'-0"



NAKOMA PARKS PEDESTRIAN ENTRANCE STEPS - MASONRY REPAIR
CITY OF MADISON - CONTRACT #7393
MADISON, WI

ICA NO. COM 14-003

SITE PLAN

ISSUE FOR BID 4-17-15

TS1.1

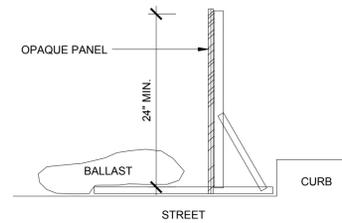


InSite Consulting Architects
 115 E. Main / STE 200
 Madison, Wisconsin 53703
 608-204-0825
 866-297-1762 (fax)
 info@isarc.com

Nakoma Park
 3801 Cherokee Drive
 Madison, WI

GENERAL NOTES:

1. A FINAL STAGING PLAN WILL BE DEVELOPED THROUGH A COLLABORATIVE PROCESS WITH THE GENERAL CONTRACTOR THAT IS AWARDED THE PROJECT AND THE ARCHITECT.
2. STREET BARRICADES, STAGING AND WORK ZONE ACCESS SHALL BE COORDINATED WITH CITY REQUIREMENTS FOR WORK IN THE PUBLIC WAY. INCLUDE TRAFFIC CONES, SIGNAGE OR SAFETY BARRICADES AS REQUIRED. SEE TRAFFIC CONTROL NOTES ON OVERALL SITE PLAN.
3. SITE STAGING AND WORK ZONE ACCESS WILL BE COORDINATED WITH PARK OCCUPANCY SCHEDULES.
4. THE FINAL STAGING PLAN WILL BE APPROVED BY, AND COORDINATED WITH, THE OWNER.
5. PROVIDE STORM WATER DIVERSION TO PROTECT WORK AREA. CONTRACTOR TO SUBMIT AN EROSION CONTROL IMPLEMENTATION PLAN SHOWING METHOD OF DIVERSION. REFERENCE DETAIL BELOW.

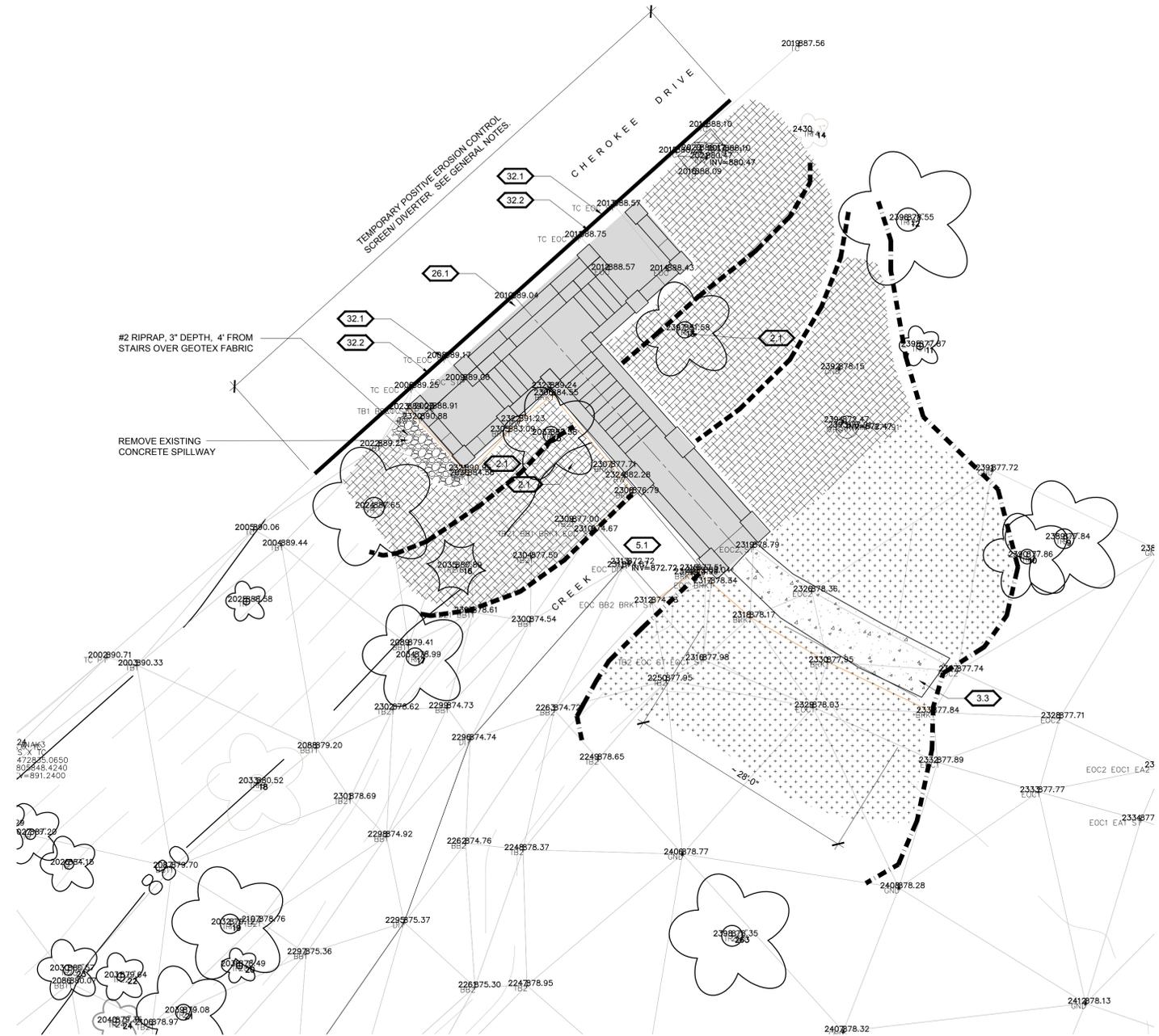


EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES TO PROTECT THE PROJECT SITE SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBANCE ACTIVITIES.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES UNTIL FINAL ACCEPTANCE BY THE CITY OF MADISON.
3. THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS AND THE CITY OF MADISON STANDARD SPECIFICATIONS.
4. THE CONTRACTOR SHALL PROVIDE STREET CLEANING AS NEEDED ON A DAILY BASIS TO KEEP ADJACENT PUBLIC STREETS, SIDEWALKS, AND OTHER PAVED AREAS CLEAN OF ANY TRACKED MUD OR SOIL. AT A MINIMUM THESE AREAS MUST BE CLEANED AT THE END OF EACH WORK DAY.
5. THE CONTRACTOR SHALL PROVIDE AN EROSION CONTROL IMPLEMENTATION PLAN (ECIP) PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR REVIEW AND APPROVAL BY CITY ENGINEERING AT OR PRIOR TO THE PRECONSTRUCTION MEETING. NO EROSION CONTROL MEASURES CAN BE INSTALLED PRIOR TO APPROVAL OF THE CONTRACTOR'S ECIP.
6. THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION DEWATERING PLAN AS PART OF THE EROSION CONTROL IMPLEMENTATION PLAN.
7. ANY DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF 14 DAYS OR LONGER MUST BE STABILIZED WITH POLYMER, TEMPORARY SEED, AND MATTING; OR PROTECTED WITH PLASTIC SHEETING.

LEGEND

- 8" TO 12" SILT SOCK
- 6" SILT SOCK
- SEED + POLYMER PER SECTION D, SPECIAL PROVISIONS SECTION 207 NATIVE SEEDING, CLASS II TYPE C - ORGANIC EROSION CONTROL MATTING. FOR STEEP AREAS.
- SEED + POLYMER PER TERRACE SEED MIXES ARTICLE 207 SEEDING OF THE CITY'S STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONTRACTS, CLASS I TYPE B URBAN EROSION CONTROL MATTING. FOR FLATTER AREAS IN PARK.



