

Madison, Wisconsin

CITY OF MADISON

CITY ENGINEERING DIVISION

DEPARTMENT OF PUBLIC WORKS

PLAN OF PROPOSED IMPROVEMENT

INDEX OF SHEETS

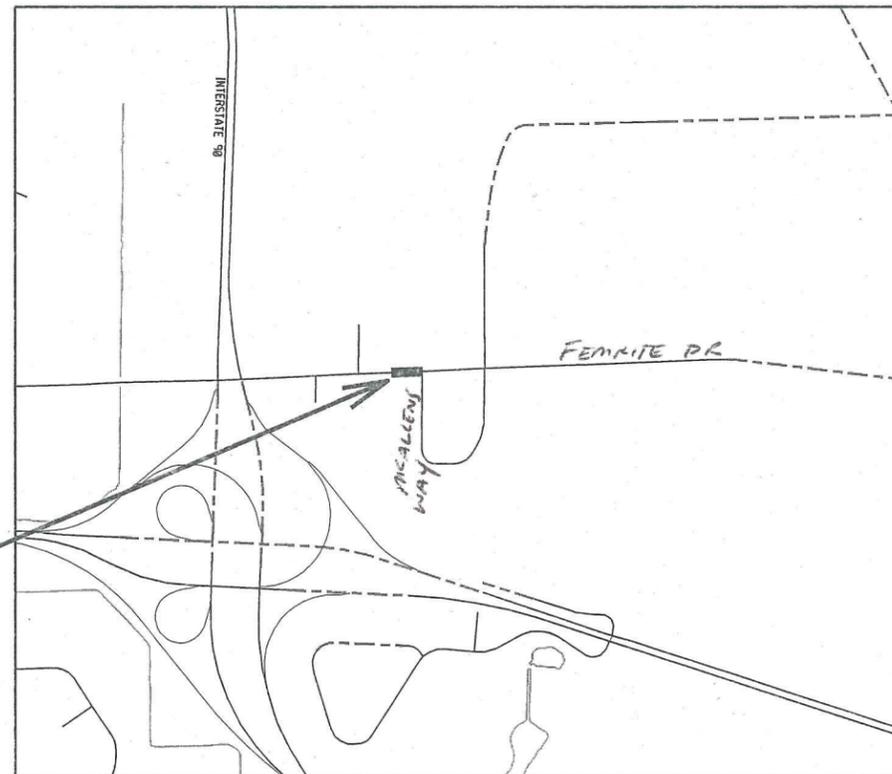
SHEET NO.	TITLE
1	NOTES
DI	NOTES
P1-P2	FEMRITE DR. PLAN & PROFILE
P3	MCALLENS WAY PLAN & PROFILE
U1-U2	MEIER RD SEWERS PLAN & PROFILE
U3	SEWER SCHEDULES
X1-X2	CROSS SECTIONS

MCALLEN 120 BUSINESS PARK - 3402 MCALLENS WAY

PROJECT NO. 11398
CONTRACT NO. 7724

CONVENTIONAL SIGNS	
FIELD VERIFY ALL UTILITY LOCATIONS	
GAS	— G —
STORM SEWER	— ST —
SANITARY SEWER	— SAN —
WATER	— W —
OVERHEAD ELECTRIC	— OH —
UNDERGROUND ELEC	— E —
UNDERGROUND TEL	— T —
UNDERGROUND FIBER	— FO —
POWER POLE	⊙

PROJECT
LOCATION



PUBLIC IMPROVEMENT PROJECT APPROVED

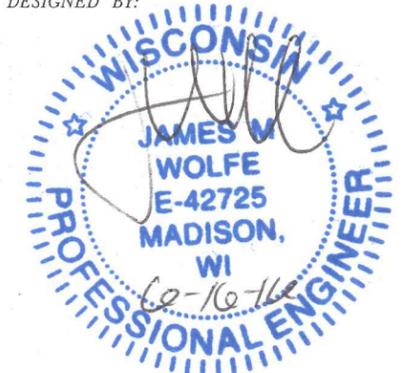
JUNE 21, 2016

BY THE COMMON COUNCIL
OF MADISON, WISCONSIN

PUBLIC IMPROVEMENT DESIGN
APPROVED BY:

[Signature] 6/16/16
City Engineer Date

STREET
DESIGNED BY:



STORM SEWER
DESIGNED BY:



PLOT SCALE:

PLOT NAME:

REV. DATE:

ORIGINATOR: CITY OF MADISON, STREETS DIVISION

NO TREES IN THE RIGHT OF WAY OR ON PUBLIC LANDS SHALL BE TRIMMED, PRUNED, REMOVED OR ADVERSELY AFFECTED IN ANY WAY UNTIL THE DEVELOPER HAS RECEIVED WRITTEN PERMISSION FROM THE CITY ENGINEER OR CITY FORESTER. SAID WRITTEN PERMISSION SHALL INCLUDE LANGUAGE INDICATING THAT SECTION 10.101 OF THE MADISON GENERAL ORDINANCES AND ADMINISTRATIVE PROCEDURE MEMORANDUM NO. 6-2, REFERING TO NOTIFICATION OF PROPERTY OCCUPANTS AND/OR OWNERS, HAS BEEN COMPLIED WITH.

ALL TOPSOIL & VEGETATION SHALL BE REMOVED FROM UNDER ANY NEW ROADWAY AREAS. IF NECESSARY, THESE AREAS SHALL BE BROUGHT UP TO SUBGRADE ELEVATION WITH SELECT FILL.

