

CITY OF MADISON

CITY ENGINEERING DIVISION DEPARTMENT OF PUBLIC WORKS PLAN OF PROPOSED IMPROVEMENT

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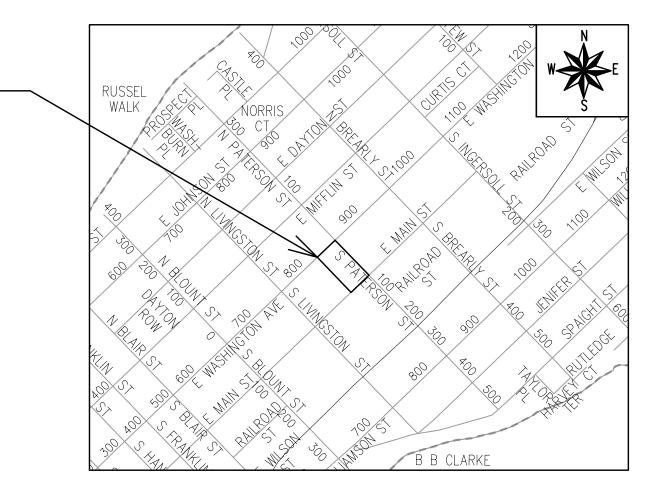
PROJECT

LOCATION

NO MAINTENANCE PLAN REQUIRED

CITY PROJECT NO. 13769 CONTRACT NO. 9072

849 E WASHINGTON AVE-BAKERS PLACE



PUBLIC IMPROVEMENT PROJECT

AUGUST 31, 2021

BY THE COMMON COUNCIL OF MADISON, WISCONSIN

PUBLIC IMPROVEMENT DESIGN APPROVED BY:

N- Greg Fries

Apr 8, 2022

City Engineer

STREET DESIGNED BY:



SANITARY SEWER **DESIGNED BY:**

> SEE *INDIVIDUAL* **SHEET**

WATER **DESIGNED BY:**

LATERAL ONLY

STORM SEWER **DESIGNED BY:**

> LATERAL ONLY

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ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.

AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM

DEVELOPER MUST SUBMIT A TRAFFIC CONTROL PLAN TO CITY TRAFFIC ENGINEERING AT LEAST 14 DAYS PRIOR TO THE START OF WORK. WORK SHALL NOT PROCEED UNTIL AN APPROVED TRAFFIC CONTROL PLAN IS IN PLACE.

CONTACT PROJECT ENGINEER AND STREET DESIGNER IKE OKAFOR AT IOKAFOR@CITYOFMADISON.COM FOR CAD AND ALIGNMENT DATA PRIOR TO STAKING.

CONVENTIONAL FIELD VERIFY ALL UTIL	
GAS	—— G ——
STORM SEWER SANITARY SEWER	—— ST ———
WATER	w
BURIED ELECTRIC	—— E ——
OVERHEAD ELECTRIC POWER POLE	——он——
ADA COMPLIANT RAMP V DETECTABLE WARNING	'
COMBUSTIBLE FLUIDS	

UNDERDRAINS SHALL BE INSTALLED PER STANDARD DETAIL DRAWING 4.05 FOR 75' ON EACH SIDE OF THE LOW POINT, OR TO THE NEAREST CURB HIGH POINT. ALL UNDERDRAIN SHALL BE WRAPPED.

ALL GUTTERS SHALL DRAIN WITH A MINIMUM GRADE OF 0.5% TOWARD STORM SEWER INLETS.

ALL DITCHES SHALL DRAIN WITH A MINIMUM GRADE OF 0.5%

THE CROSS SLOPE OF SIDEWALKS AND BARRIER FREE SIDEWALK CURB
RAMPS SHALL TYPICALLY BE 1.5%. THE LONGITUDINAL GRADE OF BARRIER
FREE SIDEWALK CURB RAMPS SHALL NOT EXCEED 8.33%. ALL SIDEWALK
RAMPS SHALL BE CONSTRUCTED ACCORDING TO S.D.D. 3.04. AT ALL
OTHER LOCATIONS THE LONGITUDINAL GRADE OF SIDEWALKS SHALL
NOT BE LESS THAN 0.5% AND SHALL DRAIN TOWARD STORM SEWER INLETS. ALL
SIDEWALK AND SIDEWALK RAMP ELEVATIONS AND GRADES SHALL BE FIELD VERIFIED
AND SET TO COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS AND THE
A.D.A. GUIDELINES.

CURB STATION AND OFFSETS SHALL BE TO THE **EDGE OF PAVEMENT** UNLESS OTHERWISE INDICATED. CURB ELEVATIONS SHALL BE TO THE **EDGE OF PAVEMENT** UNLESS OTHERWISE INDICATED.

POWER POLES AND OTHER OBSTRUCTIONS SHALL BE MOVED TO PROVIDE 2 FEET MINIMUM OF CLEAR DISTANCE FROM ANY FACE OF CURB OR EDGE OF SIDEWALK.

ANY INFORMATION SHOWN ON THIS PLAN, WHICH IS NOT PART OF THIS RIGHT-OF-WAY PROJECT, IS PRELIMINARY AND NOT FOR CONSTRUCTION.

THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.

ALL PERMANENT SIGNING AND POSTING WILL BE DETERMINED AND PROVIDED BY THE TRAFFIC ENGINEERING DIVISION, FOLLOWING CONSTRUCTION OF THESE IMPROVEMENTS.