NAKOMA PARKS PEDESTRIAN ENTRANCE STEPS - MASONRY REPAIR
 CITY OF MADISON - CONTRACT #7393
 MADISON, WI

1 EROSION CONTROL & SITE RESTORATION PLAN
 TS1.2 SCALE: 1/8" = 1'-0"

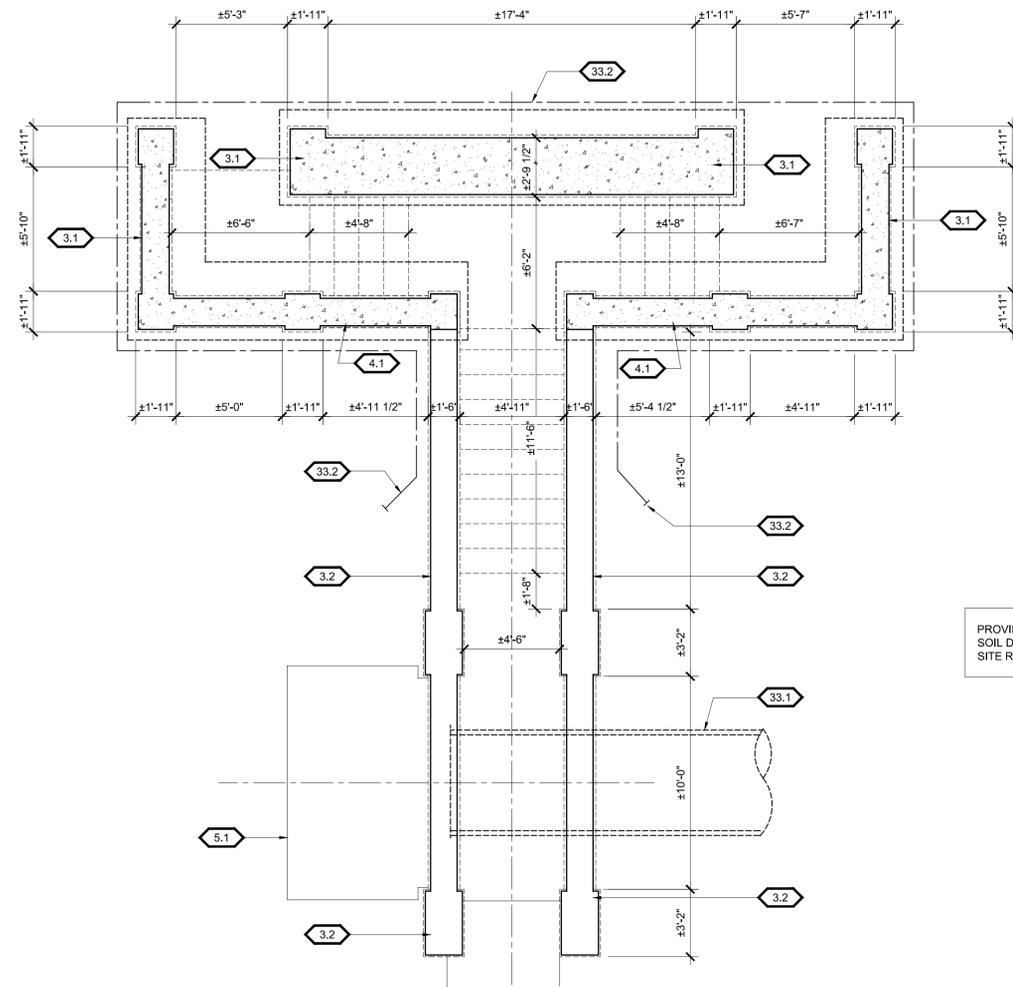


ICA NO. COM 14-003

EROSION CONTROL & SITE RESTORATION PLAN

ISSUE FOR BID 4-17-15

TS1.2

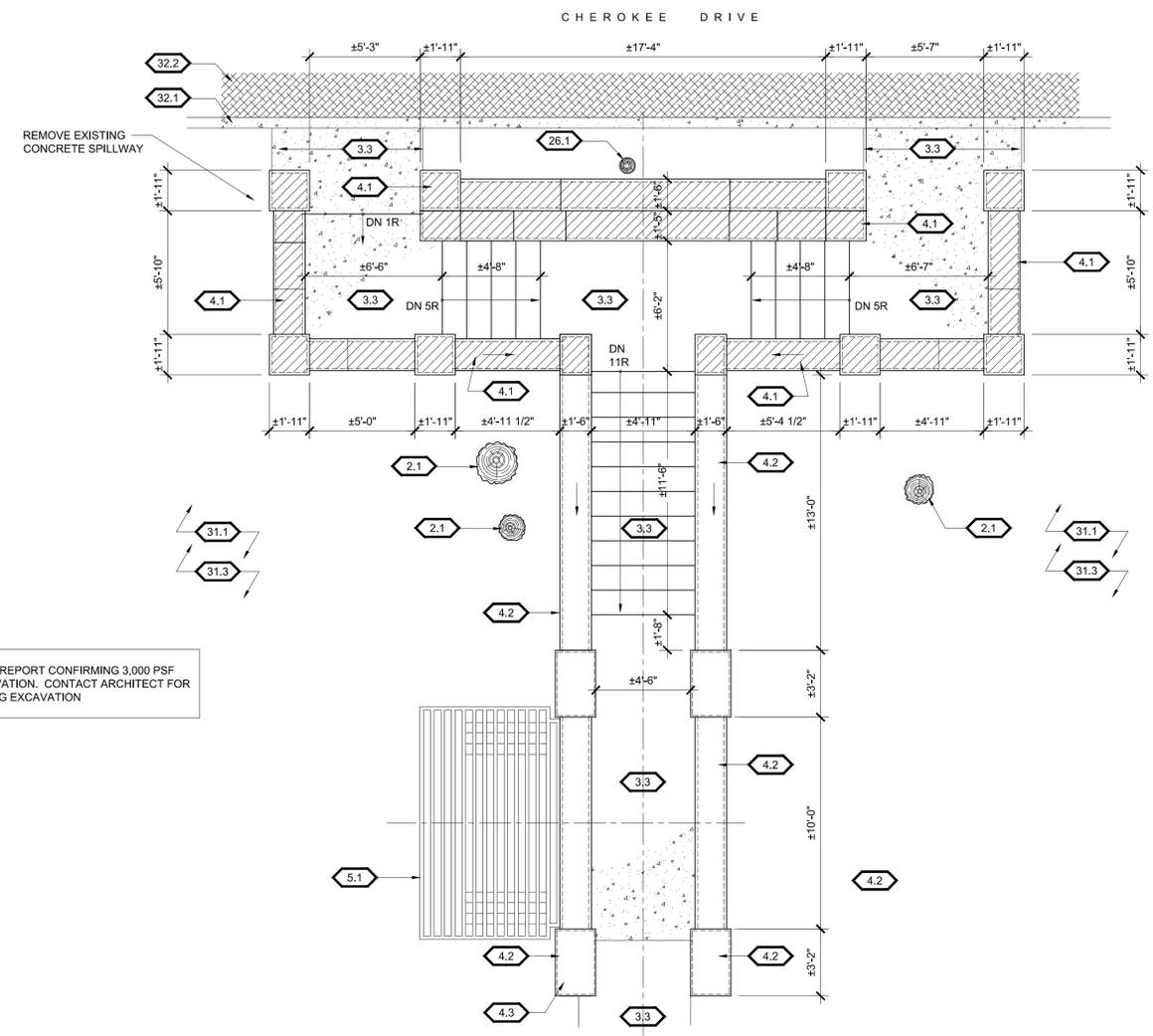


0
A1.1
STAIR FOUNDATION PLAN
SCALE: 1/4" = 1'-0"
NOTE: PLAN DIMENSIONS ARE NOMINAL TOP OF WALL CAP. CONFIRM ALL DIMENSIONS IN FIELD TO MATCH EXISTING ELEVATIONS IN EVERY WAY POSSIBLE
PLAN NORTH

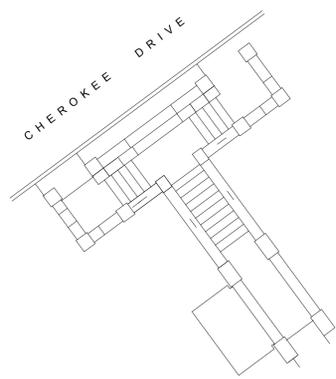
PLAN NOTES

1. THE FINAL CONSTRUCTION STAGING PLAN SHALL BE DEVELOPED THROUGH A COLLABORATIVE EFFORT BETWEEN THE OWNER, ARCHITECT AND GENERAL CONTRACTOR THAT IS AWARDED THE CONTRACT.
2. WORKZONE ACCESS, PEDESTRIAN PATHWAY, CONSTRUCTION FENCING AND CONCRETE BARRIERS SHALL BE COORDINATED WITH THE OWNER, ARCHITECT AND THE CITY STREET DIVISION.
3. ALL PERIMETER SAFETY SIGNAGE SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR AFTER REVIEW AND APPROVAL BY THE OWNER AND ARCHITECT.
4. THE GENERAL CONTRACTOR SHALL COORDINATE SITE AND STREET SAFETY DURING ALL TREE REMOVAL.
5. PRIMARY SITE UTILITIES (VERIFY ALL CONDITIONS AND LOCATIONS IN THE FIELD)
6. NO CONCRETE FOOTING TO COME IN CONTACT WITH EXISTING GAS AND WATER LINES.

PROVIDE GEOTECH REPORT CONFIRMING 3,000 PSF SOIL DURING EXCAVATION. CONTACT ARCHITECT FOR SITE REVIEW DURING EXCAVATION



1
A1.1
STAIR PLAN
SCALE: 1/4" = 1'-0"
NOTE: PLAN DIMENSIONS ARE NOMINAL TOP OF WALL CAP. CONFIRM ALL DIMENSIONS IN FIELD TO MATCH EXISTING ELEVATIONS IN EVERY WAY POSSIBLE
PLAN NORTH



KEY PLAN

DESIGN KEYNOTES

- 2.1 REMOVE EXISTING TREE AND ROOT STRUCTURE COMPLETE. GRUB SITE IN AREAS OF WORK.
- 3.1 REMOVE EXISTING FOUNDATION AND FOOTING. PROVIDE NEW FOUNDATION AND SPREAD FOOTING AS INDICATED ON DRAWINGS DESCRIBED HEREIN.
- 3.2 EXISTING FOUNDATION AND FOOTING TO REMAIN. PARTIALLY EXCAVATE AND INSPECT WITH ARCHITECT.
- 3.3 REMOVE EXISTING CONCRETE PAVING. INSTALL NEW SLIP RESISTANT FINISH CONCRETE SIDEWALK OR STAIR. MIN. 4" CONCRETE SIDEWALK W/6 X 6 - 1.4 X 1.4 W.W.F. ON COMPACTED GRANULAR FILL. REINF. CONCRETE STAIR AS NOTED. MATCH ALL EXISTING STEPS AND ELEVATIONS.
- 4.1 RE-CONSTRUCT EXISTING STONE RUBBLE WALL. DECONSTRUCT EXISTING. SORT BY SIZE AND LOCATION AND STORE FOR RE-BUILD IN SAME LOCATION. MATCH EXISTING. ALLOW FOR BID QUANTITY OF NEW REPLACEMENT STONE. SEE DETAILS.
- 4.2 EXISTING STONE RUBBLE WALL TO REMAIN. RE-POINT 100% OF MORTAR JOINTS. PERFORM SELECTIVE REPAIRS.
- 4.3 EXISTING STONE RUBBLE. PERFORM DUTCHMAN REPAIR. SEE DETAILS.
- 4.4 EXISTING STONE RUBBLE WALL. PATCH VENEER WITH FILLING PATCH MORTAR.
- 5.1 EXISTING STEEL GRATE COVER. REMOVE, SANDBLAST, RE-PRIME, HOT-DIP GALVANIZE, EPOXY REPAINT. REINSTALLATION BY CONTRACTOR AFTER RE-POINTING AND MASONRY REPAIRS.
- 26.1 EXISTING LIGHT POLE. MG&E DISCONNECT POWER FOR BRACING, SHORING, OR RECONSTRUCTION OF LIGHT POLE UNDERMINED BY EXCAVATION OPERATIONS. CONTRACTOR(S) TO COORDINATE CONTACT WITH MG&E.
- 31.1 GRUB EXISTING SITE +/-15' WIDE AROUND STAIR PERIMETER. MATCH EXISTING GRADE.
- 31.2 EXCAVATE AND BACKFILL WITH ENGINEERED FILL. MATCH EXISTING GRADES.
- 31.3 NEW EROSION CONTROL SYSTEM +/-15' WIDE AROUND STAIR PERIMETER. SEE EROSION CONTROL AND SITE RESTORATION PLAN ON SHEET TS1.2.
- 32.1 EXISTING CONCRETE CURB. CONTRACTOR SHALL RESTORE ALL CURB & SIDEWALK AREA DAMAGED THROUGH THE COURSE OF THE WORK.
- 32.2 EXISTING ASPHALT STREET PAVING. CONTRACTOR SHALL RESTORE ALL PAVED AREA DAMAGED THROUGH THE COURSE OF THE WORK.
- 33.1 EXISTING CONCRETE TUNNEL STRUCTURE TO REMAIN.
- 33.2 NEW DRAIN TILE. 8" PERFORATED PVC WITH DRAIN-SLEEVE SOCK. INSTALL DRAIN TILE IN 12" MIN. CRUSHED STONE. DISCHARGE DRAIN TILE TO DAYLIGHT.



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
866-297-1762 (fax)
info@icsarc.com

Nakoma Park
3801 Cherokee Drive
Madison, WI

NAKOMA PARKS PEDESTRIAN ENTRANCE STEPS - MASONRY REPAIR
CITY OF MADISON - CONTRACT #7393
MADISON, WI

ICA NO. COM 14-003

PLAN AND OVERALL ELEVATIONS

ISSUE FOR BID 4-17-15

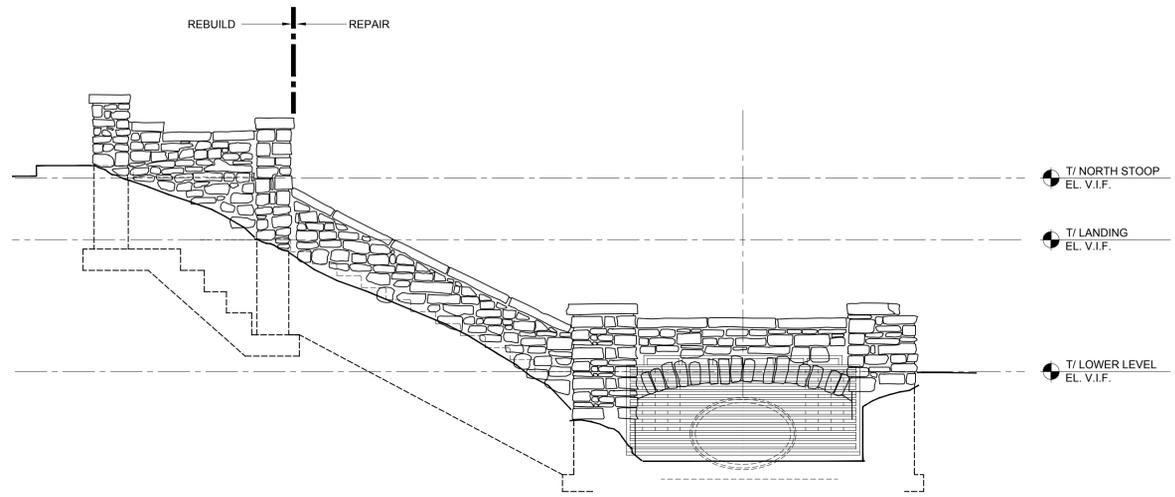
A1.1



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
866-297-1762 (fax)
info@icsarc.com

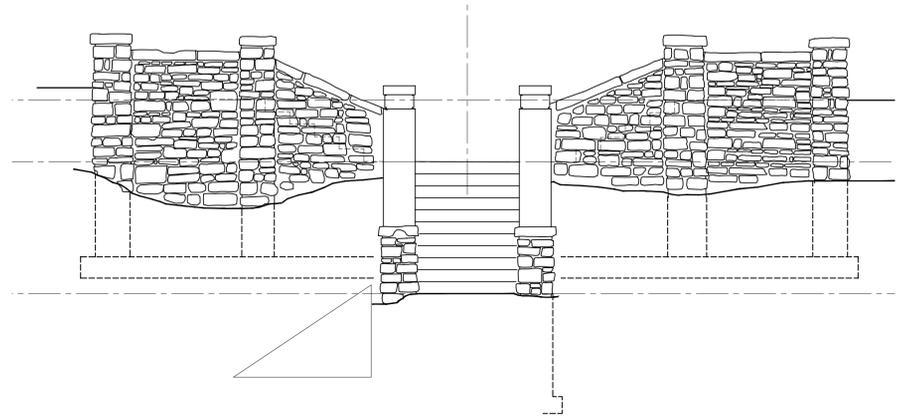
Nakoma Park
3801 Cherokee Drive
Madison, WI

NAKOMA PARKS PEDESTRIAN ENTRANCE STEPS - MASONRY REPAIR
CITY OF MADISON - CONTRACT #7393
MADISON, WI



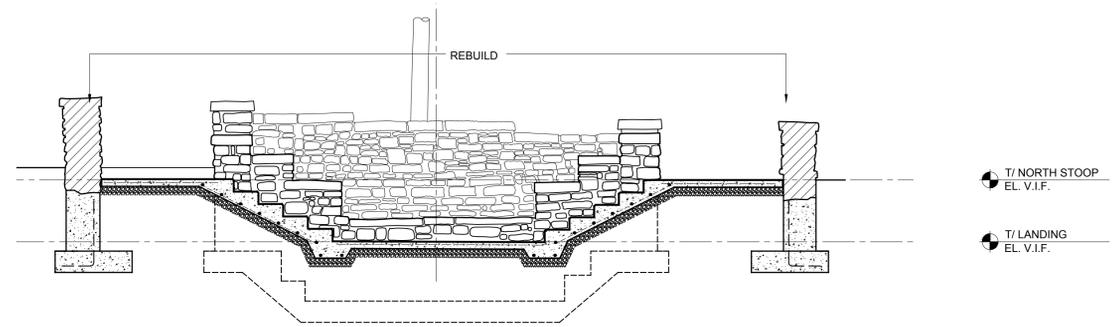
4 ELEVATION
A1.2 SCALE: 1/4" = 1'-0"