THE DEVELOPER/CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO CITY OF MADISON TRAFFIC ENGINEERING DIVISION A MINIMUM OF 10 WORKING DAYS PRIOR TO THE ANTICIPATED START OF WORK. ALL TRAVEL LANES ON FEMRITE DR. SHALL REMAIN OPEN DURING CONSTRUCTION.

DEVELOPER/CONTRACTOR SHALL PROVIDE NOTICE TO ALL AFFECTED PROPERTIES PRIOR TO START OF WORK AND ANY STREET CLOSURES.

DEVELOPER/CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES WITHIN THE PROJECT LIMITS AT ALL TIMES.

NO PAVEMENT ON FEMRITE DR. OR MCALLENS WAY SHALL BE DISTURBED. ANY DISTURBED PAVEMENT SHALL BE REPLACED WITH TYPE C & LIMITS PER THE CITY PATCHING CRITERIA.

ANY CURB OR SIDEWALK DISTURBED SHALL BE REPLACED AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER.

MAINTAIN EXISTING DITCHES & ALL DITCHES SHALL DRAIN WITH A MINIMUM GRADES OF 0.5%

THE CROSS SLOPE OF SIDEWALKS AND BARRIER FREE SIDEWALK CURB RAMPS SHALL BE 1.5%. THE LONGITUDINAL GRADE OF BARRIER FREE SIDEWALK CURB RAMPS SHALL NOT EXCEED 8.33%. ALL SIDEWALK RAMPS SHALL BE CONSTRUCTED ACCORDING TO S.D.D. 3.03. AT ALL OTHER LOCATIONS THE LONGITUDINAL GRADE OF SIDEWALKS SHALL NOT EXCEED 5.0 % OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER NOR BE LESS THAN 0.5% AND SHALL DRAIN TOWARD STORM SEWER INLETS. SIDE SLOPES WITHIN TEN FEET OF A PUBLIC SIDEWALK SHALL NOT EXCEED 4.00:1. ALL SIDEWALK AND SIDEWALK RAMP ELEVATIONS AND GRADES SHALL BE FIELD VERIFIED AND SET TO COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS AND THE A.D.A. GUIDELINES.

OBTAIN A PRINT OUT OF THE ALIGNMENT FROM THE CITY ENGINEER PRIOR TO STAKING THIS PROJECT.

POWER POLES AND OTHER OBSTRUCTIONS SHALL BE MOVED TO PROVIDE 2 FEET MINIMUM OF CLEAR DISTANCE FROM ANY FACE OF CURB OR EDGE OF SIDEWALK. CONTRACTOR/DEVELOPER SHALL COORDINATE WITH UTILITY COMPANIES AS NECESSARY.

ANY INFORMATION SHOWN ON THIS PLAN, WHICH IS NOT PART OF THIS RIGHT-OF-WAY PROJECT, IS PRELIMINARY AND NOT FOR CONSTRUCTION.

THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.

ALL PERMANENT SIGNING AND POSTING WILL BE DETERMINED AND PROVIDED BY THE TRAFFIC ENGINEERING DIVISION, FOLLOWING CONSTRUCTION OF THESE IMPROVEMENTS.

