

**COMMUNITY DEVELOPMENT AUTHORITY  
OF THE  
CITY OF MADISON**

**REQUEST FOR BIDS**



Project Title:	Village on Park RFB Tenant Improvement Construction Work
RFB Identifier:	8926-0-2020-KK
Address:	2238 S. Park Street, Madison WI 53713
Issue Date:	March 6, 2020
Pre bid conference/Tour:	March 17, 2020 at 10:30 a.m. at address
Submission Deadline:	April 1, 2020 @ 2 p.m.
Bids Opened:	April 1, 2020 @ 2:30 p.m.
Parties Notified:	April 2, 2020



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## Section I: BIDDING REQUIREMENTS

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### A. Invitation to Bid

The Community Development Authority of the City of Madison (the "CDA") will receive sealed bids for tenant improvement work (the "Project") at the Village on Park, 2300 S. Park Street, Madison, WI 53713 (the "Property") until 2:00 p.m. on Wednesday, April 1, 2020. The Project involves general construction, carpeting, painting, plumbing work, ventilating work and electrical work.

**PROJECT LOCATION:** Office space with an address of 2238 S. Park Street, Madison, WI (the "Premises") which is part of the building at the Property.

**PROJECT TIMELINE:** The Scope of Services as outlined in the attached Exhibit A of the Contract for Tenant Improvement Construction Work should be substantially completed by May 31, 2020 or later with approved extensions.

Contractor shall coordinate this tenant improvement work with JWC Building Specialties, Inc. who was hired by the CDA to fabricate and install a Hufcor paired panel partition door with a Hufcor Unispan self-supporting truss system into room 104 of the Premises.

Contractor shall also coordinate this tenant improvement work with the roofing contractor who is replacing the roof over the Premises. The installation of an exhaust fan on the roof needs to be coordinated after the roof is completed.

#### **OBTAINING BID DOCUMENTS:**

Electronic files of this RFB and its documents (the "Bid Packet") may be obtained beginning March 6, 2020. Bid Packet documents are available electronically at [www.demandstar.com](http://www.demandstar.com) and <https://vendornet.wi.gov/>. Interested parties may view bid information without registering at DemandStar.com by requesting an electronic Bid Packet by submitting an email request to [jjohnson@f3maintenance.com](mailto:jjohnson@f3maintenance.com)

#### **PRE-BID CONFERENCE/TOUR PROJECT:**

A pre-bid conference will be held on Tuesday, March 17, 2020 at 10:30 a.m. in the Premises, at which time questions regarding the Bid Packet will be entertained. A tour of the Premises will immediately follow the pre-bid conference. All prospective bidders are strongly encouraged to attend. If you cannot make this date, you can contact Jamah Johnson at 608-385-5748 or [jjohnson@f3maintenance.com](mailto:jjohnson@f3maintenance.com) to arrange an appointment.

**BID GUARANTY:**

Each Bid must be accompanied by a surety company bid bond, or a certified cashier's check payable to the order of the Community Development Authority for a sum not less than five percent (5%) of the total Bid Amount. Bid deposit of the successful bidder shall be returned within forty-eight (48) hours following execution of the Contract and receipt of the Payment and Performance Bond as required if the Bid Amount exceeds \$100,000.

**SOCIAL EQUITY CONTRACT REQUIREMENTS:**

The Community Development Authority strongly encourages Minority-Owned (MBEs) and Women-Owned Businesses (WBEs), social and economically disadvantaged business enterprises, HUD Section 3 businesses, and small businesses to submit bids or to participate as subcontractors and suppliers on CDA contracts.

**AFFIRMATIVE ACTION NOTICE:**

The CDA complies with all City of Madison's Affirmative Action Plan requirements. If Contractor employs 15 or more employees and does aggregate annual business with the City of Madison of \$50,000 or more for the calendar year in which the PO and/or Contract takes effect, Contractor shall file, within thirty (30) days from the Contract Effective Date and BEFORE RELEASE OF PAYMENT, an Affirmative Action Plan (<http://www.cityofmadison.com/civil-rights/contract-compliance/vendors-suppliers/forms>) designed to ensure that the Contractor provides equal employment opportunity to all and takes affirmative action in its utilization of applicants and employees who are women, minorities and/or persons with disabilities. The Model Affirmative Action Plan for Vendors, Request for Exemption form, and instructions are available at: <http://www.cityofmadison.com/civil-rights/contract-compliance/vendors-suppliers/forms>, or by contacting a Contract Compliance Specialist at the City of Madison Affirmative Action Division at (608) 266-4910.

Contractor shall also allow maximum feasible opportunity to small business enterprises to compete for any subcontracts entered into pursuant to this Contract.

Job postings: If Contractor employs 15 or more employees, regardless of dollar amount, Contractor must notify the City of Madison of all external job openings at locations in Dane County, WI and Contractor agrees to interview candidates referred by the City or its designee. Job posting information is available at <https://www.cityofmadison.com/civil-rights/programs/referrals-and-interviews-for-sustainable-employment-raise-program/raise-job>

**RIGHTS RESERVED:**

CDA reserves the right to reject any or all proposals, to waive any informalities in the specifications or bidding process or to cancel in whole or in part this Request for Bids if it is in the best interest of the CDA to do so.

The CDA intends to award a contract based on the lowest TOTAL base bid amount and most competent bidder in a single Contract for all work to be performed in the above referenced Project.

**QUESTIONS:**

Technical questions regarding the plans, specifications, and scope of services may be directed to: Jeff Connelly, Senior Project Architect from Strang, Inc. in writing at [JConnelly@strang-inc.com](mailto:JConnelly@strang-inc.com).

Interpretation or Correction of Bid Documents: Should the Bidder find during the examination of Bid Documents or after visit to the project site any discrepancies, omissions, ambiguities or conflicts, bring

question to the Architect's attention no later than 10 days prior to date for receipt of Bids. The Architect will review and where information sought is not clearly indicated or specified, the CDA issue a clarifying Addendum.

Neither the CDA nor the Architect will be responsible for any oral instructions, interpretations, corrections or changes additions to or deductions from the amount of work required under the Contract.

All questions received prior to March 23, 2020 will be documented and published in an Addendum. Final Addendum to be issued no later than March 24, 2020.

Administrative questions regarding bidding and contract requirements may be directed to: Kris Koval, 608-267-8723 or [kkoval@cityofmadison.com](mailto:kkoval@cityofmadison.com).

## **B. Instructions to Bid**

Sealed Bid Packages for this Project will be received at:

City of Madison Office of Real Estate Service  
c/o Kris Koval Real Estate Development Specialist III  
215 Martin Luther King Jr Blvd Suite 300  
Madison, WI 53703

The submission deadline for this Bid is up to 2:00 p.m. on April 1, 2020. Bids Packages will be opened in the CDA's main lobby office on April 1, 2020 at 2:30 p.m. Bid Packages received after 2:00 p.m. or left at any other location may not be accepted by the CDA in its sole discretion.

**The outside of all Bid Package envelopes must be clearly labeled with the following information:**

1. Bidder Name and Address
2. A Note on the Envelope Stating That the Envelope Should Not Be Opened
3. Project Title: Village on Park RFB Tenant Improvement Construction Work 8926-0-2020-KK

**The Bid Package needs to include all Bid Documents described below and in further detail per Section II:**

### **Bid Documents to Include in Bid Package**

All the following documents must be completed and submitted with a Bid Package (collectively the "Bid Documents"):

1. Bid Form\*
2. Bid Bond Form with attached bid bond or certified cashier's check
3. Contractor Profile
4. Contractor References
5. Affidavit of Financial Resources

\*The attached Bid Form filled out and executed by an authorized party within the firm that is presenting a Bid or who signed the Affidavit of Financial Resources.

The guaranteed maximum Bid Amount (the "Bid Amount") shall include but is not limited to the following costs to perform the Scope of Services: all parts, materials and services including but not limited to demolition; mechanical; electrical; plumbing; disposal costs; building permit fees; insurance costs; bonds and labor.

A Bid Amount breakdown by subcontractor is also included in the Bid Form.

## **C. Scope of Services/Specifications**

### **1. Scope of Services**

The Scope of Services as outlined in Exhibit A will become Exhibit A to the Contract. See attached Exhibit A.

### **2. Plans/Specifications**

The attached plans and specifications dated February 24, 2020 prepared by Strang, Inc. (the "Drawings") will become Exhibit B to the Contract. Please note that the Drawings were approved by the City of Madison.

### **3. Coordination with Hufcor Contractor**

See the attached scope of work that is being performed by JWC Building Specialties, Inc., will become Exhibit C to the Contract.

**EXHIBIT A TO CONTRACT FOR PURCHASE OF SERVICES**

**VILLAGE ON PARK ("Property")**  
**2300 S. Park St., Madison Wisconsin**

**SCOPE OF SERVICES TENANT IMPROVEMENT WORK**  
**RFB 8926-0-2020-KK**

Contractor's "Scope of Services" to perform tenant improvement construction work within the Premises is collectively defined as follows:

1. Perform general construction work including the carpeting, painting, plumbing, ventilating and electrical work as outlined in the Drawings that are attached as Exhibit B. Contractor shall secure all building permits prior to commencing construction and follow all specification requirements outlined in the Drawings.
2. Contractor will schedule a meeting with the Architect, the CDA, Engineer and any subcontractors within seven days of being awarded the Contract to discuss the details outlined in the specification sheet A002 in the Drawings.
3. Contractor will communicate/coordinate work with Strang, Inc., the CDA, the Roof Contractor, JWC Building Specialties Inc. and with the CDA's property management team.
4. CDA's property management team shall provide area for staging of materials/equipment and Contractor's trash bin in alley of Property.
5. Upon substantial completion of the work, furnish to the CDA the certificate of occupancy and all warranties.



# CDA VILLAGE ON PARK BOARD OF REGENTS OF THE UNIVERSITY OF WISCONSIN SYSTEM TENANT IMPROVEMENT

2238 S PARK STREET  
MADISON, WI 53713



Project No.: 2020012



## Site Location Map

### PROJECT LOCATION



## Design Team

Architectural Design  
**STRANG, INC.**

Plumbing Design  
**STRANG, INC.**

Mechanical Design  
**STRANG, INC.**

Electrical Design  
**STRANG, INC.**

ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN

STRANG INC.  
811 E WASHINGTON AVENUE  
SUITE 200  
MADISON, WI 53703  
T/ 608 276 9200

## Stamps

### Architectural



### Plumbing



### Mechanical



### Electrical



## Sheet Index

### GENERAL

T001 TITLE SHEET  
G001 LIFE SAFETY / CODE INFORMATION

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A002 ARCHITECTURAL SPECIFICATIONS  
A101 FIRST FLOOR DEMOLITION PLAN  
A102 FIRST FLOOR CEILING DEMOLITION PLAN  
A201 FIRST FLOOR PLAN  
A301 FIRST FLOOR REFLECTED CEILING PLAN

### PLUMBING

P001 PLUMBING COVER SHEET  
P002 PLUMBING SPECIFICATIONS  
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### MECHANICAL

M201 HVAC FLOOR AND ROOF PLAN

### ELECTRICAL

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E201 FIRST FLOOR LIGHTING PLAN  
E301 FIRST FLOOR POWER PLAN  
E401 FIRST FLOOR SYSTEMS PLAN



DRAWING SET CD

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FILE NAME 2020012\_T001.DWG

DRAWN JWC

CHECKED LLB

DATE 02-24-2020

PROJECT NO. 2020012

PROJECT TITLE

CDA - VILLAGE ON  
PARK - UW BOARD  
OF REGENTS  
TENANT IMPROVEMENT

2238 S. PARK STREET  
MADISON, WI 53713

SHEET TITLE

TITLE SHEET

SHEET NO.  
**T001**

ABBREVIATIONS

&	AND	CONN	CONNECTION	FD	FLOOR DRAIN	KIT	KITCHEN	PLBG	PLUMBING	TER	TERRAZZO
<	ANGLE	CONSTR	CONSTRUCTION	FDN	FOUNDATION	KNO	KNOCKOUT	PLYWD	PLYWOOD	THK	THICK
@	AT	CONT	CONTINUOUS	FEB	FIRE EXTINGUISHER	FR	FIRE EXTINGUISHER BRACKET	FR	PAIR	TKBD	TACK BOARD
Ø	DIAMETER; ROUND; PHASE	CONTR	CONTRACTOR	FEC	FIRE EXTINGUISHER CABINET	PT	PAINT	PTD	PAPER TOWEL DISPENSER	TOB	TOP OF BEAM
#	POUND; NUMBER	CORR	CORRIDOR	FF	FIRE EXTINGUISHER BRACKET	PTD/R	PAPER TOWEL DISPENSER / RECEPTACLE	PTN	PARTITION	TOF	TOP OF FOOTING
A-180	A LABEL-180 MINUTE FIRE RATING	CPT	CARPET	FFH	FIRE HOSE	PTN	PAPER TOWEL RECEPTACLE	PTR	PAPER TOWEL RECEPTACLE	TOS	TOP OF STEEL
B-90	B LABEL-90 MINUTE FIRE RATING	CS	CAST STONE	FL	FLOOR FINISH	PTN	PAPER TOWEL RECEPTACLE	PTN	PAPER TOWEL RECEPTACLE	TPD	TOILET PAPER DISPENSER
C-45	C LABEL-45 MINUTE FIRE RATING	CTK	CERAMIC TILE	FHC	FIRE HOSE CABINET	Q	QUARRY TILE	QT	QUARRY TILE	TV	TELEVISION
D-20	D LABEL-20 MINUTE FIRE RATING	CTSK	COUNTERSUNK CENTER	FRZ	FIRE RETARDANT	LT	LIGHT	Q	QUARRY TILE	TW	TOP OF WALL TYPICAL
AB	ANCHOR BOLT ABBREVIATION	CY	CYLINDER	FV	FIELD VERIFY	LWC	LIGHTWEIGHT CONCRETE	R	RADIUS; RISER	UH	UNIT HEATER UNFINISHED
ACUS	ACOUSTICAL	DBA	DEPTH	G	GAS	MATL	MATERIAL	RA	RETURN AIR	UNF	UNFINISHED
ACP	ACOUSTICAL CEILING PANEL	DBL	DOUBLE	GA	GALVE	MAX	MAXIMUM	RB	RESILIENT BASE	UNO	UNLESS NOTED OTHERWISE
ADJ	ADJUSTABLE; ADJACENT	DEMO	DEMOLITION	GALV	GALVANIZED	MB	MOP BASIN	RBC	RESILIENT BASE COVED	UR	URNAL
AF	ABOVE FINISH FLOOR	DEPT	DEPTH	MS	MISC	MEP	MECHANICAL CONTRACTOR	RBS	RESILIENT BASE STRAIGHT	V	VENT; VOLT; VALVE
AFS	AIR FLOW STATION	DF	DRINKING FOUNTAIN	MSC	MISCELLANEOUS	MECH	MECHANICAL	RD	ROOF DRAIN	VAC	VACUUM
AGGR	AGGREGATE	DIA	DIAMETER	ML&P	METAL LATH & PLASTER	MEMB	MEMBRANE	REF	REFERENCE	VCT	VINYL COMPOSITION TILE
AHU	AIR HANDLING UNIT	DIAG	DIAGONAL	MO	MASONRY OPENING	MEP	MECHANICAL, ELECTRICAL & PLUMBING	REFR	REFRIGERATOR	VERT	VERTICAL
AL	ALUMINUM	DISP	DISPENSER	MTD	MOUNTED	MEZ	MEZZANINE	REIN	REINFORCED	VEST	VESTIBULE
ALT	ALTERNATE	DO	DO OVER; DITTO	GWB	GYPSON WALLBOARD	MFR	MANUFACTURER	REQ	REQUIRED	VSF	VINYL SHEET FLOORING
AP	ACCESS PANEL	DP	DAMP/PROOFING	HW	HARDWOOD	MH	MANHOLE OR MOP HOLDER	REM	REMOVE	VTR	VENT THROUGH ROOF
APPROX	APPROXIMATE	DR	DOOR	HW	HARDWOOD	MIN	MINIMUM	RM	ROOM	VWC	VINYL WALL COVERING
ARCH	ARCHITECTURAL; ARCHITECT	DS	DOWNSPOUT	ID	INSIDE DIAMETER	MIR	MIRROR	RO RT	ROUGH OPENING RIGHT; RUBBER TILE	W	WEST; WIDTH; WIDE; WATT; WASTE;
ASPH	ASPHALT	DSD	DUCT SMOKE DETECTOR	IE	INVERT ELEVATION	MISC	MISCELLANEOUS	RUB	RUBBER	W/	WITH
AV	AIR VALVE	DT	DRAIN TILE	IF	INSIDE FACED	ML&P	METAL LATH & PLASTER	RWD	REDWOOD	W/O	WITHOUT
BD	BOARD	DTL	DETAIL	IMP	IMPACT	MO	MASONRY OPENING	S	SOUTH; SINK; SUPPLY	WB	WOOD BASE
BETW	BETWEEN	DWL	DOWEL	INSUL	INSULATION	MTD	MOUNTED	SAB	SOUND ATTENUATION BLANKET	WC	WATER CLOSET
BHD	BULKHEAD	E	EAST	INT	INTERIOR	MUL	MULLION	SAN	SANITARY	WD	WOOD
BITUM	BITUMINOUS	EA	EACH; EXHAUST AIR	INTD	IMPACT TRAFFIC DOOR	N	NORTH	SC	SOLID CORE	WF	WIDE FLANGE
BL	BORROWED LIGHT	EA	EACH; EXHAUST AIR	JAN	JANITOR	NIC	NOT IN CONTRACT	SCD	SCHEDULE	WM	WIRE MESH
BLDG	BUILDING	EC	ELECTRICAL CONTRACTOR	JBE	JOIST BEARING ELEVATION	NP	NON POTABLE WATER	SCON	SEALED CONCRETE	WP	WATERPROOF; WEATHERPROOF
BLKG	BLOCKING	EF	EXHAUST FAN	JT	JOINT	NO	NUMBER	SECT	SECTION	WRF	WATER RESISTANT; WASTE RECEPTACLE
BM	BULLNOSE	EIFS	EXTERIOR INSULATION FINISH SYSTEM			NTS	NOT TO SCALE	SF	SQUARE FOOT	WT	WEIGHT
BN	BASE PLATE	EL	ELEVATION			OA	OVERALL; OUTSIDE AIR	SH	SHelf	WWF	WELDED WIRE FABRIC
BT	BOTTOM	ELEC	ELECTRICAL			OC	ON CENTER	SHR	SHOWER	YD	YARD
BO	BOTTOM OF	ELEV	ELEVATOR			OD	OUTSIDE DIAMETER	SHT	SHEET		
BRG	BEARING	EMER	EMERGENCY			OFF	OFFICE	SNR	SANITARY NAPKIN RECEPTACLE		
BSC	BIO-SAFETY CABINET	ENCL	ENCLOSURE			OFCI	OWNER FURNISHED CONTRACTOR	SNV	SANITARY NAPKIN VENDOR		
BTU	BRITISH THERMAL UNITS	EQ	EQUAL			OFGI	OWNER FURNISHED CONTRACTOR INSTALLED	SOG	SLAB ON GRADE		
BTUH	BRITISH THERMAL UNITS per HOUR	EQUIP	EQUIPMENT			OH	OVERHEAD	SPEC	SPECIFICATION		
BUR	BUILT-UP ROOF	ETR	EXISTING TO REMAIN			OHCD	OVERHEAD COLLING DOOR	SS	STAINLESS STEEL		
		EW	EACH WAY			OP	OPERABLE PARTITION	STA	STATION		
		EWH	ELECTRIC WATER COOLER			OPNG	OPENING	STD	STANDARD		
		EXH	EXHAUST			OPP	OPPOSITE	STL	STEEL		
		EXST	EXISTING			OPP-H	OPPOSITE HAND	STRUC	STRUCTURAL		
		EXPD	EXPOSED			PA	PUBLIC ADDRESS	SUSP	SUSPENDED		
		EXP	EXPANSION			PC	PLUMBING CONTRACTOR	SYM	SYMMETRICAL		
		EXT	EXTERIOR			PERP	PERPENDICULAR	T	TREAD; THRESHOLD		
		FA	FIRE ALARM			PL	PLATE; PROPERTY LINE	T&B	TOP & BOTTOM		
		FB	FACE BRICK; FLOOR BOX			PLAM	PLASTIC LAMINATE	T&G	TONGUE & GROOVE		
		FCY	FACTORY			PLAS	PLASTER	TEL	TELEPHONE		
								TEMP	TEMPORARY; TEMPERATURE		

SYMBOLS LEGEND

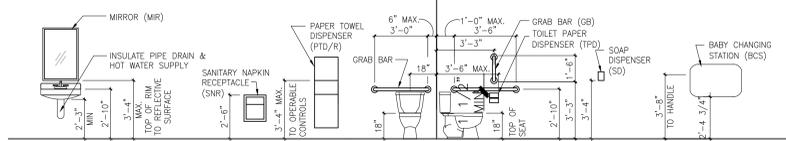
	EARTH		WOOD FRAMING (dimen. lumber)
	GRAVEL		FINISH WOOD
	CONCRETE (in section) / SAND / MORTAR		PLYWOOD
	CONCRETE (in elevation)		BATT INSULATION
	CONCRETE MASONRY (in section)		RIGID INSULATION
	BRICK (in section)		GLASS (in elevation)
	BRICK (in elevation)		GYPSON WALLBOARD
	CLAY TILE / RUBBLE		CERAMIC TILE
	STEEL		PLASTER / GYPSON BOARD / TERRAZZO
	WOOD FRAMING (shim/blocking)		

DRAWING SYMBOL LEGEND

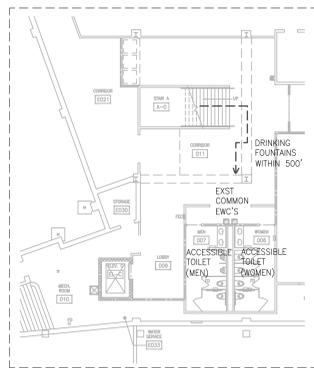
	NORTH ARROW		COLUMN GRID NUMBER
	NORTH ARROW (Project North & True North)		EXISTING COLUMN GRID NUMBER
	DETAIL REFERENCE		VERTICAL ELEVATION
	Sheet Number		ROOM NUMBER
	SECTION REFERENCE		DOOR NUMBER
	Section Number		PARTITION TYPE
	BUILDING SECTION REFERENCE		SPECIFIC DEMOLITION NOTE
	Building Section Number		SPECIFIC ARCHITECTURAL NOTE
	INTERIOR ELEVATION		WINDOW TYPE
	Interior Elevation Number		BORROWED LIGHT TYPE
	Sheet Number		EQUIPMENT TYPE
	REVISION (Cloud Around Revision)		
	MATCH LINE		

PLUMBING, MECHANICAL, ELECTRICAL SYMBOL LEGENDS: SEE RESPECTIVE SHEETS

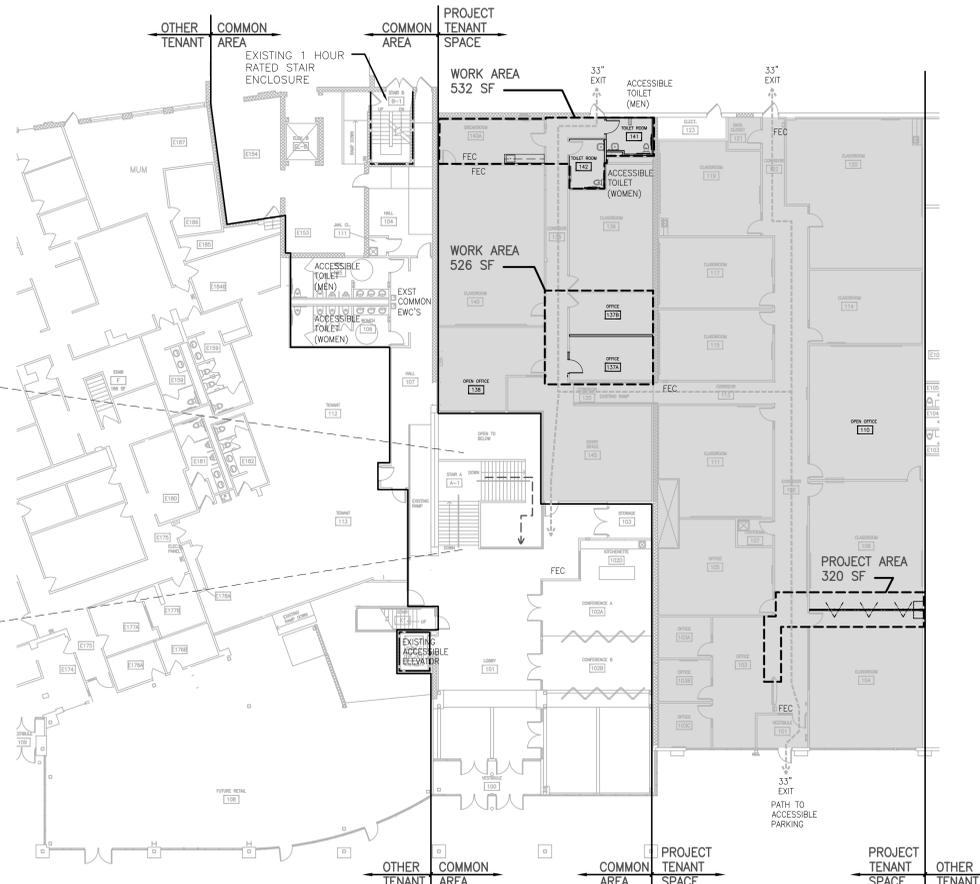
NOTE  
ALL FIXTURES MOUNTING INSTALLATION & CLEARANCE DIMENSIONS SHALL MEET ALL ADA ACCESSIBILITY STANDARDS AND NO ACCESSORY SHALL PROJECT MORE THAN 4" FROM WALL.



3 G001 STANDARD MOUNTING HEIGHTS  
SCALE: 1/4" = 1'-0"



2 G001 PARTIAL LOWER LEVEL PLAN  
SCALE: 1/16" = 1'-0"



1 G001 FIRST FLOOR LIFE SAFETY PLAN  
SCALE: 1/16" = 1'-0"

FIRST FLOOR SPECIFIC CODE DATA BASED UPON PROJECT

GROSS FIRST FLOOR AREA = 48,630 GSF. (UNCHANGED INTERIOR RENOVATION)  
EXISTING 2 STORY BUILDING CONSTRUCTION TYPE: 3B FULLY SPRINKLERED

**PROJECT DESCRIPTION**  
REDUCTION OF CLASSROOM SPACE TO OFFICE SPACE  
OCCUPANT LOAD REDUCED BY 37 PERSONS  
ALTERATION LEVEL: 2 PER IBC 504.1

**TENANT INFORMATION**  
GROUP B, BUSINESS 12,575 GSF

**PROJECT AREA**  
GROUP B, BUSINESS 1378 GSF

**OCCUPANT LOAD**  
BUSINESS, CLASSROOMS: 6265 SQ. FT. / 20 = 313 PERSONS  
BUSINESS, OFFICE: 3482 SQ. FT. / 100 = 34 PERSONS  
TOTAL

**EGRESS WIDTH**  
EGRESS COMPONENTS (EXITS):  
347 PERSONS / 0.2 INCHES PER OCCUPANT = 69.4"

**EXIT TRAVEL DISTANCE: MAXIMUM 300' (SPRINKLERED)**  
**COMMON PATH OF TRAVEL DISTANCE: MAXIMUM 100' (SPRINKLERED)**

**BUILDING FIRE RESISTANCE RATINGS FOR STRUCTURE PER IBC TABLE 601**

STRUCTURAL FRAME:	0 HOURS
FLOOR ASSEMBLY:	0 HOURS
ROOF ASSEMBLY:	0 HOURS
EXTERIOR BEARING WALLS:	2 HOURS
INTERIOR BEARING WALLS:	0 HOURS
EXTERIOR NON-BRG. WALLS:	0 HOURS
INTERIOR NON-BRG. WALLS:	0 HOURS

**SANITARY FIXTURES (PER IBC TABLE 2902.1)**  
OCCUPANT LOAD FOR TENANT: 347

WATER CLOSETS (1/25 FIRST 50, THEN 1/50)	347	LAVATORIES (1/40 FIRST 80, THEN 1/80)	347
MEN (174)	BUSINESS USE: 4.48 REQUIRED 3 WC AND 2 URINAL PROVIDED	3.18 REQUIRED	4 PROVIDED
WOMEN (174)	BUSINESS USE: 4.48 REQUIRED 5 WC PROVIDED	3.18 REQUIRED	4 PROVIDED

SERVICE SINK: 1 REQUIRED  
1 PROVIDED

DRINKING FOUNTAINS REQUIRED FIRST FLOOR TENANT: 3.47 REQUIRED  
DRINKING FOUNTAINS PROVIDED LOWER LEVEL: 2 PROVIDED (DRINKING FOUNTAINS WITHIN 500')  
DRINKING FOUNTAINS PROVIDED FIRST FLOOR: 2 PROVIDED  
FILTERED/BOTTLED WATER PROVIDED IN BREAKROOM: 1 PROVIDED  
TOTAL PROVIDED: 5 PROVIDED

DRAWING SET	CD
COPYRIGHT	2020
STRANG, INC.	
FILE NAME	2020012_G001.DWG

DRAWN	###
CHECKED	###
DATE	02-24-2020
PROJECT NO.	2020012
PROJECT TITLE	

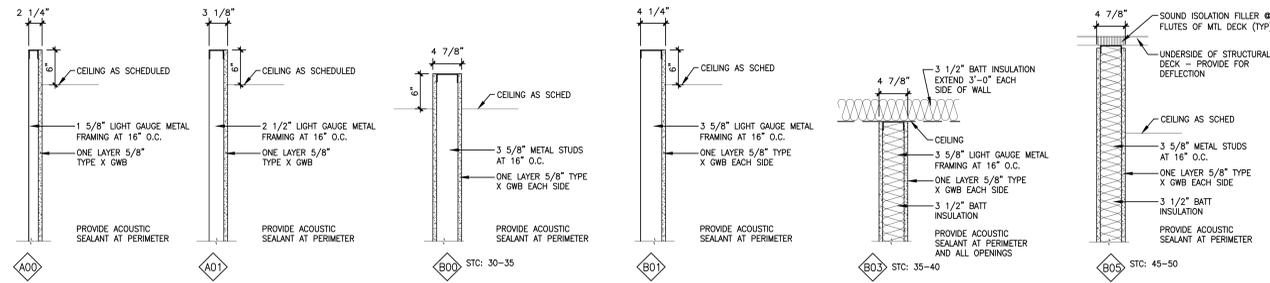
CDA - VILLAGE ON PARK - UW BOARD OF REGENTS TENANT IMPROVEMENT

2238 S. PARK STREET  
MADISON, WI 53713

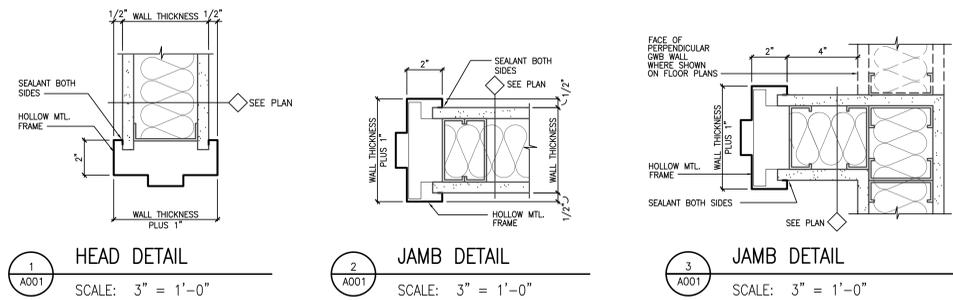
SHEET TITLE  
LIFE SAFETY, CODE INFORMATION, & SYMBOLS

SHEET NO.  
G001

PARTITION TYPES



DOOR DETAILS



ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	USEABLE SQUARE FOOTAGE	FLOOR	WALL BASE	WALLS				CEILING TYPE	CEILING HEIGHT	REMARKS
					WEST	NORTH	EAST	SOUTH			
FIRST FLOOR											
100	CORRIDOR	854 SF	CPT-1	RB-1	ETR GWB/PT-2	ETR GWB/PT-2	ETR GWB/PT-2	ETR GWB/PT-2	ETR ACP	9'-0"	5
101	VESTIBULE	86 SF	CPT-1	RB-1	ETR GWB/PT-2	ETR GWB/PT-2	ETR GWB/PT-2	ETR GWB/PT-2	ETR ACP	9'-0"	5
103	OFFICE	385 SF	CPT-1	RB-1	ETR GWB/PT-2	ETR GWB/PT-2	ETR GWB/PT-2	ETR GWB/PT-2	ETR ACP	9'-0"	1, 5
103A	OFFICE	111 SF	CPT-1	RB-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-2	ETR ACP	9'-0"	5
103B	OFFICE	111 SF	CPT-1	RB-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-2	ETR ACP	9'-0"	5
103C	OFFICE	121 SF	CPT-1	RB-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-2	ETR ACP	9'-0"	5
104	CLASSROOM	790 SF	CPT-1	RB-1		ETR GWB/PT-2	ETR GWB/PT-4	ETR GWB/PT-2	ETR ACP	8'-11 1/2"	5
105	OFFICE	478 SF	CPT-1	RB-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-2	ETR ACP	9'-0"	5
107	CUSTODIAL	48 SF	ETR (VCT)	ETR (RB)	ETR GWB/ETR PT	ETR GWB/ETR PT	ETR GWB/ETR PT	ETR GWB/ETR PT	ETR ACP	9'-0"	
108	CLASSROOM	760 SF	CPT-1	RB-1	ETR GWB/PT-4	ETR GWB/PT-2		ETR GWB/PT-2	ETR ACP	8'-11 1/2"	5
110	OPEN OFFICE	785 SF	CPT-1	RB-1	ETR GWB/PT-1	ETR GWB/PT-2	ETR GWB/PT-1	ETR GWB/PT-1	ETR ACP	9'-0"	5
111	CLASSROOM	615 SF	CPT-1	RB-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-2	ETR ACP	9'-0"	5
113	CORRIDOR	138 SF	CPT-1	RB-1	ETR GWB/PT-2	ETR GWB/PT-2	ETR GWB/PT-2	ETR GWB/PT-2	ETR ACP	9'-0"	5
114	CLASSROOM	444 SF	CPT-1	RB-1	ETR GWB/PT-1	ETR GWB/PT-2	ETR GWB/PT-1	ETR GWB/PT-1	ETR ACP	9'-0"	5
115	CLASSROOM	415 SF	CPT-1	RB-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-2	ETR ACP	9'-0"	5
117	CLASSROOM	415 SF	CPT-1	RB-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-2	ETR ACP	9'-0"	5
119	CLASSROOM	480 SF	CPT-1	RB-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-2	ETR ACP	9'-0"	5
120	CLASSROOM	941 SF	VCT-1	RB-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR ACP	9'-0"	2
121	DATA CLOSET	54 SF	ETR (VCT)	ETR (RB)	ETR GWB/ETR PT	ETR GWB/ETR PT	ETR GWB/ETR PT	ETR GWB/ETR PT	ETR ACP	9'-0"	
122	CORRIDOR	132 SF	CPT-1	RB-1	ETR GWB/PT-2	ETR GWB/PT-2	ETR GWB/PT-2	ETR GWB/PT-2	ETR ACP	9'-0"	5
135	CORRIDOR	90 SF	CPT-1	RB-1	ETR GWB/PT-2	ETR GWB/PT-2	ETR GWB/PT-2	ETR GWB/PT-2	ETR ACP	9'-0"	5
136	CORRIDOR	329 SF	ETR (CPT)	ETR (RB)	ETR GWB/PT-2	ETR GWB/PT-2	ETR GWB/PT-2	ETR GWB/PT-2	ETR ACP	9'-0"	
137A	OFFICE	188 SF	CPT-1	RB-1	GWB/PT-1	ETR GWB/PT-2	ETR GWB/PT-1	ETR GWB/PT-1	ETR ACP	9'-0"	5
137B	OFFICE	182 SF	CPT-1	RB-1	ETR GWB/PT-1	ETR GWB/PT-2	GWB/PT-1	ETR GWB/PT-1	ETR ACP	9'-0"	5
138	OPEN OFFICE	385 SF	ETR (CPT)	ETR (RB)	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-2	ETR ACP	9'-0"	
139	CLASSROOM	495 SF	ETR (CPT)	ETR (RB)	ETR GWB/PT-1	ETR GWB/PT-2	ETR GWB/PT-1	ETR GWB/PT-1	ETR ACP	9'-0"	
140	CLASSROOM	874 SF	ETR (CPT)	ETR (RB)	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-2	ETR ACP	9'-0"	
140A	BREAKROOM	238 SF	ETR (VCT)	ETR (RB)	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR ACP	9'-0"	
141	TOILET ROOM	81 SF	ETR (VCT)*	ETR (RB)*	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-1	GWB/PT-1	ETR ACP	9'-0"	3, 4
142	TOILET ROOM	91 SF	ETR (VCT)*	ETR (RB)*	GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR GWB/PT-1	ETR ACP	9'-0"	3, 4
145	ENTRY SPACE	649 SF	CPT-1	RB-1	ETR GWB/PT-2	ETR GWB/PT-2	ETR GWB/PT-2	ETR GWB/PT-2	ETR ACP	9'-0"	5, 6

REMARKS

- ROOM FINISH REMARKS:
- PAINT PT-2 ON GYPSUM BOARD BULKHEAD AT NEW OPENING.
  - INSTALL NEW VCT OVER EXISTING VCT. PROVIDE TRANSITION STRIP AT DOOR.
  - REINSTALL EXISTING CEILING TILES AFTER INSTALLATION OF NEW SUSPENDED ACP GRID SYSTEM.
  - ALTERNATE: PROVIDE ALTERNATE PRICE FOR REMOVAL AND REPLACEMENT OF EXISTING VCT AND RESILIENT BASE IN THIS ROOM. PROVIDE VCT-1 AND RB-1.
  - REPLACE CARPET AND BASE IN THIS ROOM.
  - EAST ELEVATION NOTE ONLY: EXISTING PORTION OF EAST WALL CURRENTLY PAINTED BLUE TO REMAIN AS IS. REST OF WALL TO BE PAINTED PT-2.