SEE ENLARGED ELEVATIONS FOR KEYNOTE WORK ITEMS



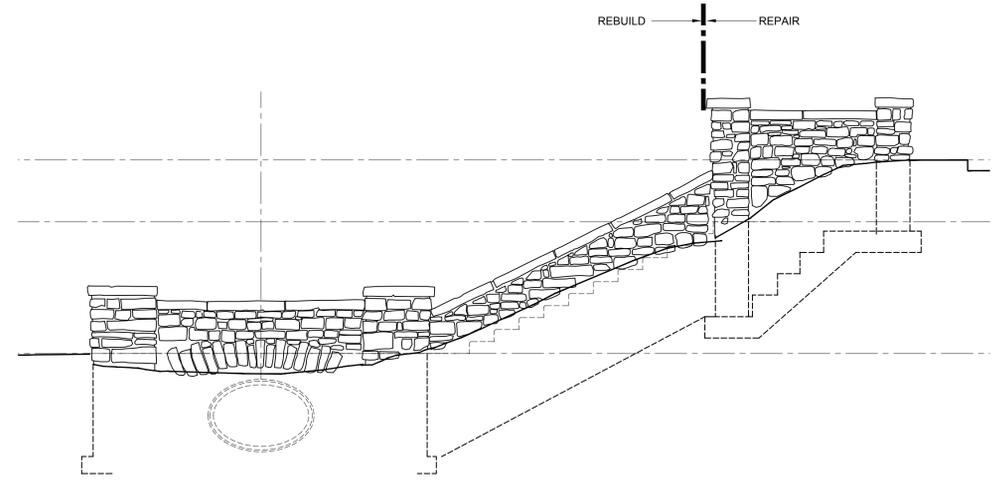
3 ELEVATION
A1.2 SCALE: 1/4" = 1'-0"

SEE ENLARGED ELEVATIONS FOR KEYNOTE WORK ITEMS



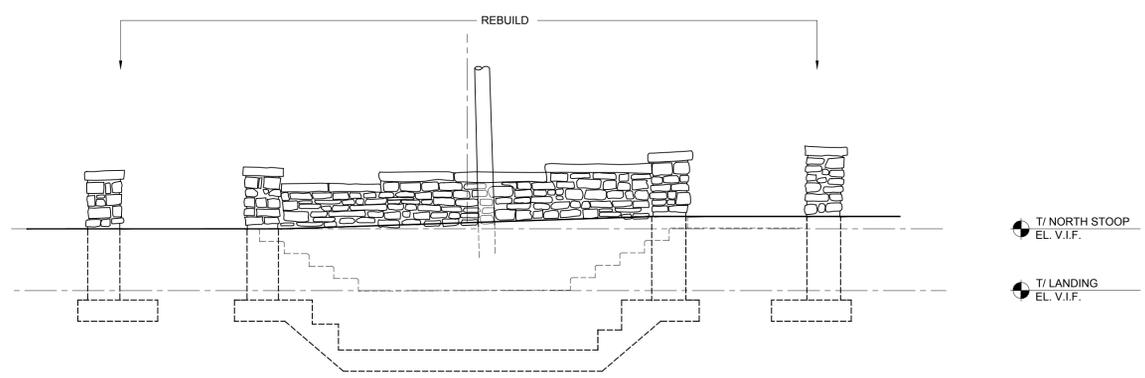
5 SECTION
A1.2 SCALE: 1/4" = 1'-0"

SEE ENLARGED ELEVATIONS FOR KEYNOTE WORK ITEMS



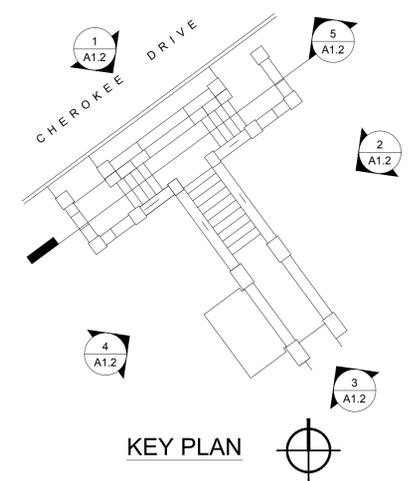
2 ELEVATION
A1.2 SCALE: 1/4" = 1'-0"

SEE ENLARGED ELEVATIONS FOR KEYNOTE WORK ITEMS



1 ELEVATION
A1.2 SCALE: 1/4" = 1'-0"

SEE ENLARGED ELEVATIONS FOR KEYNOTE WORK ITEMS



ICA NO. COM 14-003

PLAN AND OVERALL ELEVATIONS

ISSUE FOR BID 4-17-15

A1.2



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
866-297-1762 (fax)
info@isarc.com

Nakoma Park
3801 Cherokee Drive
Madison, WI

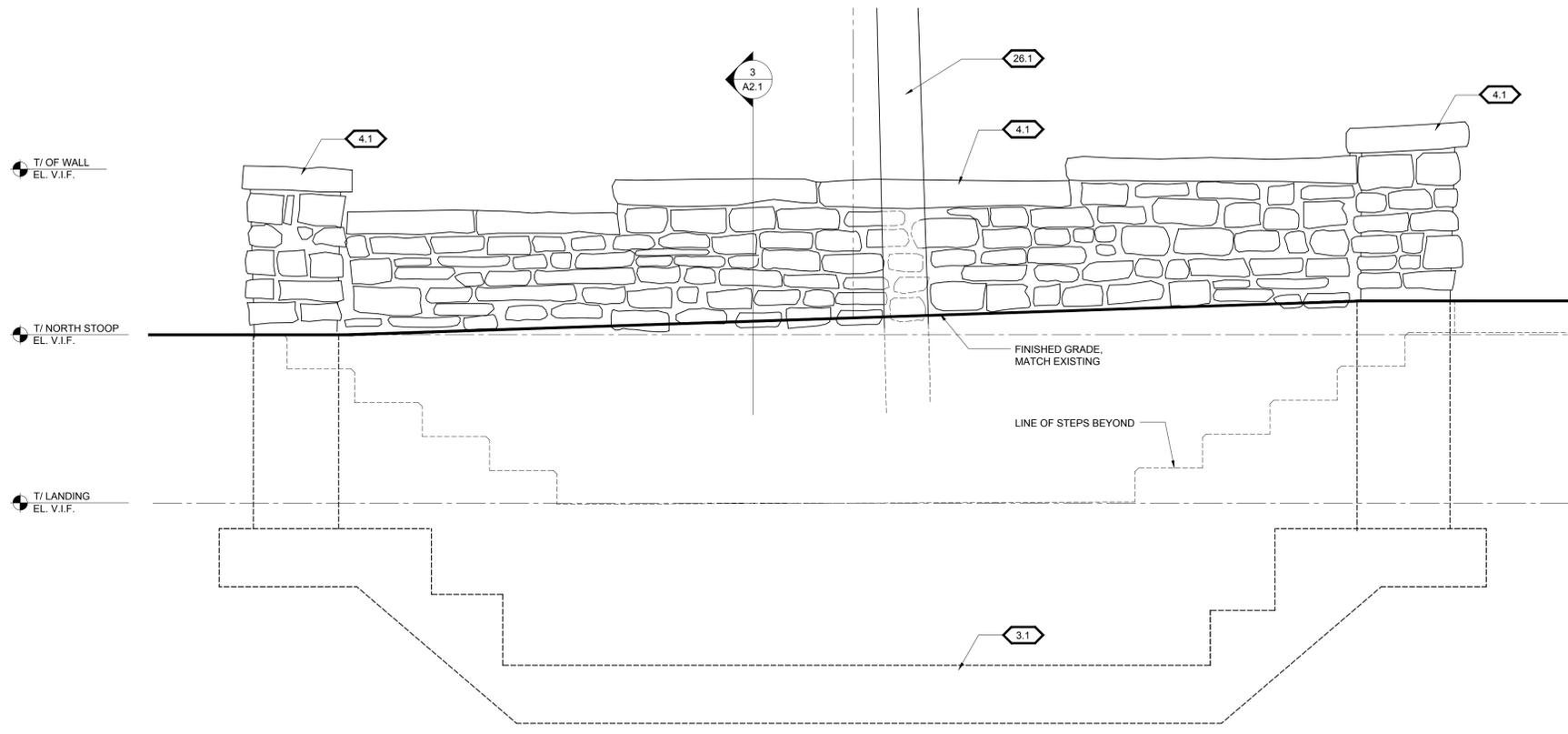
NAKOMA PARKS PEDESTRIAN ENTRANCE STEPS - MASONRY REPAIR
CITY OF MADISON - CONTRACT #7393
MADISON, WI

ICA NO. COM 14-003

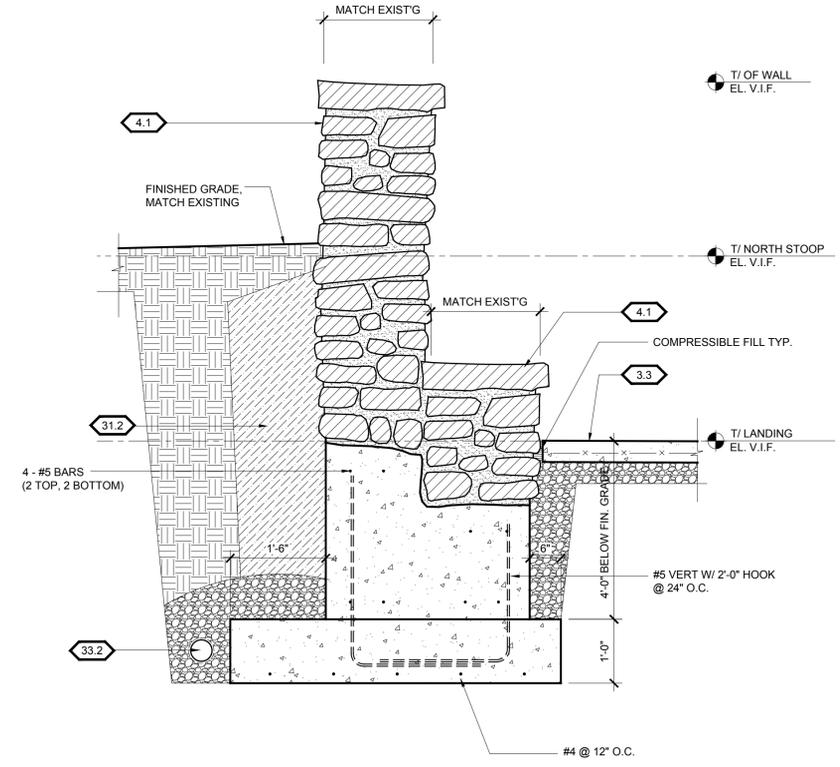
ELEVATIONS

ISSUE FOR BID 4-17-15

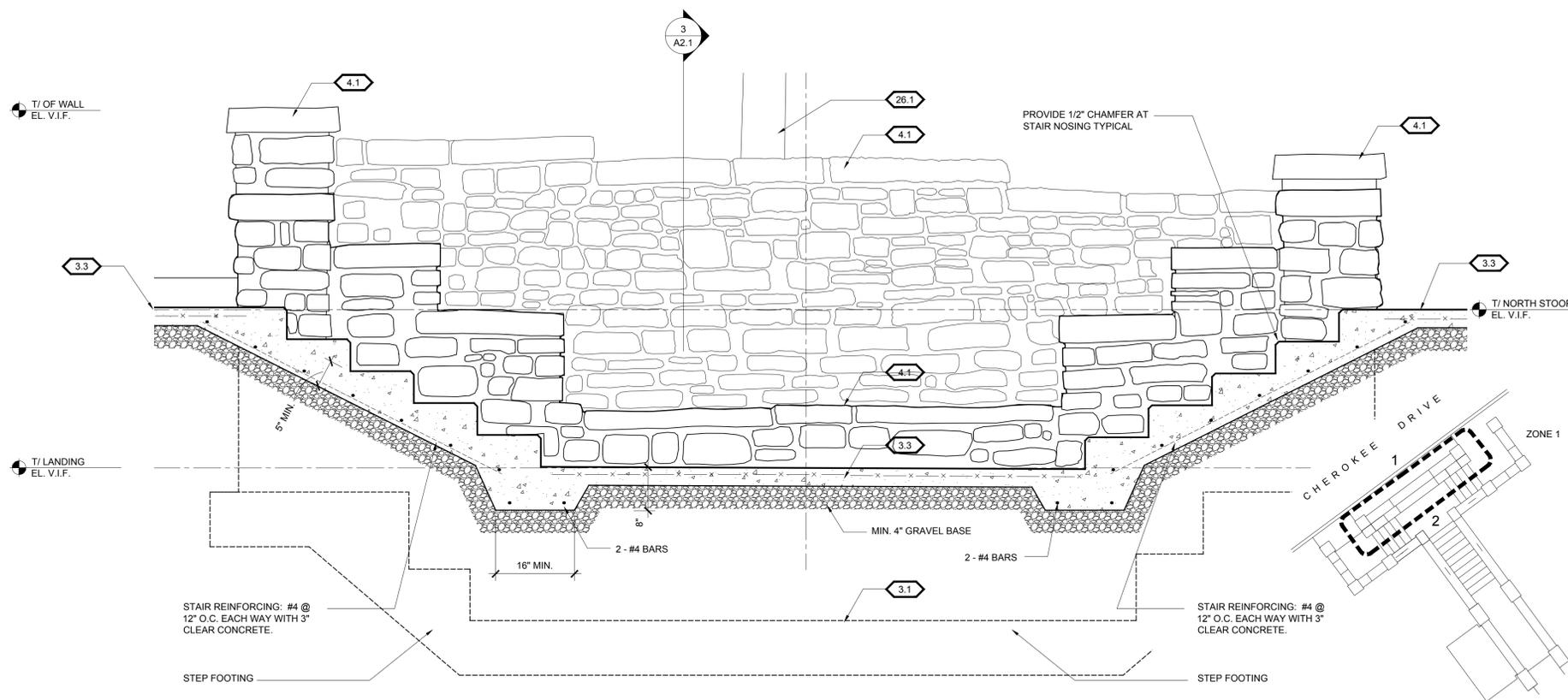
A2.1



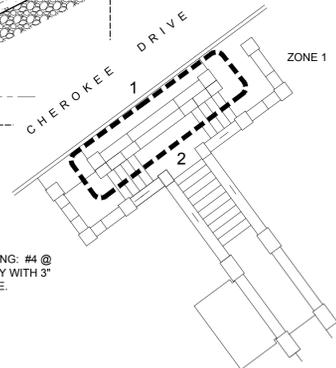
1 ELEVATION
A2.1 SCALE: 3/4" = 1'-0"