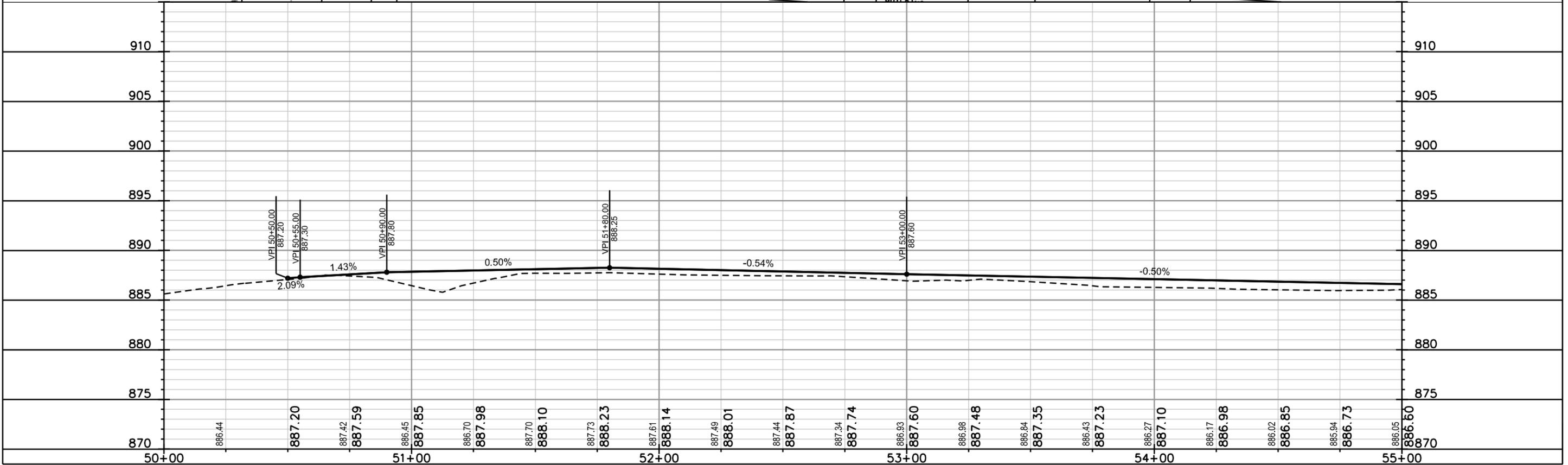
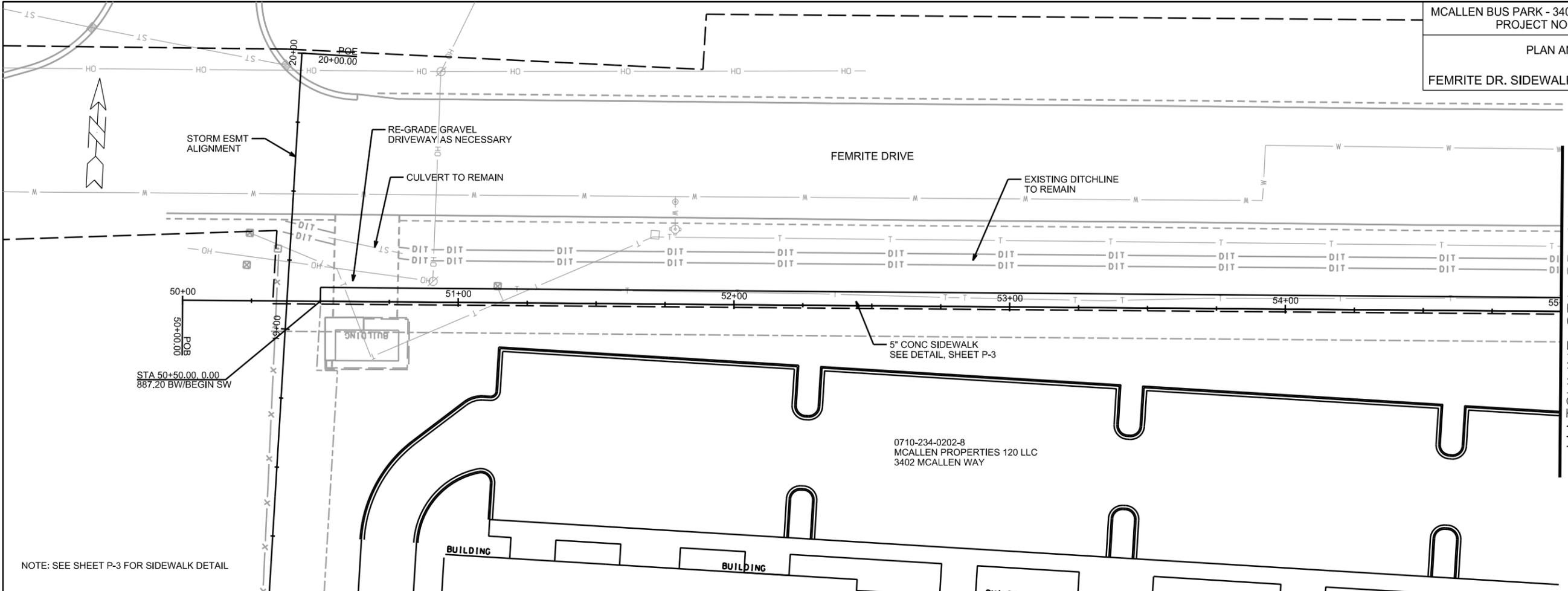
THE DEVELOPER SHALL PROVIDE, INSTALL AND MAINTAIN ALL STREET END BARRICADES, SIGNING AND TRAFFIC CONTROL, AS REQUIRED BY THE CITY TRAFFIC ENGINEER.