GENERAL NOTES

- ROOM FINISH GENERAL NOTES:
- REPAINT ALL EXISTING DOOR FRAMES IN TENANT PROJECT AREA, PT-3.
  - NOTE: USEABLE SQUARE FOOTAGES ARE SHOWN FOR THE TENANT'S USE ONLY. THESE SHOULD NOT BE USED FOR CONTRACTOR TAKE-OFFS. CONTRACTORS SHALL COMPLETE THEIR OWN TAKE-OFFS AND VERIFY EXISTING CONDITIONS AS REQUIRED FOR BIDDING PURPOSES.
  - VERIFY EXISTING CEILING HEIGHTS IN FIELD. HEIGHTS SHOWN IN SCHEDULE MAY VARY FROM ROOM TO ROOM.

SCHEDULE OF INTERIOR FINISHES

MANUFACTURERS LISTED HEREIN ARE USED TO DETERMINE THE STANDARD FINISHES AND COLORS FOR THIS PROJECT. REFER TO THE SPECIFICATION (PROJECT MANUAL) FOR ADDITIONAL EQUAL MANUFACTURERS.

SECTION NUMBER	MANUFACTURER STYLE/MODEL	COLOR/FINISH	SIZE	REMARKS
06 40 00- ARCHITECTURAL WOODWORK				
PLAM-1	WILSONART	WHITE CYPRESS - 7976K-12		CASEWORK EXTERIOR EXPOSED SURFACES
PLAM-2	WILSONART	STEEL MESH 4879-38		COUNTERTOPS
09 51 00- ACOUSTICAL CEILINGS				
ACP-1	ARMSTRONG	CIRRUS - 563	24" x 48"	VERIFY WITH EXISTING. COORDINATE ATTIC STOCK TILE WITH OWNER.
09 68 13- TILE CARPETING				
CPT-1	SHAW	LUCKY BREAK / SERENDIPITY 34415	24" x 24"	INSTALLATION: ASHLAR
09 85 19- RESILIENT FLOORING				
RB-1	JOHNSONITE	DURACOVE, 63 BURNT UMBER	4"	COVE BASE AT VCT AND CARPET TILE
VCT-1	TRENDS	RIGID / SUMMER STORM SOVEREIGN TIRSOV-X628	6 MM, 24" x 48"	PLANK FLOORING AT CLASSROOM 120 AND ALTERNATE PRICE FOR TOILET ROOMS
09 91 00- PAINTING				
PT-1	SHERWIN WILLIAMS	PANDA WHITE 6147		TYPICAL WALL
PT-2	SHERWIN WILLIAMS	WORLDLY GRAY 7043		ACCENT WALL
PT-3	SHERWIN WILLIAMS	ELEPHANT EAR 9168		DOOR FRAMES
PT-4	SHERWIN WILLIAMS	POINSETTA 6594		ACCENT WALL
CG	INPRO	TO BE SELECTED BY ARCHITECT		MATCH WALL PAINT COLOR OR NEUTRAL LIGHT GRAY

ROOM FINISH SCHEDULE LEGEND

ROOM FINISH SCHEDULE LEGEND- (SOME MAY NOT BE USED)

ACP	ACOUSTICAL CEILING PANEL	MAT	FLOOR MAT	VWC	VINYL WALL COVERING
CPT	CARPET	PT	PAINT	WD	WOOD
CT	CERAMIC TILE	PVT	PAVER TILE	PLAM	PLASTIC LAMINATE
ES	EXPOSED STRUCTURE	RB	VWC	EP	EPOXY
ETR	EXISTING TO REMAIN	RF	RESINIOUS FLOORING	ETR	EXISTING TO REMAIN
FCFY	FACTORY FINISH	SC	SEALED CONCRETE		
FRP	FIBERGLASS REINFORCED PANELS	VCT	VINYL COMPOSITION TILE		
GWB	GYPSUM WALLBOARD	VSF	VINYL SHEET FLOORING		



ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN

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DRAWING SET CD

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CHECKED LLB

DATE 02-24-2020

PROJECT NO. 2020012

PROJECT TITLE

CDA - VILLAGE ON  
PARK - UW BOARD  
OF REGENTS  
TENANT IMPROVEMENT

2238 S. PARK STREET  
MADISON, WI 53713

SHEET TITLE

FINISH SCHEDULES,  
DOOR DETAILS, &  
PARTITION TYPES

SHEET NO.

A001

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## 00.00 00 GENERAL INFORMATION

Contractor shall provide all information required for project. Prior to bidding, visit the site to become familiar with and verify existing job conditions. Do not scale drawings for exact dimensions. Work shall comply with applicable codes and regulations. Schedule initial work with Owner representative at least 48 hours in advance. Perform contract to do to minimum disruption of the operation of the building and personnel. Contractor shall be responsible for restoring and/or replacing any materials, equipment or site damage caused by the work of this project to its original finish and/or condition. Work shall be performed by licensed tradesmen skilled in the area of affected installation; shall be of professional quality, and shall be completed according to the best practice of the trade. Workers shall be knowledgeable with regard to products used and shall take appropriate precautions required to safeguard health and safety.

The intent of the plans and specifications is to provide for the construction, execution and completion of a complete work or improvement which the contractor undertakes to do in full compliance with the plans, specifications, and contract. The work shall include all items of work covered and detailed in the plans and specifications and perform alternate and extra work necessary by owner approved change order to the execution and completion of the work. The Contractor shall also be aware of any apparent error or omission in the plans or specifications, and the Contractor shall be permitted to make such corrections and interpretations as may be deemed necessary for the fulfillment of the intent of the plans and specifications.

Work to be delivered as completed & finished space upon completion of construction.

Field verify all dimensions & existing conditions. Consult with designer regarding inconsistencies.

## 01.10.00 SUMMARY OF WORK:

**PROJECT/WORK IDENTIFICATION:**  
General: Name of project & CDA VILLAGE ON PARK - UNV TOWNHAT IMPROVEMENT located at 2238 S PARK STREET near these plans and specifications by the Architect, STRANG, INC., 811 East Washington Ave, Madison, WI 53703. Contract documents are listed in the CDA'S RFP #8920-2020-KA ("the Bid Packet") which will be completed under a single prime contract with the bid package for a lot. See the CDA's rights reserved in the Bid Packet.

## WORK BY OTHERS:

Products and materials supplied and installed by Owner or under separate contract: Hufco Folding Partition. Contractor shall coordinate the work with JWC Building Specialists, Inc. that will be performing this work.

Contractor and subcontractor to be installed the bathroom vent in the roof to meet coordinate add work with the roof contractor being hired by the Owner. The bathroom vent must be installed after the new roof is completed in the area where the vent will be located.

## COORDINATION:

General: The Contract for General Construction includes coordination of entire work of project from the beginning of activity through the project closeout and warranty period.

## Performance Requirements for Completed Work:

General: The contract documents include intended occupancy and utilization of building and its individual systems and facilities. Compliance with governing regulations is intended and required, for the work and for Owner's occupancy and utilization. It is required that every element of the work complies with applicable requirements of contract documents and all building systems are complete and fully operational.

## 01.20.00 SPECIAL PROJECT REQUIREMENTS

The building will remain occupied and to be used by the Owner at all times. Take particular care to avoid disturbance and disruption to the ongoing activities of the occupants. Contractor shall coordinate with Owner to schedule delivery areas within the building.

## 01.20.01 ALTERNATES

**PROVISIONS:**  
Coordination: Modify or adjust affected miscellaneous work as necessary to completely and fully integrate that work into the project. Include as part of each alternate, additional devices, accessory objects, and similar items incidental to or required for a complete installation whether or not mentioned as part of the Alternate.  
Notification: Immediately following the award of the Contract, notify each party involved. In writing, of the nature of each alternate, indicate which documents have been accepted, rejected, or deferred for later resolution. Execute a complete description of regulated modifications to alternates.  
Execute accepted alternates under the same conditions as other work of this contract.  
Schedule: A "Schedule of Alternates" is included below. Each alternate is defined by abbreviated language, including that drawings and specifications sections document the requirements.

## SCHEDULE OF ALTERNATES:

Alternate No. 1: TOILET ROOM VCT REPLACEMENT

## 01.31.00 PROCEDURES AND PERFORMANCE

**SUMMARY:**  
The types of minimum requirements for procedural and performance work of a general nature to be fulfilled by the General Contractor include but are not necessarily limited to the following categories, and require participation by all subcontractors even though certain items of work may be assigned to General Contractor. Administration consist of Coordination and Meetings, Administration and Reporting, Personnel, Tradesmen and Workmanship Standards, Inspections, tests and reports, general installation procedures, cutting and patching, cleaning and protection.

## GENERAL INSTALLATION PROVISIONS:

Installation/Coordination: Well in advance of installation of every major unit of work which requires coordination and interfacing with other work, contractor shall meet at project site with installers and representatives of manufacturer and fabricators who are involved in or affected by unit of work and in its coordination or integration with other work which has preceded or will follow. The Contractor shall advise Architect/Engineer of scheduled meeting dates. At each meeting review progress of other work and preparations for particular work to be installed. Installation/Coordination: contract documents, options, related change orders, purchases, deliveries, shop drawings product data, quality control samples, possible conflicts, compatibility problems, time schedules, waiver limitations, temporary facilities, space and access limitations, structural limitations, governing regulations, safety, inspection and testing requirements, required performance tests, recording requirements and protection. Contractor shall record significant discussions of each recording agreement and disagreements, along with final plans of action, and shall distribute record of meeting promptly to everyone concerned, including Architect/Engineer.

Do not proceed with unit of work where associated preinstallation coordination cannot be concluded successfully or if shop drawings are not approved in writing. Do not proceed with unit of work where associated preinstallation coordination cannot be approved in writing by Architect/Engineer per Section 01.33.00. Subcontractor with most involvement shall institute actions to resolve impediments to performance of the work and reversion complete at earliest date feasible.

Installer's Inspection of Conditions: Installer of each major unit of work shall inspect submittal to receive the work and conditions under which the work will be performed and to report (in writing to prime Contractor) unsatisfactory conditions. Do not proceed with the work until unsatisfactory conditions have been corrected in a manner acceptable to Installer.

Manufacturer's Instructions: Where installations include manufactured products, comply with manufacturer's applicable instructions and recommendations for installation to whatever extent these are more explicit or more stringent than applicable requirements or contract documents.

Inspect each item of materials or equipment immediately prior to installation and reject damaged and defective items.

Provide attachment and connection devices and methods for securing work properly as is installed, tied to tie line level and within recognized industry tolerances if not otherwise indicated. Allow for expansion and building movements. Provide uniform joint openings in expansion joint, organized for best possible visual effect. Refer questionable visual effect choices to Architect for final decision.

Recheck measurements and dimensions of the work, as an integral step of starting each installation.

Install work during conditions of temperature, humidity, exposure, forecasted weather and status of project conditions which will ensure best possible results for each unit of work, in coordination with entire work. Coordinate each unit of work nonstoptable work, as required to prevent delay.

Coordinate enclosure (closing-in) of work with required inspections and tests, so as to avoid necessity of uncovering work that is otherwise.

Mounting Heights: Except as otherwise indicated, mount individual units of work as shown on the drawings or specifications at industry recognized standard mounting heights, for applications indicated. Refer questionable mounting height choices to Architect/Engineer for final decision.

## CUTTING AND PATCHING:

General: Do not cut and patch structural work in a manner resulting in reduction of load carrying capacity or load/carrying ratio; submit proposed cutting and patching to Architect/Engineer for structural approval before proceeding. Do not cut or patch operational elements and safety related components in a manner resulting in reduction of capacities to perform a manner intended or resulting in decreased operational life, increased maintenance or decreased safety. Do not cut or patch work which is exposed or exterior or exposed in occupied spaces of building, in a manner resulting in reduction of visual quality or resulting in substantial evidence of cut and patch work, both as judged solely by Architect. Remove and replace work judged by Architect to be cut and patched in a visually unnoticeable manner.

Materials: Except as otherwise indicated or approved by Architect/Engineer, provide materials for cutting and patching which will result in equal or better work than being cut and patched, in terms of performance characteristics and including visual effect where applicable. Use materials identical with original materials where feasible and where recognized that satisfactory results can be produced thereby.

Temporary Support and Protection: Provide adequate temporary support for work to be cut, to prevent failure. Do not endanger other work. Provide adequate protection of other work during cutting and patching to prevent damage and provide protection of the work.

Work by methods best likely to damage work to be retained and work adjoining. Where physical cutting action is required, cut work with sawing and grinding tools, not with hammering and chopping tools. Core drill openings through concrete work.

Patch with seams which are durable and as invisible as possible. Comply with specified tolerances for the work. Where feasible, inspect and test patch areas to demonstrate integrity of work.

Restore exposed finishes of patched areas and where necessary extend finish restoration onto retained work adjoining, in a manner which will eliminate evidence of patching. Where patch occurs in a smooth painted finish, restore paint prior coat over entire uncovered surface containing patch, after patched area has received prime and base coats.

## CLEANING AND PROTECTION:

General: During handling and installation of work at project site, Contractor shall clean and protect work in progress and adjoining work on a basis of perpetual maintenance. Apply suitable protective covering on newly installed work where reasonably required to ensure freedom from damage or deterioration at time of substantial completion otherwise clean and perform maintenance on newly installed work as frequently as necessary through remainder of construction period. Adjust and lubricate operate components to ensure proper and permanent results.

## 01.32.00 SCHEDULES, REPORTS AND PAYMENTS

### COORDINATION - GENERAL:

Contractor shall provide administrative and procedural coordination of scheduling/procurement/notifications requesting and shall be responsible to provide overall coordination responsibilities assigned to the Contractor. Make appropriate distribution of each report and updated report to entities involved in the work including Contractor and Owner and to all project participants where applicable. In particular, contract documents, specifications and drawings shall be distributed to all project participants. Submittals which are reviewed for coordination of progress schedule, schedule of values, list of subcontractors, schedule of submittals, progress reports and payment requests.

### FULLY DEVELOPED PROGRESS SCHEDULE:

Prior to the start of construction, the contractor shall complete schedule. Announce schedules to

graphically show major sequences required in implementing of work and to show how substantial completion is scheduled to occur for Architect/Engineer's procedure for certification thereof. Prepare and maintain schedule in entire Construction Time and to permit reproduction for required distribution.

Distribution: Following initial submital and to responses by Architect/Engineer, Contractor shall print and distribute progress schedule to Architect/Engineer, Owner, contractor, principal subcontractors and suppliers or fabricators, and all others with a need-to-know schedule compliance requirement.

Provide a separate submittal for each specification Section, unless otherwise indicated. Coordinate transmittal of different types of submittals for related parts of the Work so processing will not be delayed because of need to review submittals for coordination. Architect reserves the right to withhold action on a submittal requiring coordination with other submittals until related submittals are received.

### PROGRESS MEETING, REPORTING:

General: In addition to specific coordination meetings for each element of work and other regular project meetings for other purposes, Contractor shall attend general progress meetings, with time coordinated with payment of progress reports. Require each subcontractor and each other entity then involved in planning, coordination or performance of work to be properly represented at each meeting. Review availability of present and future needs including infrastructure, time, sequences, deliveries, access, site utilization, temporary facilities and services, hours of work, hazards and risks, housekeeping, change orders and documentation of information for project requests. Discuss whether each element of current work is ahead of schedule, on time or behind time in relation with integrated and updated progress schedule. Determine how behind time work will be expedited and secure commitments from each prime contractor and other major entities involved in doing so. Discuss when schedule revisions are required to ensure that current work and subsequent work will be completed with Contract Time of each prime contract. Review everything of significance which could affect progress of the work.

Initial Progress Meeting: Schedule initial progress meeting, recognized as "Preconstruction Meeting," for a date not more than 5 days after date of commencement of the work. Conduct this meeting as an organizational meeting and review responsibilities and personnel assignments.  
Reporting: Within 3 days after each progress meeting date, Architect will distribute copies of minutes of the meeting to each entity present and to others who should have been present. Review each entity's present and future needs including infrastructure, time, sequences, deliveries, access, site utilization, temporary facilities and services, hours of work, hazards and risks, housekeeping, change orders and documentation of information for project requests. Discuss whether each element of current work is ahead of schedule, on time or behind time in relation with integrated and updated progress schedule. Determine how behind time work will be expedited and secure commitments from each prime contractor and other major entities involved in doing so. Discuss when schedule revisions are required to ensure that current work and subsequent work will be completed with Contract Time of each prime contract. Review everything of significance which could affect progress of the work.

Electronic Submittal Requirements: Prepare an individual file for each submittal in PDF format.

Preparation of Submittals: Provide marking on each submittal to identify project, date, Contractor, subcontractor, submittal name, specification Section number being referenced, and similar information to distinguish it from other submittals. Show Contractor's executed review and approval marking on transmittal and handling.

Transmittal Form: Include the following information on the transmittal form: date, contractor's name address and telephone number, including name of individual sending the submittal, name of related subcontractor and supplier, submittal description, number of copies submitted, specification section title and number, other submittals or comments related to the submittal.

QUESTIONS/DETAILS LETTERS: Samples: Submit two sets of samples. Warranties: In addition to copies desired for Contractor's use, furnish 2 executed copies, except furnish 2 additional completed copies where required for maintenance manuals. Closeout Submittals: Refer to "Project Closeout" Section for specific general information on submittal of closeout information, materials, tools and similar items. 3. Concurred Product Warranty: A warranty which is not specifically required by written contract and Maintenance/Operating Manuals. Submit an electronic PDF copy of the Manual that is bookmarked and indexed for each Section/element/system for initial review by Architect/Engineer. Furnish bound copies in 3-ring binders and an electronic PDF file of the approved Maintenance/Operating Manuals.

### ACTION ON SUBMITTALS:

Architect/Engineer's Action: Where action and return is required or required. Architect/Engineer will review each submittal and where possible within 1 week of receipt. Where submittal must be held for coordination, Contractor will be so advised without delay.

Final Bid Restricted Release: Work may proceed, provided it complies with notations and corrections on submittal with contract documents, when submittal is returned with the following: Marking: "See Review Comments, No resubmital."

Returned for Partial Resubmital: Proceed with work except on those items marked for resubmital. Resubmit in accordance with notations therein which in compliance with specification. Resubmit without delay to obtain a different action marking. Do not allow submittals with the following marking: "Revised & Resubmit Items Required." Return for Resubmital: Proceed with work except on those items marked for resubmital. Resubmit in accordance with notations therein which in compliance with specification. Resubmit without delay to obtain a different action marking. Do not allow submittals with the following marking: "Revised & Resubmit Items Required." Return for Resubmital: Proceed with work except on those items marked for resubmital. Resubmit in accordance with notations therein which in compliance with specification. Resubmit without delay to obtain a different action marking. Do not allow submittals with the following marking: "Revised & Resubmit Items Required."

Return for Resubmital: Do not proceed with work. Resubmit submittal in accordance with notations therein and resubmit without delay to obtain a different action marking. Do not allow submittals with the following marking: (or unmarked submittals where a marking is required) to be used in connection with performance of the work. Marking: "Revised & Resubmit Items Required."

Payment Application Times: The date for each progress payment for Contractor's as indicated in Owner Contractor Agreement. The period of construction work covered by each payment request is period indicated in Owner Contractor Agreement or, if none is indicated therein, it is period ending 15 days prior to date for each progress payment and period starts on day following end of the preceding period.

Payment Application Forms: AIA Document G702 and Continuation Sheets; available from Publications Distribution Div., The American Institute of Architects, 1735 New York Ave., N.W., Washington, DC 20004 (no fee). Available at most local AIA chapter offices.

Application Preparation: Except as otherwise indicated, complete every submittal for use on the form, including notation and execution by authorized persons. Incorporate applications and corrections by Architect/Engineer without action. Entries must contain current date of schedule of values, progress schedule and reports. Listing must include amounts of change orders issued prior to first day of the "period of construction" covered by application.

Initial Payment Application: The principal administrative actions and submittals which must precede or coincide with submittal of Contractor's first payment application can be summarized as follows, but not necessarily by way of limitation:

- Listing of subcontractors and principal suppliers and fabricators (as previously submitted) with contact information, telephone numbers and telephone number.
- Schedule of values.
- Progress schedule.
- Complete of submittals.
- Listing of Contractor's staff assignments and principal consultants.
- Copy of acquired building permits and similar authorizations and licenses from governing authorities for current performance of the work.

Performance and/or safety bond (if required).  
Evidence satisfactory to Owner that Contractor's insurance coverages have been secured.  
Data needed by Owner to secure related insurance coverages.

Application of Time of Substantial Completion: Following issuance of Architect/Engineer's final "certification of substantial completion" on Contractor's work and also in part as applicable to prior certificates on portions of completed work as designated, a "payment" application may be prepared and submitted by Contractor. The principal administrative actions and submittals which must precede or coincide with such special applications can be summarized as follows, but not necessarily by way of limitation:

- Occupancy permits and similar approvals or certifications by governing authorities and franchised vendors. Insurance evidence satisfactory to Owner.
- Warranties, guarantees, insurance agreements and similar provisions of contract documents.
- Test/balanced/retention records, maintenance instructions, meter readings, start-up, use, operation and maintenance and/or operation manuals (if required).
- Final cleaning of the work.
- Application for reduction (if) of any insurance and consent of surety.
- Advice to Owner on coordination of shifting insurance coverages, including proof of extended coverages as required.
- Listing of Contractor's incomplete work recognized as exceptions to Architect/Engineer's certificate of substantial completion.

Final Payment Application: The administrative actions and submittals which must precede or coincide with submittal of Contractor's final payment application can be summarized as follows, but not necessarily by way of limitation:

- Completion of project closeout requirements.
- All waivers of claim for each entity (if required).
- Completion of items specified for completion beyond time of substantial completion (regardless of items special for payment application was previously made).
- Assurance satisfactory to Owner that unsettled claims will be settled and that work not actually completed and accepted will be completed without undue delay.
- Transmittal of required project construction records to Owner.
- Proof satisfactory to Owner that taxes, fees and similar obligations of Contractor have been paid.
- Removal of temporary facilities, services, surplus materials, rubbish and similar elements.
- Change over of door locks and other provisions for Contractor's access to Owner's property.
- Consent of surety for final payment.

## 01.33.00 SUBMITTALS

General: Develop waste management plan that results in an end-of-project rates for salvage/recovery of waste generated by the Work.

Recycling: Except as otherwise defined in greater detail, term "recycle" is used to describe operations to project, including unloading, uncrating, assembly, erection, painting, anchoring, applying, working to dimension, finishing, curing protecting, cleaning and similar operations, as applicable in each instance.

"Provides": Except as otherwise defined in greater detail, term "provide" means furnish and install, complete and ready for intended use, as applicable in each instance.

"Install": The entity (person or firm) engaged by the Contractor or its subcontractor or sub-subcontractor for the performance of a particular unit of work at the project site, including installation, erection, application and similar regular operations. It is a general requirement that such entities (installers) be expert in operations they are engaged to perform.

"Testing Agencies": An independent entity engaged to perform specific inspections or tests of the work, either at project site or elsewhere, and to report and (if required) interpret results of those inspections or tests.

"Regulations": The term "regulations" includes laws, ordinances, statutes, and lawful orders issued by authorities having jurisdiction, as well as rules, conventions, and agreements within the construction industry that constitute a part of the practice of the Work.

## 01.50.00 TEMPORARY FACILITIES

TEMPORARY PROTECTION: Materials and equipment, dust enclosures, and all other such protection as may be needed to protect and isolate the immediate area under construction. Remove such barriers as soon as they are no longer needed.

## TEMPORARY TOILETS:

Contractor shall make arrangements with Owner for use of toilet facilities within the existing building.

## TEMPORARY WATER:

Water required for performance of work shall be obtained from hose bibbs in building. Owner shall pay for water used.

## TEMPORARY LIGHT AND POWER:

Contractor shall maintain electrical service to occupied areas of existing building at all times. Owner shall pay for electrical lamps used by Contractors for temporary light and power.

01.60.00 PRODUCTS AND SUBSTITUTIONS  
GENERAL: Develop waste management plan that results in an end-of-project rates for salvage/recovery of waste generated by the Work. Recycle: Except as otherwise defined in greater detail, term "recycle" is used to describe operations to project, including unloading, uncrating, assembly, erection, painting, anchoring, applying, working to dimension, finishing, curing protecting, cleaning and similar operations, as applicable in each instance.

01.23.00 ARCHITECTURAL WORKBOOK  
Contractor shall review for compliance with the Contract Documents, approve, and submit to the Architect "Shop Drawings," Product Data, Samples, and similar submittals required by the Contract Documents. Submit preferred fabricator to match building standard. Clarify Wood Associates. Madison WI Plastic Laminate application standards: General purpose, 1/16" thick, high finish, spray, color per drawings. Hardware (Cramery): YOC compliant, 180° faces, 1/8" thick, homogeneous, stainless steel, finish as shown. Substrate: Particle board, 45-pound density, conforming to CS-236, or softwood plywood, B-B or better, conforming to P-1.  
Adhesive: recommended as recommended by laminate manufacturer.  
Countertops: Plastic laminated on particle board or plywood substrate.

Submit all submittal items required for each specification or as directed in pre-construction meeting. Contractor concurrently submit submittals for portions of the Work are indicated or otherwise approved in writing by Architect. An incomplete submittal may be held until all submittal items that material/system have been submitted to the Architect for review; or, the submittal may be returned "without action."

Provide a separate submittal for each specification Section, unless otherwise indicated. Coordinate transmittal of different types of submittals for related parts of the Work so processing will not be delayed because of need to review submittals for coordination. Architect reserves the right to withhold action on a submittal requiring coordination with other submittals until related submittals are received.

Submittal Types - Physical and Electronic: Send submittals in electronic form, via email to the Architect, or via an Architect designated file transfer system for large files.

Physical samples of materials, when requested by the Specification Section, shall be mailed to the Architect's office for review.

Accessory submittal with Transmittal Form or Cover as specified below.

Physical Submittal Requirements: Preparation of Submittals: Provide permanent marking on each submittal item to identify project, date, Contractor, subcontractor, submittal name, specification Section number being referenced, and similar information to distinguish it from other submittals. Show Contractor's executed review and approval marking and provide space for Architect/Engineer's Action" marking. Package each submittal appropriately for transmittal and handling.

Electronic Submittal Requirements: Prepare an individual file for each submittal in PDF format. Preparation of Submittals: Provide marking on each submittal to identify project, date, Contractor, subcontractor, submittal name, specification Section number being referenced, and similar information to distinguish it from other submittals. Show Contractor's executed review and approval marking and provide space for Architect/Engineer's Action" marking. Transmittal Form: Include the following information on the transmittal form: date, contractor's name address and telephone number, including name of individual sending the submittal, name of related subcontractor and supplier, submittal description, number of copies submitted, specification section title and number, other submittals or comments related to the submittal.

QUESTIONS/DETAILS LETTERS: Samples: Submit two sets of samples. Warranties: In addition to copies desired for Contractor's use, furnish 2 executed copies, except furnish 2 additional completed copies where required for maintenance manuals. Closeout Submittals: Refer to "Project Closeout" Section for specific general information on submittal of closeout information, materials, tools and similar items. 3. Concurred Product Warranty: A warranty which is not specifically required by written contract and Maintenance/Operating Manuals. Submit an electronic PDF copy of the Manual that is bookmarked and indexed for each Section/element/system for initial review by Architect/Engineer. Furnish bound copies in 3-ring binders and an electronic PDF file of the approved Maintenance/Operating Manuals.

ACTION ON SUBMITTALS: Architect/Engineer's Action: Where action and return is required or required. Architect/Engineer will review each submittal and where possible within 1 week of receipt. Where submittal must be held for coordination, Contractor will be so advised without delay. Final Bid Restricted Release: Work may proceed, provided it complies with notations and corrections on submittal with contract documents, when submittal is returned with the following: Marking: "See Review Comments, No resubmital." Returned for Partial Resubmital: Proceed with work except on those items marked for resubmital. Resubmit in accordance with notations therein which in compliance with specification. Resubmit without delay to obtain a different action marking. Do not allow submittals with the following marking: "Revised & Resubmit Items Required." Return for Resubmital: Proceed with work except on those items marked for resubmital. Resubmit in accordance with notations therein which in compliance with specification. Resubmit without delay to obtain a different action marking. Do not allow submittals with the following marking: "Revised & Resubmit Items Required." Return for Resubmital: Proceed with work except on those items marked for resubmital. Resubmit in accordance with notations therein which in compliance with specification. Resubmit without delay to obtain a different action marking. Do not allow submittals with the following marking: "Revised & Resubmit Items Required."