3 SECTION
A2.1 SCALE: 3/4" = 1'-0"



2 SECTION AND ELEVATION VIEW
A2.1 SCALE: 3/4" = 1'-0"



KEY PLAN

DESIGN KEYNOTES

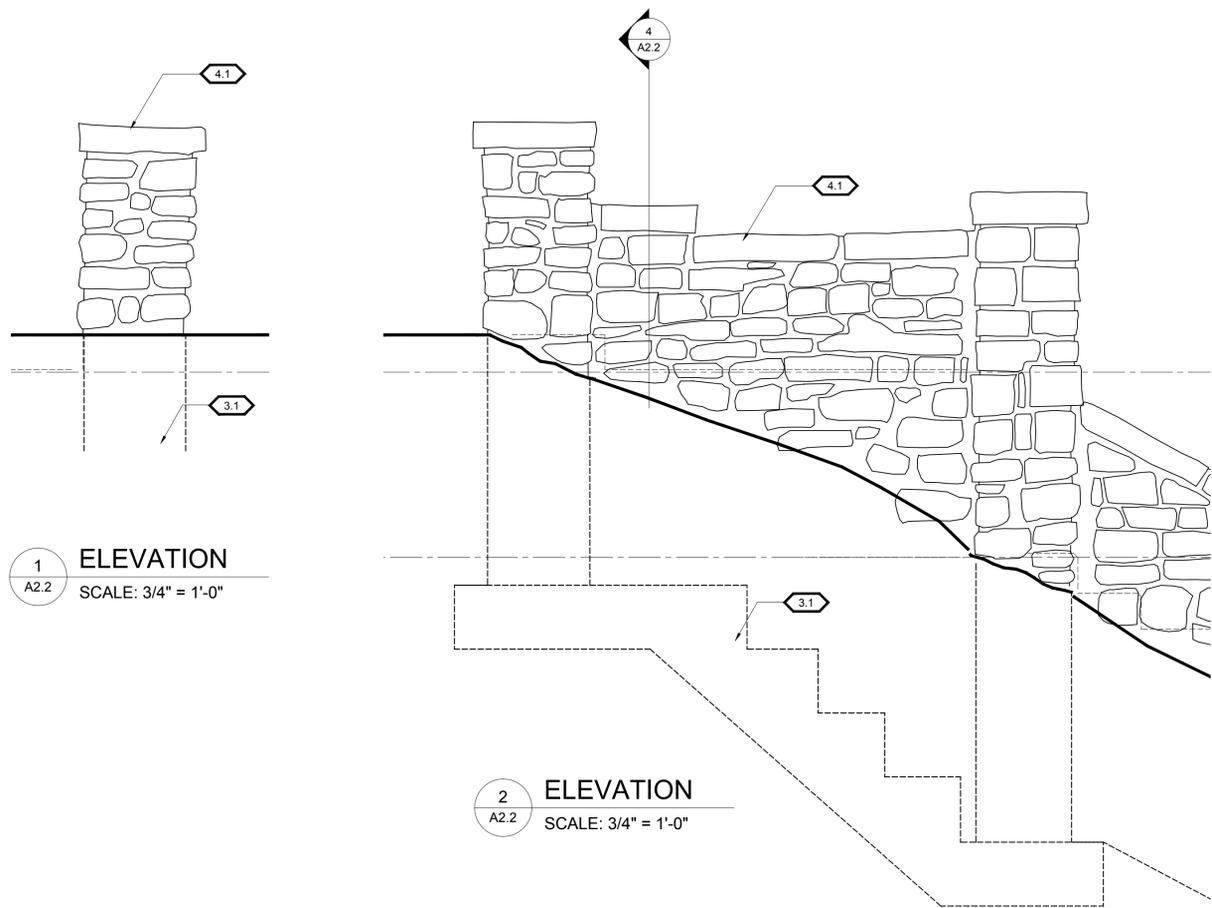
- 2.1 REMOVE EXISTING TREE AND ROOT STRUCTURE COMPLETE. GRUB SITE IN AREAS OF WORK.
- 3.1 REMOVE EXISTING FOUNDATION AND FOOTING. PROVIDE NEW FOUNDATION AND SPREAD FOOTING AS INDICATED ON DRAWINGS DESCRIBED HEREIN.
- 3.2 EXISTING FOUNDATION AND FOOTING TO REMAIN. PARTIALLY EXCAVATE AND INSPECT WITH ARCHITECT.
- 3.3 REMOVE EXISTING CONCRETE PAVING. INSTALL NEW SLIP RESISTANT FINISH CONCRETE SIDEWALK OR STAIR. MIN. 4" CONCRETE SIDEWALK W/6 X 6 - 1.4 X 1.4 W.W.F. ON COMPACTED GRANULAR FILL. REINF. CONCRETE STAIR AS NOTED. MATCH ALL EXISTING STEPS AND ELEVATIONS.
- 4.1 RE-CONSTRUCT EXISTING STONE RUBBLE WALL. DECONSTRUCT EXISTING. SORT BY SIZE AND LOCATION AND STORE FOR RE-BUILD IN SAME LOCATION. MATCH EXISTING. ALLOW FOR BID QUANTITY OF NEW REPLACEMENT STONE. SEE DETAILS.
- 4.2 EXISTING STONE RUBBLE WALL TO REMAIN. RE-POINT 100% OF MORTAR JOINTS. PERFORM SELECTIVE REPAIRS.
- 4.3 EXISTING STONE RUBBLE. PERFORM DUTCHMAN REPAIR. SEE DETAILS.
- 4.4 EXISTING STONE RUBBLE WALL. PATCH VENEER WITH FILLING PATCH MORTAR.
- 5.1 EXISTING STEEL GRATE COVER. REMOVE. SANDBLAST, RE-PRIME, HOT-DIP GALVANIZE, EPOXY REPAIR. REINSTALLATION BY CONTRACTOR AFTER RE-POINTING AND MASONRY REPAIRS.
- 26.1 EXISTING LIGHT POLE. MG&E DISCONNECT POWER FOR BRACING, SHORING, OR RECONSTRUCTION OF LIGHT POLE UNDERMINED BY EXCAVATION OPERATIONS. CONTRACTOR(S) TO COORDINATE CONTACT WITH MG&E.
- 31.1 GRUB EXISTING SITE +/-15' WIDE AROUND STAIR PERIMETER. MATCH EXISTING GRADE.
- 31.2 EXCAVATE AND BACKFILL WITH ENGINEERED FILL. MATCH EXISTING GRADES.
- 31.3 NEW EROSION CONTROL SYSTEM +/-15' WIDE AROUND STAIR PERIMETER. SEE EROSION CONTROL AND SITE RESTORATION PLAN ON SHEET TS1.2.
- 32.1 EXISTING CONCRETE CURB. CONTRACTOR SHALL RESTORE ALL CURB & SIDEWALK AREA DAMAGED THROUGH THE COURSE OF THE WORK.
- 32.2 EXISTING ASPHALT STREET PAVING. CONTRACTOR SHALL RESTORE ALL PAVED AREA DAMAGED THROUGH THE COURSE OF THE WORK.
- 33.1 EXISTING CONCRETE TUNNEL STRUCTURE TO REMAIN.
- 33.2 NEW DRAIN TILE, 6" PERFORATED PVC WITH DRAIN-SLEEVE SOCK. INSTALL DRAIN TILE IN 12" MIN. CRUSHED STONE. DISCHARGE DRAIN TILE TO DAYLIGHT.



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
866-297-1762 (fax)
info@icsarc.com

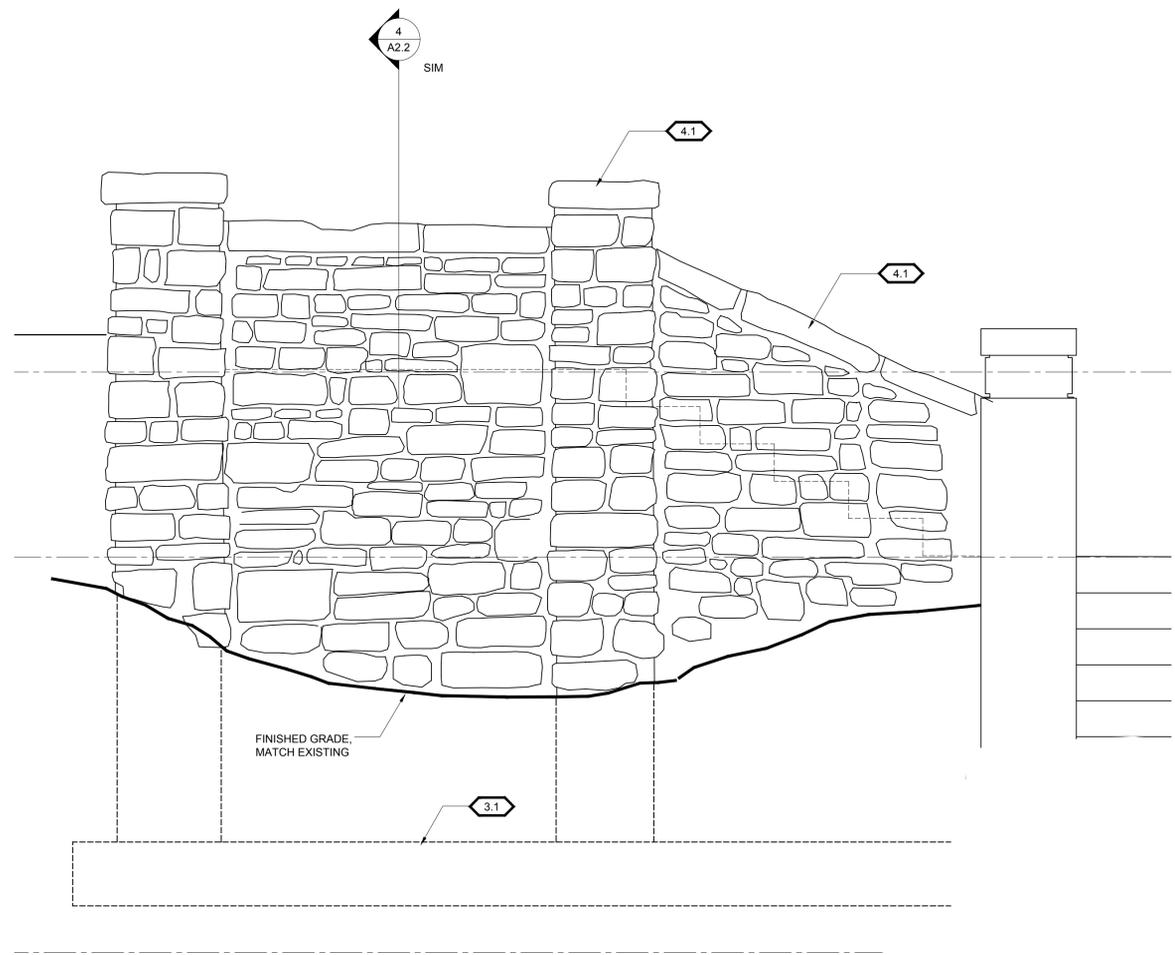
Nakoma Park
3801 Cherokee Drive
Madison, WI

NAKOMA PARKS PEDESTRIAN ENTRANCE STEPS - MASONRY REPAIR
CITY OF MADISON - CONTRACT #7393
MADISON, WI

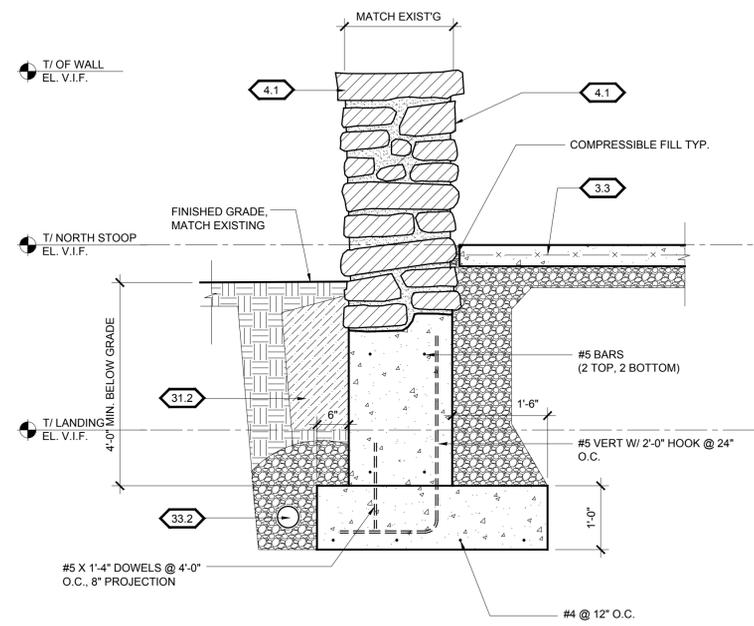


1 ELEVATION
A2.2 SCALE: 3/4" = 1'-0"

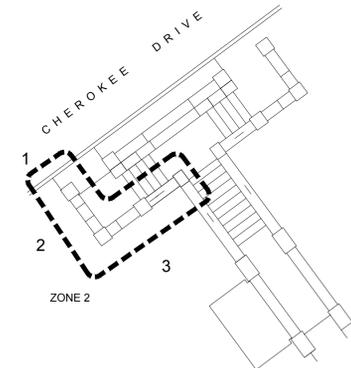
2 ELEVATION
A2.2 SCALE: 3/4" = 1'-0"