PLOT SCALE: _____

PLOT NAME: _____

REV. DATE: _____

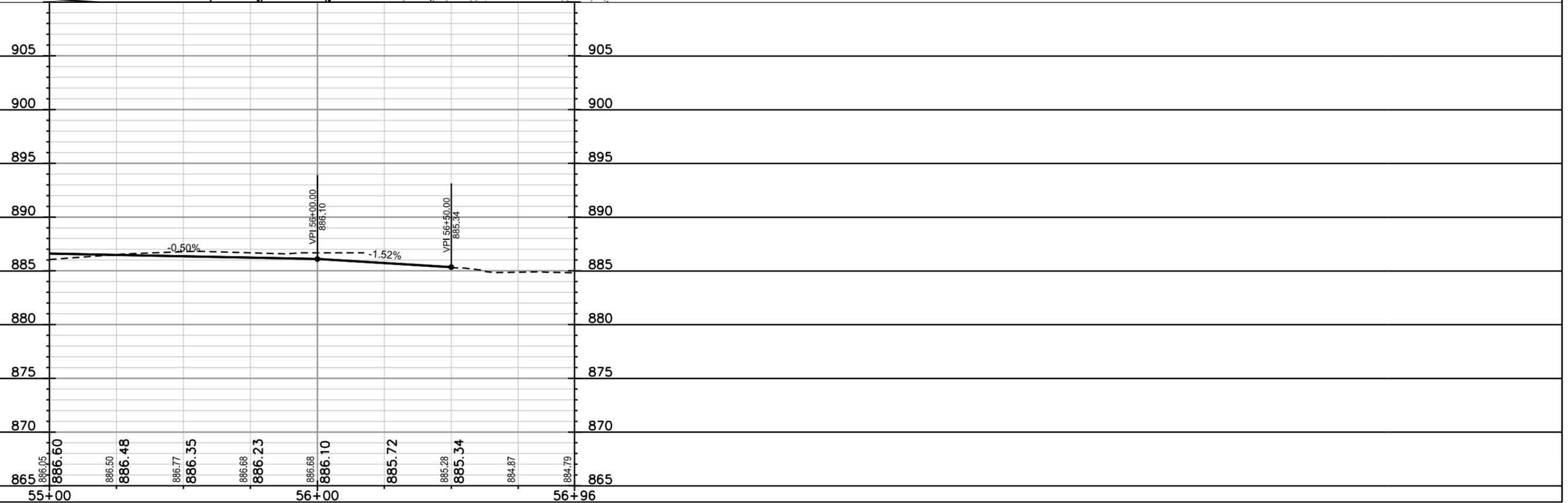
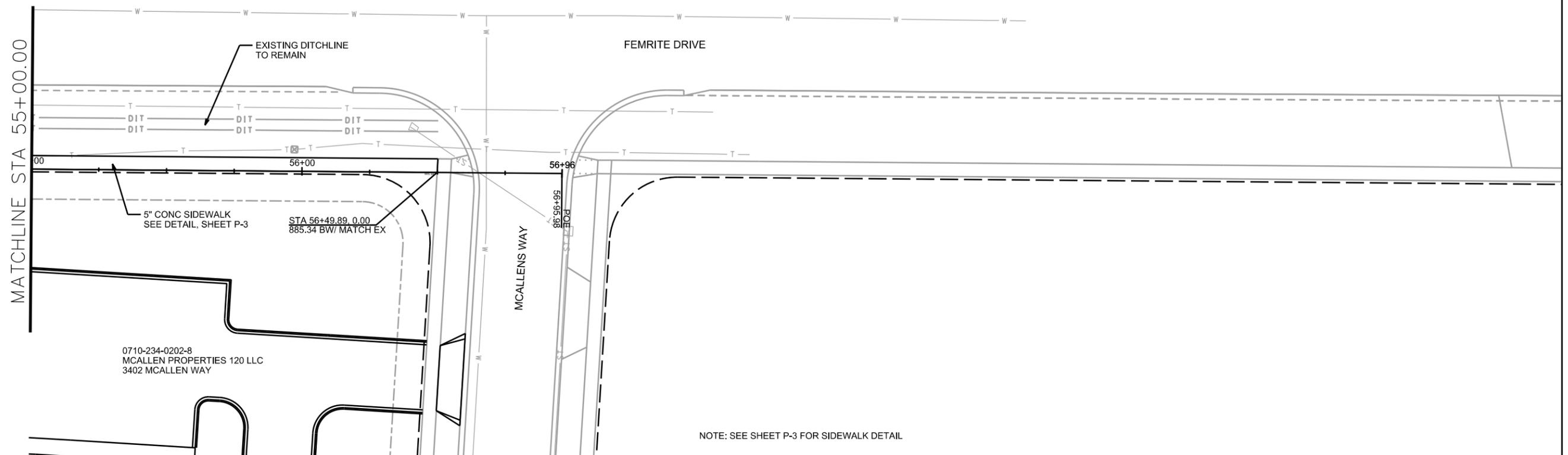
ORIGINATOR: CITY OF MADISON, STREETS DIVISION