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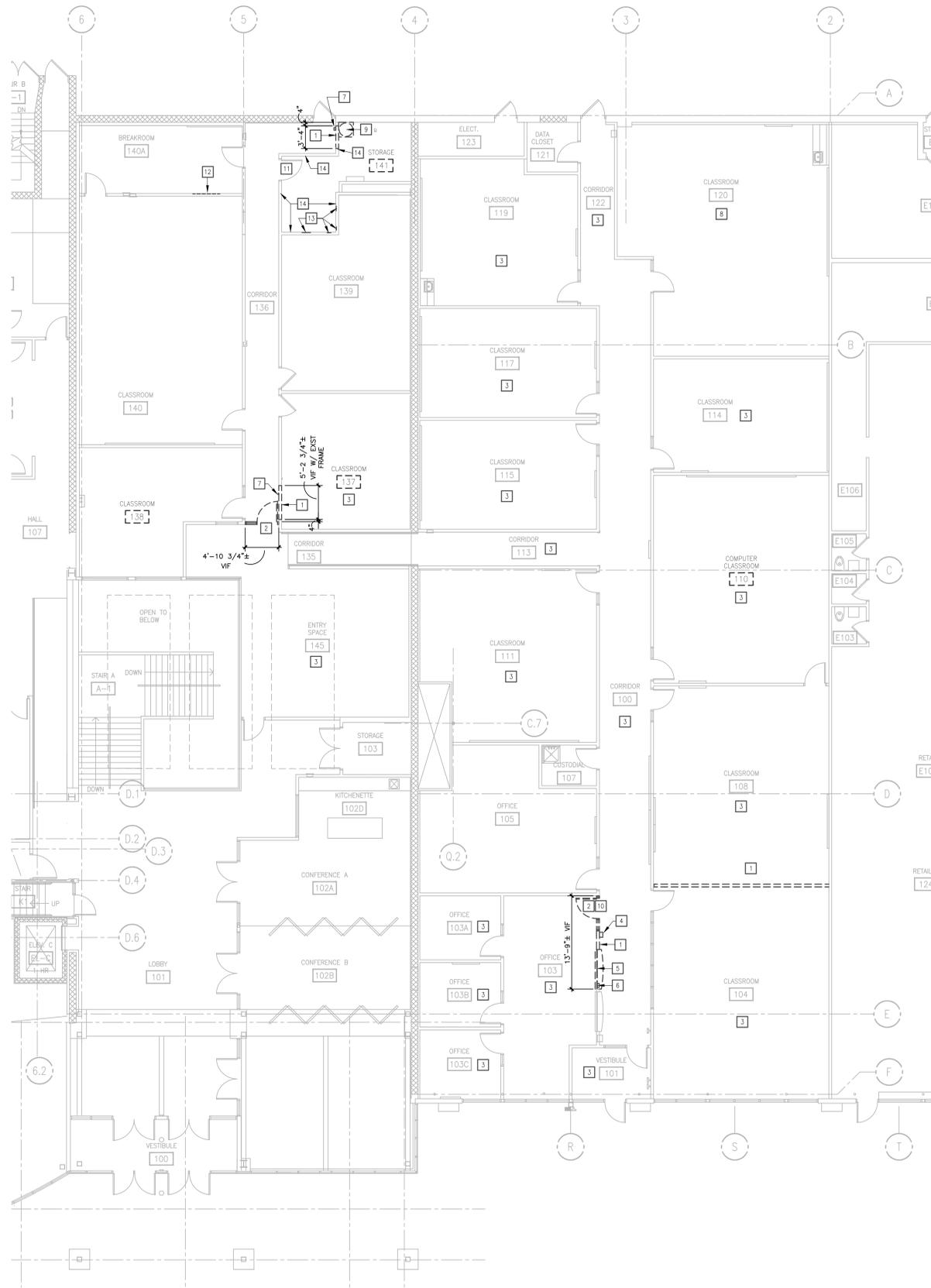
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Return for Resubmital: Do not proceed with work. Res



- ### DEMOLITION PLAN GENERAL NOTES
- EXISTING CONSTRUCTION TO REMAIN IS SHOWN SCREENED. CONSTRUCTION AND EQUIPMENT TO BE REMOVED IS SHOWN WITH DASHED LINES.
  - PROTECT IN PLACE DURING ENTIRE CONSTRUCTION PROCESS: ALL FLOORINGS, SURFACES AND ITEMS TO REMAIN.
  - THE CONTRACTOR SHALL PATCH, PREPARE, REPAIR AND/OR RESTORE SURFACES SCHEDULED TO REMAIN INTACT THAT ARE DAMAGED AS A RESULT OF DEMOLITION WORK.
  - THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
  - DEMOLITION PLANS ARE NOT NECESSARILY INCLUSIVE OF ALL ITEMS NEEDING REMOVAL. COORDINATE WITH ALL OTHER DRAWINGS AND FIELD VERIFY EXISTING CONDITIONS.
  - COORDINATE DEMOLITION DIMENSIONS ON THIS PLAN WITH NEW WORK PLANS AND EXISTING CONDITIONS.
  - ITEMS NOT NOTED TO BE SALVAGED AND/OR TURNED OVER TO OWNER SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR DISPOSAL. COORDINATE EXTENT OF ADDITIONAL SALVAGING OF MATERIALS WITH OWNER PRIOR TO THE START OF CONSTRUCTION.
  - COORDINATE WITH OWNER PROPOSED WORK SCHEDULE TO MINIMIZE DISRUPTION OF ADJACENT TENANTS ON THIS FLOOR AND ON FLOOR BELOW FOR PLUMBING DEMOLITION WORK ABOVE CEILING. SEQUENCE WORK ACCORDINGLY AND COORDINATE W/ ALL TRADES.
  - EXISTING EXITS SHALL REMAIN UNOBSTRUCTED AT ALL TIMES DURING CONSTRUCTION.
  - WHERE EXISTING FLOOR FINISHES ARE NOTED TO BE REMOVED, PREPARE CONCRETE FLOORS FOR NEW FLOOR FINISHES.
  - REFER TO REFLECTED CEILING DEMO PLANS FOR LOCATIONS OF EXISTING CEILING LIGHTS THAT ARE TEMPORARILY REMOVED AND REINSTALLED TO FACILITATE OTHER WORK.
  - COORDINATE ANY TEMPORARY POWER SHUT DOWNS AND/OR LIQUID EQUIPMENT OPERATION WITH OWNER TO MINIMIZE DISRUPTION OF DAILY BUSINESS FUNCTIONS.
  - COORDINATE WITH OWNER THE REMOVAL OF EXISTING FURNITURE.
  - CONTRACTOR SHALL NOTIFY ARCHITECT PRIOR TO THE START OF WORK IN AN AREA IF ANY MAJOR DISCREPANCIES DISCOVERED BETWEEN THE PROPOSED DRAWINGS AND EXISTING CONDITIONS.
  - REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON NEW AND EXISTING FINISHES TO REMAIN.
  - COORDINATE WITH OWNER PROJECT PHASING TO MINIMIZE DISRUPTION TO DAILY BUSINESS OPERATIONS. PROVIDE PLASTIC SHEETING CONSTRUCTION BARRIER TO ISOLATE PROJECT FROM PUBLIC VIEW. KEEP WORK AREA CLEAN OF DEBRIS AT END OF CONSTRUCTION DAY.

- ### DEMOLITION PLAN SPECIFIC NOTES
- REMOVE STUD AND GIB PARTITION TO THE EXTENT SHOWN AND INCLUDING ANY ATTACHED BASE, TRIM, WALLCOVERING, ELECTRICAL WIRING, OR WALL MOUNTED EQUIPMENT AND ACCESSORIES. COORDINATE MEP SYSTEM DEMOLITION WORK WITH DESIGN BUILD CONTRACTOR.
  - REMOVE DOOR, FRAME WITH SIDELIGHT WHERE SHOWN, AND HARDWARE. COORDINATE EXTENT OF SALVAGING OF DOORS, FRAMES, AND HARDWARE WITH OWNER. REFER TO NEW WORK PLANS FOR NOTES OF RELOCATED/SALVAGED DOORS, FRAMES, AND HARDWARE.
  - REMOVE CARPETING AND BASE FROM WITHIN ENTIRE ROOM OR TO THE EXTENT SHOWN. PREPARE FLOOR TO RECEIVE NEW FINISHES.
  - REMOVE WALL PHONE JACK. REFER TO ELECTRICAL DRAWINGS.
  - REMOVE SLIDING GLASS WINDOW, FRAME, COUNTERTOP, AND WALL BELOW.
  - REMOVE EMERGENCY EGRESS LIGHTING. SALVAGE FOR RELOCATION ACROSS HALLWAY. REFER TO NEW WORK PLAN.
  - REMOVE WALL MOUNTED FIRE ALARM PULL STATION. SALVAGE FOR RELOCATION. REFER TO ELECTRICAL DRAWINGS.
  - PREP EXISTING FLOOR TILE AS REQUIRED FOR NEW VCT INSTALLATION OVER EXISTING VCT.
  - REMOVE EXISTING WATER HEATER AND SUPPORT SHELF. SALVAGE WATER HEATER FOR RELOCATION ABOVE CEILING. REFER TO PLUMBING DRAWINGS.
  - REMOVE EXISTING CARD PROX LOCKSET. SALVAGE LOCKSET FOR REINSTALLATION ON OFFICE DOOR AT ROOM 137A.
  - REMOVE EXISTING CARD PROX LOCKSET. SALVAGE FOR OWNER ATTIC STOCK.
  - REMOVE PORTION OF DRYWALL FOR PLUMBING WORK. REFER TO PLUMBING DRAWINGS.
  - REMOVE PORTION OF DRYWALL FOR INSTALLATION OF WOOD BLOCKING FOR ATTACHMENT OF GRAB BARS. REFER TO NEW WORK FLOOR PLAN.
  - CONTRACTOR TO CONFIRM IF EXISTING WALLS HAVE BATT INSULATION FOR SOUND ISOLATION FOR NEW TOILET ROOM WALL. IF WALLS DO NOT, REMOVE DRYWALL AND PROVIDE BATT INSULATION. REFER TO NEW WORK PLAN FOR ADDITIONAL INFORMATION.

DRAWING SET	CD
COPYRIGHT	2020
FILE NAME	2020012_A101.DWG

DRAWN	JWC
CHECKED	LLB
DATE	02-24-2020
PROJECT NO.	2020012
PROJECT TITLE	

CDA - VILLAGE ON  
PARK - UW BOARD  
OF REGENTS  
TENANT IMPROVEMENT

2238 S. PARK STREET  
MADISON, WI 53713

SHEET TITLE  
FIRST FLOOR  
DEMOLITION PLAN

SHEET NO.  
A101

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A101  
SCALE: 1/8" = 1'-0"  
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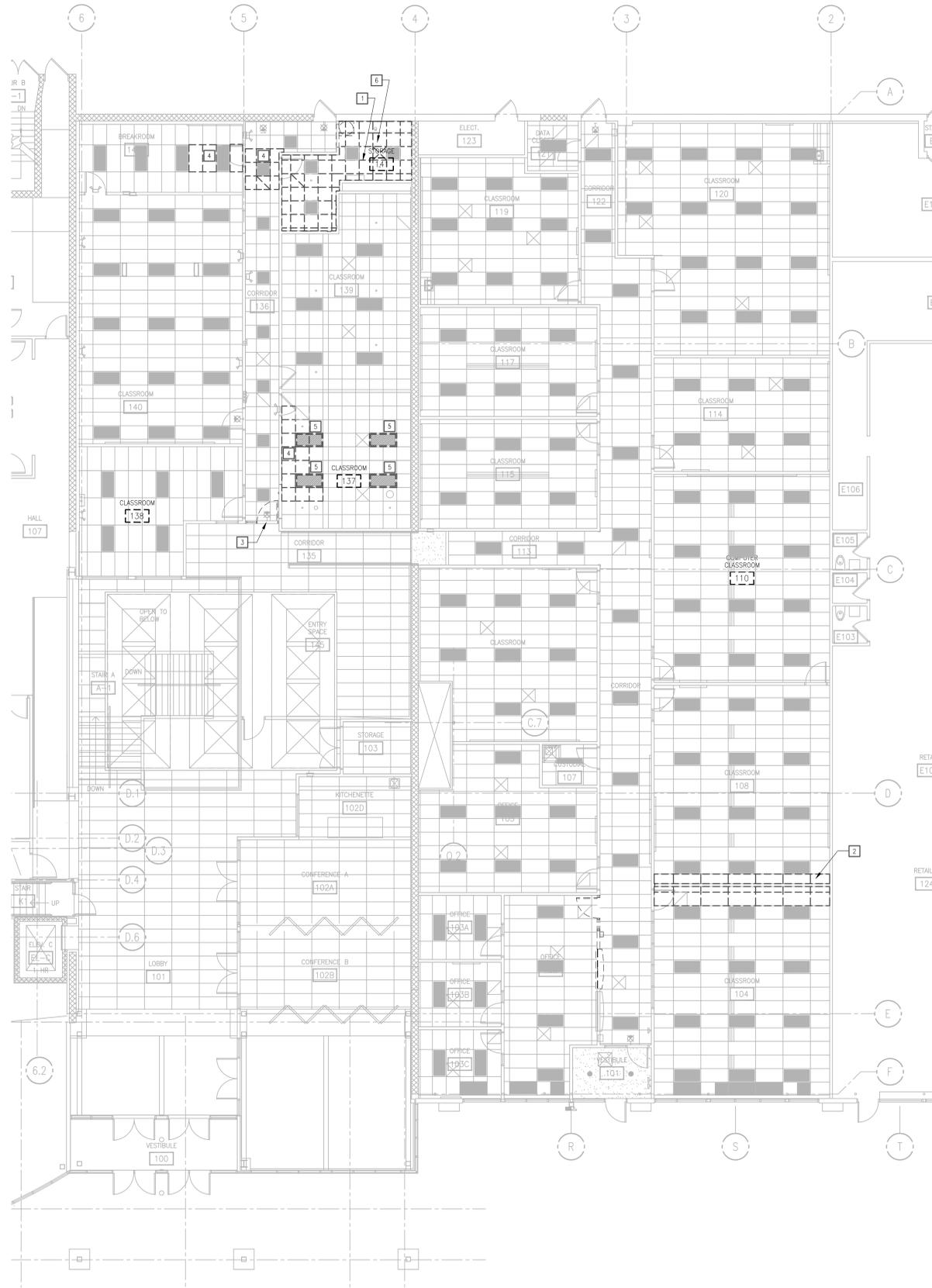
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STRANG

ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN

STRANG INC.  
811 E WASHINGTON AVENUE  
SUITE 200  
MADISON, WI 53703  
T/ 608 276 9200



- CEILING DEMOLITION PLAN  
GENERAL NOTES**
- EXISTING CONSTRUCTION TO REMAIN IS SHOWN SCREENED. CONSTRUCTION AND EQUIPMENT TO BE REMOVED IS SHOWN WITH DASHED LINES.
  - PROTECT IN PLACE DURING ENTIRE CONSTRUCTION PROCESS ALL SURFACES AND ITEMS TO REMAIN.
  - THE CONTRACTOR SHALL PATCH, PREPARE, REPAIR AND/OR RESTORE SURFACES SCHEDULED TO REMAIN INTACT THAT ARE DAMAGED AS A RESULT OF DEMOLITION WORK.
  - THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
  - DEMOLITION PLANS ARE NOT NECESSARILY INCLUSIVE OF ALL ITEMS NEEDING REMOVAL. COORDINATE WITH ALL OTHER DRAWINGS AND FIELD VERIFY EXISTING CONDITIONS.
  - COORDINATE DEMOLITION DIMENSIONS ON THIS PLAN WITH NEW WORK PLANS AND EXISTING CONDITIONS.
  - ITEMS NOT NOTED TO BE SALVAGED AND/OR TURNED OVER TO OWNER SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR DISPOSAL.
  - COORDINATE WITH OWNER PROPOSED WORK SCHEDULE TO MINIMIZE DISRUPTION OF EXISTING AND ADJACENT TENANTS. SEQUENCE WORK ACCORDINGLY AND COORDINATE W/ ALL TRADES.
  - REFER TO HVAC, ELECTRICAL, PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION AND MODIFICATIONS TO EXISTING HVAC, ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS.
  - REFER TO FLOOR PLAN DEMOLITION PLANS FOR ADDITIONAL DEMOLITION WORK.
  - COORDINATE WITH OWNER PROJECT PHASING TO MINIMIZE DISRUPTION TO DAILY BUSINESS OPERATIONS. PROVIDE PLASTIC SHEETING CONSTRUCTION BARRIER TO ISOLATE PROJECT FROM PUBLIC VIEW. KEEP WORK AREA CLEAN OF DEBRIS AT END OF CONSTRUCTION DAY.
  - COORDINATE ANY TEMPORARY POWER SHUT DOWNS AND/OR LOUD EQUIPMENT OPERATION WITH OWNER TO MINIMIZE DISRUPTION OF DAILY BUSINESS FUNCTIONS.
  - REMOVE WATER DAMAGED, STAINED, SAGGING, AND BROKEN ACoustICAL CEILING TILES. DAMAGED TILES SHALL BE REPLACED WITH SALVAGED TILES FROM OWNER'S ATTIC STOCK. REFER TO NEW WORK PLANS FOR ADDITIONAL INFORMATION ON CEILING WORK.
  - EXISTING CEILINGS NOTED TO BE TEMPORARILY REMOVED TO ACCOMMODATE NEW WORK SHALL BE REMOVED AND PROTECTED FROM DAMAGE AND REINSTALLED IN THE EXISTING CEILING GRID. ANY DAMAGED OR STAINED TILES SHALL BE REPLACED. CONTRACTOR SHALL COORDINATE WITH OWNER ANY AVAILABLE ATTIC STOCK PRIOR TO ORDERING ANY NEW TILES. ANY NEW TILES ORDERED SHALL MATCH THE EXISTING STYLE AND MANUFACTURER. GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND QUANTITIES AVAILABLE PRIOR TO BIDDING.
  - FLOOR PLAN DEMOLITION ITEMS ARE SHOWN ON THIS PLAN FOR GENERAL COORDINATION OF CEILING DEMOLITION WORK. REFER TO DEMOLITION FLOOR PLANS FOR SPECIFIC NOTES AND ADDITIONAL INFORMATION.
  - WHERE EXISTING CEILING TILE AND EXISTING CEILING GRID SYSTEM IS NOTED TO BE REMOVED, PROVIDE TEMPORARY SUPPORT WIRES TO EXISTING LIGHT FIXTURES SCHEDULED TO REMAIN IN PLACE OR COORDINATE TEMPORARY REMOVAL WITH ELECTRICAL CONTRACTOR. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

- CEILING DEMOLITION PLAN  
SPECIFIC NOTES**
- REMOVE CEILING IN THIS ROOM AS REQUIRED FOR THE INSTALLATION OF NEW TOILET ROOM WALLS AND MEP WORK ABOVE CEILING. SALVAGE REMOVED TILES FOR MODIFICATION AND REINSTALLATION. REFER TO MEP DRAWINGS FOR ADDITIONAL DEMO SCOPE.
  - REMOVE AND MODIFY CEILING IN THIS ROOM AS REQUIRED FOR THE INSTALLATION OF NEW FOLDING PARTITION. SALVAGE REMOVED TILES FOR REINSTALLATION. MODIFY EXISTING GRID AS REQUIRED FOR SUPPORT WALL ABOVE PARTITION. REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE MODIFICATIONS.
  - EXISTING STUD BULKHEAD ABOVE REMOVED DOOR FRAME TO REMAIN AT 7'-2" A.F.F.
  - TEMPORARILY REMOVE CEILING TILES IN THIS ROOM/SPACE AS REQUIRED FOR ACCESS ABOVE CEILING FOR MEP MODIFICATIONS. SALVAGE TILES FOR REINSTALLATION.
  - TEMPORARILY REMOVE LIGHT FIXTURE FOR RELOCATION IN THIS ROOM. REFER TO ELECTRICAL DRAWINGS.
  - CUT OPENING IN EXISTING ROOFING AND ROOF DECK ABOVE FOR NEW EXHAUST FAN. REFER TO HVAC DRAWING. VERIFY LOCATION TO FIT EXISTING CONDITIONS.

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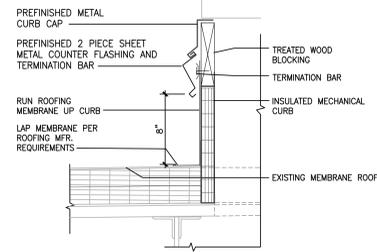
SHEET TITLE  
FIRST FLOOR  
CEILING DEMOLITION  
PLAN

SHEET NO.  
A102

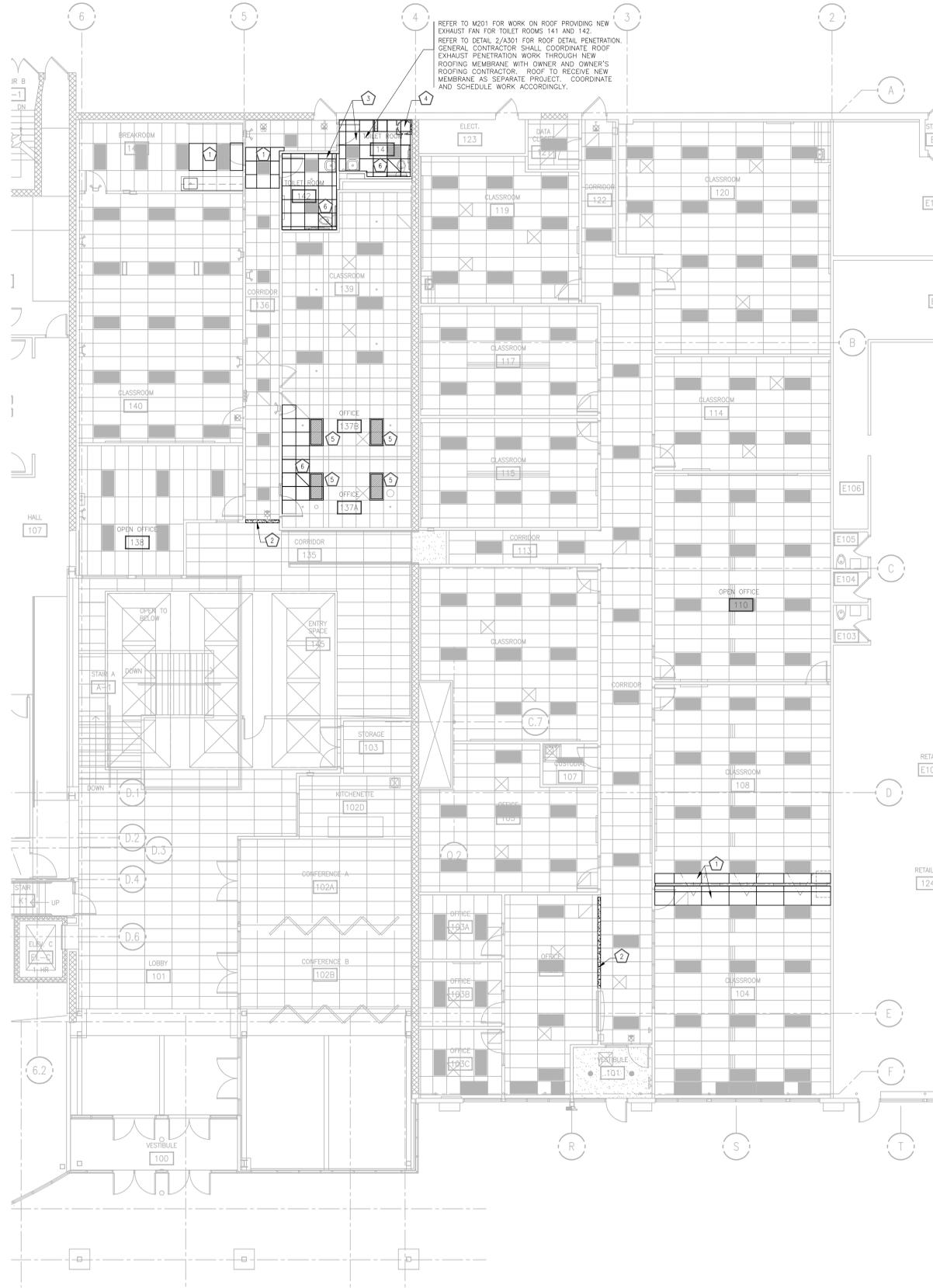
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**EQUIPMENT CURB**  
SCALE: 1 1/2" = 1'-0"



REFER TO M201 FOR WORK ON ROOF PROVIDING NEW EXHAUST FAN FOR TOILET ROOMS 141 AND 142.  
REFER TO DETAIL 2/A301 FOR ROOF DETAIL PENETRATION. GENERAL CONTRACTOR SHALL COORDINATE ROOF EXHAUST PENETRATION WORK THROUGH NEW ROOFING MEMBRANE WITH OWNER AND OWNER'S ROOFING CONTRACTOR. ROOF TO RECEIVE NEW MEMBRANE AS SEPARATE PROJECT. COORDINATE AND SCHEDULE WORK ACCORDINGLY.

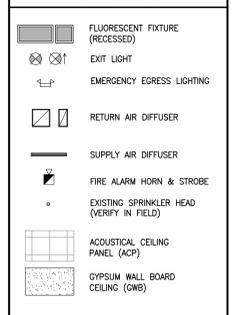
**CEILING PLAN GENERAL NOTES**

- EXISTING CONSTRUCTION TO REMAIN IS SHOWN SCREENED. NEW CONSTRUCTION WORK PROVIDED BY CONTRACTOR IS SHOWN WITH DARK HEAVY LINES.
- DIMENSIONS ARE GIVEN TO FINISHED FACE OF GYPSUM WALLBOARD AND/OR FACE OF MASONRY AND/OR FACE OF CONCRETE.
- PROTECT IN PLACE DURING CONSTRUCTION ALL SURFACES AND EQUIPMENT TO REMAIN.
- THE CONTRACTOR SHALL PATCH, PREPARE, REPAIR AND/OR RESTORE SURFACES SCHEDULED TO REMAIN INTACT THAT ARE DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
- COORDINATE WITH ALL DRAWINGS IN SET AND FIELD VERIFY EXISTING CONDITIONS AS REQUIRED.
- COORDINATE WITH OWNER ANY PROVIDED CEILING EQUIPMENT, DEVICES, AND OWNER PROVIDED SECURITY AND/OR TELECOM WORK. VERIFY WITH OWNER THE EXACT LOCATIONS OF OWNER-PROVIDED EQUIPMENT AND MATERIALS.
- PROVIDE TEMPORARY PARTITIONS AND/OR PLASTIC SHEETING BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS TO COMPLETELY ISOLATE CONSTRUCTION WORK. COORDINATE LOCATIONS WITH OWNER.
- COORDINATE WITH OWNER THE PROPOSED PROJECT SCHEDULE TO MINIMIZE DISRUPTION OF ADJACENT TENANTS AND/OR OTHER BUILDING OCCUPANTS. SEQUENCE ALL WORK ACCORDINGLY AND COORDINATE WITH ALL TRADES.
- COORDINATE ANY TEMPORARY POWER SHUT DOWNS AND/OR LOUD CONSTRUCTION PROCESSES WITH OWNER TO MINIMIZE DISRUPTION OF DAILY BUSINESS FUNCTIONS.
- REFER TO SHEET A001 FOR INTERIOR FINISHES AND SCHEDULES.
- REMOVE AND REPLACE ANY WATER STAINED OR DAMAGED TILE WITH OWNERS ATTIC STOCK.

**CEILING PLAN SPECIFIC NOTES**

- REINSTALL THE EXISTING ACOUSTIC CEILING TILES THAT WERE TEMPORARILY REMOVED FOR NEW WORK ABOVE CEILING.
- PROVIDE GWB BULKHEAD AT OPENING. PROVIDE DRYWALL AT BOTTOM OF EXISTING OPENING AT 7'-2". PAINT TO MATCH WALL COLOR. REFER TO ROOM FINISH SCHEDULE.
- REINSTALL SALVAGED ACOUSTIC CEILING TILE IN THIS ROOM. PROVIDE NEW SUSPENDED CEILING GRID IN THIS ROOM TO MATCH EXISTING. MATCH EXISTING ADJACENT CEILING HEIGHT.
- RELOCATED HOT WATER HEATING ON WALL MOUNTED SHELF ABOVE CEILING. REFER TO PLUMBING DRAWINGS.
- REINSTALL SALVAGED LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- REFER TO MECHANICAL DRAWINGS FOR ADDED RETURN DIFFUSER AND DUCTWORK IN THIS ROOM.

**REFLECTED CEILING PLAN LEGEND**



**FIRST FLOOR CEILING PLAN**  
SCALE: 1/8" = 1'-0"

DRAWING SET	CD
COPYRIGHT	2020
FILE NAME	2020012_A301.DWG

DRAWN	JWC
CHECKED	LLB
DATE	02-24-2020
PROJECT NO.	2020012

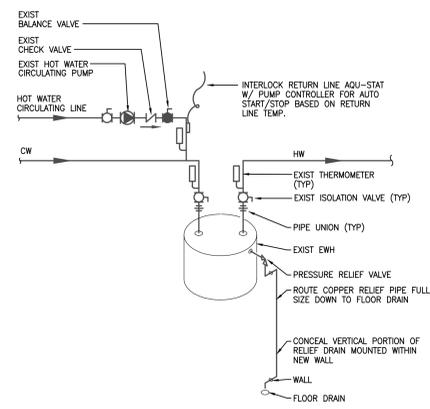
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**CDA - VILLAGE ON PARK - UW BOARD OF REGENTS TENANT IMPROVEMENT**

2238 S. PARK STREET  
MADISON, WI 53713

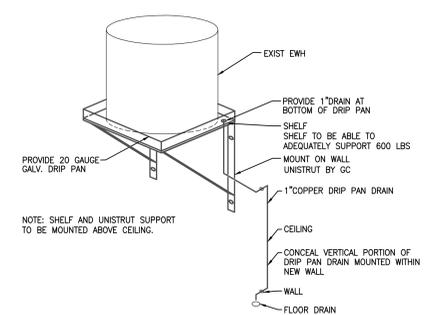
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SHEET NO.  
**A301**

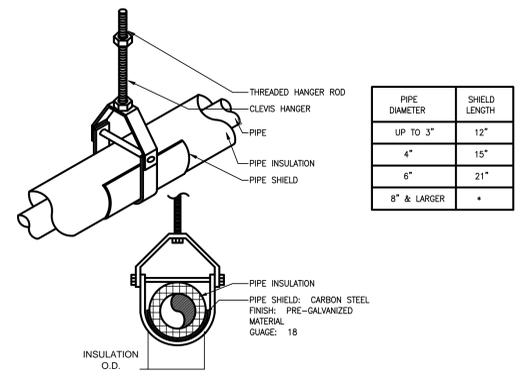
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1 WATER HEATER CONNECTION DETAIL  
SCALE: N.T.S.

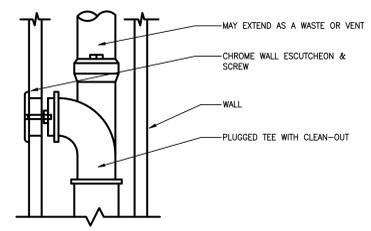


2 SHELF MOUNTED WATER HEATER DETAIL  
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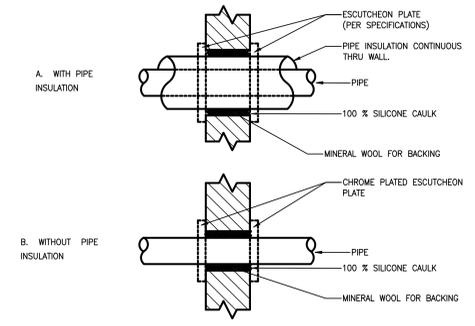


PIPE DIAMETER	SHIELD LENGTH
UP TO 3"	12"
4"	15"
6"	21"
8" & LARGER	*

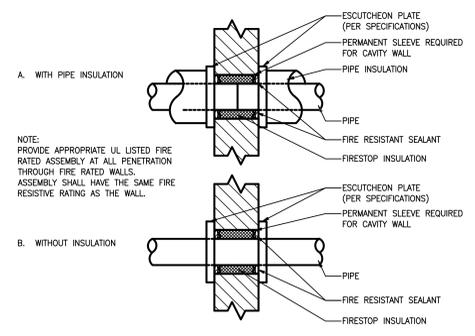
3 PIPE HANGER DETAIL  
SCALE: N.T.S.



4 WALL CLEAN OUT DETAIL  
SCALE: N.T.S.

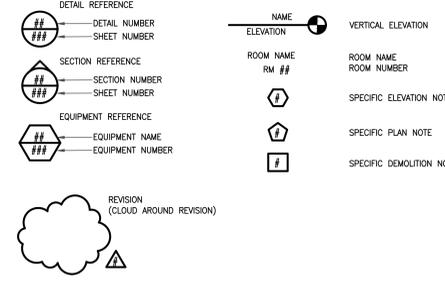


5 PIPE THRU WALL DETAIL  
SCALE: N.T.S.



6 PIPE THRU FIRE RATED WALL DETAIL  
SCALE: N.T.S.

REFERENCE SYMBOL LEGEND



GENERAL PLUMBING PLAN NOTES

- SCOPE OF PLUMBING WORK IS LIMITED TO ROOMS ED14, 140A, 141 AND 142.
- ALL PLUMBING WORK TO BE INSTALLED PER CURRENT WISCONSIN ADMINISTRATIVE PLUMBING CODE.
- NO PIPING SHALL BE ROUTED OVER IT, DATA, COMMUNICATION, ELECTRICAL PANELS, OR ACCESS PANELS FOR OTHER TRADES.
- ALL WASTE PIPING 3" AND LARGER SHALL BE SLOPED AT 1/8" FT.
- COORDINATE ROUTING AND INSTALLATION OF ALL WORK WITH ALL OTHER TRADES.
- ALL CLEAN OUTS AND SHUT-OFF VALVES TO BE LOCATED IN ACCESSIBLE AREAS.
- PROVIDE LOW POINT DRAINS ON TRAPPED WATER PIPING AS REQUIRED TO DRAIN ALL WATER FROM PIPES.
- PLUMBING CONTRACTOR SHALL VISIT AND VERIFY EXISTING CONDITIONS PRIOR TO START OF WORK.
- WHEN SLEEVE PENETRATIONS ARE NECESSARY, COORDINATE PENETRATIONS WITH ALL TRADES, THE ARCHITECT AND STRUCTURAL ENGINEER.
- DIV 22 CONTRACTOR TO REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS OF PLUMBING FIXTURES.
- REFER TO DRAWINGS AND SPECIFICATIONS OF OTHER TRADES AND DIVISIONS INCLUDING ARCHITECTURAL AND DIVISION 1, FOR INFORMATION AND GENERAL REQUIREMENTS.
- WHEN SLEEVE PENETRATIONS ARE NECESSARY, COORDINATE PENETRATIONS WITH ALL TRADES, THE ARCHITECT AND STRUCTURAL ENGINEER.