3 ELEVATION
A2.2 SCALE: 3/4" = 1'-0"



4 SECTION
A2.2 SCALE: 3/4" = 1'-0"



KEY PLAN

DESIGN KEYNOTES

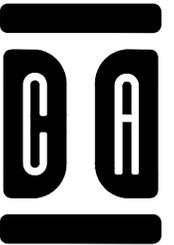
- 2.1 REMOVE EXISTING TREE AND ROOT STRUCTURE COMPLETE. GRUB SITE IN AREAS OF WORK.
- 3.1 REMOVE EXISTING FOUNDATION AND FOOTING. PROVIDE NEW FOUNDATION AND SPREAD FOOTING AS INDICATED ON DRAWINGS DESCRIBED HEREIN.
- 3.2 EXISTING FOUNDATION AND FOOTING TO REMAIN. PARTIALLY EXCAVATE AND INSPECT WITH ARCHITECT.
- 3.3 REMOVE EXISTING CONCRETE PAVING. INSTALL NEW SLIP RESISTANT FINISH CONCRETE SIDEWALK OR STAIR. MIN. 4" CONCRETE SIDEWALK W/6 X 6 - 1.4 X 1.4 W.W.F. ON COMPACTED GRANULAR FILL. REINF. CONCRETE STAIR AS NOTED. MATCH ALL EXISTING STEPS AND ELEVATIONS.
- 4.1 RE-CONSTRUCT EXISTING STONE RUBBLE WALL. DECONSTRUCT EXISTING. SORT BY SIZE AND LOCATION AND STORE FOR RE-BUILD IN SAME LOCATION. MATCH EXISTING. ALLOW FOR BID QUANTITY OF NEW REPLACEMENT STONE. SEE DETAILS.
- 4.2 EXISTING STONE RUBBLE WALL TO REMAIN. RE-POINT 100% OF MORTAR JOINTS. PERFORM SELECTIVE REPAIRS.
- 4.3 EXISTING STONE RUBBLE. PERFORM DUTCHMAN REPAIR. SEE DETAILS.
- 4.4 EXISTING STONE RUBBLE WALL. PATCH VENEER WITH FILLING PATCH MORTAR.
- 5.1 EXISTING STEEL GRATE COVER. REMOVE. SANDBLAST, RE-PRIME, HOT-DIP GALVANIZE, EPOXY REPAIR. REINSTALLATION BY CONTRACTOR AFTER RE-POINTING AND MASONRY REPAIRS.
- 26.1 EXISTING LIGHT POLE. MG&E DISCONNECT POWER FOR BRACING, SHORING, OR RECONSTRUCTION OF LIGHT POLE UNDERMINED BY EXCAVATION OPERATIONS. CONTRACTOR(S) TO COORDINATE CONTACT WITH MG&E.
- 31.1 GRUB EXISTING SITE +/-15' WIDE AROUND STAIR PERIMETER. MATCH EXISTING GRADE.
- 31.2 EXCAVATE AND BACKFILL WITH ENGINEERED FILL. MATCH EXISTING GRADES.
- 31.3 NEW EROSION CONTROL SYSTEM +/-15' WIDE AROUND STAIR PERIMETER. SEE EROSION CONTROL AND SITE RESTORATION PLAN ON SHEET TS1.2.
- 32.1 EXISTING CONCRETE CURB. CONTRACTOR SHALL RESTORE ALL CURB & SIDEWALK AREA DAMAGED THROUGH THE COURSE OF THE WORK.
- 32.2 EXISTING ASPHALT STREET PAVING. CONTRACTOR SHALL RESTORE ALL PAVED AREA DAMAGED THROUGH THE COURSE OF THE WORK.
- 33.1 EXISTING CONCRETE TUNNEL STRUCTURE TO REMAIN.
- 33.2 NEW DRAIN TILE, 6" PERFORATED PVC WITH DRAIN-SLEEVE SOCK. INSTALL DRAIN TILE IN 12" MIN. CRUSHED STONE. DISCHARGE DRAIN TILE TO DAYLIGHT.

ICA NO. COM 14-003

ELEVATIONS

ISSUE FOR BID 4-17-15

A2.2



InSite Consulting Architects
 115 E. Main / STE 200
 Madison, Wisconsin 53703
 608-204-0825
 866-297-1762 (fax)
 info@icsarc.com

Nakoma Park
 3801 Cherokee Drive
 Madison, WI

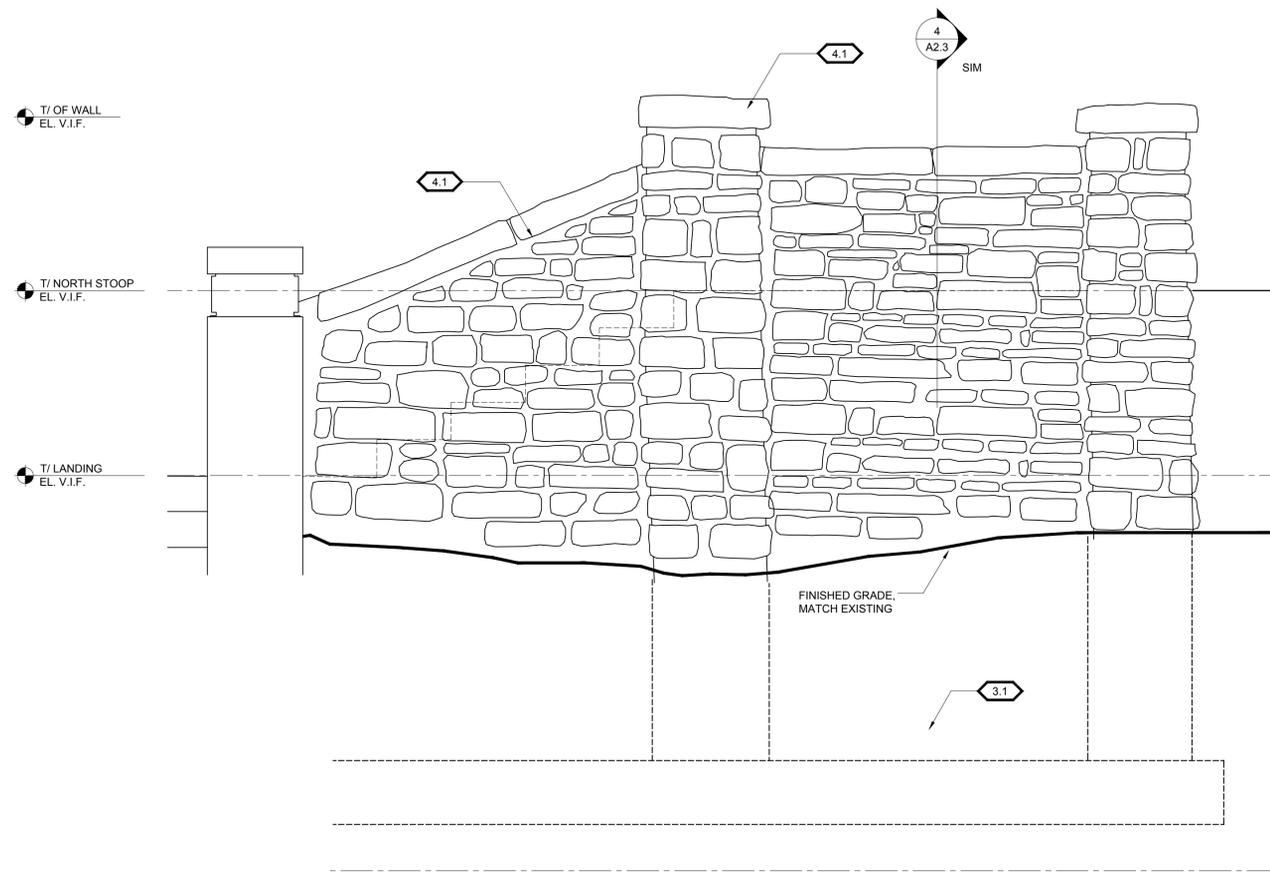
NAKOMA PARKS PEDESTRIAN ENTRANCE STEPS - MASONRY REPAIR
 CITY OF MADISON - CONTRACT #7393
 MADISON, WI