PLOT SCALE: _____
PLOT NAME: _____
REV. DATE: _____
ORIGINATOR: CITY OF MADISON, STREETS DIVISION

PLAN AND PROFILE

FEMRITE DR. SIDEWALK CITY OF MADISON



PLOT SCALE: _____

PLOT NAME: _____

REV. DATE: _____

ORIGINATOR: CITY OF MADISON, STREETS DIVISION

0710-234-0202-8
MCALLEN PROPERTIES 120 LLC
3402 MCALLEN WAY

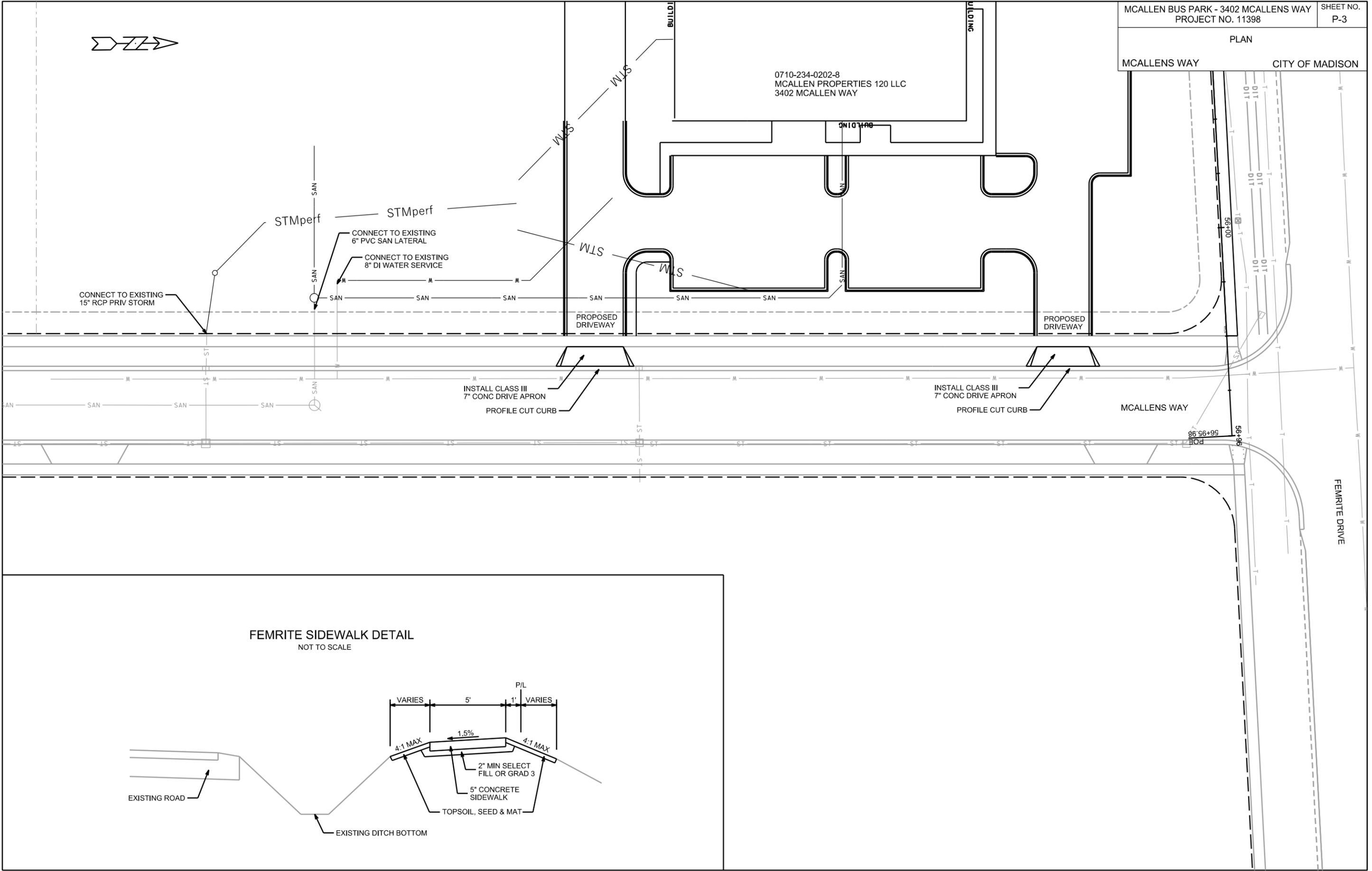


PLOT SCALE: _____

PLOT NAME: _____

REV. DATE: _____

ORIGINATOR: CITY OF MADISON, STREETS DIVISION



CONNECT TO EXISTING
15" RCP PRIV STORM

STMperf

STMperf

CONNECT TO EXISTING
6" PVC SAN LATERAL

CONNECT TO EXISTING
8" DI WATER SERVICE

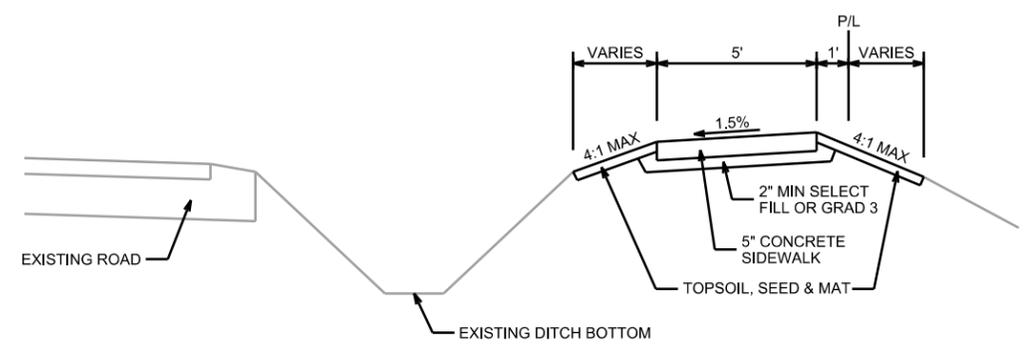
PROPOSED
DRIVEWAY

PROPOSED
DRIVEWAY

INSTALL CLASS III
7" CONC DRIVE APRON
PROFILE CUT CURB

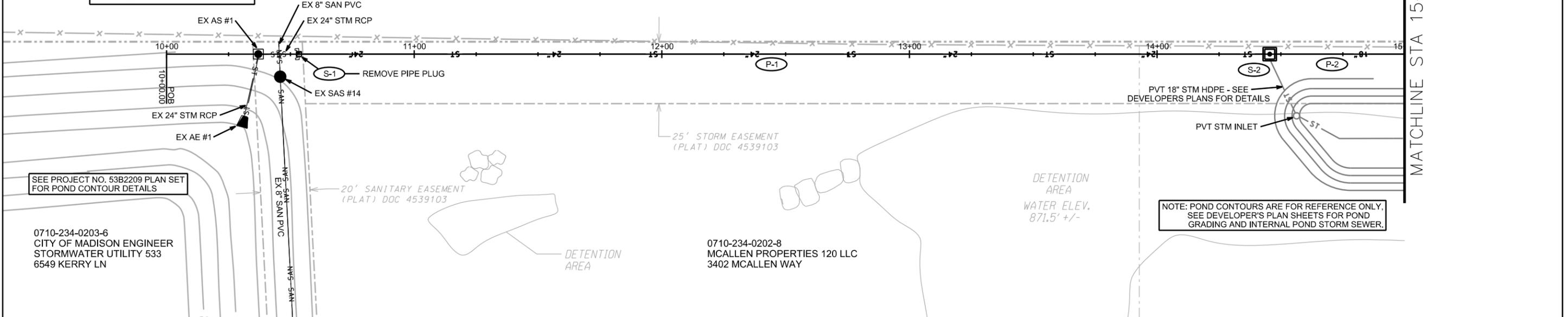