GENERAL PLUMBING PLAN DEMOLITION NOTES

- IT IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO FIELD VERIFY LOCATION OF ALL FIXTURES, PIPING & RELATED ACCESSORIES. IF DISCREPANCIES ARE FOUND, CONTRACTOR SHALL BRING THEM TO THE ARCHITECT AND ENGINEER FOR COORDINATION.
- MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING. COORDINATE WITH OWNER ANY DISRUPTIONS WHICH MAY BE REQUIRED TO COMPLETE THE WORK.
- PROTECT IN PLACE DURING THE ENTIRE CONSTRUCTION PROCESS: ALL FLOORING, SURFACES AND ITEMS TO REMAIN.
- COORDINATE WITH OWNER THE AVAILABILITY OF AREAS REQUIRING DEMOLITION. SEQUENCE WORK ACCORDINGLY AND COORDINATE WITH ALL TRADES.
- EXISTING CONSTRUCTION TO REMAIN AS SHOWN. CONSTRUCTION & EQUIPMENT TO BE REMOVED OR RELOCATED IS SHOWN WITH DASHED LINES.
- THE CONTRACTOR SHALL PATCH, REPAIR AND OR RESTORE SURFACES SCHEDULED TO BE KEPT INTACT THAT ARE DAMAGED AS A RESULT OF DEMOLITION WORK.
- CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
- DEMOLITION PLANS ARE NOT NECESSARILY INCLUSIVE OF ALL ITEMS NEEDING REMOVAL. COORDINATE WITH ALL OTHER DRAWINGS AND FIELD VERIFY EXISTING CONDITIONS.
- GIVE OWNER OPTION TO RETAIN ANY DEMOLISHED ITEMS, DISPOSE OF ALL FIXTURES AND ACCESSORIES THAT HAVE BEEN REMOVED THAT OWNER DOESN'T WISH TO RETAIN. NO PIPING SHALL BE REUSED.

PLUMBING LEGEND AND ABBREVIATIONS

— SAN	WASTE PIPE
— V	VENT PIPE
— ST	STORM DRAIN
— CW	DOMESTIC COLD WATER PIPE
— CSW	COLD SOFT WATER PIPE
— HW	DOMESTIC HOT WATER PIPE
— HWR	HOT WATER RETURN PIPE
— TW	TEMPERED WATER PIPE
— DI	DEIONIZED WATER SUPPLY
L	LAVATORY
S	SINK
WC	WATER CLOSET
FG	FOOD GRINDER
EWH	ELECTRIC WATER HEATER
CP	CIRCULATION PUMP
ET	EXPANSION TANK
CU	COPPER PIPE
○	BALL VALVE
⊗	CIRCUIT SETTER
⊕	DIAPHRAGM VALVE
⊖	PRESSURE REDUCING VALVE
⊘	BUTTERFLY VALVE
⊙	CHECK VALVE
⊚	GAS COCK
⊛	TEMPERING VALVE
⊜	TRIPLE DUTY VALVE
⊝	PUMP
⊞	PIPE UNION
⊟	BACKFLOW PREVENTER
●	FLOOR DRAIN
○	FLOOR CLEANOUT
⊠	CLEAN OUT/WALL CLEANOUT
⊡	PIPE UP
⊢	PIPE DOWN
⊣	PIPE CAP
⊤	PRESSURE GAUGE
⊥	THERMOMETER & WELL
⊦	FLOW DIRECTION
⊧	CONNECT TO EXISTING
⊨	WATER HAMMER ARRESTOR
⊩	ZERO STATIC DIAPHRAGM VALVE

PLUMBING FIXTURE SCHEDULE

IDENTITY	DESCRIPTION	MANUFACTURER	MODEL	TRIM	ACCESSORIES	REMARKS
L-1	LAVATORY	KOHLER	KINGSTON K-2005-0	KOHLER TRITON K-400T20-4ANL-CP FAUCET	KOHLER K-8998 P-TRAP AND SUPPLIES	
WC-1	WATER CLOSET	KOHLER	HIGHLINE K-3493-SS-0	EQUIPPED W/SLOAN FLUSHMATE FLUSH VALVE	KOHLER LUSTRA K-4666-CA TOILET SEAT AND SUPPLIES	
S-1	SINK	ELKAY	CROSSTOWN ECTSRA25226T6G3	ELKAY LX810GND4L2 FAUCET	ELKAY LX35 BASKET STRAINER, P-TRAP AND SUPPLIES	
FG-1	FOOD GRINDER	IN-SINK ERATOR	BADGER 5 XP			INSTALL ON BREAK ROOM SINK. COORDINATE WITH DIV 26.
FD-1	FLOOR DRAIN	ZURN	ZN-2210-PV3			

FIXTURE CONNECTION SCHEDULE

IDENTITY	FIXTURE	CW	HW	VENT	WASTE
WC-1	WATER CLOSET (FLOOR MOUNTED-TANK-ADA)	1/2"		2"	3"
L-1	LAVATORY (WALL HUNG-ADA)	1/2"	1/2"	1 1/2"	2"
S-1	SINK (WALL HUNG-ADA)	EXIST	EXIST	EXIST	EXIST
FD-1	FLOOR DRAIN				3"



ARCHITECTURE  
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SUITE 200  
MADISON, WI 53703  
1/ 608 276 9200

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DATE 02-24-2020  
PROJECT NO. 2020012  
PROJECT TITLE

CDA - VILLAGE ON  
PARK - UW BOARD  
OF REGENTS  
TENANT IMPROVEMENT

2238 S. PARK STREET  
MADISON, WI 53713

SHEET TITLE  
PLUMBING  
COVER SHEET

SHEET NO.  
P001

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**DIVISION 22 - PLUMBING**

**GENERAL REQUIREMENTS**

**CUTTING AND PATCHING**

HOLE CUTTING IS TO BE HELD TO A MINIMUM. FURNISH AND SET SLEEVES AS CONSTRUCTION PROCEEDS. IF THE CONTRACTOR NEGLECTS TO SET SLEEVES, HE RETAINS RESPONSIBILITY FOR CUTTING REQUIRED OPENINGS AND SHALL CUT SAME AS DIRECTED BY THE ARCHITECT. NO HOLE SHALL BE CUT FOR SLEEVES WITHOUT THE CONSENT OF THE GENERAL CONTRACTOR. WORK WILL BE DONE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR. NOTE: FIELD CUTTING OF STRUCTURAL STEEL BEAMS AND PURLINS WILL NOT BE PERMITTED FOR ALTERNATIVE ROUTING OF PIPING. IF ALTERNATIVE OPENINGS OR ADDITIONAL OPENINGS ARE REQUIRED, STRUCTURAL FABRICATOR SHALL BE NOTIFIED PRIOR TO STEEL FABRICATION AND COST OF MODIFICATION SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR.

ALL PATCHING INCIDENTAL TO THE INSTALLATION OF THIS WORK SHALL BE INCLUDED WHERE THIS CONTRACTOR HAS CUT THE OPENING. PATCHING WILL BE BY THE GENERAL CONTRACTOR, REIMBURSED BY THE CONTRACTOR RESPONSIBLE FOR THE CUTTING

**REMODELING WORK**

WHEREVER REMODELING WORK OR DEMOLITION OF EXISTING EQUIPMENT, PIPING, ETC. IS A PART OF PLANS AND SPECIFICATIONS, CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY EXAMINE ALL EXISTING CONDITIONS. PROVIDE ALL REQUIRED WORK NECESSARY FOR INTERCONNECTION OF EXISTING SERVICES WITH NEW SYSTEM AND REMOVAL OF EXISTING UNUSED COMPONENTS. COORDINATE AND SCHEDULE ALL SYSTEM SHUT-DOWNS WITH OCCUPANT PRIOR TO BEGINNING WORK.

CONTRACTORS SHALL NOTIFY THE ARCHITECT AT LEAST 10 DAYS PRIOR TO THE BID CLOSING DATE OF ANY DEVIATIONS OR REQUIRED CHANGES THAT ARE NOTICED. NO ALLOWANCE FOR ADDITIONAL COSTS FOR WORK RELATED TO EXISTING CONDITIONS WILL BE PERMITTED AFTER BIDDING UNLESS PROOF OF HIDDEN WORK, BREAKAGE OR DAMAGE COULD NOT BE DETERMINED BY INSPECTION OR EXAMINATION BY THE CONTRACTOR.

**HOUSEKEEPING**

THIS CONTRACTOR SHALL REMOVE DEBRIS CAUSED BY HIS OPERATIONS AS CONSTRUCTION PROGRESSES TO PROVIDE A SAFE AND CLEAN WORKING AREA. ON COMPLETION HE SHALL REMOVE ALL DEBRIS FROM HIS WORK AND LEAVE SAME NEAT AND CLEAN, READY FOR USE BY THE OWNER.

**PROTECTION OF MATERIALS AND EQUIPMENT**

MATERIALS AND EQUIPMENT SHALL BE PROTECTED AT ALL TIMES. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE CAUSED DIRECTLY OR INDIRECTLY BY THEIR EMPLOYEES. PIPE OPENINGS SHALL BE CLOSED WITH CAPS OR PLUGS DURING INSTALLATION. EQUIPMENT SHALL BE TIGHTLY COVERED AND PROTECTED AGAINST DIRT, WATER, AND CHEMICAL OR MECHANICAL INJURY. AT THE COMPLETION OF ALL WORK, THE EQUIPMENT SHALL BE THOROUGHLY CLEANED AND DELIVERED TO THE OWNER IN A CONDITION SATISFACTORY TO THE ENGINEER.

**VALVES**

**BALL VALVES**

VALVE SHALL HAVE PORT AREA EQUAL TO OR GREATER THAN CONNECTING PIPE AREA AND SHALL INCLUDE SEAT RING DESIGNED TO HOLD SEALING MATERIAL.

THREADED ENDS 2" AND SMALLER SHALL BE CLASS 125, BRONZE 2 OR 3-PIECE BODY, CHROME PLATED BRONZE BALL, BRONZE STEM, AND FULL PORT, LEVER HANDLE.

MANUFACTURER: SUBJECT TO COMPLIANCE WITH THE ABOVE, ONE OF THE FOLLOWING: NEXUS; FISHER; GRINNELL; HAMMOND; JENKINS; MILWAUKEE; NIBCO; SCOTT; STOCKHAM; VOGT; OR APPROVED EQUAL.

BACKFLOW PREVENTERS (CV) (WATER FILTER FOR SINK AND COFFEE MAKER)  
ASSE 1022 DUAL CHECK VALVE WITH ATMOSPHERIC VENT. 316 STAINLESS STEEL WITH ALL RUBBER COMPONENTS FOR CORROSION RESISTANCE. BACKFLOW PREVENTER FOR CARBONATED BEVERAGE MACHINES. EQUAL TO WATTS SD-3.

**DRAIN VALVES**

USE 3/4" BALL VALVE, LEAD FREE, WITH THREADED HOSE ADAPTOR WHERE INDICATED. (NIBCO T585-70-LF-HC, S585-66-LF-HC)

TWO-PIECE BODY ASTM B584, FULL PORT BRONZE TRIM, 3/4" HOSE CONNECTION WITH CAP AND CHAIN, BLOWOUT PROOF STEM, MSS SP-110. NIBCO S-585-70-HC OR APPROVED EQUAL.

MANUFACTURER: SUBJECT TO COMPLIANCE WITH THE ABOVE, ONE OF THE FOLLOWING: NEXUS; FISHER; GRINNELL; HAMMOND; JENKINS; MILWAUKEE; NIBCO; SCOTT; STOCKHAM; VOGT; OR APPROVED EQUAL.

**INSULATION**

**FIBERGLASS PIPE INSULATION**

FIBERGLASS PIPE INSULATION SHALL BE RIGID HEAVY DENSITY INSULATION WITH "K" FACTOR OF .23 AT 75OF AND FACTORY APPLIED FIRE RETARDANT VAPOR BARRIER JACKET OF WHITE KRAFT BONDED TO ALUMINUM FOIL WITH FIBERGLASS REINFORCING. MANVILLE MICROLOK 650 OR EQUAL.

**FIBERGLASS PIPE FITTING INSULATION**

AHOT WATER PIPE FITTINGS AND VALVES SHALL BE INSULATED WITH PREMOLEDDED FIBERGLASS FITTINGS OR MINERAL WOOL CEMENT WITH 1/4" COAT OF HYDRAULIC SETTING FINISHING CEMENT TO A THICKNESS EQUAL TO ADJACENT PIPE INSULATION. VAPOR SEAL FITTINGS WITH FIBERGLASS TAPE AND COMPLETELY SEAL WITH BENJAMIN FOSTER 30\_35. PREFORMED PVC JACKETS MAY BE USED.

ALL OTHER PIPE FITTINGS AND VALVES MAY BE INSULATED WITH FIBERGLASS MITER SEGMENTS OF EQUAL THICKNESS OF ADJOINING INSULATION WITH 1/4" COAT OF HYDRAULIC SETTING FINISHING CEMENT. VAPOR SEAL FITTINGS WITH FIBERGLASS TAPE AND COMPLETELY SEAL WITH BENJAMIN FOSTER 30\_35.

ANSI/ASTM C547, .24 MAXIMUM "K" VALUE AT 75° F NON-COMBUSTIBLE. ALL PURPOSE, WHITE KRAFT JACKET BONDED TO ALUMINUM FOIL AND REINFORCED WITH FIBERGLASS, 25/50 FLAME SPREAD/SMOKE DEVELOPED RATING.

**FIRE BARRIER PLENUM WRAP**

ALL AREAS OF DROPPED CEILING ARE RETURN AIR PLENUMS. ALL NEW AND EXISTING PIPING WITHIN THESE AREAS WILL BE REQUIRED TO BE A PLENUM RATED MATERIAL OR BE WRAPPED WITH PLENUM RATED INSULATION OR FIRE WRAP.

FIRE RESISTANT FLEXIBLE FIBER WRAP CONSISTING OF INORGANIC BLANKET ENCAPSULATED WITH A SCRIM-REINFORCED FOIL PROVIDING A NON-COMBUSTIBLE ENCLOSURE FOR COMBUSTIBLE PLASTIC PIPES IN RETURN AIR PLENUMS AS TESTED TO ASTM E 84, NFPA 262, UL 910, UL 1887. 3M FIRE BARRIER PLENUM WRAP 5A+ OR EQUAL. RECOMMENDED FOR PVC, CPVC, PB, PE, PP, PVDF, AND ABS PIPES IN RETURN PLENUMS.

**WATER PIPING**

**DOMESTIC HOT, COLD AND RECIRCULATION WATER PIPING**

ALL AREAS OF DROPPED CEILING ARE RETURN AIR PLENUMS. ALL NEW AND EXISTING PIPING WITHIN THESE AREAS WILL BE REQUIRED TO BE A PLENUM RATED MATERIAL OR BE WRAPPED WITH PLENUM RATED INSULATION OR FIRE WRAP.

GENERAL: PROVIDE PIPING MATERIALS OF FACTORY FABRICATED PIPING PRODUCTS OF SIZES, TYPES, PRESSURE AND TEMPERATURE RATINGS, AND CAPACITIES AS INDICATED. WHERE NOT INDICATED, PROVIDE PROPER SELECTION AS DETERMINED BY INDUSTRY STANDARDS AND GOVERNING REGULATIONS. WHERE MORE THAN ONE TYPE OF MATERIALS OR PRODUCTS IS INDICATED, SELECTION IS INSTALLER'S OPTION.

**ABOVE GROUND PIPING**

TYPE L COPPER WATER TUBE, H (DRAWN) TEMPER, ASTM B88; WROUGHT COPPER PRESSURE FITTINGS, ANSI B16.22; LEAD FREE (< 2%) SOLDER, ASTM B32; FLUX, ASTM B813; COPPER PHOSPHOROUS BRAZING ALLOY, AWS A5.8 BCUP.

H (DRAWN) TEMPER, ASTM B 75, OR ASTM B88; WROUGHT COPPER PRESSURE FITTINGS, ANSI B16.22; LEAD FREE (< 2%) SOLDER, ASTM B32; FLUX, ASTM B813; COPPER PHOSPHOROUS BRAZING ALLOY, AWS A5.8 BCUP. COPPER MECHANICAL GROOVED FITTINGS AND COUPLINGS ON ROLL GROOVED PIPE MAY BE USED IN LIEU OF SOLDERED FITTINGS.

WHERE ASTM B88, TYPE L (DRAWN) TEMPER COPPER TUBING IS SPECIFIED, ASTM B88, TYPE K (DRAWN) TEMPER COPPER TUBING MAY BE SUBSTITUTED AT CONTRACTOR'S OPTION.

**WASTE PIPING**

**SOIL WASTE AND VENT PIPING**

GENERAL: PROVIDE PIPING MATERIALS AND FACTORY FABRICATED PIPING PRODUCTS OF SIZES, TYPES, PRESSURE RATINGS AND CAPACITIES AS INDICATED. WHERE NOT INDICATED, PROVIDE PROPER SELECTION AS DETERMINED BY INDUSTRY STANDARDS AND GOVERNING REGULATIONS. WHERE MORE THAN ONE TYPE OF MATERIALS OR PRODUCTS IS INDICATED, SELECTION IS INSTALLER'S OPTION.

ALL AREAS OF DROPPED CEILING ARE RETURN AIR PLENUMS. ALL NEW AND EXISTING PIPING WITHIN THESE AREAS WILL BE REQUIRED TO BE A PLENUM RATED MATERIAL OR BE WRAPPED WITH PLENUM RATED INSULATION OR FIRE WRAP.

**ABOVE GROUND PIPING**

SERVICE WEIGHT CAST IRON HUB AND SPIGOT SOIL PIPE WITH LEAD AND OAKUM JOINTS.

SERVICE WEIGHT CAST IRON NO\_HUB SOIL PIPE ASTM A888 WITH NO\_HUB JOINTS CONFORMING TO CAST IRON SOIL PIPE INSTITUTE 301.72, CISPI 301, CISPI 310, ASTM A74 AND BE LISTED BY NSF INTERNATIONAL. PIPE AND FITTINGS SHALL BE MARKED WITH THE COLLECTIVE TRADEMARK OF THE CAST IRON PIPE INSTITUTE OR RECEIVE PRIOR APPROVAL OF THE ENGINEER. CAST IRON PIPING AND FITTINGS SHALL BE OF A B & I FOUNDRY, CHARLOTTE PIPE AND FOUNDRY, OR TYLER PIPE MANUFACTURERS.

PVC TYPE DWV PIPE AND FITTINGS: SCHEDULE 40, CLASS 12454-B (PVC 1120), ASTM D1785; PVC PLASTIC DRAIN, WASTE AND VENT PIPE AND FITTINGS, ASTM D2665; SOCKET FITTING PATTERNS, ASTM D3311; PRIMER, ASTM F656; SOLVENT CEMENT, ASTM D2564.

CPVC TYPE DWV PIPE AND FITTINGS: SCHEDULE 40 CLASS 23447 PER ASTM D1784, ASTM D2846; CPVC PLASTIC DRAIN, WASTE AND VENT PIPE AND FITTINGS, ASTM D2846; SOCKET FITTING PATTERNS, ASTM D3311; PRIMER, ASTM F656; SOLVENT CEMENT, ASTM D2564. ALL CPVC SCHEDULE 80 FITTINGS SHALL BE BY THE SAME MANUFACTURER, CELL CLASSIFICATION 23447 CONFORMING TO ASTM STANDARD D 1784. ALL INJECTION MOLDED FITTINGS THROUGH 12" SHALL BE MANUFACTURED IN COMPLIANCE TO ASTM F 439 AND ALL PIPING THROUGH 16" SHALL BE MANUFACTURED IN COMPLIANCE TO ASTM F 441. ALL PIPES AND FITTINGS SHALL BE CERTIFIED BY NSF INTERNATIONAL FOR USE IN POTABLE WATER SERVICE.

**PLUMBING FIXTURES**

**CLEANOUTS**

INTERIOR FINISHED WALL AREAS: LINE TYPE CLEANOUT TEE WITH TAPERED THREADED ABS CLEANOUT PLUG, ROUND POLISHED STAINLESS STEEL ACCESS COVER SECURED WITH MACHINE SCREW. ZURN Z-1446- (NOTE: SCREW SHALL NOT PASS COMPLETELY THROUGH THE ABS PLUG, TRIM SCREW AS NECESSARY)

INTERIOR HORIZONTAL LINES: CAST IRON HUB WITH TAPPED FERRULE AND TAPERED THREADED ABS OR PVC CLOSURE PLUG, OR NO-HUB COUPLING AND BLIND PLUG.

**LAVATORIES (L-1)**

KOHLER KINGSTON MODEL K-2005-0, VITREOUS CHINA, WALL MOUNT INSTALLATION, SUPPLIED WITH WALL HANGER, SINGLE COMPARTMENT LAVATORY WITH 3 FAUCET HOLES. UNIT SIZE: 21 1/2" X 18 1/2". INSTALL PER ADA. INSTALL WITH KOHLER K-8998 P-TRAP, FLEXIBLE STAINLESS STEEL SUPPLY HOSES AND STAINLESS STEEL VALVE STOPS.

FAUCET: KOHLER TRITON, MODEL K-400T20-4ANL-CP. SOLID, ONE-PIECE BRASS CONSTRUCTION, 4" CENTERS, BRASS VALVE BODIES AND QUARTER-TURN WASHER CERAMIC DISC VALVES WITH LEVER HANDLES.

**WATER CLOSET (WC-1)**

KOHLER HIGHLINE MODEL K-3493-SS-0, TWO-PIECE ANTI-MICROBIAL, VITREOUS CHINA, FLOOR MOUNTED TOILET, WITH ELONGATED BOWL AND POLISHED CHROME TRIP LEVER. INSTALL WITH KOHLER LUSTRA SEAT, MODEL K-4666-CA ANTI-MICROBIAL ELONGATED SEAT AND FLEXIBLE STAINLESS STEEL SUPPLY HOSES AND STAINLESS STEEL VALVE STOPS.

**SINK (S-1)**

ELKAY CROSSTOWN MODEL ECTSAD25226TBG3, 18-GAUGE, 304 STAINLESS STEEL, UNDERCOUNTER MOUNT, SINGLE COMPARTMENT SINK WITH 3 FAUCET HOLES. COMPARTMENT SIZE 22.5" X 16.75" X 6" DEEP. INSTALLED PER ADA. INSTALL WITH FOOD GRINDER FG-1.

FAUCET: ELKAY FAUCET MODEL LK810GN04L2, ADA, 4" GOOSENECK SPOUT, 8" CENTERS, CHROME PLATED BRASS CONSTRUCTION, QUARTER TURN CERAMIC DISC VALVES, FLEXIBLE STAINLESS STEEL SUPPLY HOSES. INSTALL WITH ELKAY MODEL LK35 BASKET STRAINER WITH NEOPRENE STOP AND 1-1/2" TAILPIECE, 1-1/2" CAST BRASS TRAP.

**FOOD GRINDER (FG-1)**

AUTOMATIC REVERSING 1725 RPM MOTOR STAINLESS STEEL GRINDING CHAMBER, CAST NICKEL-CHROME CUTTING ELEMENTS, 9.5 AMPS/120 VOLTS/SINGLE PHASE POWER. UNIT MOUNTING SHALL FIT A 3-1/2" TO 4" SINK OPENING. PROVIDE CORD AND PLUG FOR STANDARD ELECTRICAL JUNCTION BOX, WITH SWITCH OPERATION. 1-1/2" CAST BRASS TRAP. (3/4 HP)

**WATER FILTER (WF-1)**

INSIKERATOR HEATER AND INSINKERATOR WATER FILTER UNIT. STAINLESS STEEL HOT WATER TANK (HWT-F1000S), AND WATER FILTRATION SYSTEM (F-1000S). INSTALL WITH AL REQUIRED SHUT-OFF VALVES AND BACKFLOW PREVENTION (CV AS SHOWN ON THE DRAWINGS), DIV 22 TO INSTALL DRAIN TUBING UPSTREAM OF SINK (S-1) PLUMBING TRAP WITH APPROPRIATE AIR GAP. 115 VOLTS, 750 WATTS, 6.25 AMPS.

**WALL BOX (WB-1)**

SIoux CHIEF SERIES 696 1/2" COMPRESSION OUTLET CONNECTION OUTLET BOX. SECURE ABS OUTLET BOX TO NEARBY WALL STUDS WITH PROVIDED METAL SUPPORT BRACKET. PROVIDE APPROPRIATE SPACING FROM SINK FOR COFFEE MAKER LOCATION ON COUNTERTOP. INSTALL 1/2" CW SUPPLY (FROM WF-1) TO BOTTOM OF OUTLET BOX. INSTALL WITH NO LEAD VALVE AND ASSE#1010 WATER HAMMER ARRESTER. TRIM OUTLET BOX WITH 6961010 MF FRAME. CONNECT 1/2" COMPRESSION OUTLET CONNECTION TO COFFEE MAKER (COFFEE MAKER BY OTHERS).

**FLOOR DRAIN (FD-1)**

ZURN MODEL ZN-2210-PV3. ADJUSTABLE FLOOR DRAIN. LIGHT DUTY CONSTRUCTION. COMPLETE WITH PVC BODY, ADJUSTABLE NICKEL BRONZE HEAD AND SECURED HEEL PROOF GRATE.

DRAWING SET	CD
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FILE NAME	2020012_P002.DWG

DRAWN	JP
CHECKED	JP
DATE	02-24-2020
PROJECT NO.	2020012
PROJECT TITLE	

**CDA - VILLAGE ON PARK - UW BOARD OF REGENTS TENANT IMPROVEMENT**

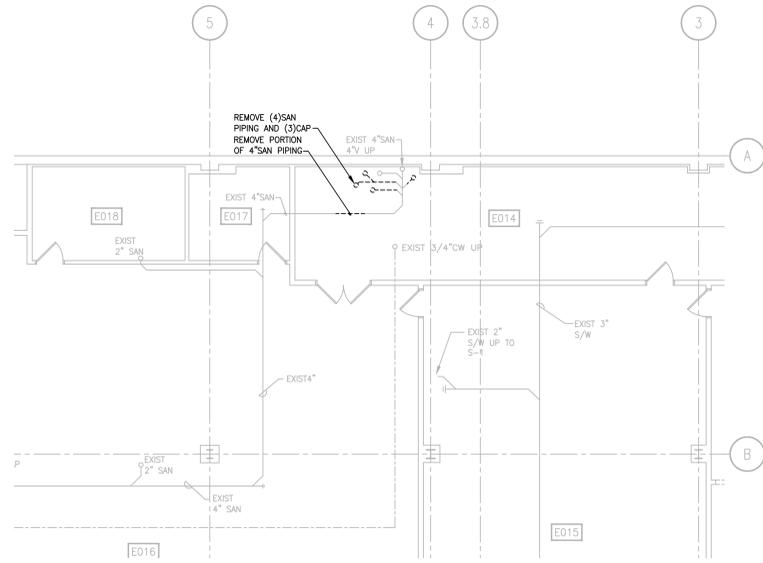
2238 S. PARK STREET  
MADISON, WI 53713

**SHEET TITLE**

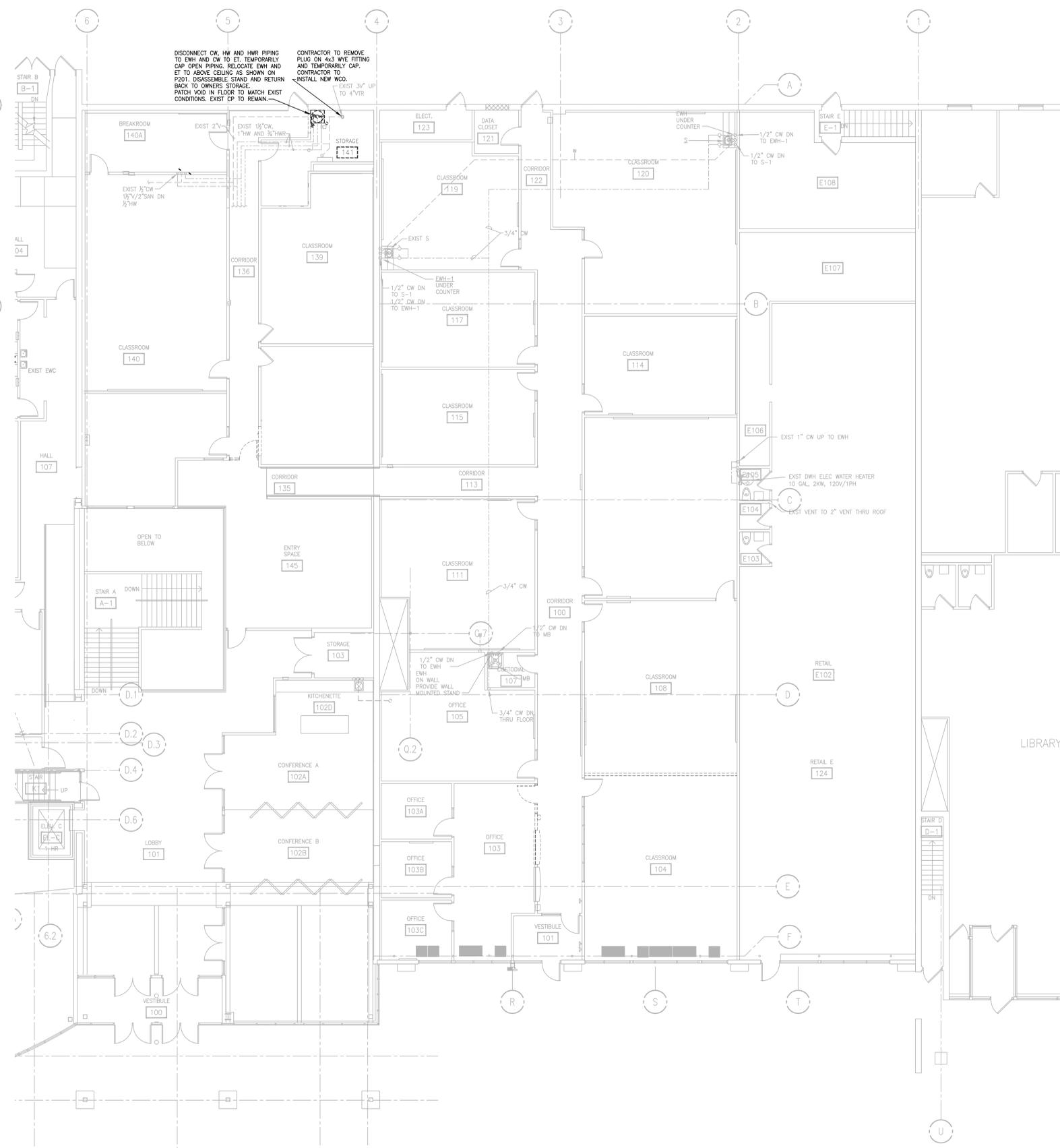
**PLUMBING SPECIFICATIONS**

**SHEET NO.**

**P002**



**LOWER LEVEL PLUMBING DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"  
0 1 2 4 8 16



**FIRST FLOOR PLUMBING DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"  
0 1 2 4 8 16

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DATE	02-24-2020
PROJECT NO.	2020012
PROJECT TITLE	

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2238 S. PARK STREET  
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SHEET TITLE  
**PLUMBING DEMOLITION PLANS**

SHEET NO.  
**P101**

JEFF CONNELLY 2020-02-24 2:27 PM K:\2020\202012\_CDA\_VILLAGE\_ON\_PARK\_TENANT\_IMPROVEMENT\_DRAWINGS\2020012\_P101.DWG







ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN

STRANG INC.  
811 E WASHINGTON AVENUE  
SUITE 200  
MADISON, WI 53703  
7/ 608 276 9200

ELECTRICAL ABBREVIATIONS			
A/C	AIR CONDITIONING	HOA	HAND-OFF-AUTOMATIC SWITCH
AFF	ABOVE FINISH FLOOR	HORIZ	HORIZONTAL
AIC	AMPERE INTERRUPTING CAPACITY	HP	HORSEPOWER
AL	ALUMINUM	HT	HEIGHT
ALT	ALTERNATE	HT	HEIGHT
APPROX	APPROXIMATELY	IG	ISOLATED GROUND
AMP	AMPERE	IT	INFORMATION TECHNOLOGY
ARCH	ARCHITECT, ARCHITECTURAL	JB	JUNCTION BOX
ATS	AUTOMATIC TRANSFER SWITCH		
AUX	AUXILIARY		
AV	AUDIO VISUAL	KV	KILOVOLT
BFG	BELOW FINAL GRADE	KVA	KILOVOLT-AMPERE
BLDG	BUILDING	KVAR	KILOVOLT-AMPERE REACTIVE
BSC	BIO SAFETY CABINET	KW	KILOWATT
		KWH	KILOWATT HOUR
C	CONDUIT	LTS	LIGHTS
CB	CIRCUIT BREAKER	LV	LOW VOLTAGE
CLG	CEILING		
CM	CONSTRUCTION MANAGER	NB	MAIN BREAKER
COMB	COMBINATION STARTER	NC	MECHANICAL/HVAC CONTRACTOR
CONN	CONNECTION	MCC	MOTOR CONTROL CENTER
CONT	CONTINUOUS CONTINUATION	MIN	MINIMUM
C/T	CURRENT TRANSFORMER	MISC	MISCELLANEOUS
CTR	CENTER	MLO	MAIN LUG ONLY
CU	COPPER	MMS	MANUAL MOTOR STARTER
		MOA	MULTI-OUTLET ASSEMBLY
DC	DIRECT CURRENT	MTR	MOTOR
DISC	DISCONNECT	MTS	MANUAL TRANSFER SWITCH
DIST	DISTRIBUTION	MW	MICROWAVE OVER
DIV	DIVISION		
DWG	DRAWING	N.C.	NORMALLY CLOSED
		NEC	NATIONAL ELECTRICAL CODE
EBU	EMERGENCY BATTERY UNIT	NEMA	NATIONAL ELECTRICAL MANUFACTURER'S ASSOC.
EC	ELECTRICAL CONTRACTOR	NFSS	NON-FUSED SAFETY SWITCH
ECB	ENCLOSED CIRCUIT BREAKER	NIC	NOT IN CONTRACT
ELCU	EMERGENCY LIGHTING CONTROL UNIT	NL	NIGHTLIGHT
ELEC	ELECTRICAL	N.O.	NORMALLY OPEN
ELEV	ELEVATOR	NST	NOT TO SCALE
EM	EMERGENCY	NU	NEAR UNIT
EMT	ELECTRICAL METAL TUBING	OCPO	OVER-CURRENT PROTECTION DEVICE
EP	ELECTRIC PNEUMATIC EQUIPMENT	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
EQUIP	ELEVATOR RECALL	OFDI	OWNER FURNISHED, OWNER INSTALLED
ER	EXISTING TO REMAIN	OL	OVERLOAD
EWC	ELECTRIC WATER COOLER	OU	ON UNIT
EXH	EXHAUST		
XP	EXPLOSION PROOF	P	POLE
		PBC	PLUMBING CONTRACTOR
F	FUSE	PDO	POWER DOOR OPERATOR
FA	FIRE ALARM	PE	PNEUMATIC ELECTRIC
FSS	FUSED SAFETY SWITCH	PF	POWER FACTOR
FL	FLOOR	PH	PHASE
FPC	FIRE PROTECTION CONTRACTOR	PNL	PANEL
		PP	POWER POLE
GALV	GALVANIZED	PR	PAIR
GC	GENERAL CONTRACTOR	PRI	PRIMARY
GD	GARBAGE DISPOSAL	PRV	POWER ROOF VENTILATOR
GFI	GROUND FAULT CIRCUIT INTERRUPTER	PT	POTENTIAL TRANSFORMER
GND	GROUND	PVC	POLYVINYL CHLORIDE
GYP	GYPSUM		
RE	RELOCATED FROM EXISTING		
REL	RELOCATED		
REQ'D	REQUIRED		
SHT	SHEET		
S/N	SOLID NEUTRAL		
SMR	SURFACE METAL RACEWAY		
SPEC	SPECIFICATION		
SPKR	SPEAKER		
SPARE	SPARE		
SPD	SURGE PROTECTIVE DEVICE		
STD	STANDARD		
SUSP	SUSPENDED		
SW	SWITCH		
SWBD	SWITCHBOARD		
SWGR	SWITCHGEAR		
SYM	SYMMETRICAL SYSTEM		
TR	TAMPER RESISTANT		
TA	TEMPERATURE ALARM		
TCP	TEMPERATURE CONTROL PANEL		
TDD	TEXT TELEPHONE		
TEL	TELEPHONE		
TERM	TERMINAL		
TRNSFR	TRANSFORMER		
TV	TELEVISION		
TYP	TYPICAL		
UCR	UNDER CABINET REFRIGERATOR		
UE	UNDERGROUND ELECTRICAL		
UG	UNDERGROUND		
UH	UNIT HEATER		
UNO	UNLESS NOTED OTHERWISE		
UT	UNDERGROUND TELEPHONE		
V	VOLT		
VA	VOLT AMPERE		
VERT	VERTICAL		
VFD	VARIABLE FREQUENCY DRIVE		
VOL	VOLUME		
VSD	VARIABLE SPEED DRIVE		
W	WATT		
W/	WITH		
WC	WATER CLOSET		
W/O	WITHOUT		
WP	WET LOCATION/WEATHERPROOF		

RECEPTACLE DEVICE SYMBOLS	
SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE 18" AFF UNLESS NOTED OTHERWISE ABOVE COUNTER
	SIMPLEX RECEPTACLE NEMA DESIGNATION AS NOTED ON PLANS ABOVE COUNTER
	DOUBLE DUPLEX RECEPTACLE ABOVE COUNTER

WHERE RECEPTACLES OR DATA DEVICES ARE NOTED AS "ABOVE COUNTER" THEY SHALL BE MOUNTED 8" ABOVE COUNTER OR 44" AFF WHERE NOT LOCATED ABOVE A COUNTER, UNLESS OTHERWISE NOTED ON PLANS OR SHOWN ON ARCHITECTURAL ELEVATIONS.