ICA NO. COM 14-003

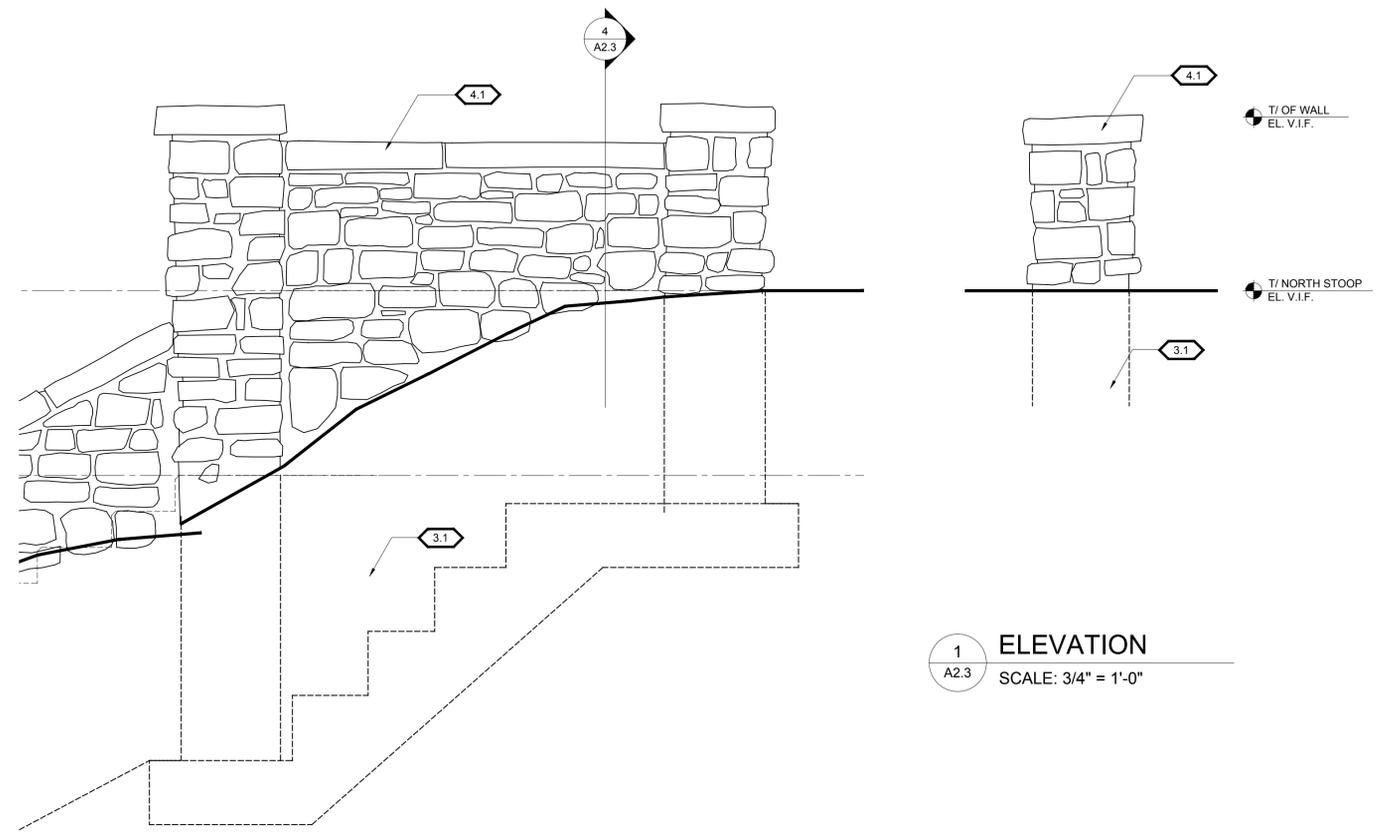
ELEVATIONS

ISSUE FOR BID 4-17-15

A2.3

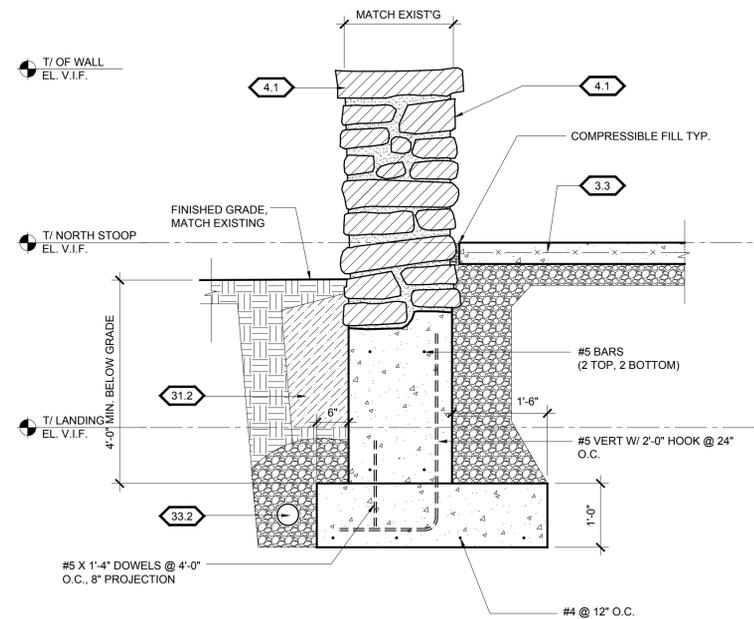


3
 A2.3 ELEVATION
 SCALE: 3/4" = 1'-0"

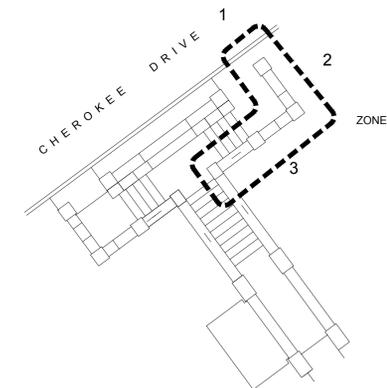


1
 A2.3 ELEVATION
 SCALE: 3/4" = 1'-0"

2
 A2.3 ELEVATION
 SCALE: 3/4" = 1'-0"



4
 A2.3 SECTION
 SCALE: 3/4" = 1'-0"

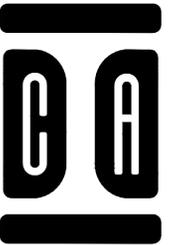


KEY PLAN



DESIGN KEYNOTES

- 2.1** REMOVE EXISTING TREE AND ROOT STRUCTURE COMPLETE. GRUB SITE IN AREAS OF WORK.
- 3.1** REMOVE EXISTING FOUNDATION AND FOOTING. PROVIDE NEW FOUNDATION AND SPREAD FOOTING AS INDICATED ON DRAWINGS DESCRIBED HEREIN.
- 3.2** EXISTING FOUNDATION AND FOOTING TO REMAIN. PARTIALLY EXCAVATE AND INSPECT WITH ARCHITECT.
- 3.3** REMOVE EXISTING CONCRETE PAVING. INSTALL NEW SLIP RESISTANT FINISH CONCRETE SIDEWALK OR STAIR. MIN. 4" CONCRETE SIDEWALK W/6 X 6 - 1.4 X 1.4 W.W.F. ON COMPACTED GRANULAR FILL. REINF. CONCRETE STAIR AS NOTED. MATCH ALL EXISTING STEPS AND ELEVATIONS.
- 4.1** RE-CONSTRUCT EXISTING STONE RUBBLE WALL. DECONSTRUCT EXISTING. SORT BY SIZE AND LOCATION AND STORE FOR RE-BUILD IN SAME LOCATION. MATCH EXISTING. ALLOW FOR BID QUANTITY OF NEW REPLACEMENT STONE. SEE DETAILS.
- 4.2** EXISTING STONE RUBBLE WALL TO REMAIN. RE-POINT 100% OF MORTAR JOINTS. PERFORM SELECTIVE REPAIRS.
- 4.3** EXISTING STONE RUBBLE. PERFORM DUTCHMAN REPAIR. SEE DETAILS.
- 4.4** EXISTING STONE RUBBLE WALL. PATCH VENEER WITH FILLING PATCH MORTAR.
- 5.1** EXISTING STEEL GRATE COVER. REMOVE. SANDBLAST, RE-PRIME, HOT-DIP GALVANIZE, EPOXY REPAINT. REINSTALLATION BY CONTRACTOR AFTER RE-POINTING AND MASONRY REPAIRS.
- 26.1** EXISTING LIGHT POLE. MG&E DISCONNECT POWER FOR BRACING, SHORING, OR RECONSTRUCTION OF LIGHT POLE UNDERMINED BY EXCAVATION OPERATIONS. CONTRACTOR(S) TO COORDINATE CONTACT WITH MG&E.
- 31.1** GRUB EXISTING SITE +/-15' WIDE AROUND STAIR PERIMETER. MATCH EXISTING GRADE.
- 31.2** EXCAVATE AND BACKFILL WITH ENGINEERED FILL. MATCH EXISTING GRADES.
- 31.3** NEW EROSION CONTROL SYSTEM +/-15' WIDE AROUND STAIR PERIMETER. SEE EROSION CONTROL AND SITE RESTORATION PLAN ON SHEET TS1.2.
- 32.1** EXISTING CONCRETE CURB. CONTRACTOR SHALL RESTORE ALL CURB & SIDEWALK AREA DAMAGED THROUGH THE COURSE OF THE WORK.
- 32.2** EXISTING ASPHALT STREET PAVING. CONTRACTOR SHALL RESTORE ALL PAVED AREA DAMAGED THROUGH THE COURSE OF THE WORK.
- 33.1** EXISTING CONCRETE TUNNEL STRUCTURE TO REMAIN.
- 33.2** NEW DRAIN TILE, 6" PERFORATED PVC WITH DRAIN-SLEEVE SOCK. INSTALL DRAIN TILE IN 12" MIN. CRUSHED STONE. DISCHARGE DRAIN TILE TO DAYLIGHT.



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
866-297-1762 (fax)
info@icsarc.com

Nakoma Park
3801 Cherokee Drive
Madison, WI

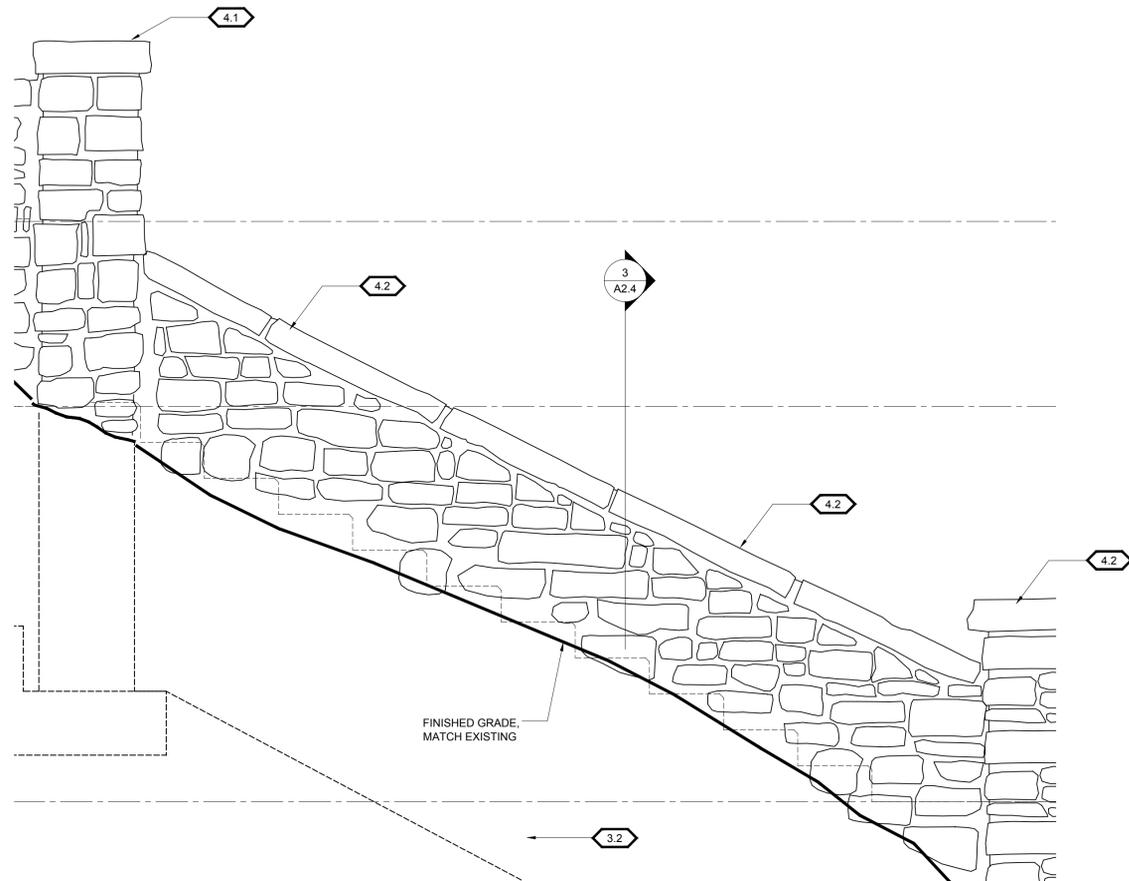
NAKOMA PARKS PEDESTRIAN ENTRANCE STEPS - MASONRY REPAIR
CITY OF MADISON - CONTRACT #7393
MADISON, WI

ICA NO. COM 14-003

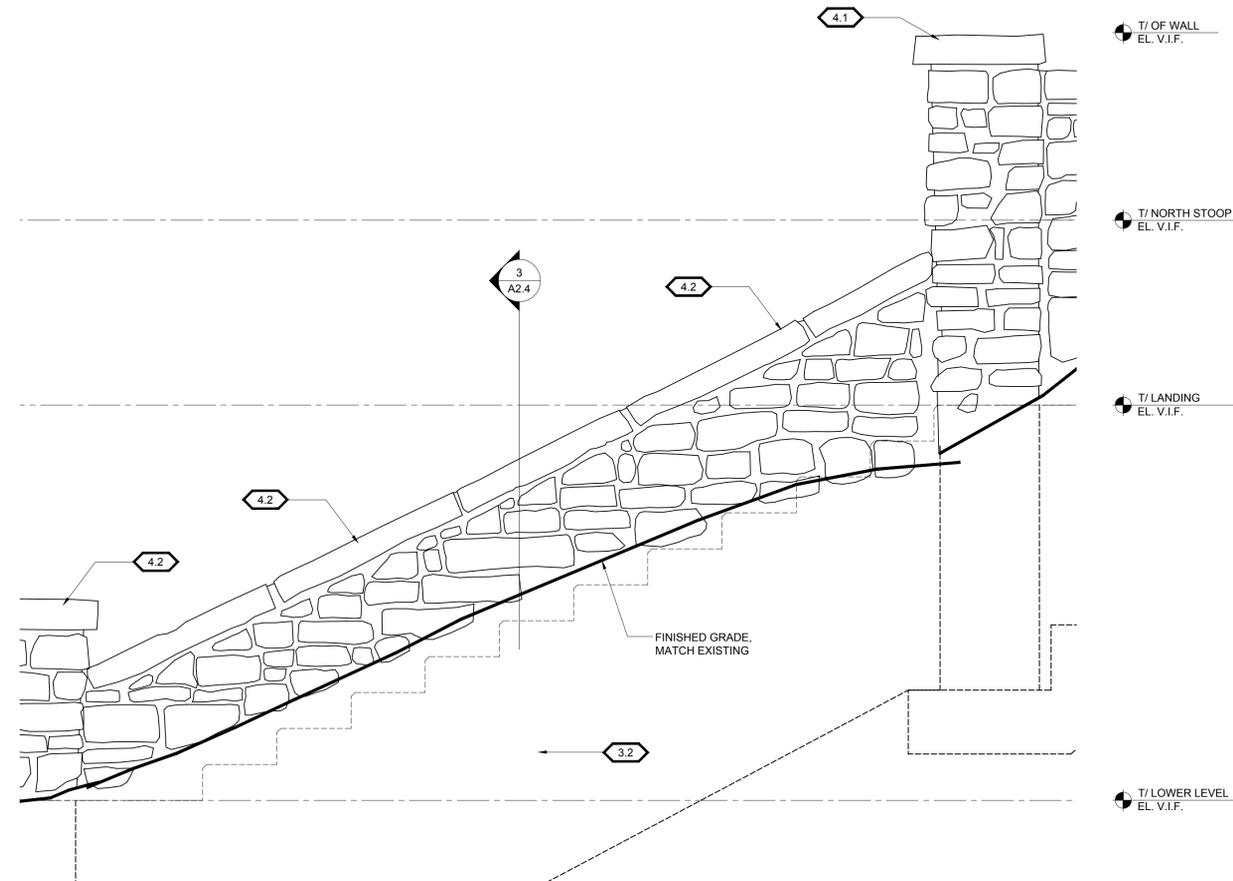
ELEVATIONS

ISSUE FOR BID 4-17-15

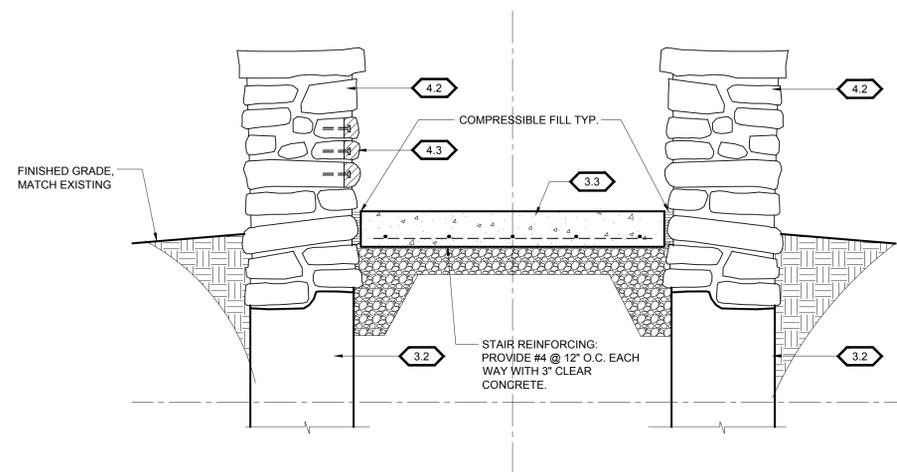
A2.4



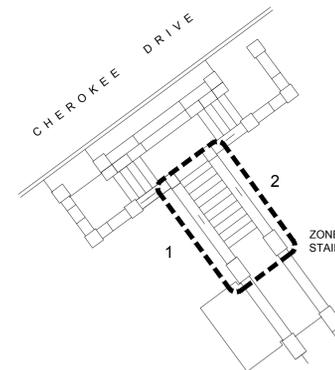
1 ELEVATION
A2.4 SCALE: 3/4" = 1'-0"