INSTALL CLASS III
7" CONC DRIVE APRON
PROFILE CUT CURB

FEMRITE SIDEWALK DETAIL
NOT TO SCALE



TOWN OF BLOOMING GROVE

STORM SEWER ALIGNMENT DATA
 POB N = 473647.32
 E = 851241.99
 N 00°28'50" E
 1000 FT

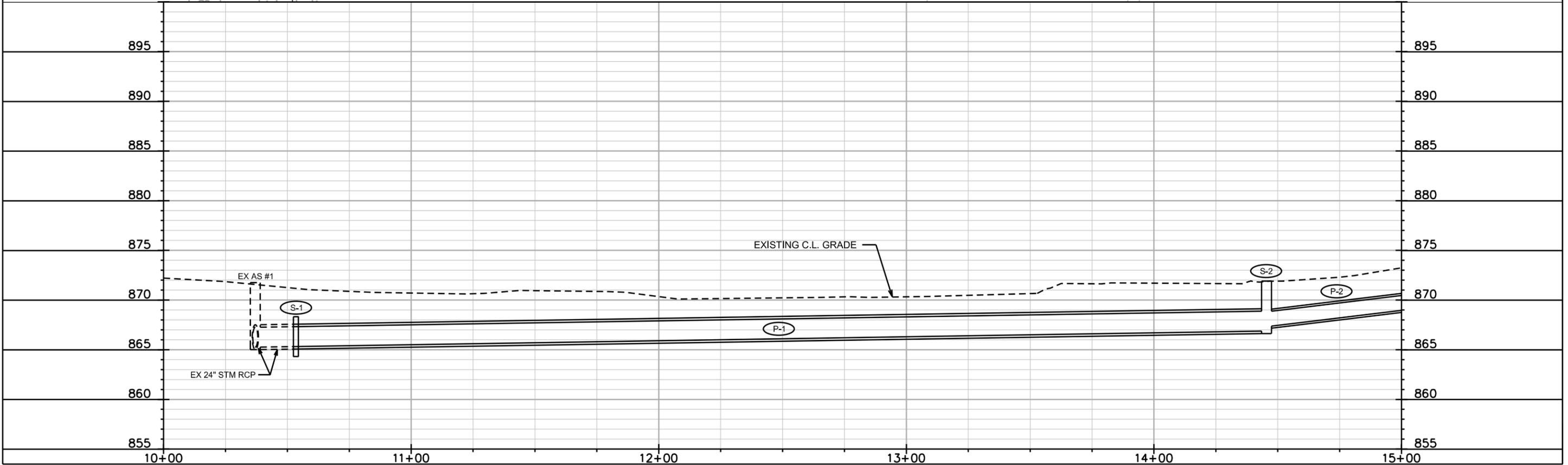


SEE PROJECT NO. 53B2209 PLAN SET
FOR POND CONTOUR DETAILS

0710-234-0203-6
CITY OF MADISON ENGINEER
STORMWATER UTILITY 533
6549 KERRY LN

0710-234-0202-8
MCALLEN PROPERTIES 120 LLC
3402 McALLEN WAY

NOTE: POND CONTOURS ARE FOR REFERENCE ONLY,
SEE DEVELOPER'S PLAN SHEETS FOR POND
GRADING AND INTERNAL POND STORM SEWER.



PLOT SCALE: _____

PLOT NAME: _____

REV. DATE: _____

ORIGINATOR: CITY OF MADISON, STREETS DIVISION

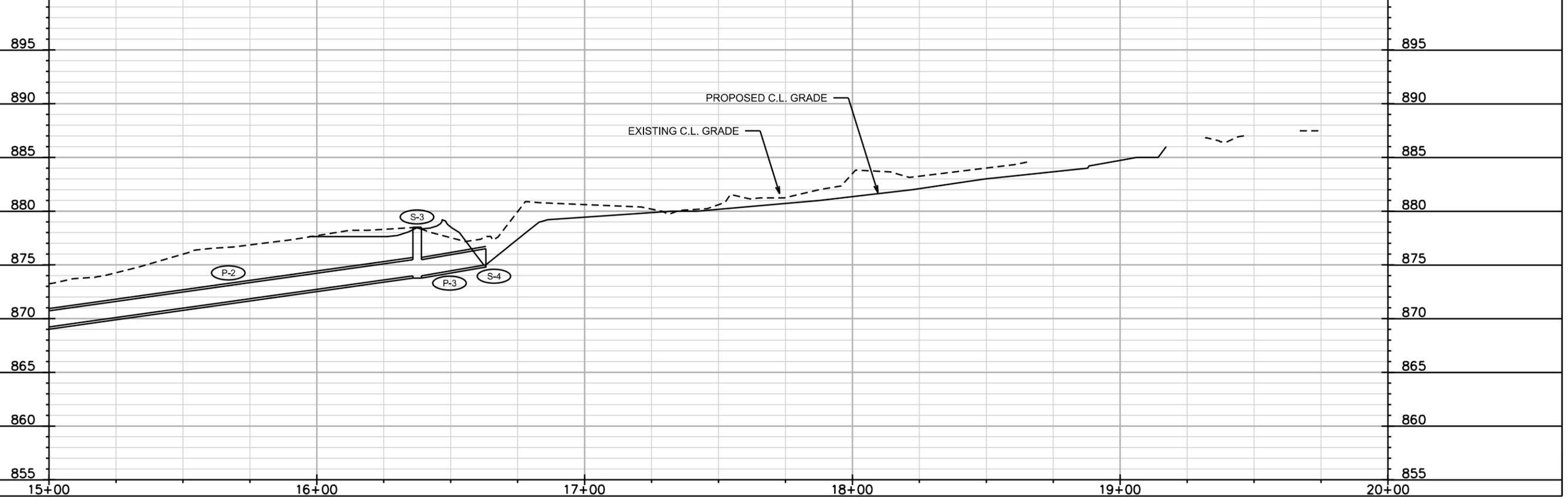
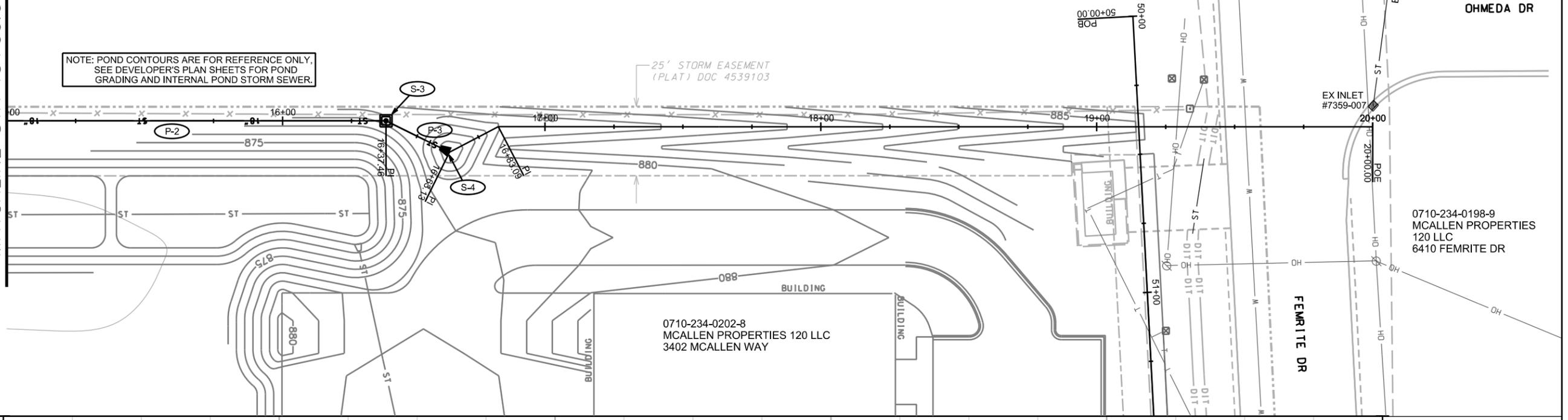