POWER DISTRIBUTION SYMBOLS	
SYMBOL	DESCRIPTION
	MOTOR OR ELECTRICAL CONNECTION TO EQUIPMENT. SEE ELECTRICAL CONNECTION SCHEDULE (UNO)
	PANELBOARD
	SPECIAL PURPOSE OUTLET - SEE SCHEDULE (UNO)
	NON-FUSED SAFETY DISCONNECT SWITCH
	FUSED SAFETY DISCONNECT SWITCH
	CIRCUIT BREAKER DISCONNECT SWITCH
	TRANSFORMER - SEE SCHEDULE (UNO)

MISCELLANEOUS SYMBOLS	
SYMBOL	DESCRIPTION
	SPECIFIC DEMOLITION NOTE SHEET SYMBOL
	SPECIFIC NOTE SHEET SYMBOL
	NORTH ARROW SHEET SYMBOL
	DETAIL NUMBER SHEET SYMBOL
	REFERENCE TO PLAN NUMBER/SHEET NUMBER
	JUNCTION BOX
	TELECOMMUNICATIONS OUTLET

- ### GENERAL ELECTRICAL NOTES:
- MOUNT EQUIPMENT AT NORMAL MOUNTING HEIGHT INDICATED ON DRAWINGS OR DETAILED ON ARCHITECTURAL ELEVATIONS.
  - INSTALL INSULATED GREEN GROUND CONDUCTOR WITH ALL BRANCH CIRCUIT AND FEEDER CONDUCTORS, SIZE PER NEC TABLE 250.122.
  - ELECTRICAL CONTRACTOR SHALL PROVIDE SLEEVED OPENING WHERE REQUIRED TO RUN CONDUITS AND CABLE SYSTEMS THROUGH SLABS, WALLS, CEILING, AND BRIDGING, EXCEPT WHERE OTHERWISE NOTED.
  - CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF ALL EXISTING SERVICES AFFECTED BY THIS PROJECT.
  - THE CONTRACTOR SHALL REFER TO DRAWINGS AND SPECIFICATIONS OF OTHER SECTIONS FOR ADDITIONAL/RELATED ELECTRICAL REQUIREMENTS AS LISTED IN THE RESPECTIVE DIVISIONS.
  - ALL WORK SHOWN IS DIAGNOSTIC IN NATURE AND INTENDED TO ILLUSTRATE GENERAL INTENT ONLY. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL ADDITIONAL LABOR, MATERIALS, ACCESSORIES, EQUIPMENT, ETC. REQUIRED TO CREATE A FULLY FUNCTIONAL SYSTEM IN ACCORDANCE WITH THESE DRAWINGS, APPLICABLE CODES, AND INDUSTRY STANDARDS.
  - ELECTRICAL CONTRACTOR SHALL FULLY COORDINATE WITH ALL OTHER CONTRACTORS TO ENSURE CONFLICTS DO NOT ARISE. ALL COORDINATION CONFLICTS BETWEEN CONTRACTORS SHALL BE RESOLVED IN A MANNER THAT IS ACCEPTABLE TO OWNER, ARCHITECT, AND ENGINEER, AT NO COST TO THE PROJECT.
  - ALL ELECTRICAL CONNECTIONS TO OTHER CONTRACTORS' EQUIPMENT SHALL BE FULLY COORDINATED WITH THE PROVIDING CONTRACTOR PRIOR TO ROUGH-IN. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL ADJUSTMENTS NEEDED TO PROVIDE POWER TO EQUIPMENT.
  - REFER TO SHEET E002 FOR PROJECT SPECIFICATIONS.
  - COORDINATE EXACT ELECTRICAL CONNECTION LOCATIONS FOR EQUIPMENT FURNISHED BY OTHER DIVISIONS/OWNER SUPPLIERS WITH RESPECTIVE SUPPLYING VENDOR. LOCATIONS SHOWN ARE FOR BIDDING PURPOSES. EXACT LOCATIONS SHALL BE IDENTIFIED AND COORDINATED BY CONTRACTOR.

LIGHTING SYMBOLS	
LUMINAIRES ARE DENOTED ON THE PLANS BY SYMBOLS WITH THE APPROXIMATE DIMENSIONS OF THE ACTUAL FIXTURE, BUT ARE INTENDED TO BE PLACEHOLDERS ONLY. REFER TO MANUFACTURER SPECIFICATIONS FOR ALL REQUIREMENTS.	
	FIXTURE ID (SEE LUMINAIRE SCHEDULE)
	CIRCUIT DESIGNATION AND SWITCH ZONE DESIGNATION
SWITCH ZONE DESIGNATIONS ON FIXTURES CORRESPOND WITH CONTROL DEVICES (I.E. SWITCHES, SENSORS, ETC) WITH THE SAME DESIGNATION	
	CEILING MOUNTED DOWNLIGHT
	2x2 RECESSED MOUNTED LUMINAIRE
	1x4 RECESSED MOUNTED LUMINAIRE
	2x4 RECESSED MOUNTED LUMINAIRE
	4' LINEAR PENDANT LUMINAIRE
	1x4 SURFACE MOUNTED LINEAR LUMINAIRE
	WALL MOUNTED SURFACE LUMINAIRE
	UNDERCABINET SURFACE LUMINAIRE
	FULL SHADING INDICATES LUMINAIRE ON NEC 700 BRANCH
	CEILING MOUNTED EXIT SIGN
	WALL MOUNTED EXIT SIGN
	EMERGENCY EGRESS LIGHTING BATTERY PACK WITH HEADS
	PENDANT MOUNTED DOWNLIGHT

LIGHTING DEVICE SYMBOLS	
SYMBOL	DESCRIPTION
	DUAL TECHNOLOGY WALLBOX SWITCH & OCCUPANCY SENSOR
	TOGGLE SWITCH "o" INDICATES FIXTURE CONTROLLED
	TOGGLE SWITCH 3-WAY "o" INDICATES FIXTURE CONTROLLED
	TOGGLE SWITCH 4-WAY "o" INDICATES FIXTURE CONTROLLED
	WIRELESS LOW VOLTAGE LUTRON SWITCH "o" INDICATES FIXTURE CONTROLLED
	CEILING OCCUPANCY SENSOR, DUAL TECHNOLOGY LV - LOW VOLTAGE, LUTRON

FIRE ALARM DEVICE SYMBOLS	
SYMBOL	DESCRIPTION
	WALL AUDIBLE/VISUAL FIRE ALARM NOTIFICATION DEVICE "S" INDICATES MINIMUM VISUAL APPLIANCE CANCELLA RATING (TYP.)
	WALL VISUAL-ONLY NOTIFICATION DEVICE
	CEILING MOUNTED AUDIBLE/VISUAL NOTIFICATION DEVICE
	FIRE ALARM MANUAL PULL STATION
AUDIBLE NOTIFICATION APPLIANCES SHALL BE TEMPORAL TYPE, UNO.	
	SMOKE DETECTOR
	DUCT SMOKE DETECTOR

LINETYPE EXPLANATION	
	SOLID DEVICES, LUMINAIRES, AND EQUIPMENT SHOWN WITH A HALF-TONE LINETYPE ARE EXISTING AND SHALL REMAIN IN PLACE.
	DASHED DEVICES, LUMINAIRES, AND EQUIPMENT ARE TO BE DEMOLISHED AS PART OF THIS WORK.
	SOLID DEVICES, LUMINAIRES, AND EQUIPMENT SHOWN WITH A DARK LINETYPE ARE NEW AND ARE BEING INSTALLED AS PART OF THIS WORK.

DRAWING SET	CD
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DATE	02-24-2020
PROJECT NO.	2020012
PROJECT TITLE	

CDA - VILLAGE ON  
PARK - UW BOARD  
OF REGENTS  
TENANT IMPROVEMENT

2238 S. PARK STREET  
MADISON, WI 53713

SHEET TITLE  
ELECTRICAL SYMBOLS,  
ABBREVIATIONS AND  
GENERAL NOTES

SHEET NO.  
E001

14 04/18 2020/01/24 09:00

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Village on Park  
Tenant Improvements  
2300 S. Park Street  
Madison, Wisconsin 53713

#### DIVISION 26 ELECTRICAL

#### SECTION 26 00 00 - ELECTRICAL GENERAL REQUIREMENTS

GENERAL: The Electrical Contractor (EC) shall provide all labor and materials to effect a complete electrical installation in accordance with plans and specifications. All drawings and general provisions of the Contract, including Division 01 Specification Sections, apply to this Section and the work of this Contractor.

EC shall review the entire set of documents, including those in the scope of all others, to determine any items that require coordination with electrical equipment or require power, systems or technology provisions. This coordination and provisions shall be provided by the EC.

Verify work schedule and coordinate with Owner and General Contractor. Building is to remain in operation during construction.  
Include all cutting and patching as well as repair to all surfaces that may be damaged resulting from his work.  
Coordinate the installation of his work with the work of other trades. Include overtime for work that cannot be performed during normal working hours.

CODES AND PERMITS: Perform all work in accordance with all State of Wisconsin Codes, NFPA-70 National Electric Code (NEC), local and municipal ordinances and codes, and authorities having jurisdiction. The EC shall apply for all permits and inspection and pay for all fees. Submit required paperwork for permits and inspections and pay all associated fees.

DRAWINGS: EC shall be responsible for providing and constructing complete and fully-functional systems. Drawings may be based on imperfect or assumed data, code interpretations and may include unforeseen conflicts and items requiring field coordination. Drawings do not show all accessories and equipment necessary for complete and fully functional systems. While the sizes and locations may be indicated, the EC shall properly make all adjustments to meet conditions as they actually exist on the premises.

Equipment and devices shall provide adequate clearance as determined by applicable codes and manufacturers' instructions for entry, servicing and maintenance.

EC shall visit the site and thoroughly examine all existing conditions. Provide all required work necessary for interconnection of existing services with new system and removal of existing unused components. Provide all required work necessary for reconnection of existing services disrupted by remodeling or demolition. EC shall notify the Architect/Engineer prior to the bid closing date of any deviations or required changes that are noted based on existing conditions. Where conflicting information occurs within the contract documents or between the contract documents and any codes, ordinances, industry standards or authorities having jurisdiction, it shall be brought to the attention of the Architect/Engineer prior to bidding. If conflict cannot be clarified or resolved prior to the bid date, the Contractor shall bid the most expensive option that meets the intent and shall provide a deduction, during construction, if Engineer allows the less costly option.

SUBMITTALS: Submit complete manufacturers' product data, dimensioned shop drawings, field test reports and, where required, floorplan layouts and system riser diagrams. Contractors shall provide submittals to Engineer in a timely manner, well before ordering of equipment is necessary, as to not require an expedited review. Incomplete submittals or those that do not meet all the requirements will be returned to the Contractor unreviewed. No time extensions or cost increases will be allowed for delays caused by returned, rejected, noted or incomplete submittals. Submittal review by Architect or Engineer is for general conformance only and does not relieve Contractor of responsibility to fulfill all specifications and requirements of contract documents.

All electronic submittals shall utilize the Portable Document File (PDF) format. Information relating to one device or piece of equipment shall be grouped together in a single location in the document. The nomenclature or symbology used on the drawings and specifications shall be clearly marked on the submittal page for that item. Part numbers and options chosen shall be clearly marked on the item's cut sheet or shop drawing. Bill of materials or table of contents shall not provide duplicate information, including part numbers, of that which is shown on the cut sheets or shop drawings. Any information that refers to equipment, options or accessories not being provided for this project shall be crossed out. These requirements are in addition to Division 1 requirements.

QUALITY REQUIREMENTS: All equipment shall be new and UL listed for the intended purpose. All work shall be guaranteed for one year after final acceptance by Owner.

EXECUTION: All work shall be guaranteed for one year after final acceptance by Owner. EC shall furnish and install all work within Division 26 scope in a neat and workmanlike manner per NEC and Owner's satisfaction.

Apply fire-stopping to cable and raceway penetrations of fire-rated floor and wall assemblies to achieve fire-resistance rating of the assembly. Fire-stopping materials and installation requirements are specified in Division 7 Section "Fire-stopping."

Protect existing electrical equipment and installations indicated to remain. If damaged or disturbed in the course of the Work, remove damaged portions and install new products of equal capacity, quality, and functionality.

Remove exposed electrical equipment and installations, indicated to be demolished, in their entirety. Remove demolished material from Project site. Coordinate with Owner if they would like to keep any items from Demolition

Protect equipment and installations and maintain conditions to ensure that coatings, finishes, and cabinets are without damage or deterioration at time of Substantial Completion. Remove all debris and leave work neat and clean, ready for use by the Owner.

#### SECTION 26 05 19 - LOW-VOLTAGE ELECTRICAL POWER CONDUCTORS AND CABLES

GENERAL: Submit product data for each type of product.

PRODUCTS: Conductors shall be stranded copper minimum #12 AWG, 600 volt insulation. Conductors installed within the building interior, above slab on grade, shall be THHN-2 or THWN-2. Where installed below grade, slab, in concrete, conductors shall be XHHW-2. Conductors shall be installed in metal conduit. Multi-conductor cable Type SOOW shall be used where indicated on drawings. Cable shall have an equipment grounding conductor. Provide strain relief device at terminations for fixture or appliance.

EXECUTION: EC shall increase size of conductors as required by NEC. Limit voltage drop to a total of 5% between service entrance and device, luminaire, fixture, or receptacle.

Conductors installed in panelboards shall be neatly bundled and grouped so that conductors can be readily identified. Conductors shall be labeled at each end indicating circuit number. Install conductor at each outlet, with at least 8 inches of slack. Conductor colors shall match existing colors used on site for system voltages and phases.

All conductors shall be installed to avoid damage to the conductor of any kind. Any damaged conductors shall be replaced.

#### SECTION 260526 - GROUNDING AND BONDING FOR ELECTRICAL SYSTEMS

GENERAL: Electrical system shall be grounded as required by code. Submit product data for each type of product.

PRODUCTS: Equipment Grounding Conductor shall be same type as ungrounded conductors. Grounding conductor to have green color insulation.

EXECUTION: All metal raceway systems shall be made electrically continuous from source to all outlet boxes and equipment. Dedicated insulated equipment grounding conductor is required with all feeder and branch circuits, lighting circuits, receptacle circuits, motor circuits, and in flexible raceway. The equipment grounding wires shall be run in the same raceway with the feeder or branch circuit wires.

ENCLOSURE GROUNDING: Metal boxes, cabinets, switch enclosures, motor frames, and other metallic enclosures shall be bonded with equipment ground conductors.

AIR-DUCT EQUIPMENT CIRCUITS: Install insulated equipment grounding conductor to duct-mounted electrical devices operating at 120 V and more, including air cleaners, heaters, dampers, humidifiers, and other duct electrical equipment. Bond conductor to each unit and to air duct and connected metallic piping.

BONDING INTERIOR METAL DUCTS: Bond metal air ducts to equipment grounding conductors of associated fans, blowers, electric heaters, and air cleaners. Install tinned bonding jumper to bond across flexible duct connectors to achieve continuity.

#### SECTION 26 05 29 - HANGERS AND SUPPORTS FOR ELECTRICAL SYSTEMS

GENERAL: Comply with NECA 1 and NECA 101 for application of hangers and supports for electrical equipment and systems except if requirements in this Section are stricter. Space supports for raceway as required by NFPA 70. Submit product data for each type of product.

PRODUCTS: Steel Slotted Support Systems: Comply with MFMA-4 factory-fabricated components for field assembly. Manufacturers: Allied Tube & Conduit, Eaton/Copper-B-Line, ERICO, Thomas & Betts, Unistrut. Manufacturer's standard painted coating. Selected and sized for applicable load. Steel hangers, clamps, and associated fittings, designed for types and sizes of raceway or cable shall be supported.

EXECUTION: Prior to installation, verify all wall, ceiling, structure types and capacity for additional loads. Verify anchor size and material type is acceptable load and structure supporting anchor. Drill holes for expansion anchors in concrete at locations and to depths that avoid reinforcing bars.

Mounting, Anchoring, and Attachment Components: Items for fastening electrical items or their supports to building surfaces include the following: Mechanical-Expansion Anchors shall be insert-wedge-type, zinc-coated steel, for use in hardened portland cement concrete with tension, shear, and pullout capacities appropriate for supported loads and building materials in which used. Concrete Inserts shall be steel or malleable-iron, slotted support system units similar to MSS Type 18, complying with MFMA-4 or MSS SP-58. Clamps for attachment to steel structural elements shall be MSS SP-58, type suitable for attached structural element. Through bolts shall be structural type, hex head and high strength, complying with ASTM A325. Toggle bolts shall be all-steel springhead type. Hanger rods shall be minimum 1/4" threaded steel.

MULTIPLE RACEWAYS OR CABLES: Install trapeze-type supports fabricated with steel slotted support system. Secure raceways and cables to these supports with two-bolt conduit clamps or single-bolt conduit clamps using spring friction action for retention in support channel.

Mounting and Anchorage of Surface-Mounted Equipment and Components: Anchor and fasten electrical items and their supports to building structural elements by the following methods unless otherwise indicated by code: To Wood: Fasten with lag screws or through bolts. To New Concrete: Bolt to concrete inserts. To Masonry: Approved toggle-type bolts on hollow masonry units and expansion anchor fasteners on solid masonry units. To Existing Concrete: Expansion anchor fasteners. Do not use for anchor-ages to lightweight-aggregate concrete or for slabs less than 4 inches thick. To Steel: Welded threaded studs complying with AWS D1.1/D1.1M, with lock washers and nuts, beam clamps (MSS Type 19, 21, 23, 25, or 27) complying with MSS SP-59. To Light Steel: Sheet metal screws. Items Mounted on Hollow Walls and Nonstructural Building Surfaces: Mount cabinets, panelboards, disconnect switches, control enclosures, pull and junction boxes, transformers, and other devices on slotted-channel racks attached to substrate.

#### SECTION 26 05 33 - RACEWAYS AND BOXES FOR ELECTRICAL SYSTEMS

GENERAL: All conductors shall be installed in raceway. All raceways including conduit shall include a green equipment grounding conductor. Submit product data for each type of product.

PRODUCTS: All metal products shall be finished with factory applied paint or galvanized coating.

RACEWAYS: Outdoors above grade, exposed or concealed: RMC or IMC. Outdoors below grade or pavement: RMC Sch. 40. Indoors above slab on grade, exposed or concealed: EMT, IMC, RMC. Indoors where subject to damage: RMC. Indoors above slab on grade, connection to vibrating equipment and luminaires: FMC in dry locations and LFMC in damp or wet locations.

FITTINGS: All EMT fittings shall be set screw or compression type, all steel, and have insulated throat. Cast white metal type fittings are not permitted. Identifier type fittings are not permitted. IMC and RMC: threaded rigid steel conduit fittings. RMC fitting shall be of type compatible with raceway and location.

BOXES, ENCLOSURES, AND CABINETS: Interior above slab on grade: 14ga Sheet Metal Outlet and Device Boxes, Small Sheet Metal Pull and Junction Boxes per NEC. Outdoor above grade or pavement: Cast-Metal Outlet and Device Boxes.

CABINETS & ENCLOSURES: NEMA 250, Type 1, galvanized steel box with removable interior panel and removable front, finished inside and out with manufacturer's standard enamel. Hinged door in front cover with flush latch and concealed hinge. Key latch to match panelboards. Include metal barriers to separate wiring of different systems and voltage and include accessory feet where required for freestanding equipment.

EXECUTION: Wiring shall be installed in EMT, IMC, RMC, RMC minimum size 1/2" as defined above. All conduit home runs shall be in minimum 1/2" raceway. Aluminum conduit is not permitted. Flexible Metal Conduit shall be 1/2" minimum ID, galvanized flexible steel. Flexible conduit shall only be used with existing walls where installation of EMT is not feasible without demolition of the wall and for final connections to lighting fixtures. Flexible connections to light fixtures must not exceed 6'-0" unless allowable per code. Flexible conduit shall not be routed horizontally above ceilings, between light fixtures, or devices. Where flexible is used as a raceway in existing walls, it shall terminate at the device and at a junction box directly above the wall, and then transitioned to EMT.

EMT shall be used for interior dry locations not exceeding 2" diameter. Conduit subject to physical or moisture damage shall be rigid steel or IMC. All conduit shall be sized per code. Conceal conduit in all finished areas. Provide expansion fittings with bonding jumpers where conduits cross building expansion joints. Conduits shall be routed parallel or perpendicular to construction.

Support all raceways as required by Section 26 05 29 - Hangers and Supports for Electrical Systems and as required by code. Complete raceway installation before starting conductor installation.

Install raceways parallel or at right angles to nearby surfaces or structural members. Run parallel or banded raceways together on common supports. Make parallel bands in parallel or banded runs. Use factory elbows only where elbows can be installed parallel; otherwise, provide field bends for parallel raceways. Join raceways with fittings designed and approved for that purpose and make joints tight. Use insulating bushings to protect conductors.

Terminations: Where raceways are terminated with locknuts and bushings, align raceways to enter squarely and install locknuts with dished part against box. Use two locknuts, one inside and one outside box. Where raceways are terminated with threaded hubs, screw raceways or fittings tightly into hub so end bears against wire protection shoulder. Where chase nipples are used, align raceways so coupling is square to box, tighten chase nipple so no threads are exposed.

After completing installation of exposed, factory-finished raceways and boxes, inspect exposed finishes and repair damaged finishes.

#### SECTION 26 05 53 - IDENTIFICATION FOR ELECTRICAL SYSTEM

GENERAL: Submit product data and sample for each type of product.

PRODUCTS: Labels shall be permanent, and machine generated. NO HANDWRITTEN OR NON-PERMANENT LABELS ARE ALLOWED, except on backside of device plates and junction boxes covers. Labels for conduit and wires shall be of adequate size to accommodate the provided field bends for parallel raceways. Join raceways with fittings designed and approved for that purpose and make joints tight. Use insulating bushings to protect conductors.

Identification Nameplates shall be Non-Fading, Weather Resistant, Engraved three-layer laminated plastic, 1/16-inch minimum thickness, black letters on white background. Minimum 1" high letters for equipment enclosures and disconnect enclosures.

Colored Tape shall be Scotch #35 tape in appropriate colors for system voltage and phase. Adhesive type labels not permitted except for phase and wire identification. Machine generated adhesive labels shall be permitted for device plates, 4-11/16" and smaller junction boxes, Fire alarm and control devices.

Underground Warning Tape shall be permanent, bright-colored, continuous-printed, vinyl tape with the following features: Not less than 6 inches wide by 4 mils thick. Compound for permanent direct-burial service. Embedded continuous metallic strip or core. Printed legend that indicates type of underground line.

EXECUTION: Provide nameplates and labels to identify source, voltage, and circuit numbers. No Handwritten or Non-Permanent Labels Are Allowed, except with permanent marker on backside of device plates and junction boxes.

Clean all surfaces before attaching labels with the label manufacturer's recommended cleaning agent. Labels shall be installed plumb and neatly on all equipment. Install nameplates parallel to equipment lines. Secure nameplates to equipment fronts using screws, rivets or manufacturer approved adhesive or cement. Embossed tape will not be permitted for any application.

Fire Alarm conduit shall be identified with RED paint at 5-foot intervals along length. Fire Alarm junction boxes, backboxes, pullboxes and cover plates shall be painted RED prior to installation. Where fire alarm box is exposed in a finished area below the ceiling, the outside of box and cover plate shall match the finish color of the ceiling or wall, and the inside of the box and backside of cover plate shall be painted RED.

Wall switches, receptacles, device plates and box covers, photoeyes and time clocks shall be identified with circuit numbers and source. Use machine-generated labels or label the backside of cover with neatly printed hand-written in permanent marker.

Panelboard directories shall be updated to reflect existing circuiting identification and all new work included within this project scope. Provide a new type written directory covered with clear plastic cover. Directory shall include equipment, device, fixture served and room number where it is located.

#### SECTION 26 24 16 - PANELBOARDS

GENERAL: Comply with codes. Submit product data for each type of product.

PRODUCTS: Branch Overcurrent Protective Devices shall be added to existing panelboards as required, shall match existing panelboard manufacturer, shall be of type manufactured specifically for the existing panelboard, shall have interrupting rating matching panelboard nameplate and bussing, shall match exiting breakers within panelboard, shall be of size per drawings. Circuit breaker shall list current rating, UL and IEC certification standards, and AIC rating.

EXECUTION: Label per Section 26 05 53 - Identification for Electrical System. Tighten bolted connections and circuit breaker connections using calibrated torque wrench or torque screwdriver per manufacturer's written instructions. Arrange conductors in gutters into groups and bundle and wrap with wire ties after completing load balancing or adjustments. Test continuity of each circuit.

#### SECTION 26 27 26 - WIRING DEVICES

GENERAL: Electrical Components, Devices, and Accessories shall be listed and labeled as defined in NFPA 70 Article 100. EC shall match receptacle to plug configurations for Owner-Furnished Equipment. Colors and finishes of all wiring devices and cover plates shall be of a type and color as selected by the Architect. Submit product data and sample for each type of product.

PRODUCTS: Wiring Devices manufacturers shall be one of the following: Hubbell Incorporated, Wiring Device-Kellums, Leviton Mfg. Company Inc., Pass & Seymour/LeGrand, Wiring Devices Div.

RECEPTACLES: All receptacles to be heavy duty grade. Straight-Blade-Type Receptacles shall be 5-20R duplex receptacle. Straight-Blade and Locking Receptacles shall be Heavy-Duty grade. GFCI receptacles shall be straight blade, non-feed-through type, Heavy-Duty grade, 5-20R duplex receptacle. All receptacles shall be WHITE finish. Design units for installation in a 2-3/4-inch-deep outlet box without an adapter. Proprietary connectors for wiring of receptacles are not acceptable.

SWITCHES: Single toggle type wall switch per gang. Heavy-duty type. 20-amp, single pole, 120/277 volts, WHITE finish.

LOW-VOLTAGE SWITCHES: Lutron type, WHITE finish.

WALL PLATES: Single and combination types to match corresponding wiring devices. Plate-Securing Screws shall be metal with head color to match plate finish. Material for finished and unfinished indoor spaces shall be smooth, high-impact thermoplastic with WHITE finish.

EXECUTION: Install devices and assemblies level, plumb, and square with building lines. Devices shall be mounted flush, with long dimension vertical, and with grounding terminal of receptacles on top. Group adjacent switches under a single, multi-gang wall plate. Remove wall plates and protect devices and assemblies during surface painting by other contractors. Provide labels per Section 26 05 53 - Identification for Electrical System.

#### SECTION 26 28 16 - ENCLOSED SWITCHES AND CIRCUIT BREAKERS

GENERAL: Comply with codes. Submit product data for each type of product.

PRODUCTS: Manufacturers of Fusible Switches, Molded-Case Circuit Breakers, Combination Circuit Breaker and Ground-Fault Trip, Molded-Case, Current-Limiting Circuit Breakers shall be one of the following: Eaton Corporation, General Electric Co., Siemens Energy & Automation, Inc., and Square D Co. Enclosed Switches and Circuit Breakers shall be sized per equipment manufacturer's requirements.

ENCLOSURES: Indoors: NEMA Type 1. Outdoors: NEMA Type 3R. Enclosures to be painted with manufacturer's standard paint finish.

EXECUTION: Identify enclosures per Section 26 05 53 - Identification for Electrical System. Install equipment grounding connections for switches and circuit breakers with ground continuity to main electrical ground bus. Install power wiring. Install wiring between switches and circuit breakers, and control and indication devices. Tighten electrical connectors and terminals according to manufacturer's published torque-tightening values.

On completion of installation, inspect interior and exterior of enclosures. Remove paint splatters and other spots. Vacuum dirt and debris; do not use compressed air to assist in cleaning. Repair exposed surfaces to match original finish.

#### SECTION 26 51 00 - INTERIOR LIGHTING

GENERAL: Comply with codes. Luminaires to be UL listed. Submit product data for each type of product. Where submitting an equal luminaire for approval, submit product data, electronic photometric data (.ies file) on compact disc or memory card, printed photometric data, layout and calculations of the space with maximum, minimum, average, and min/max ratio of illuminance values at the floor and at 30' working plane.

PRODUCTS: Manufacturers and types shall be as indicated on Electrical sheets.

EXECUTION: Contractor shall coordinate compatibility of Lamps and Ballast specified with existing luminaire and housing. Verify that the components, wiring, connections existing in the luminaire, attachment method align with the existing ballast compartment. Contractor shall verify all parameters and shall provide all fixture accessories or options required for installation of new components into the existing luminaire. Installation of new components shall not void the UL Listing of the existing luminaire.

LAY-IN CEILING LIGHTING FIXTURES SUPPORTS: Use grid as a support element. Install ceiling support system rods or wires, independent of the ceiling suspension devices, for each fixture. Locate not more than 6 inches from lighting fixture corners.