2 ELEVATION
A2.4 SCALE: 3/4" = 1'-0"



3 SECTION
A2.4 SCALE: 3/4" = 1'-0"

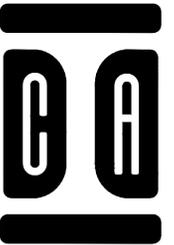


KEY PLAN



DESIGN KEYNOTES

- 2.1 REMOVE EXISTING TREE AND ROOT STRUCTURE COMPLETE. GRUB SITE IN AREAS OF WORK.
- 3.1 REMOVE EXISTING FOUNDATION AND FOOTING. PROVIDE NEW FOUNDATION AND SPREAD FOOTING AS INDICATED ON DRAWINGS DESCRIBED HEREIN.
- 3.2 EXISTING FOUNDATION AND FOOTING TO REMAIN. PARTIALLY EXCAVATE AND INSPECT WITH ARCHITECT.
- 3.3 REMOVE EXISTING CONCRETE PAVING. INSTALL NEW SLIP RESISTANT FINISH CONCRETE SIDEWALK OR STAIR. MIN. 4" CONCRETE SIDEWALK W/6 X 6 - 1.4 X 1.4 W.W.F. ON COMPACTED GRANULAR FILL. REINF. CONCRETE STAIR AS NOTED. MATCH ALL EXISTING STEPS AND ELEVATIONS.
- 4.1 RE-CONSTRUCT EXISTING STONE RUBBLE WALL. DECONSTRUCT EXISTING. SORT BY SIZE AND LOCATION AND STORE FOR RE-BUILD IN SAME LOCATION. MATCH EXISTING. ALLOW FOR BID QUANTITY OF NEW REPLACEMENT STONE. SEE DETAILS.
- 4.2 EXISTING STONE RUBBLE WALL TO REMAIN. RE-POINT 100% OF MORTAR JOINTS. PERFORM SELECTIVE REPAIRS.
- 4.3 EXISTING STONE RUBBLE. PERFORM DUTCHMAN REPAIR. SEE DETAILS.
- 4.4 EXISTING STONE RUBBLE WALL. PATCH VENEER WITH FILLING PATCH MORTAR.
- 5.1 EXISTING STEEL GRATE COVER. REMOVE. SANDBLAST, RE-PRIME, HOT-DIP GALVANIZE, EPOXY REPAIR. REINSTALLATION BY CONTRACTOR AFTER RE-POINTING AND MASONRY REPAIRS.
- 26.1 EXISTING LIGHT POLE. MG&E DISCONNECT POWER FOR BRACING, SHORING, OR RECONSTRUCTION OF LIGHT POLE UNDERMINED BY EXCAVATION OPERATIONS. CONTRACTOR(S) TO COORDINATE CONTACT WITH MG&E.
- 31.1 GRUB EXISTING SITE +/-15' WIDE AROUND STAIR PERIMETER. MATCH EXISTING GRADE.
- 31.2 EXCAVATE AND BACKFILL WITH ENGINEERED FILL. MATCH EXISTING GRADES.
- 31.3 NEW EROSION CONTROL SYSTEM +/-15' WIDE AROUND STAIR PERIMETER. SEE EROSION CONTROL AND SITE RESTORATION PLAN ON SHEET TS1.2.
- 32.1 EXISTING CONCRETE CURB. CONTRACTOR SHALL RESTORE ALL CURB & SIDEWALK AREA DAMAGED THROUGH THE COURSE OF THE WORK.
- 32.2 EXISTING ASPHALT STREET PAVING. CONTRACTOR SHALL RESTORE ALL PAVED AREA DAMAGED THROUGH THE COURSE OF THE WORK.
- 33.1 EXISTING CONCRETE TUNNEL STRUCTURE TO REMAIN.
- 33.2 NEW DRAIN TILE, 6" PERFORATED PVC WITH DRAIN-SLEEVE SOCK. INSTALL DRAIN TILE IN 12" MIN. CRUSHED STONE. DISCHARGE DRAIN TILE TO DAYLIGHT.



InSite Consulting Architects
 115 E. Main / STE 200
 Madison, Wisconsin 53703
 608-204-0825
 866-297-1762 (fax)
 info@icsarc.com

Nakoma Park
 3801 Cherokee Drive
 Madison, WI

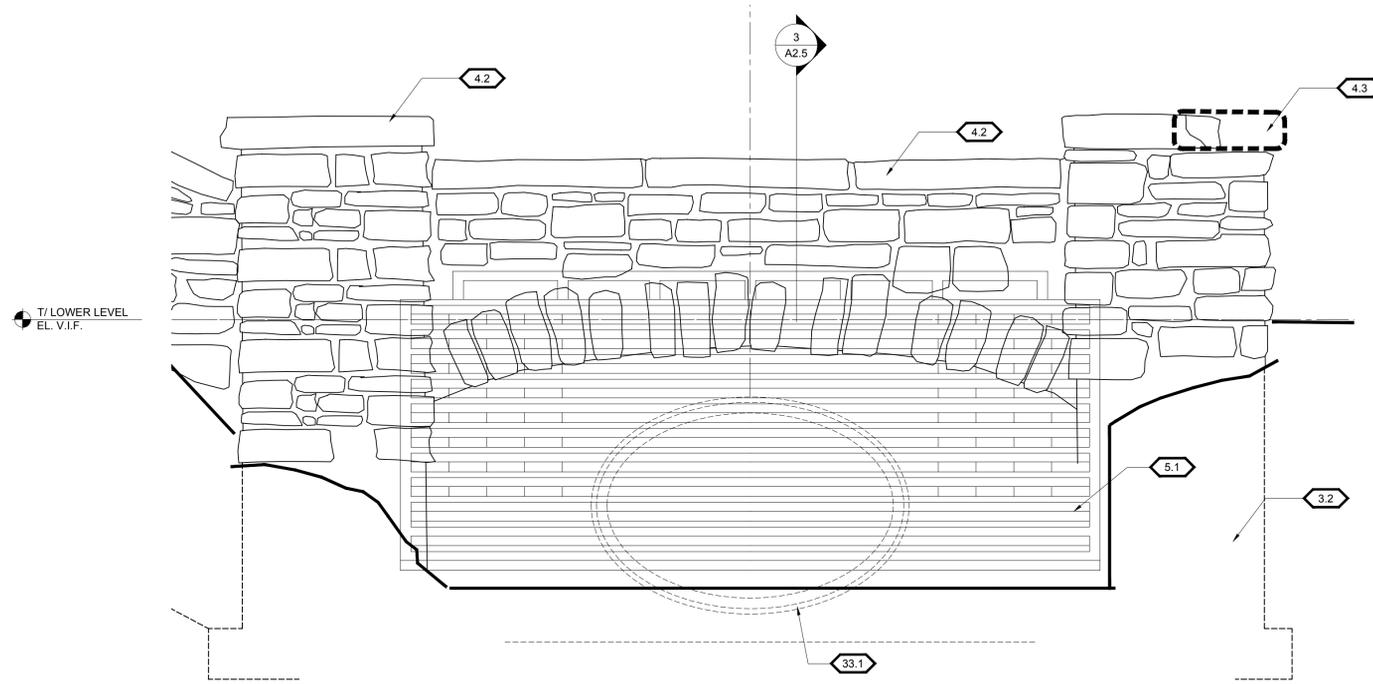
NAKOMA PARKS PEDESTRIAN ENTRANCE STEPS - MASONRY REPAIR
 CITY OF MADISON - CONTRACT #7393
 MADISON, WI

ICA NO. COM 14-003

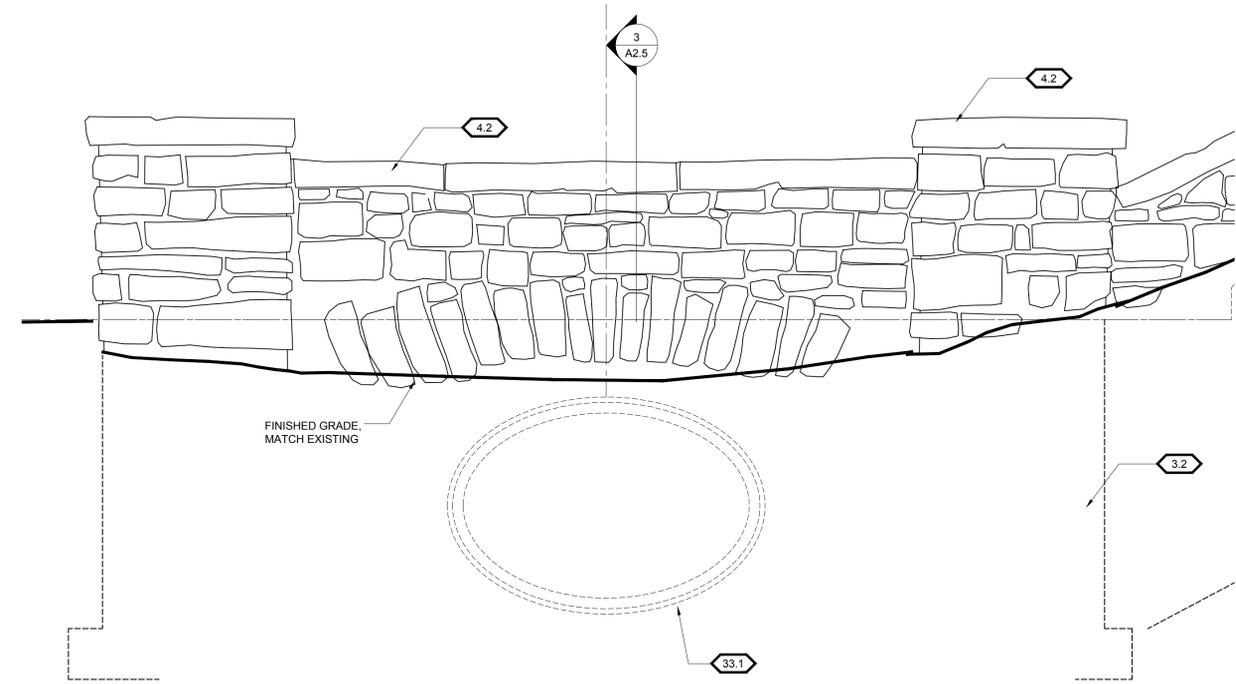
ELEVATIONS

ISSUE FOR BID 4-17-15

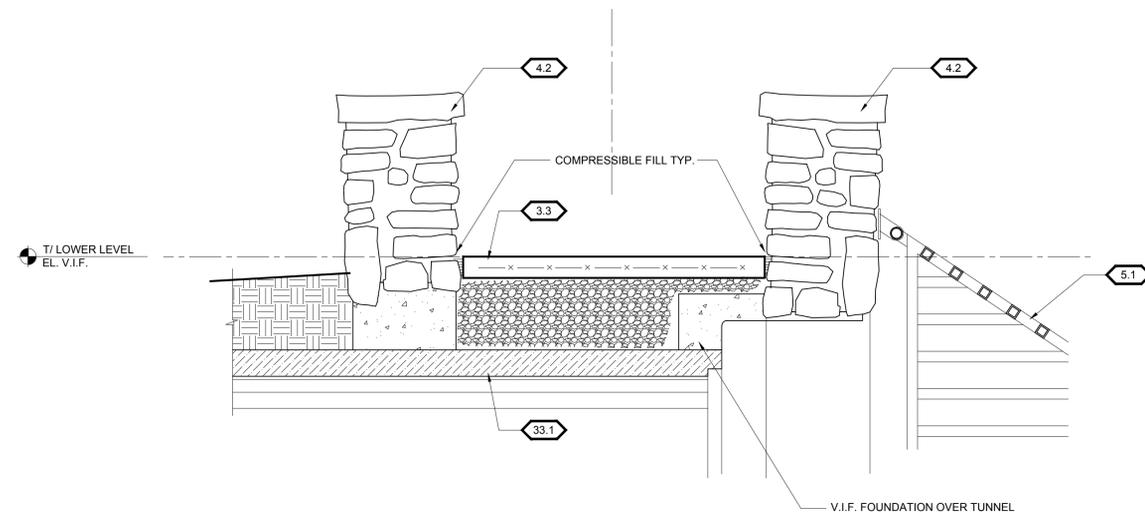
A2.5



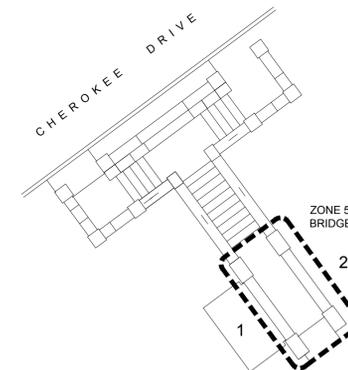
1
 A2.5 ELEVATION
 SCALE: 3/4" = 1'-0"