TOWN OF BLOOMING GROVE

MATCHLINE STA 15+00.00

NOTE: POND CONTOURS ARE FOR REFERENCE ONLY,
SEE DEVELOPER'S PLAN SHEETS FOR POND
GRADING AND INTERNAL POND STORM SEWER.

25' STORM EASEMENT
(PLAT) DOC 4539103



PLOT SCALE: _____

PLOT NAME: _____

REV. DATE: _____

ORIGINATOR: CITY OF MADISON, STREETS DIVISION

STORM SEWER SCHEDULE

McALLEN 120 BUSINESS PARK 3402 McALLEN WAY	SHEET NO. U-3
PROJECT NO. 11398 STORM SEWER SCHEDULE CITY OF MADISON	

PROPOSED STORM STRUCTURES

STRUC. NO.	STATION	LOCATION (OFFSET)	TYPE	TOP OF CASTING	E.I.	DEPTH	NOTES
3402 McALLEN STORM EASEMENT							
S-1	10+53.46	CL	COLLAR	-	865.32	-	(1)
S-2	14+45.46	CL	4X4 SAS	871.90	866.88	5.02	W/R-1550-0054
S-3	16+37.46	CL	3X3 SAS	878.50	873.98	4.52	W/R-1550-0054
S-4	16+63.13	CL	18" RCP AE	-	875.00	-	(2), W/ GATE

PROPOSED STORM PIPES

PIPE NO.	FROM (DNSTM)	TO (UPSTM)	DISCH. E.I.	INLET E.I.	PLAN (PAY) LGTH (FT)	PIPE LGTH (FT)	SLOPE (%)	PIPE SIZE	TYPE	NOTES
3402 McALLEN STORM EASEMENT										
P-1	S-1	S-2	865.32	866.88	392	390	0.40%	24"	TYPE II	
P-2	S-2	S-3	867.38	873.98	192	188.5	3.50%	18"	TYPE II	
P-3	S-3	S-4	873.98	875.00	26	24	4.25%	18"	TYPE II	

NOTE: PLAN LENGTH (PAY LENGTH) IS FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPE LENGTH IS ACTUAL LENGTH OF PIPE FROM STRUCTURE WALL TO STRUCTURE WALL. SLOPE CALCULATED USING PIPE LENGTH.

STANDARD NOTES:

- ABBREVIATIONS: AE = APRON ENDWALL; RCP = REINFORCED CONCRETE PIPE; HERCP = HORIZONTAL ELLIPTICAL REINFORCED CONCRETE PIPE; DNA = DOES NOT APPLY; SAS = SEWER ACCESS STRUCTURE; LP = LOW POINT INLET STRUCTURE; FP = FIELD POURED STRUCTURE; TR = TOP OF CONCRETE ROOF; NCM = NO CROWN MATCH FOR PIPES; UD = UNDERDRAIN
- APPROXIMATE DISCHARGE E.I. GIVEN, ADJUST E.I. AND PIPE SLOPE IN THE FIELD.
- TOP OF CASTING GRADE GIVEN IS THE TOP OF CURB FOR INLET STRUCTURES AND THE FLOWLINE OF THE CLOSED CASTING FOR SAS's.
- TOP OF CONCRETE ROOF (TR) IS 1.25' BELOW TOP OF CASTING UNLESS OTHERWISE NOTED.
- ALL REINFORCED CONCRETE PIPES TO BE CLASS III UNLESS OTHERWISE NOTED.
- SURVEYOR TO CONFIRM THAT ALL INLET STATION / OFFSETS LINE UP WITH PROPOSED CURB AND GUTTER.
- ALL STRUCTURES CALLED OUT AS FIELD POURED SHALL BE FIELD POURED. ALL OTHER STRUCTURES (NOT INDICATED AS FIELD POURED) SHALL BE SUBMITTED TO CITY ENGINEERING FOR APPROVAL IF PRECAST STRUCTURES ARE PREFERRED. CONTACT KYLE FRANK OF CITY ENGINEERING AT (608) 266-4098 FOR PRECAST APPROVALS, FAX SHOP DRAWINGS TO (608)264-9275, OR EMAIL SHOP DRAWINGS TO KFRANK@CITYOFMADISON.COM.