SUSPENDED LIGHTING FIXTURE SUPPORT: Do not use grid as support for pendant luminaires. Connect support wires or rods to building structure.

WARRANTY: Fluorescent Ballast manufacturer shall agree to replace ballasts that fail in materials or workmanship within 5 years from date of Substantial Completion. T8 LED Fluorescent Replacement Lamp manufacturer shall agree to replace lamps that fail in materials or workmanship within 5 years from date of Substantial Completion.



ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN

STRANG INC.  
811 E WASHINGTON AVENUE  
SUITE 200  
MADISON, WI 53703  
7/ 608 276 9200

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DATE 02-24-2020

PROJECT NO. 2020012

PROJECT TITLE

CDA - VILLAGE ON  
PARK - UW BOARD  
OF REGENTS  
TENANT IMPROVEMENT

2238 S. PARK STREET  
MADISON, WI 53713

SHEET TITLE

ELECTRICAL  
SPECIFICATIONS

SHEET NO.  
E002



ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN

STRANG INC.  
811 E WASHINGTON AVENUE  
SUITE 200  
MADISON, WI 53703  
7608 276 9200

**GENERAL DEMOLITION PLAN NOTES:**

- DISCONNECT AND REMOVE ALL EXISTING 2'x4' FLUORESCENT TB LAMPS AND BALLASTS IN ALL EXISTING TO REMAIN LUMINAIRES IN ALL ROOMS IN PROJECT TENANT AREA. EXISTING FIXTURES ARE WIRED IN A MASTER/SLAVE CONFIGURATION. PROVIDE NEW PHILIPS 469585 TB LED LAMPS AND PHILIPS ADVANCE BALLASTS, (2-LAMP 107A232K351 AND 4-LAMP 107A422K351). MAINTAIN EXISTING MASTER/SLAVE CONFIGURATION.
- DEMOLITION DRAWINGS SHOWING EXISTING CONDITIONS HAVE BEEN PREPARED BASED ON FIELD OBSERVATION AND EXISTING ELECTRICAL DRAWINGS. ADDITIONAL COMPONENTS MAY EXIST WHICH DO NOT SHOW AND SUCH ITEMS SHALL BE DEALT WITH IN A MANNER SIMILAR TO THOSE ITEMS, WHICH DO SHOW.
- FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE DEMOLITION OF EXISTING ELECTRICAL EQUIPMENT AS SPECIFIED OR INDICATED. DISCONNECT, REMOVE AND RELOCATE ALL ITEMS AS REQUIRED TO FACILITATE THE NEW CONSTRUCTION.
- REMOVE ALL ELECTRICAL COMPONENTS NOTED AS DEMOLITION WITHIN AREA OF WORK. REMOVE ALL BACK BOXES, JUNCTION BOXES AND CONDUIT ASSOCIATED WITH DEMOLITION DEVICES, UNLESS OTHERWISE NOTED. REMOVE ALL CIRCUIT WIRING FROM COMPONENT BACK TO ORIGIN (PANELBOARD), UNLESS IT IS REQUIRED TO MAINTAIN CIRCUIT CONTINUITY TO COMPONENTS OUTSIDE OF THE AREA OF DEMOLITION. IF CIRCUIT CONTINUITY IS REQUIRED REWORK CONDUIT AND WIRE SO THAT THE NEW ROUTE IS OUTSIDE OF THE AREA TO BE DEMOLISHED. HOMERUN RACEWAYS TO BE REMOVED BACK TO PANELBOARD UNLESS OTHERWISE NOTED.
- ALL LUMINAIRES, DISCONNECT SWITCHES, ACCESS CONTROL DEVICES, PANELBOARDS, SPEAKERS, CLOCKS, FIRE ALARM DEVICES, ETC. REMOVED SHALL REMAIN THE PROPERTY OF THE OWNER AND BE TURNED OVER TO THE OWNER. CONDUIT, BOXES, WIRING AND MISCELLANEOUS ELECTRICAL SCRAP SHALL BE REMOVED FROM THE JOB SITE BY THE ELECTRICAL CONTRACTOR.
- REMOVE ALL ELECTRICAL EQUIPMENT, DEVICES, CONDUITS, AND BOXES, SURFACE MOUNTED OR RECESSED ON OR IN EXISTING WALLS, CEILING AND PARTITIONS THAT ARE TO BE DEMOLISHED. REMOVE ALL CONDUCTORS BACK TO SOURCE.
- REMOVE ABANDONED WIRING TO SOURCE OF SUPPLY.
- WHERE EXISTING WALLS ARE TO REMAIN, REMOVE ALL EXPOSED RACEWAYS, SURFACE AND RECESSED BOXES THAT ARE NOT TO BE REUSED, UNLESS NOTED OTHERWISE.
- FIRE ALARM DEVICES SHOWN AS DEMOLITION SHALL BE DISCONNECTED AND REMOVED. REMOVE ALL BACKBOXES, CONDUIT AN CABLE TO NEAREST UPSTREAM POINT WHERE CABLE CAN BE DISCONNECTED WITHOUT IMPACT TO THE SYSTEM OPERATION OR EXISTING DEVICE COVERAGE. REWORK CABLE TO FIRE ALARM NOTIFICATION DEVICE TO MAINTAIN FULL OPERATION OF EXISTING SYSTEM DURING DEMOLITION AND NEW WORK.

**SPECIFIC DEMOLITION PLAN NOTES:**

- DISCONNECT AND REMOVE EXISTING LUMINAIRES IN THIS ROOM. LUMINAIRES ARE TO BE RE-INSTALLED AS PART OF NEW SCOPE OF WORK IN THIS AREA.
- DISCONNECT AND REMOVE EXISTING POWER TO WATER HEATER IN THIS ROOM. WATER HEATER TO BE RE-LOCATED ABOVE THE CEILING AND POWER IS TO BE EXTENDED AS PART OF NEW SCOPE OF WORK IN THIS AREA.
- DISCONNECT AND REMOVE EXISTING PULL STATION AT THIS LOCATION. PULL STATION TO BE RELOCATED AS PART OF NEW SCOPE OF WORK IN THIS AREA.
- DISCONNECT AND REMOVE FIRE ALARM NOTIFICATION DEVICE. DEVICE TO BE RELOCATED IN THIS AREA AS PART OF NEW WORK.
- DISCONNECT EXISTING OCCUPANCY SENSOR. SENSOR TO REMAIN. SENSOR TO BE REWIRED TO NEW LIGHTING CONTROL ZONE AND LUMINAIRES PER NEW WORK.
- DISCONNECT AND REMOVE EXISTING EGRESS LUMINAIRE (BUGEYE). DEVICE IS TO BE RELOCATED ACROSS THE CORRIDOR PER NEW WORK SCOPE.



FIRST FLOOR DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"  
0 1 2 4 8 16

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CDA - VILLAGE ON  
PARK - UW BOARD  
OF REGENTS  
TENANT IMPROVEMENT

2238 S. PARK STREET  
MADISON, WI 53713

SHEET TITLE  
FIRST FLOOR  
DEMOLITION PLAN

SHEET NO.  
E101

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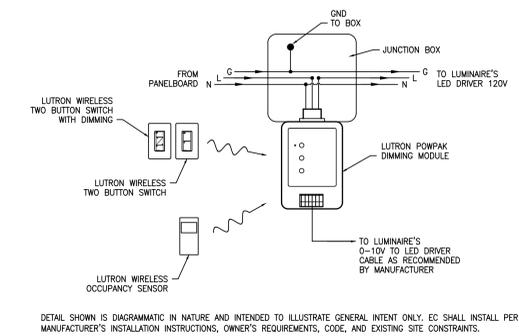


**GENERAL LIGHTING PLAN NOTES:**

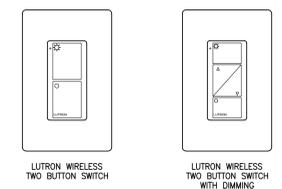
- DISCONNECT AND REMOVE ALL EXISTING 2x4 FLUORESCENT TB LAMPS AND BALLASTS IN ALL EXISTING TO REMAIN LUMINAIRES IN ALL ROOMS IN PROJECT TENANT AREA. EXISTING FIXTURES ARE WIRED IN A MASTER/SLAVE CONFIGURATION. PROVIDE NEW PHILIPS 469585 TB LED LAMPS OR PHILIPS ADVANCE 120/277V BALLASTS, (2-LAMP IOPAP2P32N351 AND 4-LAMP IOPAP32N351). MAINTAIN EXISTING MASTER/SLAVE CONFIGURATION.
- ALL EXISTING RACEWAYS TO BE REUSED FOR NEW WORK SHALL BE MADE COMPLIANT WITH CURRENT CODE. PROVIDE ADDITIONAL SUPPORT OF EXISTING CONDUITS AS REQUIRED.
- ELECTRICAL CONTRACTOR SHALL PROVIDE A COMPLETE AND WORKING LIGHTING CONTROL SYSTEM IN ALL INTERIOR AREAS WITH NEW BALLASTS AND/OR LAMPS. PROVIDE ALL NECESSARY COMPONENTS, ACCESSORIES, CABLING, JUNCTION BOXES, AND CONDUIT AS REQUIRED IN ADDITION TO ITEMS ON THE SHEETS OR WITHIN THE SPECIFICATIONS. EC SHALL REVIEW THE LIGHTING CONTROL SYSTEM WITH OWNER AT COMPLETION OF PROJECT. REVIEW SHALL INCLUDE WALK-THROUGH WITH OWNER DEMONSTRATING AND EXPLAINING THE SETUP OF THE SYSTEM.

**SPECIFIC LIGHTING PLAN NOTES:**

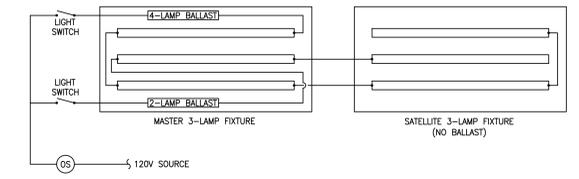
- RE-INSTALL PREVIOUSLY REMOVED LUMINAIRES AS SHOWN AND PROVIDE LAMPS AND BALLASTS PER GENERAL LIGHTING NOTE #1.
- PROVIDE NEW TOGGLE SWITCHES WIRED IN SERIES WITH EXISTING OCCUPANCY SENSOR. ONE SWITCH TO CONTROL EACH BALLAST SEPARATELY. OCCUPANCY SENSOR TO BE SET TO VACANCY MODE.
- PROVIDE NEW OCCUPANCY SENSOR WIRED IN SERIES WITH BOTH EXISTING TOGGLE SWITCHES. ONE SWITCH TO CONTROL EACH BALLAST SEPARATELY. OCCUPANCY SENSOR TO BE SET TO VACANCY MODE.
- PROVIDE NEW RECESSED LOW VOLTAGE LUTRON DIMMING SWITCH. SWITCH TO MATCH EXISTING INSTALLED IN THIS AREA. PROVIDE BACK BOX AND COVER PLATE FOR SWITCH.
- EXISTING EGRESS LUMINAIRE RE-INSTALLED AT THIS LOCATION. REUSE EXISTING CIRCUIT.
- DISCONNECT AND REMOVE FLUORESCENT TB LAMPS AND BALLASTS IN EXISTING TO REMAIN LUMINAIRE. PROVIDE NEW PHILIPS 469585 TB LED LAMPS AND PHILIPS ADVANCE 120/277V 2-LAMP IOPAP2P32N BALLASTS. REUSE EXISTING CIRCUIT.
- DISCONNECT AND REMOVE 4-PIN COMPACT FLUORESCENT LAMPS AND BALLASTS IN EXISTING TO REMAIN LUMINAIRE. SUBMIT TO ARCHITECT/ENGINEER SAMPLE OF BALLAST AND LAMP REMOVED FROM A SINGLE FIXTURE. COORDINATE WITH ARCHITECT/ENGINEER CORRECT LAMP AND BALLAST TO BE PROVIDED FOR THIS FIXTURE TYPE. FOR THE PURPOSE OF BIDDING, PROVIDE NEW PHILIPS 92900185604 5.5PL-C/LED/1.3H/840/FS/P/4P LAMPS AND PHILIPS ADVANCE 10F-2513-M1-BS 120/277V BALLAST.



2 E201 INTERIOR LUMINAIRE - LUTRON CONTROL DIAGRAM  
SCALE: NOT TO SCALE



3 E201 INTERIOR LOW VOLTAGE LUMINAIRE LIGHT SWITCH DETAIL  
SCALE: NOT TO SCALE



4 E201 TANDOM WIRED FLUORESCENT BALLAST DETAIL  
SCALE: NOT TO SCALE

1 E201 FIRST FLOOR LIGHTING PLAN  
SCALE: 1/8" = 1'-0"

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2238 S. PARK STREET  
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SHEET TITLE  
FIRST FLOOR LIGHTING PLAN

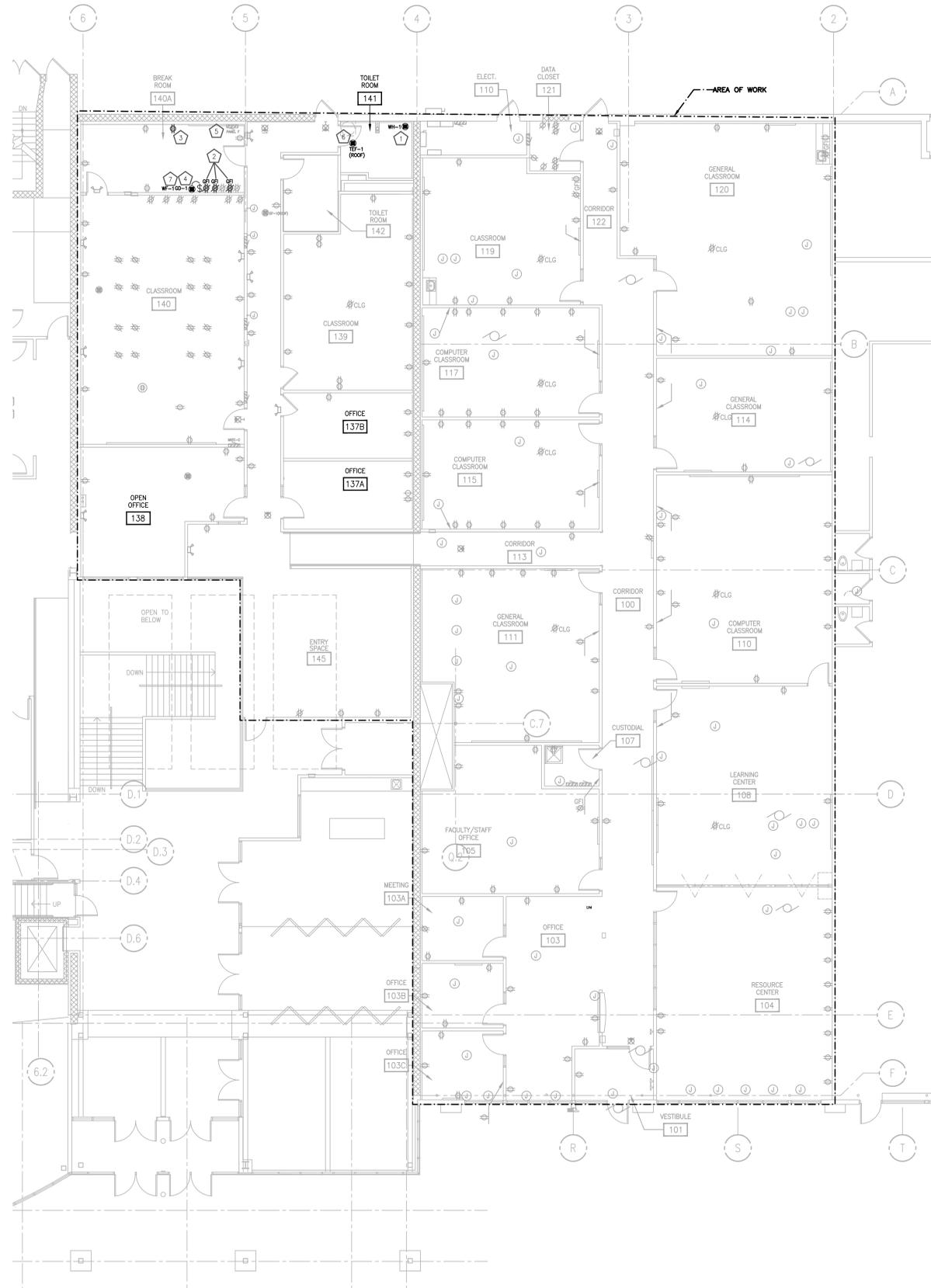
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E201

**GENERAL POWER PLAN NOTES:**

- REFER TO ARCHITECTURAL AND PLUMBING SHEETS FOR ALL EQUIPMENT MOTOR AND SPECIAL OUTLET POWER LOCATIONS, QUANTITY, REQUIREMENTS, LOAD, AND VOLTAGE INFORMATION. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POWER CONNECTIONS TO ALL EQUIPMENT SHOWN OR SCHEDULED FOR EQUIPMENT PROVIDED BY OTHER TRADES.
- CONTRACTOR SHALL LOAD BALANCE THE PANELBOARD IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- ALL EXISTING RACEWAYS TO BE REUSED FOR NEW WORK SHALL BE MADE COMPLIANT WITH CURRENT CODE. PROVIDE ADDITIONAL SUPPORT OF EXISTING CONDUITS AS REQUIRED.

**SPECIFIC POWER PLAN NOTES:**

- POWER TO EXISTING WATER HEATER TO BE RE-LOCATED TO THIS LOCATION ABOVE THE CEILING AS PART OF NEW SCOPE. EXTEND BRANCH CIRCUIT AS REQUIRED.
- PROVIDE NEW GFCI RECEPTACLES MATCH HEIGHT OF EXISTING. EVENLY DISTANCE NEW AND EXISTING RECEPTACLES ABOVE COUNTER. ONE RECEPTACLE IS FOR A PAPER TOWEL DISPENSER. COORDINATE THIS DEVICE LOCATION WITH OWNER.
- PROVIDE NEW GFCI RECEPTACLE FOR REFRIGERATOR. LOCATE NEW RECEPTACLE 4'-0" FROM EXISTING RECEPTACLE.
- PROVIDE NEW POWER CONNECTION AND DISCONNECT BELOW SINK FOR NEW GARBAGE DISPOSAL. PROVIDE SWITCH ABOVE COUNTER NEXT TO RECEPTACLE. CIRCUIT TO BE DEDICATED 20 AMP, 120 VOLTS.
- PROVIDE POWER TO EXHAUST FAN IN EXISTING PANEL. REFER TO MECHANICAL DRAWINGS FOR FAN INFORMATION.
- NEW EXHAUST FAN TO BE FED FROM TENANT PANEL "MTC-C" IN ROOM 140.
- PROVIDE NEW POWER CONNECTION AND DISCONNECT BELOW SINK FOR NEW INSTANTANEOUS HEATER/FILTER UNIT. CONTRACTOR TO COORDINATE POWER REQUIREMENTS WITH OWNER.



**FIRST FLOOR POWER PLAN**  
SCALE: 1/8" = 1'-0"  
0 2 4 8 16

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SHEET TITLE  
**FIRST FLOOR  
POWER PLAN**

SHEET NO.  
**E301**

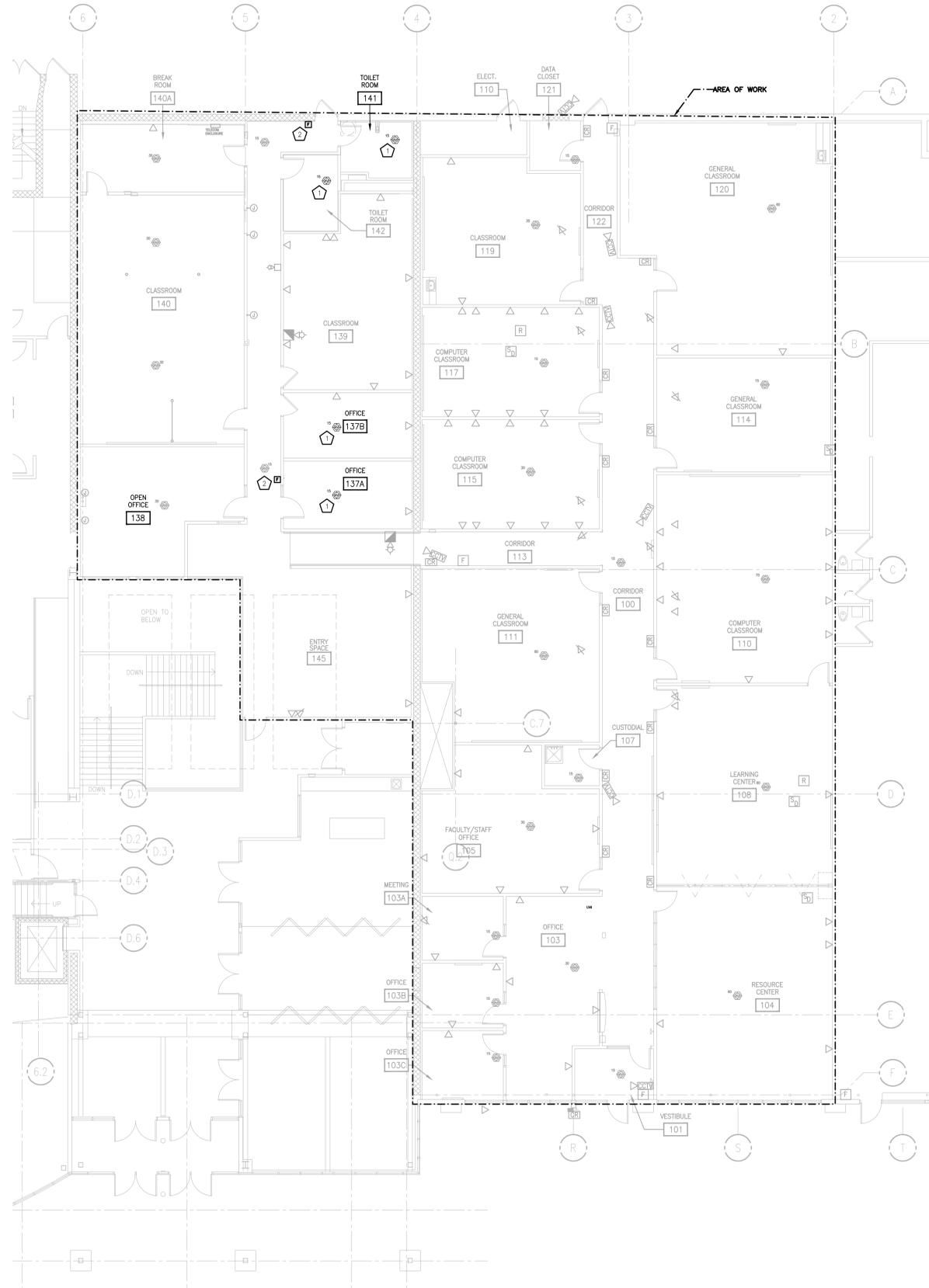
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**GENERAL SYSTEMS PLAN NOTES:**

1. PROVIDE A CODE COMPLIANT FIRE ALARM SYSTEM FOR ALL AREAS WITH NEW DEVICES.
2. EXISTING FIRE ALARM SYSTEM SERVING THIS AREA SHALL BE USED FOR NEW FIRE ALARM DEVICES. EXTEND EXISTING CONTROL PANEL / NAC PANEL CIRCUITING TO NEW DEVICES SHOWN. PROVIDE NEW NAC PANEL AS REQUIRED TO SUPPLY NEW DEVICE. PROVIDE ALL REQUIRED MODIFICATIONS TO THE EXISTING SYSTEM TO SUPPORT ALL NEW DEVICES ADDED.

**SYSTEMS PLAN SPECIFIC NOTES:**

1. PROVIDE NEW FIRE ALARM NOTIFICATION DEVICE TO MEET OR EXCEED CANDELA RATING AS SHOWN. PROVIDE NEW FIRE ALARM BACKBOX AND RACEWAY FOR DEVICES. PROVIDE NEW FIRE ALARM CABLE, MATCHING EXISTING, FROM DEVICE BACKBOX TO FIRE ALARM SYSTEM. INSTALL PER CODE AND SUBMIT REVISED BUILDING FIRE ALARM NAC PANEL POWER CALCULATIONS.
2. RELOCATE EXISTING PULL STATION REMOVED IN THIS AREA TO THIS NEW LOCATION. PROVIDE NEW BACK BOX. EXTEND CONDUIT TO THIS LOCATION. PROVIDE NEW CABLING.



FIRST FLOOR SYSTEMS PLAN  
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SHEET TITLE  
FIRST FLOOR  
SYSTEMS PLAN

SHEET NO.  
E401

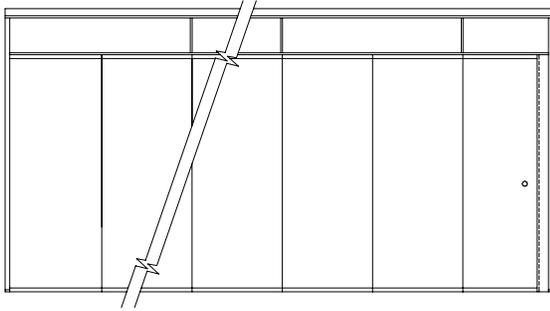
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**Exhibit C-Scope of Services  
by JWC Building Specialties,  
Inc.**

1. Furnish and install one (1) HUF COR series 642 Hinged Paired Panel Partition with the Hufcor Unispan Self-Supporting Truss System, for an opening of 26'-10" x 8'-5". Panel faces are to be vinyl fully laminated to 20-gauge steel with a gypsum board backer. The vinyl color selection is to be chosen from the Hufcor standard color card. Full-perimeter protective edge trim is your choice of Gray, Brown or Lamb's Wool in color. Each panel is to have top and a bottom mechanical retractable sound seal. The final panel closure is to be an expanding jamb lever closure. Track finish is clear anodized aluminum and the posts for the Unispan system to be buried inside the wall.
2. Install the Unispan support columns and truss system in an on-grade location. Vinyl-covered header side panels will be installed on the Unispan truss frame. The header side panels will be partially exposed below the 8'-11" ceiling to create a finished look. Trim at the existing ceiling above the Unispan system (to cover any gaps created by uneven ceiling conditions) will be the responsibility of the owner. We will suspend panels from the Unispan system, which will carry the load of the panels independent of the building's overhead structure. The weight of the panels is transferred to the floor at the end post locations. The Hufcor panel hanging weight is 9.5 psf. The stack dimensions of the panels are approximately 48" wide and 32" deep. The longest section of Unispan will be 11'-2" long and 24" high. Please insure we have access to navigate the Unispan to the installation location. The STC sound rating of the panels is 52.
3. Timing. Current manufacturing time is approximately 6-7 weeks for production of the Unispan support system and 8-9 weeks for production of the operable partitions following receipt of shop drawing approval, field measurements and color selection. Shop drawings shall be delivered to the CDA within sixty (60) days of the order described in Section 8(a) of the Contract.
4. On site work. Three trips to the project site: one to verify measurements in shop drawings, one to install the Unispan/track and one to install the panels when the room is finished.
5. Exclusions:
  - a. Verification that the floor can support the concentrated load of the panels at the Unispan post locations.
  - b. Sound Barrier, Ceiling or Soffit Work.
  - c. Demolition of existing wall in room.
  - d. Storage Pocket or Pocket Doors.
  - e. Exit / Pass Doors.
  - f. Solid wood blocking in pocket walls for jamb attachment.
  - g. Dumpster for disposal of packing materials.
6. The specifications-general and special conditions are attached hereto as pages 2-8.

# UNISPAN SELF SUPPORT SYSTEM

## Series U900 Unispan For use with Operable Partitions



Approximate Maximum Opening Width to: 39'9" [12.09m]  
Approximate Maximum Height to: 12'2" [3.7m]  
Approximate Maximum Partition Height to: 10'2" [3.1m]  
Maximum widths and heights are determined by the weight of the partition used in the Unispan. Contact your Hufcor Representative for special requirements.

### **PART 1 - GENERAL**

#### **1.01 DESCRIPTION**

##### **A. General**

1. Furnish and install self-support truss system for use with operable partitions.

#### **1.02 RELATED WORK BY OTHERS**

- A. Preparation of opening will be by General Contractor. Any deviation of site conditions contrary to approved shop drawings must be called to the attention of the architect.
- B. All header, blocking, lateral bracing, surrounding insulation, and sound baffles as required in 1.04 Quality Assurance.
- C. Paint or otherwise finishing all trim and other materials adjoining the Unispan.

#### **1.03 SUBMITTALS**

- A. Complete shop drawings are to be provided prior to fabrication indicating construction and installation details. Shop drawings must be submitted within 60 days after receipt of signed contract.

#### **1.04 QUALITY ASSURANCE**

- A. Preparation of the opening shall conform to the criteria set forth per ASTM E557 Standard Practice for Architectural Application and Installation of Operable Partitions.
- B. The Unispan system shall be validated by calculations performed by a licensed Professional Engineer.

#### **1.05 PRODUCT DELIVERY, STORAGE, AND HANDLING**

- A. Proper storage of Unispan system before installation and continued protection during and after installation will be the responsibility of the General Contractor.

#### **1.06 WARRANTY**

- A. Partition system shall be guaranteed for a period of two years against defects in material and workmanship, excluding abuse.

### **PART 2 - PRODUCTS**

#### **2.01 ACCEPTABLE MANUFACTURERS**

- A. Upon compliance with all of the criteria specified in this section, Manufacturers wishing to bid products equal to the product specified must submit to the architect 10 days prior to bidding complete data in support of compliance and a list of three past installations of products similar to those listed. The submitting manufacturer guarantees the proposed substituted product complies with the performance items specified and as detailed on the drawings.

#### **2.02 MATERIALS**

- A. Product to be Hufcor Series U900 Unispan as manufactured by Hufcor Inc.
  1. The supporting truss shall be factory fabricated of steel and aluminum. Unispan is attached to the building structure for lateral support only. The load of the truss and partition is supported by the Unispan column posts.

### **PRODUCT OVERVIEW:**

The Unispan self-support system allows the use of paired or individual partitions in buildings with inadequate support to accommodate the hanging weight of operable partitions.

Consisting of a horizontal truss and two support columns, the system attaches to the building for lateral support only. It can be relocated if the owner wishes to reconfigure the space in the future.

The truss accommodates sound baffle panels and insulation for areas requiring sound control.

Bolt together truss has anodized aluminum top and bottom chords with integral anodized aluminum track and steel web-members.

2. Posts. End columns shall be 2-1/2" x 5" [63.5 x 127] clear anodized aluminum posts. Posts shall be attached to the truss with steel brackets and bolts. Posts shall be anchored to the floor with concealed fasteners. Posts shall be located approximately 1-1/2" [38] from adjacent wall surfaces. The space between the post and the adjacent wall shall be fitted with a vinyl gasket to inhibit sound.
  3. Ceiling anchors provide lateral support and shall be set at intervals across the span of the beam. Blocking for ceiling anchors to be provided by others in accordance with the plans.
- B. Weight of the system
    1. The horizontal truss shall weigh 10-12 lbs. per lineal foot of width.
    2. The support columns shall weigh 3.5 lbs. per foot of height each.
    3. The floor shall support a maximum of 360 psi at each post.
- C. Finishes
    1. Exposed trim and track shall be of clear anodized architectural grade extruded aluminum alloy 6063-T6.
    2. Posts shall be of clear anodized architectural grade extruded aluminum alloy 6063-T6.
- D. Available Accessories/Options
    1. Medium Density Fiberboard Header Side Panels (to cover sides of truss if it is below the ceiling).
      - a. Vinyl covered. Color to be selected from partition manufacturer's standard line.
      - b. Carpet covered. Color to be selected from partition manufacturer's standard line.
      - c. Fabric covered. Color to be selected from partition manufacturer's standard line.
      - d. Unfinished for field finishing.
      - e. Mineral wool insulation for sound retardation.
      - f. The truss may be shipped in sections and assembled on site for use in areas with limited access.

#### **2.03 OPERATION**

- A. Operable partitions installed in the Unispan system shall be manually operated.
- B. Unispan may be disassembled and relocated to an alternate location as needed.

### **PART 3 - EXECUTION**

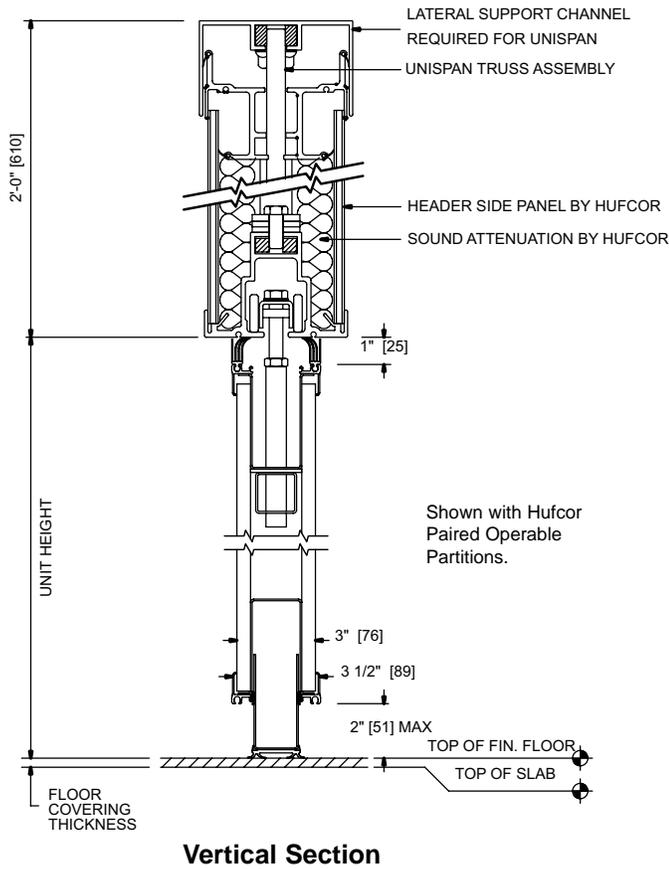
#### **A. Installation.**

The complete installation of the Unispan self-support system shall be by an authorized factory-trained installer and be in strict accordance with the approved shop drawings and manufacturer's standard printed specifications, instructions, and recommendations.