2
 A2.5 ELEVATION
 SCALE: 3/4" = 1'-0"



3
 A2.5 SECTION
 SCALE: 3/4" = 1'-0"



KEY PLAN



DESIGN KEYNOTES

- 2.1 REMOVE EXISTING TREE AND ROOT STRUCTURE COMPLETE. GRUB SITE IN AREAS OF WORK.
- 3.1 REMOVE EXISTING FOUNDATION AND FOOTING. PROVIDE NEW FOUNDATION AND SPREAD FOOTING AS INDICATED ON DRAWINGS DESCRIBED HEREIN.
- 3.2 EXISTING FOUNDATION AND FOOTING TO REMAIN. PARTIALLY EXCAVATE AND INSPECT WITH ARCHITECT.
- 3.3 REMOVE EXISTING CONCRETE PAVING. INSTALL NEW SLIP RESISTANT FINISH CONCRETE SIDEWALK OR STAIR. MIN. 4" CONCRETE SIDEWALK W/6 X 6 - 1.4 X 1.4 W.W.F. ON COMPACTED GRANULAR FILL. REINF. CONCRETE STAIR AS NOTED. MATCH ALL EXISTING STEPS AND ELEVATIONS.
- 4.1 RE-CONSTRUCT EXISTING STONE RUBBLE WALL. DECONSTRUCT EXISTING. SORT BY SIZE AND LOCATION AND STORE FOR RE-BUILD IN SAME LOCATION. MATCH EXISTING. ALLOW FOR BID QUANTITY OF NEW REPLACEMENT STONE. SEE DETAILS.
- 4.2 EXISTING STONE RUBBLE WALL TO REMAIN. RE-POINT 100% OF MORTAR JOINTS. PERFORM SELECTIVE REPAIRS.
- 4.3 EXISTING STONE RUBBLE. PERFORM DUTCHMAN REPAIR. SEE DETAILS.
- 4.4 EXISTING STONE RUBBLE WALL. PATCH VENEER WITH FILLING PATCH MORTAR.
- 5.1 EXISTING STEEL GRATE COVER. REMOVE. SANDBLAST, RE-PRIME, HOT-DIP GALVANIZE, EPOXY REPAIR. REINSTALLATION BY CONTRACTOR AFTER RE-POINTING AND MASONRY REPAIRS.
- 26.1 EXISTING LIGHT POLE. MG&E DISCONNECT POWER FOR BRACING, SHORING, OR RECONSTRUCTION OF LIGHT POLE UNDERMINED BY EXCAVATION OPERATIONS. CONTRACTOR(S) TO COORDINATE CONTACT WITH MG&E.
- 31.1 GRUB EXISTING SITE +/-15' WIDE AROUND STAIR PERIMETER. MATCH EXISTING GRADE.
- 31.2 EXCAVATE AND BACKFILL WITH ENGINEERED FILL. MATCH EXISTING GRADES.
- 31.3 NEW EROSION CONTROL SYSTEM +/-15' WIDE AROUND STAIR PERIMETER. SEE EROSION CONTROL AND SITE RESTORATION PLAN ON SHEET TS1.2.
- 32.1 EXISTING CONCRETE CURB. CONTRACTOR SHALL RESTORE ALL CURB & SIDEWALK AREA DAMAGED THROUGH THE COURSE OF THE WORK.
- 32.2 EXISTING ASPHALT STREET PAVING. CONTRACTOR SHALL RESTORE ALL PAVED AREA DAMAGED THROUGH THE COURSE OF THE WORK.
- 33.1 EXISTING CONCRETE TUNNEL STRUCTURE TO REMAIN.
- 33.2 NEW DRAIN TILE, 6" PERFORATED PVC WITH DRAIN-SLEEVE SOCK. INSTALL DRAIN TILE IN 12" MIN. CRUSHED STONE. DISCHARGE DRAIN TILE TO DAYLIGHT.



InSite Consulting Architects
 115 E. Main / STE 200
 Madison, Wisconsin 53703
 608-204-0825
 800-297-1762 (fax)
 info@icsarc.com

Nakoma Park
 3801 Cherokee Drive
 Madison, WI

NAKOMA PARKS PEDESTRIAN ENTRANCE STEPS - MASONRY REPAIR
 CITY OF MADISON - CONTRACT #7393
 MADISON, WI

BID QUANTITY - REPLACEMENT STONE

45 CU. FT. REPLACEMENT STONE.

PROVIDE UNIT PRICE BASED ON QTY. IDENTIFIED ABOVE. THIS COST IS NOT INCLUDED IN LUMP SUM BASE BID.

COORDINATE LOCATIONS ON JOB SITE WITH ARCHITECT IN AN ON GOING BASIS DURING CONSTRUCTION. FULL TALLY OF FINAL SCOPE BY CONTRACTOR WILL BE REQUIRED. COORDINATE WITH ARCHITECT & OWNER.

BID QUANTITY - PATCH DETAIL

ALLOW FOR 120 CU. IN. PATCH STONE.

PROVIDE UNIT PRICE BASED ON QTY. IDENTIFIED ABOVE. THIS COST IS NOT INCLUDED IN LUMP SUM BASE BID.

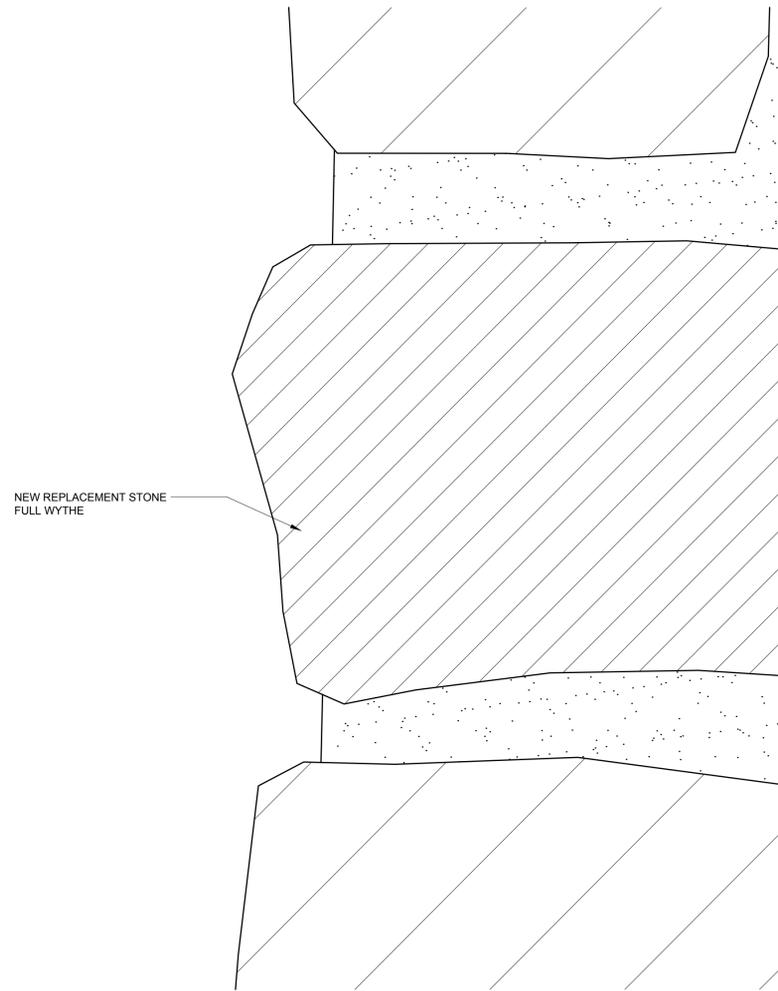
COORDINATE LOCATIONS ON JOB SITE WITH ARCHITECT IN AN ON GOING BASIS DURING CONSTRUCTION. FULL TALLY OF FINAL SCOPE BY CONTRACTOR WILL BE REQUIRED. COORDINATE WITH ARCHITECT & OWNER.

BID QUANTITY - DUTCHMAN REPAIR

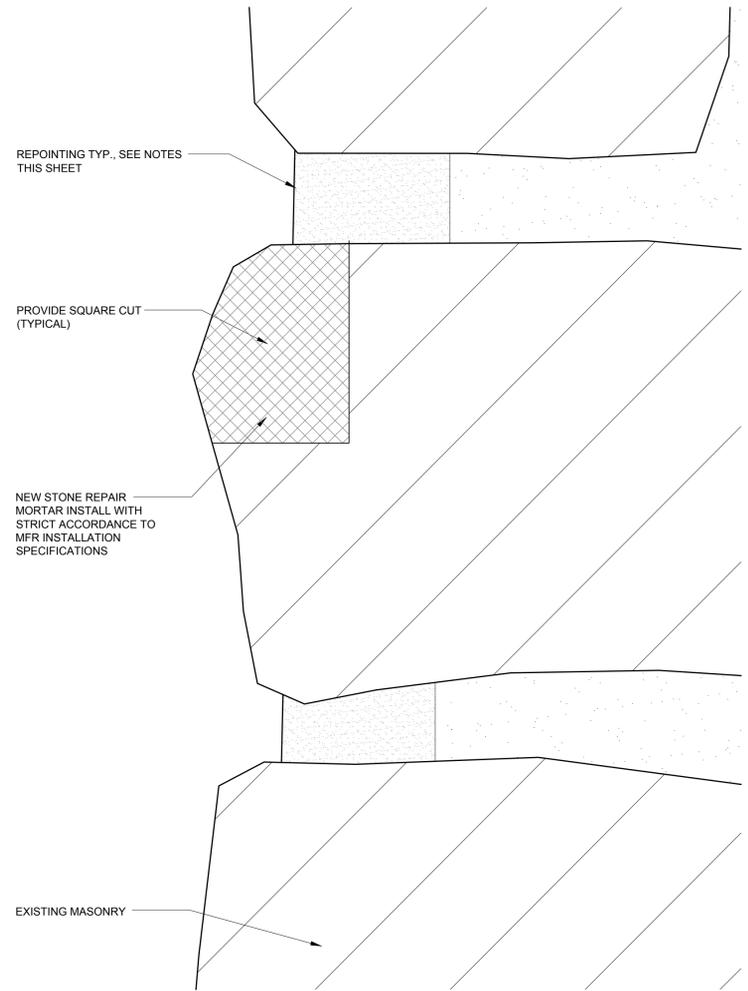
ALLOW FOR 45 CU. FT. DUTCHMAN REPAIR

PROVIDE UNIT PRICE BASED ON QTY. IDENTIFIED ABOVE. THIS COST IS NOT INCLUDED IN LUMP SUM BASE BID.

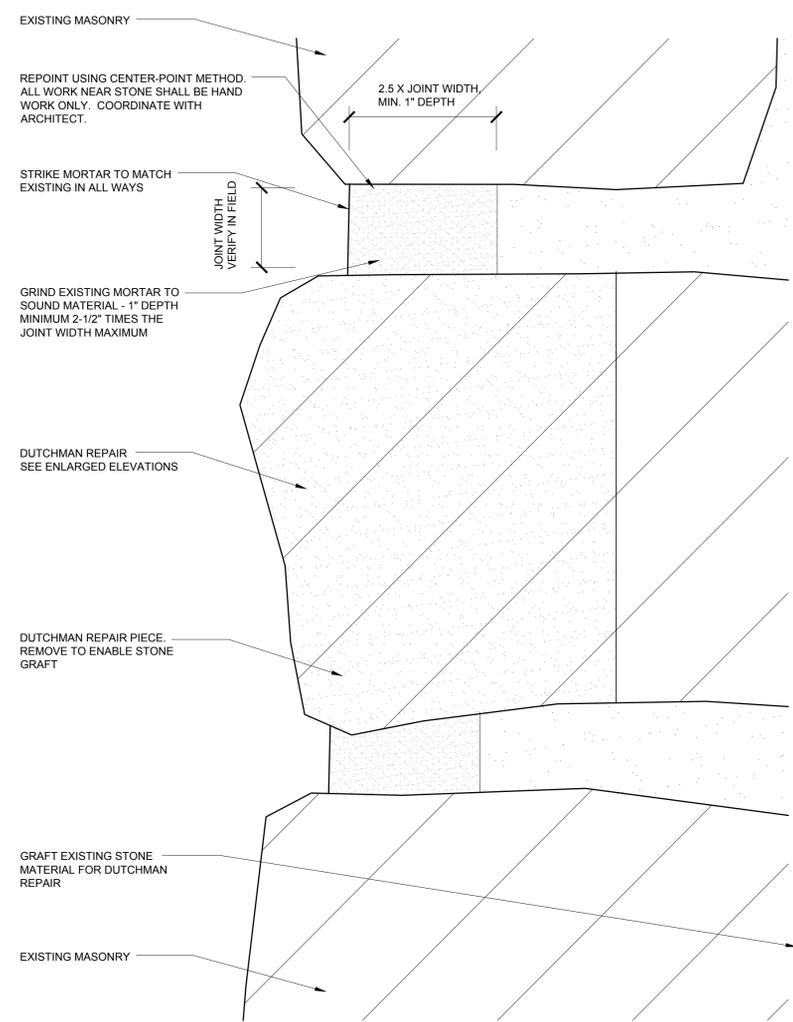
COORDINATE LOCATIONS ON JOB SITE WITH ARCHITECT IN AN ON GOING BASIS DURING CONSTRUCTION. FULL TALLY OF FINAL SCOPE BY CONTRACTOR WILL BE REQUIRED. COORDINATE WITH ARCHITECT & OWNER.



1A
A3.1
REPLACEMENT STONE - NEW
SCALE: FULL SIZE



1B
A3.1
PATCH DETAIL
SCALE: FULL SIZE



1C
A3.1
DUTCHMAN REPAIR DETAIL
SCALE: FULL SIZE

ICA NO. COM 14-003

DETAILS

ISSUE FOR BID 4-17-15

A3.1