SPECIFIC NOTES

- (1) REMOVE EXISTING 24" PIPE PLUG
- (2) MAC WRAP EXTERNAL JOINT COLLARS SHALL BE USED AS JOINT TIES PER SEC. 504.2 OF THE STANDARD SPECIFICATION

CROSS SECTIONS

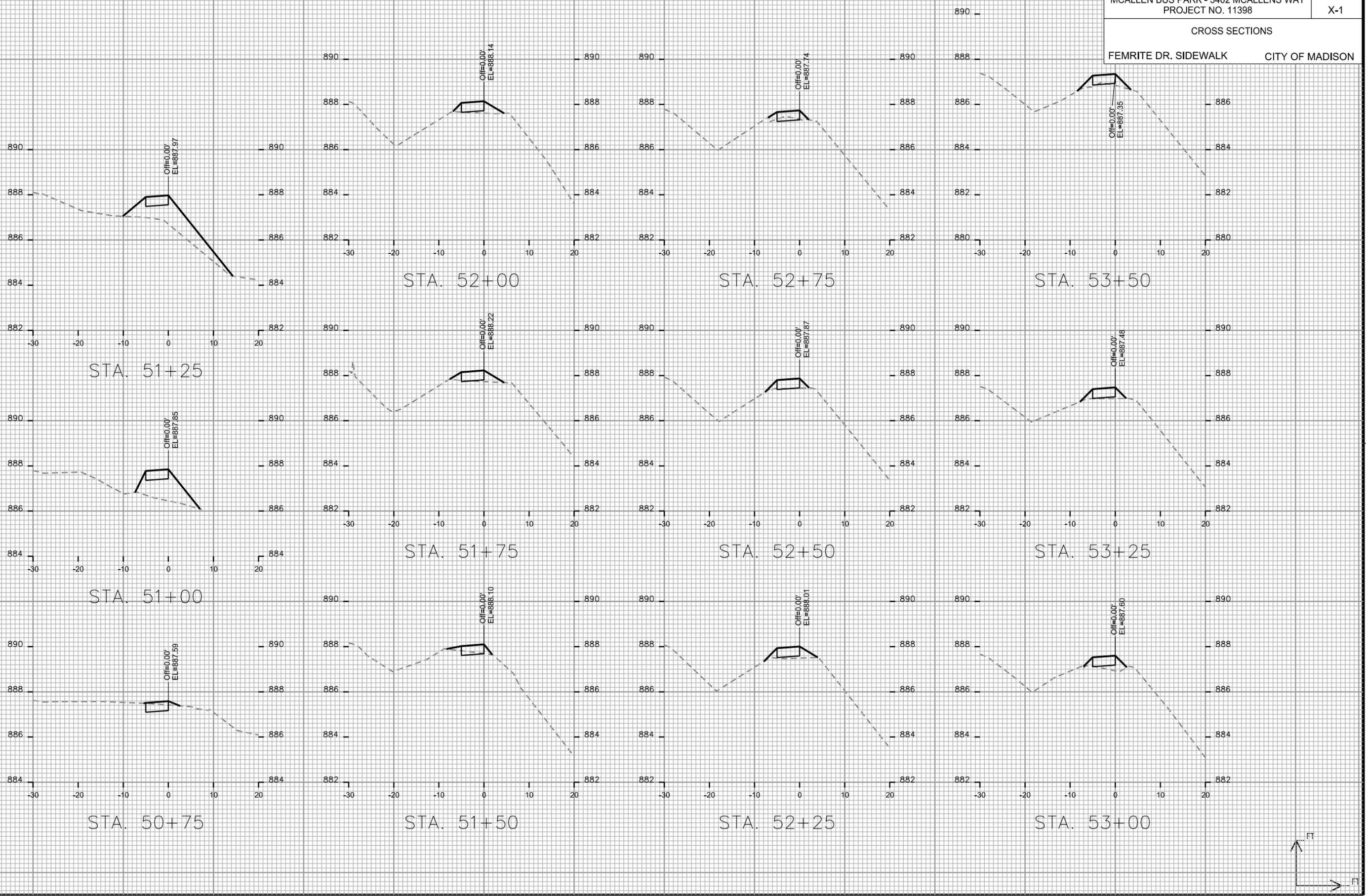
FEMRITE DR. SIDEWALK CITY OF MADISON

PLOT SCALE: _____

PLOT NAME: _____

REV. DATE: _____

ORIGINATOR: CITY OF MADISON - STREETS DIVISION



CROSS SECTIONS

FEMRITE DR. SIDEWALK CITY OF MADISON

PLOT SCALE: _____

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