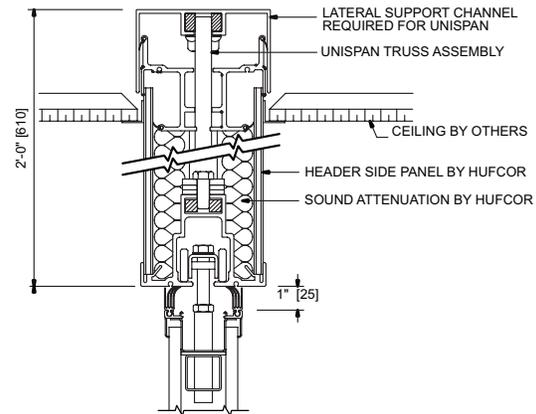
#### **B. Cleaning**

1. All surfaces shall be wiped clean and free of handprints, grease, and soil.
2. Cartoning and other installation debris shall be removed from the job site.

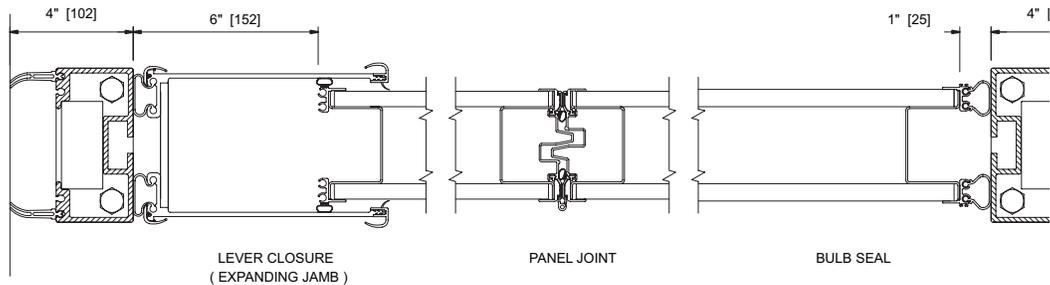




Option below: Horizontal truss partially exposed below lay-in ceiling.



## Horizontal Section



**Stack Size:** To determine the stack depth, refer to the specifications for the operable partition model used in the Unispan. Remember to also add 4" [102] for the support column (a/k/a post).

### Worldwide headquarters:

Hufcor Inc.  
 P.O. Box 591  
 Janesville, WI USA 53547  
 1-800-542-2371 ext. 214; 1-608-756-1241  
 FAX: 1-608-758-8253  
 E-mail: info@hufcor.com  
 Website: www.hufcor.com

**Not to Scale**

The manufacturer reserves the right to improve and change product without notice.

# GENERAL SPECIFICATIONS/SERIES 642

## Paired Operable Partitions

### PART 1 - GENERAL

#### 1.01 DESCRIPTION

##### A. General

1. Furnish and install operable partitions and suspension system.  
Provide all labor, materials, tools, equipment, and services for operable walls in accordance with provisions of contract documents.

#### 1.02 RELATED WORK BY OTHERS

- A. Preparation of opening will be by General Contractor. Any deviation of site conditions contrary to approved shop drawings must be called to the attention of the architect.
- B. All header, blocking, support structures, jambs, track enclosures, surrounding insulation, and sound baffles as required in 1.04 Quality Assurance.
- C. Prepunching of support structure in accordance with approved shop drawings.
- D. Paint or otherwise finishing all trim and other materials adjoining head and jamb of operable partitions.

#### 1.03 SUBMITTALS

- A. Complete shop drawings are to be provided prior to fabrication indicating construction and installation details. Shop drawings must be submitted within 60 days after receipt of signed contract.

#### 1.04 QUALITY ASSURANCE

- A. Preparation of the opening shall conform to the criteria set forth per ASTM E557 Standard Practice for Architectural Application and Installation of Operable Partitions
- B. The partition STC (Sound Transmission Classification) shall be achieved per the standard test methods ASTM E90.
- C. Noise isolation classifications shall be achieved per the standard test methods ASTM E336 and ASTM E413.
- D. Noise Reduction Coefficient (NRC) ratings shall be per ASTM C423.
- E. Rack testing for 10 years. (tensional strength stress test)
- F. The manufacturer shall have a quality system that is registered to the ISO 9001 standards.

#### 1.05 PRODUCT DELIVERY, STORAGE, AND HANDLING

- A. Proper storage of partitions before installation and continued protection during and after installation will be the responsibility of the General Contractor.

#### 1.06 WARRANTY

- A. Partition system shall be guaranteed for a period of two years against defects in material and workmanship, excluding abuse.

### PART 2 PRODUCTS

#### 2.01 ACCEPTABLE MANUFACTURERS

- A. Upon compliance with all of the criteria specified in this section, Manufacturers wishing to bid products equal to the product specified must submit to the architect 10 days prior to bidding complete data in support of compliance and a list of three past installations of products similar to those listed. The submitting manufacturer guarantees the proposed substituted product complies with the performance items specified and as detailed on the drawings.

#### 2.02 MATERIALS

- A. Product to be top supported Series 642 paired panels as manufactured by Hufcor Inc.
  1. Panels shall be nominally 4" [101] thick, to 48" [1219] in width, and hinged in pairs.
  2. Panel faces shall be laminated to appropriate substrate to meet the STC requirement in 2.04 Acoustical Performance.
    - a. Optional face material (Not all substrates are available for all STC ratings. Consult your Hufcor Distributor for more information):
      - Steel
      - Non-steel
      - Medium Density Fiberboard
    - b. Horizontal Splice: Heights over 16'3" [4953] with non-steel faces require a structural splice placed at approximately 12'3" [3734] from the floor.
  3. Frames shall be of 16 gauge [1.42mm] painted steel with integral factory applied aluminum vertical edge and face protection.  
Optional: Face finish shall wrap around the vertical panel edges and provide no protective vertical face trim.

4. Vertical sound seals shall be of tongue and groove configuration, ensure panel-to-panel alignment and prevent sound leaks between panels.
  5. Horizontal top seals shall be retractable, provide 1" [25] nominal operating clearance, and exert upward force when extended. All panels, including pass door panels and lever closure panels must have retractable top and bottom seals.  
Optional top seals: Horizontal top seals shall be fixed continuous contact dual 4 finger vinyl.
  6. Horizontal bottom seals shall be retractable, provide up to 2" [51] nominal operating clearance, and exert downward force when fully extended.  
Optional bottom seals: Horizontal bottom seals shall be fixed continuous contact 4-finger vinyl.
  7. Horizontal trim shall be of aluminum.
  8. Low profile hinges on basic panels shall be of steel and project no more than 1/4" [6] beyond panel faces. Each pair of panels to have a minimum of three hinges.
- B. Weight of the panels shall be 7.8-13.6 lbs./sq. ft. [37.8-66.4 kg/sq.m] based on options selected.
- C. Suspension system:
1. Track shall be of clear anodized architectural grade extruded aluminum alloy 6063-T6. Track design shall provide precise alignment at the trolley running surfaces and provide integral support for adjoining ceiling, soffit, or plenum sound barrier. Track shall be connected to the structural support by pairs of minimum 3/8" [10] dia. threaded steel hanger rods. Guide rails and/or track sweep seals shall not be required.
    - a. Each panel shall be supported by one 4-wheeled carrier. Wheels to be of hardened steel ball bearings encased with molded polymer tires.
  2. Plenum closure (by others): Design of plenum closure must permit lifting out of header panels to adjust track height. Plenum closure required for optimum sound control of partition.
  3. Option (available for select layouts-consult your Hufcor Distributor): The panels shall be supported by the Unispan pre-engineered truss and post system fabricated of steel and aluminum. Unispan is attached to the building structure for lateral support only. The load of the truss and partition is supported by end columns. The columns are connected to floor plates that distribute the load of the system at the floor.
- D. Finishes
1. Face finish shall be: **(select as required)**:
    - a. Factory applied reinforced vinyl fabric with woven backing, weighing not less than 15 oz. per lineal yard [465 g/m]. Color shall be selected from manufacturer's standard color selector.
    - b. Standard upgrade fabrics (color shall be selected from manufacturer's standard color selector):
      - (1) Factory applied vertical ribbed carpet (N.R.C. .20)
      - (2) Factory applied stain resistant fabric
    - c. Optional:
      - (1) Customer selected (requires factory approval for manufacturing compatibility)
      - (2) Unfinished for field decoration
      - (3) Wood veneer (factory installed on trimmed models)
      - (4) High pressure laminate (factory installed on trimmed models)
      - (5) LG Architectural Fusions
  2. Exposed metal trim and seal color shall be **(select from Hufcor's Standard Trim selector)**:
    - a. Lamb's Wool (standard)
    - b. Brown (standard)
    - c. Gray (standard)
    - d. Custom powder coated (optional upgrade for metal trim)
  3. Aluminum track shall be clear anodized
    - a. Optional upgrade:
      - (1) Custom anodized
      - (2) Custom powder coated
- E. Available Accessories/Options
1. ADA compliant pass door of the same thickness and construction as the basic panels. Pass door panel legs require bottom seals that provide downward force to maintain stability during door operation. Pass door leaf has perimeter trim to protect face finish and to

provide visual identification as required by International Building Code. Pass door leaf incorporates a self-adjusting retractable bottom seal providing sound control when door is closed.

- a. Automatic door closer
- b. Door lock
- c. Exit sign (consult your local code)
- d. Prepped for window
- e. Peep hole
2. Inset markerboard/writing/projection surfaces
3. Inset tackboards
4. Inset eraser pocket
5. Segmented faces
6. Finished end cover
7. Pocket doors
8. Inset chair rail pan (for field installation of chair rail).
9. Custom design options (consult your local Hufcor Distributor)
10. Field sound test

2.03 OPERATION

- A. Panels shall be manually moved from the storage area, positioned in the opening, and seals set.
- B. Retractable Horizontal Seals
  1. Retractable horizontal seals shall be activated by a removable quick-set operating handle located approximately 42" [1067] from the floor in the panel edge.
  2. All retractable seals in each hinged panel group shall be operated simultaneously.
  3. Seal activation requires a 190 degree turn of the removable handle.
- C. Final partition closure to be by lever closure panel with expanding jamb which compensates for minor wall irregularities and provides a minimum of 250 lbs. [113.4 kg] seal force against the adjacent wall for optimum sound control. The jamb activator shall be located approximately 45" [1143] from the floor in the panel face and be accessed from either side of the panel. The jamb is equipped with a mechanical rack and pinion gear drive

mechanism and shall extend 4"-6" [101-152] by turning the removable operating handle.

D. Stack/Store Panels

1. Retract seals with removable operating handle and move to storage area. Panels may be stored at either or both ends of the track or in a pocket.

2.04 ACOUSTICAL PERFORMANCE

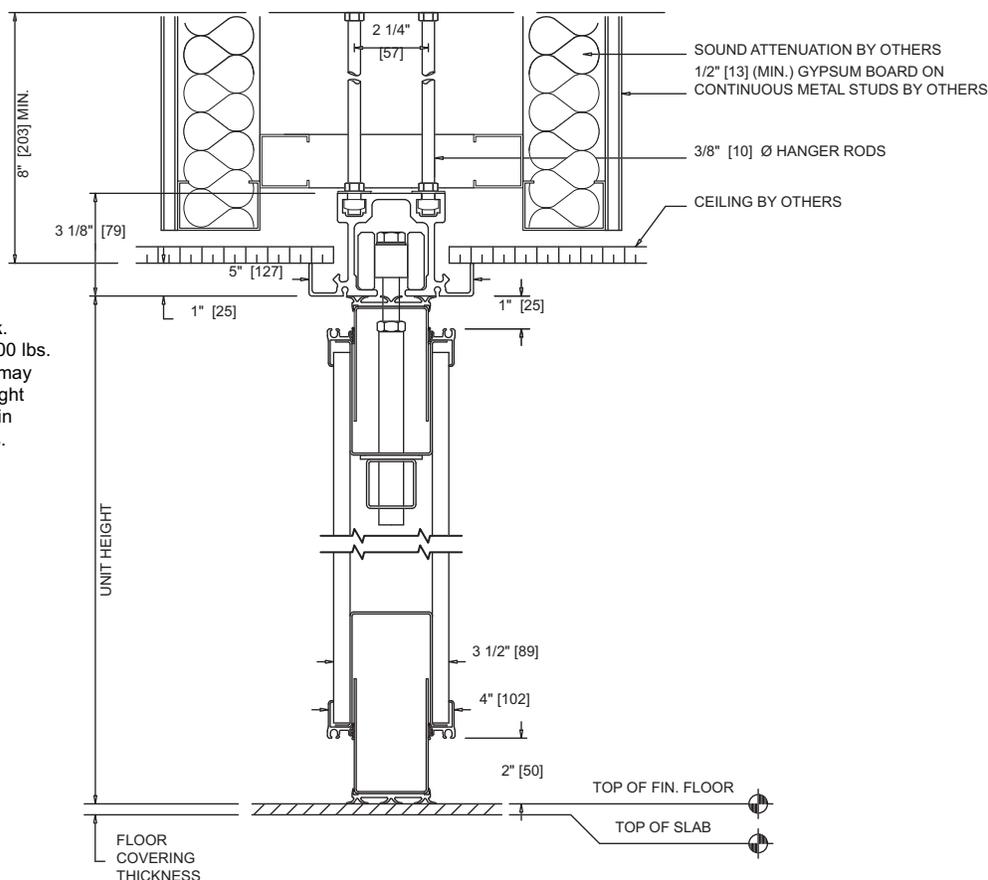
- A. Acoustical performance shall be tested at a laboratory accredited under the National Voluntary Laboratory Accreditation Program (NVLAP) and in accordance with ASTM E90 Test Standards. Standard panel construction shall have obtained an STC rating of \_\_\_\_ (select those required): 43, 47, 49, 52, 54, 56 (Not all substrates are available in all STC ratings)
  1. Complete, unaltered written test report is to be made available upon request.

PART 3 - EXECUTION

- A. Installation. The complete installation of the operable wall system shall be by an authorized factory-trained installer and be in strict accordance with the approved shop drawings and manufacturer's standard printed specifications, instructions, and recommendations.
- B. Cleaning
  1. All track and panel surfaces shall be wiped clean and free of handprints, grease, and soil.
  2. Cartoning and other installation debris shall be removed to onsite waste collection area, provided by others.
- C. Training
  1. Installer shall demonstrate proper operation and maintenance procedures to owner's representative.
  2. Operating handle and owners manuals shall be provided to owner's representative.

Header shown for plenum sound enclosure is one of several that may be used. See ASTM E557 Standard Practice for Archl Application & Installation of Operable Partitions for other recommendations.

**Type 40 Aluminum track.** Standard for weights to 900 lbs. [408 kg]. Alternate track may be used providing the height and weight limits are within manufacturer's guidelines.

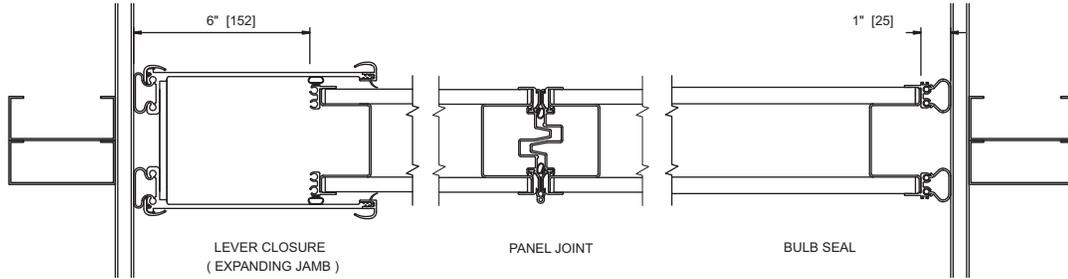


VERTICAL SECTION

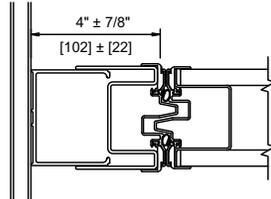
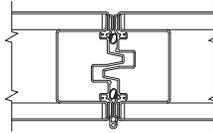
No Scale

HORIZONTAL SECTION with Vertical Trim

Final partition closure using an Expanding Jamb (Lever Closure). Solid blocking is required at both ends to withstand 250 lbs. [113.4 kg] of lateral force.



Optional: No vertical face trim panel joint.

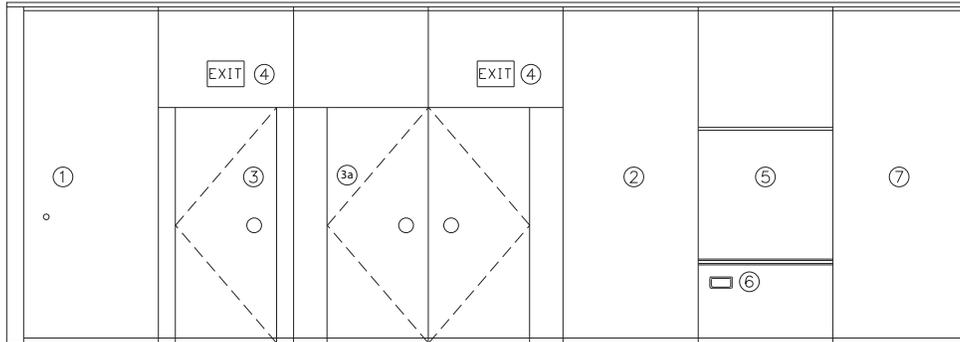


Optional: Wall Jamb Assembly

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OPTIONS & ACCESSORIES

ELEVATION



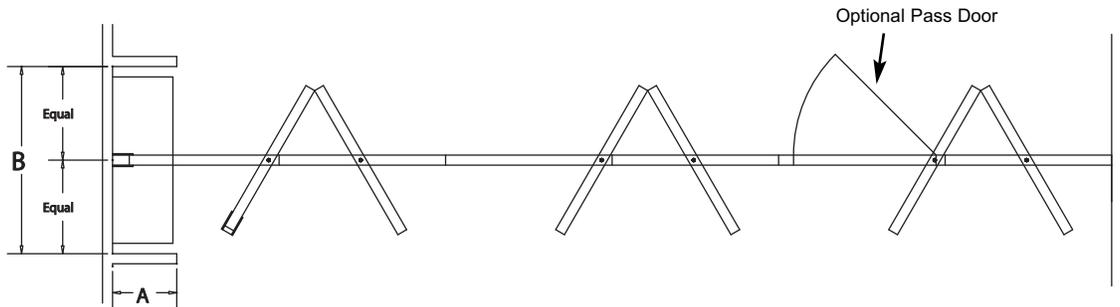
1. **Expanding Jamb Closure (Lever Closure) Panel.**  
Expanding jamb exerts 250 lbs. [113.4kg] force against adjacent wall for optimum sound control.
2. **Basic panel**
3. **ADA compliant pass doors** - Single 3/0 x 7/0 [914 x 2132] or 3/0 x 6/8 [914 x 2030]. Of the same construction, thickness, and finish as the basic panels. Push/pull latching handle. Options include key lock, windows, and automatic door closer. No threshold is required.  
3a. Double doors ("batwing") also available.
4. **Exit Sign** - Recessed or surface mounted, self-illuminated.
5. **Work Surfaces** 4'0" [1219] high x panel width, recessed, mounted approx. 30" [762] above the floor:
  - a. Markerboard and projection/writing surfaces (from Hufcor standard color selector).
  - b. Tackboards of 2mm cork board covered with vinyl (from Hufcor standard color selector).
  - c. Chalk/marker tray (standard on chalk and projection/writing boards).
6. **Recessed Eraser Pocket** (8" x 2" x 1-1/4" deep [203 x 50 x 31]).
7. **Lead panel** with bulb seal to prevent sound leaks at adjacent wall.  
Optional: Lead panel closure to 4" [101] adjustable, full height, acoustic wall jamb assembly.

## Paired Operable Partitions

### STACK DIMENSIONS

The following stack depth and width dimensions are based on standard construction with vinyl faces. Optional construction and/or face covering may increase stack depth requirements.

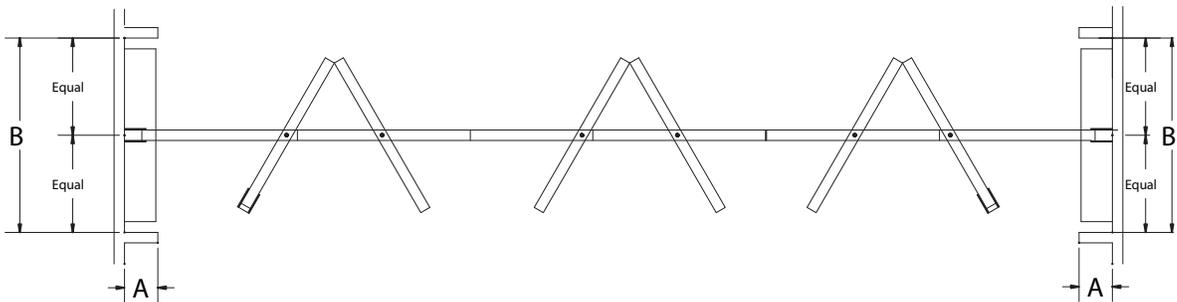
#### Single Opening. Using an Expanding Jamb (Lever Closure) Panel



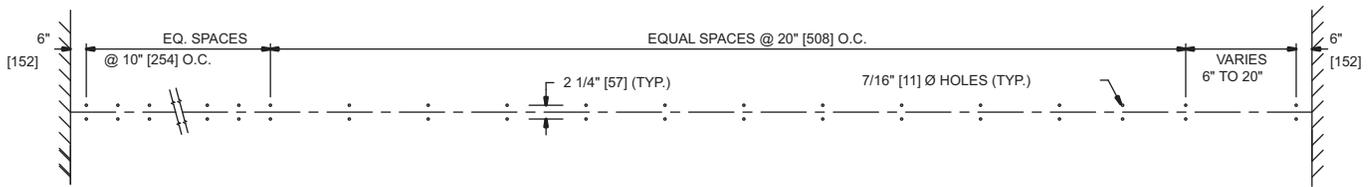
A = Stack Depth, 4-1/4" [108] per panel plus 1" [25]  
 Optional panic hardware will add to the depth of the stack.  
 Please contact your Hufcor distributor for assistance.

B = Stack Width:  
 No Pocket: Panel width + 3" [76].  
 Pocket without pocket doors: Panel width + min. 8" [204]

#### Optional - Bi-parting (with expanding jamb (lever closure) panels at both ends). (same stack formula at each end as single)



## HANGER ROD LAYOUT - For Type 38, & 40 Tracks

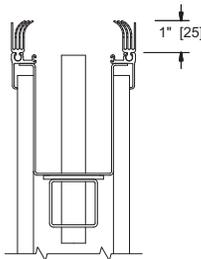


### HANGING WEIGHT

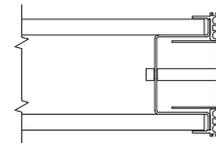
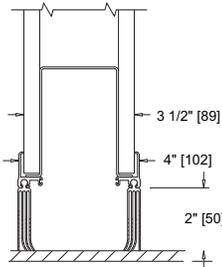
STC	Lbs./Sq. Ft.	Kg./Sq. M
43	7.8	37.8
47	8.0	38.7
49	8.5	41.2
52	9.5	46.0
54	10.9	53.2
56	13.6	66.4

### OPTIONS

Optional continuous contact top (sweep) seals

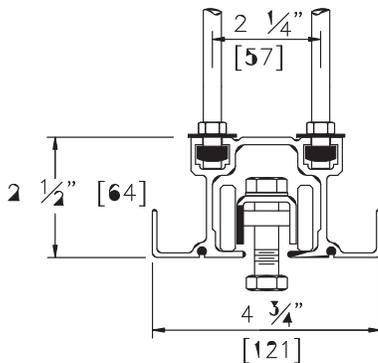


Optional continuous contact (sweep) bottom seals

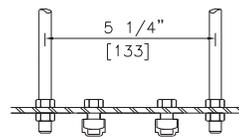


Optional finished end cover - provides finished panel end when partition run does not extend from wall-to-wall.

**OPTIONAL TRACKS - Alternate Hufcor track may be used providing the height and weight limits are within manufacturer's guidelines.**



**Type 38 Aluminum Track**  
Optional for panel weights to 400 lbs. [182 kg].



Optional suspension bracket available for 5-1/4" [133] spacing.

### Worldwide headquarters:

Hufcor Inc.  
2101 Kennedy Rd.  
P.O. Box 5591  
Janesville, WI USA 53547-0591  
1-800-542-2371 ext. 214; 1-608-756-1241  
FAX: 1-608-758-8253  
E-mail: info@hufcor.com  
Website: www.hufcor.com

The manufacturer reserves the right to improve and change product without notice.



## **Section II: BID PACKAGE (TO SUBMIT)**

---

### **A. Bid Form**

See the below Bid Form that must be fully filled out and placed in the sealed Bid envelope.

### **B. Bid Bond Form**

See the below Bid Bond Form that must be fully filled out and placed in the sealed Bid envelope.

### **C. Contractor Profile**

Please fill out the below Contractor Profile form and include in Bid Package.

### **D. Contractor References**

Please fill out the below Contractor References form and include in Bid Package.

### **E. Affidavit of Financial Resources**

Please fill out the below Affidavit of Financial Resources form, have it notarized and include original in Bid Package



5. Alternative No. 1: BIDDER's alternative bid to install the resilient flooring and base (RB-1 and VCT-1) as defined in sheet no. A001 of the Drawing in both toilet rooms 141 and 142 is \_\_\_Dollars (\$\_\_\_\_). If the CDA accepts this Alternative No. 1 bid then it will be added to the Contract Amount.

6. Alternative No. 2: BIDDER's alternative bid to not install tile carpeting and resilient base (CPT-1 and RB-1) as defined in sheet no. A001 of the Drawings in a room that is currently listed in the Room Finish Schedule equates to \_\_\_\_\_Dollars per Useable Square Foot (\$\_\_\_\_/Useable Square Foot or the "Useable Square Foot Cost") as defined in the Room Finish Schedule. If the CDA accepts this Alternative No. 2 bid then the cost to remove the installation of the tile carpeting and resilient base from a room or rooms will be calculated as: The total Useable Square Feet of the room(s) multiplied by the per Useable Square Foot Cost will be deducted from the Contract Amount if the CDA elects to remove some areas from this Scope of Work .

7. The BIDDER's parts and labor warranty to correct any work described in the Drawings is \_\_\_years from Substantial Completion.

8. BIDDER \_\_\_\_\_(include on line-is/is not) a prequalified contractor with the City of Madison's Engineering department.

9. BIDDER \_\_\_\_\_(include on line-does or does not) need an Affirmative Action Plan as described in Section 13 of the Contract.

Contractor Name/Entity Registered with the State of Wisconsin: \_\_\_\_\_

Contractor Signature\*: \_\_\_\_\_

Contractor Printed Name: \_\_\_\_\_

\*This individual is authorized to sign on behalf of the Entity bidding on this Project, and is the individual noted in the Affidavit of Financial Resources.

## **BID BOND**

LET ALL KNOW BY THESE DOCUMENTS PRESENTED, THAT Principal and Surety, as identified below, are held and firmly bound unto the Community Development Authority of the City of Madison, (hereinafter referred to as the "Obligee"), in the sum of \_\_\_\_ Thousand and \_\_\_\_ Hundred Dollars (\$\_\_\_\_\_) (the "Obligation"), which represents five per cent (5%) of the total Bid Amount by the Principal herein accepted by the Obligee, for the payment of which the Principal and the Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

The conditions of this Obligation are such that, whereas the Principal has submitted, to the Obligee a certain Bid-attached hereto (Bid Form) and hereby made a part hereof, to enter into a Contract in writing for the tenant improvement construction work as further described in the following request for bid number: RFB 8926-0-2020-KK.

1. If said bid is rejected by the Obligee, then this obligation shall be void.
2. If said Bid is accepted by the Obligee, the Principal shall execute and deliver a Contract in the form specified by the Obligee in the Bid Packet (properly completed in accordance with said Bid), and shall furnish a Payment and Performance Bond for his/her faithful performance of said Contract, and for the payment of all persons performing labor or furnishing materials in connection therewith, and shall in all other respects perform the agreement created by the acceptance of said Bid, then this Obligation shall be void.

If said Bid is accepted by the Obligee and the Principal shall fail to execute and deliver the Contract and deliver the Payment and Performance Bond executed by this Surety, or other Surety approved by the Obligee, all within the time specified or any extension thereof, the Principal and Surety agree jointly and severally to forfeit to the Obligee as liquidated damages the Obligation sum mentioned above, it being understood that the liability of the Surety for any and all claims hereunder shall in no event exceed the sum of this Obligation as stated, and it is further understood that the Principal and Surety reserve the right to recover from the Obligee that portion of the forfeited sum which exceed the actual liquidated damages incurred by the Obligee.

The Surety, for value received, hereby stipulates and agrees that the obligations of said Surety and its bond shall be in no way impaired or affected by an extension of the time within which the Obligee may accept such Bid, and said Surety does hereby waive notice of any such extension.

SIGNATURES FOLLOW ON THE NEXT PAGE

IN WITNESS WHEREOF, the Principal and the Surety have hereunto set their hands and seals, and such of them as are corporations have caused their corporate seals to be hereto affixed and these presents to be signed by their proper officers, on the day and year set forth below.

**Seal      PRINCIPAL**

Name of Principal

BY \_\_\_\_\_

Date \_\_\_\_\_

\_\_\_\_\_  
Name and Title

**Seal      SURETY**

Name of Surety

BY \_\_\_\_\_

Date \_\_\_\_\_

\_\_\_\_\_  
Name and Title

This certifies that I have been duly licensed as an agent for the above company in Wisconsin under National Provider No. \_\_\_\_\_ for the year \_\_\_\_\_, and appointed as attorney in fact with authority to execute this bid bond and the payment and performance bond referred to above, which power of attorney has not been revoked.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Agent Signature

\_\_\_\_\_  
Address

City, State and Zip Code

Telephone Number

**NOTE TO SURETY & PRINCIPAL**

The bid submitted which this bond guarantees shall be rejected if the following instrument is not attached to this bond:

Power of Attorney showing that the agent of Surety is currently authorized to execute bonds on behalf of the Surety and in the amounts referenced above.

## CONTRACTOR PROFILE

**1. Proposer/Bidder Company Name:**

---

**2. Form of Organization:**     Corporation                       Limited Liability Company             General Partnership  
    Sole Proprietor                       Unincorporated Association         Other: \_\_\_\_\_

---

**3. FEIN:** \_\_\_\_\_ OR Social Security Number (if sole proprietorship, provide SSN at time of contract award)

---

Dunn and Bradstreet No. \_\_\_\_\_

---

**4. Company Address:**

---

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

---

**5. Address of Office servicing CDA Project:**

---

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

---

**6. Principal Information & Contact**

---

Name \_\_\_\_\_ Title \_\_\_\_\_ Phone \_\_\_\_\_ Email \_\_\_\_\_

---

**7. Contact person for questions about your bid/proposal:**

---

Name \_\_\_\_\_ Title \_\_\_\_\_ Phone \_\_\_\_\_ Email \_\_\_\_\_

---

**8. Mailing Address where CDA purchase orders/contracts are to be mailed, Billing Contact Person:**

---

Contact Name \_\_\_\_\_ Title \_\_\_\_\_ Phone \_\_\_\_\_ Email \_\_\_\_\_

---

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

---

**9. Affirmative Action Contact:**

---

Name \_\_\_\_\_ Title \_\_\_\_\_ Phone \_\_\_\_\_ Email \_\_\_\_\_

---

**CONTRACTOR PROFILE: REFERENCES**

Complete this form if your company has not completed work of similar type and size with the Community Development Authority of the City of Madison in the previous three calendar years.

List four (4) projects in which you, or your firm has/had:

- 1. Similar involvement (prime contractor, subcontractor)
- 2. Similar in nature (roofing, paving, construction, etc.)
- 3. Similar in scope (amount of work, dollar value, complexity, etc.)
- 4. Completed in the last 5 calendar years

Project Name	Project Address	Project Owner	Owner Phone Number
1.			
2.			
3.			
4.			





## **Section III: CONTRACTING REQUIREMENTS**

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### **A. CDA Contract**

See the attached sample Contract that will be tailored to the Bid.

### **B. Insurance Requirements**

### **C. Payment and Performance Bond Form**



THIS IS A SAMPLE CONTRACT SUBJECT TO CHANGE

**CONTRACT FOR PURCHASE OF SERVICES  
RFB 8926-0-2020-KK**

Between the Community Development Authority of the City of Madison and XXXXX Company.

**1. PARTIES.**

This is a "Contract" between the Community Development Authority of the City of Madison, Wisconsin, hereafter referred to as the "CDA" and XXXXXXXXXXXXXXXXXXXX, hereafter referred to as "Contractor".

The Contractor is a:  Corporation  Limited Liability Company  General Partnership  LLP  
(to be completed by Contractor)  Sole Proprietor  Unincorporated Association  Other: \_\_\_\_\_

**2. PURPOSE.**

The purpose of this Contract is as set forth in Section 3.

**3. SCOPE OF SERVICES AND SCHEDULE OF PAYMENTS.**

Contractor will perform the following services and be paid according to the following schedule(s) or attachment(s):

The scope of services are described in Exhibit A (the "Scope of Services") for tenant improvement construction work at the Village on Park Mall located at 2300 S. Park Street, Madison WI (the "Property"). Contractor's parts and labor warranty to correct any work described in this Contract is \_\_\_years from Substantial Completion.

Other Attachments to the Contract are as follows:

- a. Exhibit B, which shows the attached plans and specifications dated February 24, 2020 prepared by Strang, Inc (the "Drawings").
- b. Exhibit C, which shows the attached scope of work that is being performed by JWC Building Specialties, Inc. Contractor shall coordinate its work with JWC Building Specialties, Inc.

Contractor may invoice the CDA monthly per Section 24 of the Contract for the Scope of Services completed in said calendar month submit a partial lien waiver therewith. Per Section 8.C, Contractor shall also submit progress reports with each invoice.

The CDA will retain ten percent of the Contract Amount until substantial completion of the Scope of Services occurs, and the CDA approves it in writing; then Contractor may send the CDA a final invoice and final lien waiver.

In the case of any conflict between the provisions of Exhibit A and this Agreement, the provisions of this Agreement shall control.

**4. TERM AND EFFECTIVE DATE.**

This Contract shall become effective upon execution by the CDA (the "Effective Date"), unless another effective date is specified in the Attachment(s) incorporated in Section 3, however in no case shall Work commence before execution by the CDA and notice per Section 8 below. The Contractor will complete the Scope of Services by May 31, 2020 (the "Contract Time"), which only may be extended by the written approval by the CDA.

**5. ENTIRE AGREEMENT.**

This Contract for Purchase of Services, including any and all attachments, exhibits and other documents referenced in Section 3 (hereafter, "Agreement" or "Contract") is the entire Agreement of the parties and supersedes any and all oral contracts and negotiations between the parties.

**6. ASSIGNABILITY/SUBCONTRACTING.**

Contractor shall not assign or subcontract any interest or obligation under this Contract without the CDA's prior written approval. All of the services required hereunder will be performed by Contractor and employees of Contractor.

**7. DESIGNATED REPRESENTATIVE.**

A. Contractor designates XXXXXXX as Contract Agent with primary responsibility for the performance of this Contract. In case this Contract Agent is replaced by another for any reason, the Contractor will designate another Contract Agent within seven (7) calendar days of the time the first terminates his or her employment or responsibility using the procedure set forth in Section 15, Notices.

B. In the event of the death, disability, removal or resignation of the person designated above as the Contract agent, the CDA may accept another person as the Contract agent or may terminate this Agreement under Section 25, at its option.

**8. PROSECUTION AND PROGRESS.**

A. The Scope of Services under this Agreement shall commence upon written order from the CDA to the Contractor. This order will constitute authorization to proceed, unless another date for commencement is specified elsewhere in this Contract including documents incorporated in Section 3.

B. The Contractor shall complete the Scope of Services under this Agreement within the Contract Time for completion specified Section 4 including any amendments.

The time for completion shall not be extended because of any delay attributable to the Contractor, but it may be extended by the CDA in the event of a delay attributable to the CDA, or in the event of unavoidable delay caused by war, insurrection, natural disaster, or other unexpected event beyond the control of the Contractor. If at any time the Contractor believes that the Contract Time for completion of the Work should be extended because of unavoidable delay caused by an unexpected event, or because of a delay attributable to the CDA, the Contractor shall notify the CDA as soon as possible, but not later than seven (7) calendar days after such an event. Such notice shall include any justification for an extension of time and shall identify the amount of time claimed to be necessary to complete the Work.

C. Scope of Services by the Contractor shall proceed continuously and expeditiously through completion of each phase of the Work.

D. Progress reports documenting the extent of completed Scope of Services shall be prepared by the Contractor and submitted to the CDA with each invoice under Section 24 of this Agreement, and at such other times as the CDA may specify.

E. The Contractor shall notify the CDA in writing when the Contractor has determined that the Scope of Services under this Agreement have been completed or "Substantial Completion". Thereafter the CDA shall review the Work and notify the Contractor in writing if it believes the Scope of Services are complete and are acceptable. If not, the CDA shall produce a written punch list for the Contractor to complete in order to obtain Substantial Completion of the Scope of Services. When the CDA determines that the Scope of Services are complete after its review of the punch list, the CDA will provide written notification to the Contractor, acknowledging formal acceptance of the completed Scope of Services.

9. **AMENDMENT.**

This Contract shall be binding on the parties hereto, their respective heirs, devisees, and successors, and cannot be varied or waived by any oral representations or promise of any agent or other person of the parties hereto. Any other change in any provision of this Contract may only be made by a written amendment, signed by the duly authorized agent or agents who executed this Contract.

10. **EXTRA SERVICES.**

The CDA may require the Contractor to perform extra services or decreased services, according to the procedure set forth in Section 24. Extra services or decreased services means services which are not different in kind or nature from the Scope of Services called for in Section 3, but which may increase or decrease the quantity and kind of labor or materials or expense of performing the services. Extra services may not increase the total Contract Amount, as set forth in Section 23, unless the Contract is amended as provided in Section 9 above.

11. **NO WAIVER.**

No failure to exercise, and no delay in exercising, any right, power or remedy hereunder on the part of the CDA or Contractor shall operate as a waiver thereof, nor shall any single or partial exercise of any right, power or remedy preclude any other or further exercise thereof or the exercise of any other right, power or remedy. No express waiver shall affect any event or default other than the event or default specified in such waiver, and any such waiver, to be effective, must be in writing and shall be operative only for the time and to the extent expressly provided by the CDA or Contractor therein. A waiver of any covenant, term or condition contained herein shall not be construed as a waiver of any subsequent breach of the same covenant, term or condition.

12. **NON-DISCRIMINATION.**

In the performance of Work under this Contract, the Contractor agrees not to discriminate against any employee or applicant for employment because of race, religion, marital status, age, color, sex, handicap, national origin or ancestry, income level or source of income, arrest record or conviction record, less than honorable discharge, physical appearance, sexual orientation, gender identity, political beliefs or student status. Contractor further agrees not to discriminate against any subcontractor or person who offers to subcontract on this Contract because of race, religion, color, age, disability, sex, sexual orientation, gender identity or national origin.

13. **AFFIRMATIVE ACTION.**

By policy, the CDA has opted to require contractors to comply with the Affirmative Action and Workforce utilization requirements of the City of Madison. Under this Agreement, Contractor shall comply with the following:

**A. The following language applies to all contractors employing fifteen (15) or more employees: (MGO 39.02(9)(c).)**

The Contractor agrees that, within thirty (30) days after the Effective Date of this Contract, Contractor will provide to the City of Madison Department of Civil Rights (the "Department"), certain workforce utilization statistics, using a form provided by the City.

If the Contract is still in effect, or if the CDA enters into a new Agreement with the Contractor, within one year after the date on which the form was required to be provided, the Contractor will provide updated workforce information using a second form, also to be furnished by the City. The second form will be submitted to the Department no later than one year after the date on which the first form was required to be provided.

The Contractor further agrees that, for at least twelve (12) months after the Effective Date of this Contract, it will notify the Department of each of its job openings at facilities in Dane County for which applicants not already employees of the Contractor are to be considered. The notice will include a job description, classification, qualifications, and application procedures and deadlines. The Contractor agrees to interview and consider candidates referred by the Department if the candidate meets the minimum qualification standards established by the Contractor, and if the referral is timely. A referral is timely if it is received by the Contractor on or before the date stated in the notice.

The Department will determine if a contractor is exempt from the above requirements (Section 13.A.) at the time the Request for Exemption in 13.B. (2) is made.

**B. Articles of Agreement, Request for Exemption, and Release of Payment:**

The below “ARTICLES OF AGREEMENT” apply to all contractors, unless determined to be exempt under the following table and procedures:

NUMBER OF EMPLOYEES	LESS THAN \$50,000 Aggregate Annual Business with the City*	\$50,000 OR MORE Aggregate Annual Business with the City*
14 or less	Exempt**	Exempt**
15 or more	Exempt**	Not Exempt

\*As determined by the Finance Director

\*\*As determined by the Department of Civil Rights

(1) Exempt Status: In this section, “Exempt” means the Contractor is exempt from the Articles of Agreement in section 13.B(5) of this Contract and from filing an Affirmative Action plan as required by Section IV of the Articles of Agreement. The Department of Civil Rights (“Department”) makes the final determination as to whether a contractor is exempt. If the Contractor is not exempt, Sec. 13.B. (5) shall apply and Contractor shall select option A. or B. under Article IV therein and file an Affirmative Action Plan.

(2) Request for Exemption – Fewer Than 15 Employees: (MGO 39.02(9) (a) 2.) Contractors who believe they are exempt based on number of employees shall submit a Request for Exemption on a form provided by the Department within thirty (30) days of the Effective Date of this Contract.

(3) Exemption – Annual Aggregate Business: (MGO 39.02(9)(a)c.): The Department will determine, at the time this Contract is presented for signature, if the Contractor is exempt because it will have less than \$50,000 in annual aggregate business with the City for the calendar year in which the Contract is in effect. **CONTRACTORS WITH 15 OR MORE EMPLOYEES WILL LOSE THIS EXEMPTION AND BECOME SUBJECT TO SEC. 13.B.(5) UPON REACHING \$50,000 OR MORE ANNUAL AGGREGATE BUSINESS WITH THE CITY WITHIN THE CALENDAR YEAR, BEGINNING IN 2020.**

(4) Release of Payment: (MGO 39.02(9)(e) 1.b.) All non-exempt contractors must have an approved Affirmative Action Plan meeting the requirements of Article IV below on file with the Department within thirty (30) days of the Effective Date of this Contract and prior to release of payment by the City. Contractors that are exempt based on number of employees agree to file a Request for Exemption with the Department within thirty (30) days of the Effective Date and prior to release of payment by the City.

(5) Articles of Agreement:

**ARTICLES OF AGREEMENT**

ARTICLE I

The Contractor shall take affirmative action in accordance with the provisions of this Contract to insure that applicants are employed, and that employees are treated during employment without regard to race, religion, color, age, marital status, disability, sex, sexual orientation, gender identity or national origin and that the employer shall provide harassment-free work environment for the realization of the potential of each employee. Such action shall include, but not be limited to, the following: employment, upgrading, demotion or transfer, recruitment or recruitment advertising, layoff or termination, rates of pay or other forms of compensation and selection for training including apprenticeship insofar as it is within the control of the Contractor. The Contractor agrees to post in conspicuous places available to employees and applicants notices to be provided by the CDA setting out the provisions of the nondiscrimination clauses in this Contract.

ARTICLE II

The Contractor shall in all solicitations or advertisements for employees placed by or on behalf of the Contractor state that all qualified or qualifiable applicants will be employed without regard to race, religion, color, age, marital status, disability, sex, sexual orientation, gender identity or national origin.

ARTICLE III

The Contractor shall send to each labor union or representative of workers with which it has a collective bargaining Agreement or other Contract or understanding a notice to be provided by the CDA advising the labor union or workers representative of the Contractor’s equal employment opportunity and affirmative action commitments. Such notices shall be posted in conspicuous places available to employees and applicants for employment.

ARTICLE IV

(This Article applies to non-public works contracts.)

The Contractor agrees that it will comply with all provisions of the Affirmative Action Ordinance of the City of Madison including the Contract compliance requirements. The Contractor warrants and certifies that, of the following two paragraphs, paragraph A or B is true (check one):

A. It has prepared and has on file an affirmative action plan that meets the format requirements of Federal Revised Order No. 4, 41 CFR part 60-2, as established by 43 FR 51400 November 3, 1978, including appendices required by City of Madison ordinances or it has prepared and has on file a model affirmative action plan approved by the Madison Common Council.

B. Within thirty (30) days after the effective date of this Contract, it will complete an affirmative action plan that meets the format requirements of Federal Revised Order No. 4, 41 CFR Part 60-2, as established by 43 FR 51400, November 3, 1978, including appendices required by City of Madison ordinance or within thirty (30) days after the effective date of this Contract, it will complete a model affirmative action plan approved by the Madison Common Council.

ARTICLE V

(This Article applies only to public works contracts.)

The Contractor agrees that it will comply with all provisions of the Affirmative Action Ordinance of the City of Madison, including the Contract compliance requirements. The Contractor agrees to submit the model affirmative action plan for public works Contractors in a form approved by the Director of Affirmative Action.

ARTICLE VI

The Contractor will maintain records as required by Section 39.02(9)(f) of the Madison General Ordinances and will provide the City's Department of Affirmative Action with access to such records and to persons who have relevant and necessary information, as provided in Section 39.02(9)(f). The City agrees to keep all such records confidential, except to the extent that public inspection is required by law.

ARTICLE VII

In the event of the Contractor's or subcontractor's failure to comply with the Equal Employment Opportunity and Affirmative Action provisions of this Contract or Sections 39.03 and 39.02 of the Madison General Ordinances, it is agreed that the CDA at its option may do any or all of the following:

- A. Cancel, terminate or suspend this Contract in whole or in part.
- B. Declare the Contractor ineligible for further CDA contracts until the Affirmative Action requirements are met.
- C. Recover on behalf of the CDA from the prime Contractor 0.5 percent of the Contract Amount for each week that such party fails or refuses to comply, in the nature of liquidated damages, but not to exceed a total of five percent (5%) of the Contract Amount, or ten thousand dollars (\$10,000), whichever is less. Under public works contracts, if a subcontractor is in noncompliance, the CDA may recover liquidated damages from the prime Contractor in the manner described above. The preceding sentence shall not be construed to prohibit a prime Contractor from recovering the amount of such damage from the noncomplying subcontractor.

ARTICLE VIII

(This Article applies to public works contracts only.)

The Contractor shall include the above provisions of this Contract in every subcontract so that such provisions will be binding upon each subcontractor. The Contractor shall take such action with respect to any subcontractor as necessary to enforce such provisions, including sanctions provided for noncompliance.

ARTICLE IX

The Contractor shall allow the maximum feasible opportunity to small business enterprises to compete for any subcontracts entered into pursuant to this Contract. (In federally funded contracts, the terms "DBE, MBE, and WBE" shall be substituted for the term "small business" in this Article.)

**14. SEVERABILITY.**

It is mutually agreed that in case any provision of this Contract is determined by any court of law to be unconstitutional, illegal or unenforceable, it is the intention of the parties that all other provisions of this Contract remain in full force and effect.

**15. NOTICES.**

All notices to be given under the terms of this Contract shall be in writing and signed by the person serving the notice and shall be sent registered or certified mail, return receipt requested, postage prepaid, or hand delivered to the addresses of the parties listed below:

FOR THE CDA:

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City of Madison Office of Real Estate Service  
 c/o Kris Koval, Real Estate Specialist III  
 215 Martin Luther King Jr Blvd Suite 300  
 Madison, WI 53703

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FOR THE CONTRACTOR:

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**16. STATUS OF CONTRACTOR/INDEPENDENT/TAX FILING.**

It is agreed that Contractor is an independent Contractor and not an employee of the CDA, and that any persons who the Contractor utilizes and provides for services under this Contract are employees of the Contractor and are not employees of the CDA.

**Contractor shall provide its taxpayer identification number (or social security number) to the Finance Director, 210 Martin Luther King Jr. Blvd, Room 406, Madison, WI 53703, prior to payment.** The Contractor is informed that as an independent Contractor, s/he may have a responsibility to make estimated tax returns, file tax returns, and pay income taxes and make social security payments on the amounts received under this Contract and that no amounts will be withheld from payments made to this Contractor for these purposes and that payment of taxes and making social security payments are solely the responsibility and obligation of the Contractor. The Contractor is further informed that s/he may be subject to civil and/or criminal penalties if s/he fails to properly report income and pay taxes and social security taxes on the amount received under this Contract.

**17. GOODWILL.**

Any and all goodwill arising out of this Contract inures solely to the benefit of the CDA; Contractor waives all claims to benefit of such goodwill.

18. **THIRD PARTY RIGHTS.**

This Contract is intended to be solely between the parties hereto. No part of this Contract shall be construed to add, supplement, amend, abridge or repeal existing rights, benefits or privileges of any third party or parties, including but not limited to employees of either of the parties.

19. **AUDIT AND RETAINING OF DOCUMENTS.**

The Contractor agrees to provide all reports requested by the CDA including, but not limited to, financial statements and reports, reports and accounting of services rendered, and any other reports or documents requested. Financial and service reports shall be provided according to a schedule (when applicable) to be included in this Contract. Any other reports or documents shall be provided within five (5) working days after the Contractor receives the CDA's written requests, unless the parties agree in writing on a longer period. Payroll records and any other documents relating to the performance of services under the terms of this Contract shall be retained by the Contractor for a period of three (3) years after completion of all Work under this Contract, in order to be available for audit by the CDA or its designee.

20. **CHOICE OF LAW AND FORUM SELECTION.**

This Contract shall be governed by and construed, interpreted and enforced in accordance with the laws of the State of Wisconsin. The parties agree, for any claim or suit or other dispute relating to this Contract that cannot be mutually resolved, the venue shall be a court of competent jurisdiction within the State of Wisconsin and the parties agree to submit themselves to the jurisdiction of said court, to the exclusion of any other judicial district that may have jurisdiction over such a dispute according to any law.

21. **COMPLIANCE WITH APPLICABLE LAWS.**

The Contractor shall become familiar with, and shall at all times comply with and observe all federal, state, and local laws, ordinances, and regulations, which in any manner affect the services or conduct of the Contractor and its agents and employees.

22. **CONFLICT OF INTEREST.**

A. The Contractor warrants that it and its agents and employees have no public or private interest, and will not acquire directly or indirectly any such interest, which would conflict in any manner with the performance of the services under this Agreement.

B. The Contractor shall not employ or Contract with any person currently employed by the CDA for any services included under the provisions of this Agreement.

23. **COMPENSATION/ CONTRACT AMOUNT.**

It is expressly understood and agreed that in no event will the total compensation for services under this Contract exceed \_\_\_\_\_ (\$\_\_\_\_) (the "Contract Amount"). The Contract Amount includes all parts, materials, tools, supplies, equipment and labor required to perform the Scope of Services, including but not limited to demolition; disposal; mechanical; electrical; plumbing; permits; fees; bond costs; and insurance costs.

24. **BASIS FOR PAYMENT.**

A. **GENERAL**

(1) The CDA will pay the Contractor for the completed and accepted Scope of Services rendered under this Contract on the basis and at the Contract Amount set forth in Section 23 of this Contract.

The CDA will pay the Contractor for completed and approved "extra services", if any, if such "extra services" are authorized according to the procedures established in B of this Section. The rate of payment for "extra services" shall be the rate established between the parties in a change order then Amendment to the Contract. Such "extra services" payment shall be full compensation for the change order services rendered and for all labor, material, supplies, equipment and incidentals necessary to complete the "extra services".

(2) The Contractor shall submit invoices, on the form or format approved by the CDA, specified in the Scope of Services, Section 3 of this Contract. The CDA will pay the Contractor in accordance with the schedule set forth in the Scope of Services. The final invoice shall be submitted to the CDA within three months of Substantial Completion of the Scope of Services under this Agreement.

(3) Should this Agreement contain more than one service, a separate invoice and a separate final statement shall be submitted for each individual service.

(4) Payment shall not be construed as CDA acceptance of unsatisfactory or defective services or improper materials.

(5) Final payment of any balance due the Contractor will be made upon acceptance by the CDA of the Scope of Services under the Agreement and upon receipt by the CDA of documents required to be returned or to be furnished by the Contractor under this Agreement.

(6) The CDA has the equitable right to set off against any sum due and payable to the Contractor under this Agreement, any amount the CDA determines the Contractor owes the CDA, whether arising under this Agreement or under any other Agreement or otherwise. Per Section 3, the CDA will retain ten percent of the Contract Amount until Substantial Completion of the Scope of Services occurs.

(7) Compensation in excess of the total Contract Amount will not be allowed unless authorized by an amendment under Section 9, AMENDMENT.

(8) The CDA will not compensate for unsatisfactory performance by the Contractor.

B. **SERVICE ORDERS, EXTRA SERVICE, OR DECREASED SERVICE.**

(1) Written orders regarding the services, including extra services or decreased services, will be given by the CDA, using the procedure set forth in Section 15, NOTICES.

(2) The CDA may, by written order, request extra services or decreased services, as defined in Section 10 of this Contract. Unless the Contractor believes the extra services entitle it to extra compensation or additional time, the Contractor shall proceed to furnish the necessary labor, materials, and professional services to complete the services within the time limits specified in the Scope of Services, Section 3 of this Agreement, including any amendments under Section 9 of this Agreement.

(3) If in the Contractor's opinion the order for extra service would entitle it to extra compensation or extra time, or both, the Contractor shall not proceed to carry out the extra service, but shall notify the CDA, pursuant to Section 15 of this Agreement. The notification shall include the justification for the claim for extra compensation or extra time, or both, and the amount of additional fee or time requested.

(4) The CDA shall review the Contractor's submittal and respond in writing, either authorizing the Contractor to perform the extra service, or refusing to authorize it. The Contractor shall not receive additional compensation or time unless the extra compensation is authorized by the CDA in writing.

**25. DEFAULT/TERMINATION.**

A. In the event Contractor shall default in any of the covenants, agreements, commitments, or conditions herein contained, and any such default shall continue unremedied for a period of ten (10) days after written notice thereof to Contractor, the CDA may, at its option and in addition to all other rights and remedies which it may have at law or in equity against Contractor, including expressly the specific enforcement hereof or to cure the default on its own at the expense of the Contractor, forthwith have the cumulative right to immediately terminate this Contract and all rights of Contractor under this Contract.

B. Notwithstanding paragraph A. above, the CDA may in its sole discretion and without any reason terminate this Agreement at any time by furnishing the Contractor with ten (10) days' written notice of termination. In the event of termination under this subsection, the CDA will pay for all work completed by the Contractor and accepted by the CDA.

C. A Payment and Performance Bond in the Contract Amount that is required under this Contract, may be redeemed by the CDA if any default is not cured per the terms of this Contract.

**26. INDEMNIFICATION.**

Contractor shall be liable to and hereby agrees to indemnify, defend and hold harmless the CDA, and its officers, officials, agents, and employees against all loss or expense (including liability costs and attorney's fees) by reason of any claim or suit, or of liability imposed by law upon the CDA or its officers, officials, agents or employees for damages because of bodily injury, including death at any time resulting therefrom, sustained by any person or persons or on account of damages to property, including loss of use thereof, arising from, in connection with, caused by or resulting from the Contractor's and/or subcontractor's negligent acts, errors or omissions, in the performance of this Agreement, whether caused by or contributed to by the negligence of the CDA, its officers, officials, agents or employees. The provisions of this Section shall survive termination of this Agreement.

**27. INSURANCE.**

A. The Contractor will insure, and will require each subcontractor to insure, as indicated, against the following risks to the extent stated below. The Contractor shall not commence Work under this Contract, nor shall the Contractor allow any Subcontractor to commence work on its Subcontract, until the insurance coverage required below has been obtained and approved by the City Risk Manager, under the procedures in Section 27.C below.

Commercial General Liability

The Contractor shall procure and maintain during the life of this Contract, Commercial General Liability insurance including, but not limited to bodily injury, property damage, personal injury, and products and completed operations (unless determined to be inapplicable by the Risk Manager) in an amount not less than \$1,000,000 per occurrence. This policy shall also provide contractual liability in the same amount. Contractor's coverage shall apply on a primary and non-contributory basis, and list the CDA, its officers, officials, agents and employees as additional insureds. Contractor shall require all subcontractors under this Contract (if any) to procure and maintain insurance meeting the above criteria, applying on a primary basis and listing the CDA, its officers, officials, agents and employees as additional insureds.

Automobile Liability

The Contractor shall procure and maintain during the life of this Contract Business Automobile Liability insurance covering owned, non-owned and hired automobiles with limits of not less than \$1,000,000 combined single limit per accident. Contractor shall require all subcontractors under this Contract (if any) to procure and maintain insurance covering each subcontractor and meeting the above criteria.

Worker's Compensation

The Contractor shall procure and maintain during the life of this Contract statutory Workers' Compensation insurance as required by the State of Wisconsin. The Contractor shall also carry Employers Liability limits of at least \$100,000 Each Accident, \$100,000 Disease – Each Employee, and \$500,000 Disease – Policy Limit. Contractor shall require all subcontractors under this Contract (if any) to procure and maintain such insurance, covering each subcontractor.

Umbrella Insurance

The Contractor shall procure and maintain during the life of this Contract Umbrella Liability insurance at least as broad as the underlying CGL, Automobile and Employers Liability in an amount not less than \$5,000,000.

B. Acceptability of Insurers. The above-required insurance is to be placed with insurers who have an A.M. Best rating of no less than A- (A minus) and a Financial Category rating of no less than VII.

C. Proof of Insurance, Approval. The Contractor shall provide the City with certificate(s) of insurance from Insurers showing the type, amount, effective dates, and expiration dates of required policies as a prerequisite for the CDA to execute the Contract. Contractor shall provide the certificate(s) to the City's representative, Kris Koval, upon its execution of the Contract, or sooner, for approval by the

City Risk Manager. If any of the policies required above expire while this Contract is still in effect, Contractor shall provide renewal certificate(s) to the City for approval. Certificate Holder language should be listed as follows:

Community Development Authority of the City of Madison  
ATTN: Risk Management, Room 406  
210 Martin Luther King, Jr. Blvd.  
Madison, WI 53703

The Contractor shall provide copies of additional insured endorsements or insurance policies, if requested by the City Risk Manager. The Contractor and/or Insurer shall give the City thirty (30) days advance written notice of cancellation, non-renewal or material changes to any of the above-required policies during the term of this Contract.

D. Notice of Cancellation. The Contractor and/or Insurer shall give the City thirty (30) days advance written notice of cancellation, non-renewal or material changes to any of the above-required policies during the term of this Contract.

**28. OWNERSHIP OF CONTRACT PRODUCT.**

The original drawings and specifications, renderings, models, scale details, approved copies of shop drawings, record drawings and other such electronically stored documents prepared by the Contractor pursuant to this Contract shall become the property of the CDA on completion and acceptance of the Contractor's Work, or upon termination of the Contract, and shall be delivered to the CDA.

Documents prepared under this Contract may be distributed by the CDA for informational purposes without additional compensation to the Contractor.

Specifications and isolated, detail drawings inherent to the Contractor's design of the project, whether provided by the CDA or generated by the Contractor, shall be available for future use by the parties to this Contract and other parties, each at their own risk.

If design and documentation has been completed using automated or computerized techniques, the Contractor shall provide a copy of project documents upon request in a format approved by the CDA.

**29. WEAPONS PROHIBITION.**

Contractor shall prohibit, and shall require its subcontractors to prohibit, its employees from carrying weapons, including concealed weapons, in the course of performance of Work under this Contract, other than while at the Contractor's or subcontractor's own business premises. This requirement shall apply to vehicles used at any City work site and vehicles used to perform any Work under this Contract, except vehicles that are an employee's "own motor vehicle" pursuant to Wis. Stat. sec. 175.60(15m).

**30. AUTHORITY.**

Contractor represents that it has the authority to enter into this Contract. If the Contractor is not an individual, the person signing on behalf of the Contractor represents and warrants that he or she has been duly authorized to bind the Contractor and sign this Contract on the Contractor's behalf.

**31. COUNTERPARTS, ELECTRONIC DELIVERY.**

This Contract may be signed in counterparts, each of which shall be taken together as a whole to comprise a single document. Signatures on this Contract may be exchanged between the parties by facsimile, electronic scanned copy (.pdf) or similar technology and shall be as valid as original. Executed copies or counterparts of this Contract may be delivered by facsimile or email and upon receipt will be deemed original and binding upon the parties hereto, whether or not a hard copy is also delivered. Copies of this Contract, fully executed, shall be as valid as an original.

IN WITNESS WHEREOF, the parties hereto have set their hands at Madison, Wisconsin.

**CONTRACTOR**

\_\_\_\_\_  
(Type or Print Name of Contracting Entity)

By: \_\_\_\_\_  
(Signature)

Date: \_\_\_\_\_

**COMMUNITY DEVELOPMENT AUTHORITY OF THE CITY OF  
MADISON, WISCONSIN  
a body corporate & public**

By: \_\_\_\_\_  
Claude Gilmore, CDA Chair

Date: \_\_\_\_\_

By: \_\_\_\_\_  
Matt Wachter, Executive Director, CDA

Date: \_\_\_\_\_

## B. Insurance Requirements

The Contractor will insure, and will require each subcontractor to insure, as indicated, against the following risks to the extent stated below. The Contract shall not commence work under this Contract, nor shall the Contractor allow any Subcontractor to commence work on its Subcontract, until the insurance required below has been obtained and corresponding certificate(s) of insurance have been approved by the City of Madison Risk Manager.

### **Commercial General Liability**

The Contractor shall procure and maintain during the life of this contract, Commercial General Liability (CGL) insurance including, but not limited to, products and completed operations, bodily injury, property damage, personal injury, and products and completed operations (unless determined to be inapplicable by the City of Madison Risk Manager) in an amount not less than \$1,000,000 per occurrence. This policy shall also provide contractual liability in the same amount. Contractor's coverage shall apply on a primary and non-contributory basis, and list the Community Development Authority of the City of Madison (CDA), its officers, officials, agents and employees as additional insureds. Contractor shall require all subcontractors under this Contract (if any) to procure and maintain insurance meeting the above criteria, applying on a primary basis and listing the CDA, its officers, officials, agents and employees as additional insureds.

### **Automobile Liability**

The Contractor shall procure and maintain during the life of this contract Business Automobile Liability insurance covering owned, non-owned and hired automobiles with limits of not less than \$1,000,000 combined single limit per accident. Contractor shall require all subcontractors under this Contract (if any) to procure and maintain insurance covering each subcontractor and meeting the above criteria.

### **Workers Compensation**

The Contractor shall procure and maintain during the life of this contract statutory Workers' Compensation insurance and required by the State of Wisconsin. The Contractor shall also carry Employee Liability limits of at least \$100,000 Each Accident, \$100,000 Disease – Each Employee, and \$500,000 Disease – Policy Limit. Contractor shall require all subcontractors under this Contract (if any) to procure and maintain such insurance, covering each subcontractor.

### **Umbrella Insurance**

The Contractor shall procure and maintain during the life of this contract Umbrella Liability insurance at least as broad as the underlying CGL, Automobile and Employers Liability in an amount not less than \$2,000,000.

### **Acceptability of Insurers**

The above-required insurance is to be placed with insurers who have an A.M. Best rating of no less than A- (A minus) and a Financial Category rating of no less than VII.

### **Proof of Insurance, Approval**

The Contractor shall provide the CDA Contracting Officer with certificate(s) of insurance showing the type, amount, class of operations covered, effective dates, and expiration dates of required policies prior to commencing work under this Contract. Contractor shall provide the certificate(s) to the CDA Contracting Officer upon execution of the contract, or sooner, for approval by the City of Madison Risk Manager. The Contractor shall provide copies of additional insured endorsements or insurance policies, if requested by the City of Madison Risk Manager.

The Contractor and/or Insurer shall give the CDA thirty (30) days advance written notice of cancellation, non-renewal or material changes to any of the above-required policies during the term of this Contract.

**PAYMENT AND PERFORMANCE BOND**

LET ALL KNOW BY THESE DOCUMENTS PRESENTED, that we \_\_\_\_\_  
as Principal, and \_\_\_\_\_  
Company of \_\_\_\_\_ as surety, are held and firmly bound unto the  
Community Development Authority of the City of Madison, Wisconsin, in the sum of  
\_\_\_\_\_ (\$\_\_\_\_\_) Dollars, lawful money of the United  
States, for the payment of which sum to the Community Development Authority of the City of Madison, we  
hereby bind ourselves and our respective executors and administrators firmly by these present.

The condition of this Bond is such that if the above bounden shall on his/her part fully and faithfully perform  
all of the terms of the attached Contract related to RFB number 8926-0-2020-KK.:  
entered into between him/herself and the Community Development Authority of the City of Madison for the  
tenant improvement construction work (the "Work")

in Madison, Wisconsin, and shall pay all claims for labor performed and material furnished in the  
prosecution of said Work, and save the Community Development Authority of the City of Madison harmless  
from all claims for damages because of negligence in the prosecution of said Work, and shall save harmless  
the said Community Development Authority of the City of Madison from all claims for compensation (under  
Chapter 102, Wisconsin Statutes) of employees and employees of subcontractor, then this Bond is to be  
void, otherwise of full force, virtue and effect.

Signed and sealed this \_\_\_\_\_ day of \_\_\_\_\_

Countersigned

\_\_\_\_\_  
Company Name (Principal)

\_\_\_\_\_  
Witness

\_\_\_\_\_  
President Seal

\_\_\_\_\_  
Secretary

Approved as to form

\_\_\_\_\_  
Surety Seal

Salary Employee      Commission  
                                     

\_\_\_\_\_  
City Attorney

By \_\_\_\_\_  
Attorney-in-Fact

This certifies that I have been duly licensed as an agent for the above company in Wisconsin under  
License Number \_\_\_\_\_ for the year 2020, and appointed as attorney-in-fact with  
authority to execute this Payment and Performance Bond, which power of attorney has not been  
revoked.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Agent Signature

\_\_\_\_\_  
Company Name (Principal)

\_\_\_\_\_  
Witness

\_\_\_\_\_  
President Seal

\_\_\_\_\_  
Secretary

Approved as to form

\_\_\_\_\_  
Surety Seal

Salary Employee      Commission  
                             

\_\_\_\_\_  
City Attorney

By \_\_\_\_\_  
Attorney-in-Fact

This certifies that I have been duly licensed as an agent for the above company in Wisconsin under License Number \_\_\_\_\_ for the year 2020, and appointed as attorney-in-fact with authority to execute this Payment and Performance Bond, which power of attorney has not been revoked.