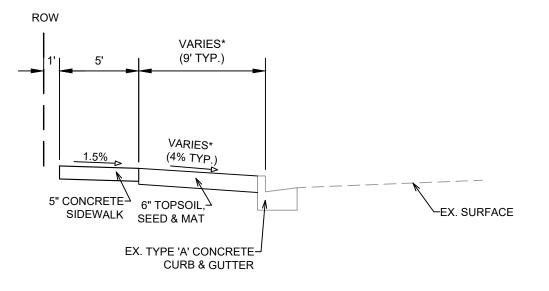
THE DEVELOPER SHALL PROVIDE, INSTALL AND MAINTAIN ALL STREET END BARRICADES, SIGNING AND TRAFFIC CONTROL, AS REQUIRED BY THE CITY TRAFFIC ENGINEER.

PAVEMENT SAWCUTS SHALL BE AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER. SAWCUTS SHOWN ON THE PLAN ARE APPROXIMATE.

ALL WORK IN THE RIGHT OF WAY AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION

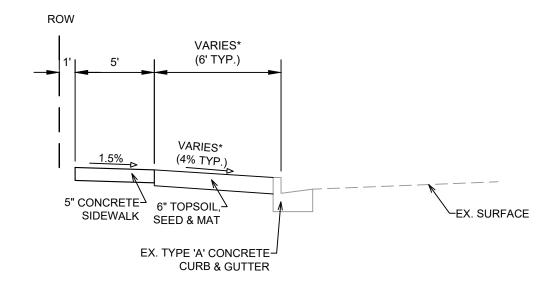
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VIANDARD NOTEV AND COMMENTS		13/09	-	-	
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TYPICAL SECTION

S PATERSON STREET (NOT TO SCALE)



TYPICAL SECTION

E MAIN STREET (NOT TO SCALE)

NOTES:

- * SEE CROSS SECTIONS AND PLAN & PROFILE SHEETS FOR SURFACE WIDTHS AND SLOPES.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL SURFACE PAVING AS PART OF THIS CONTRACT.

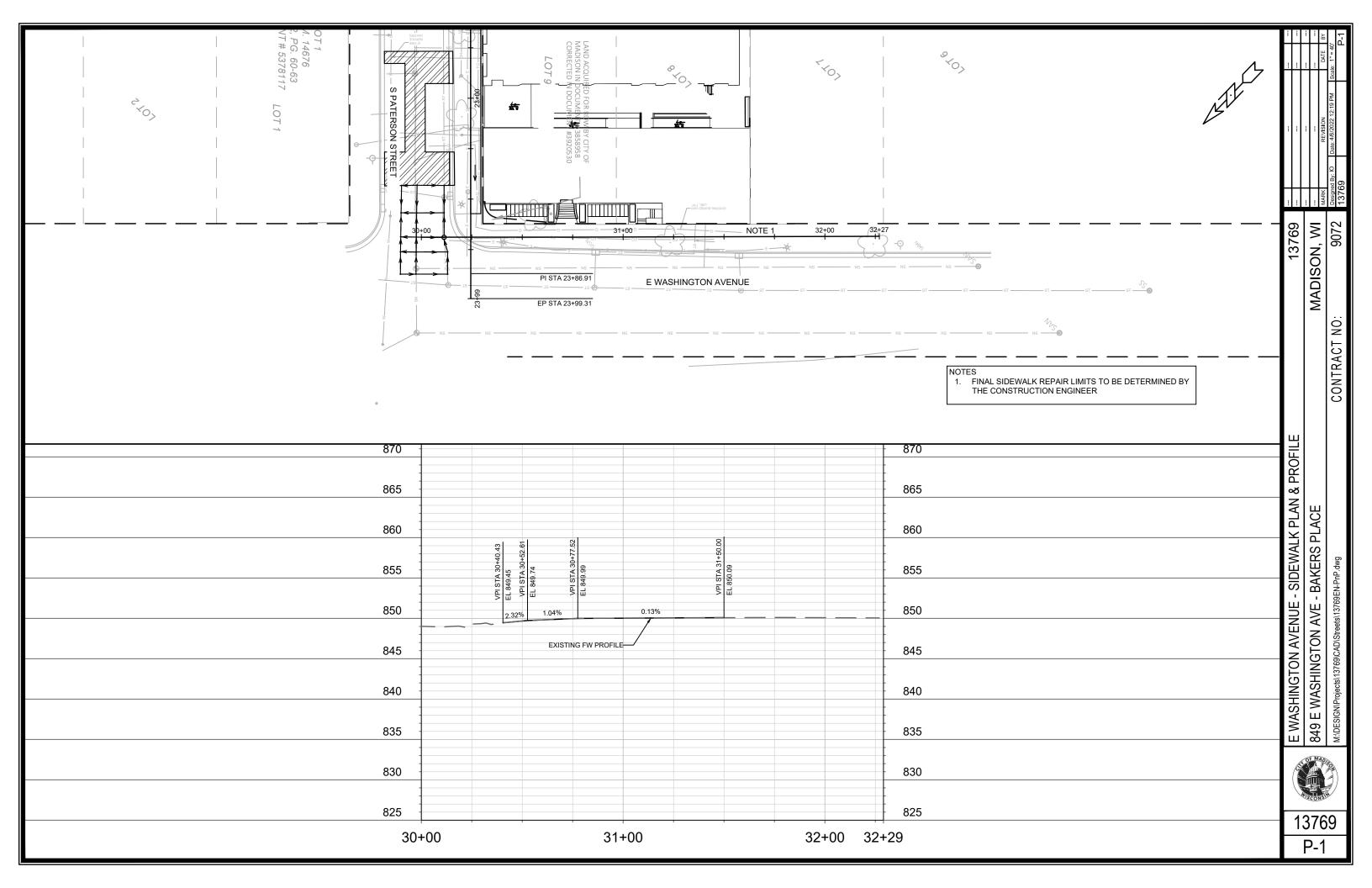


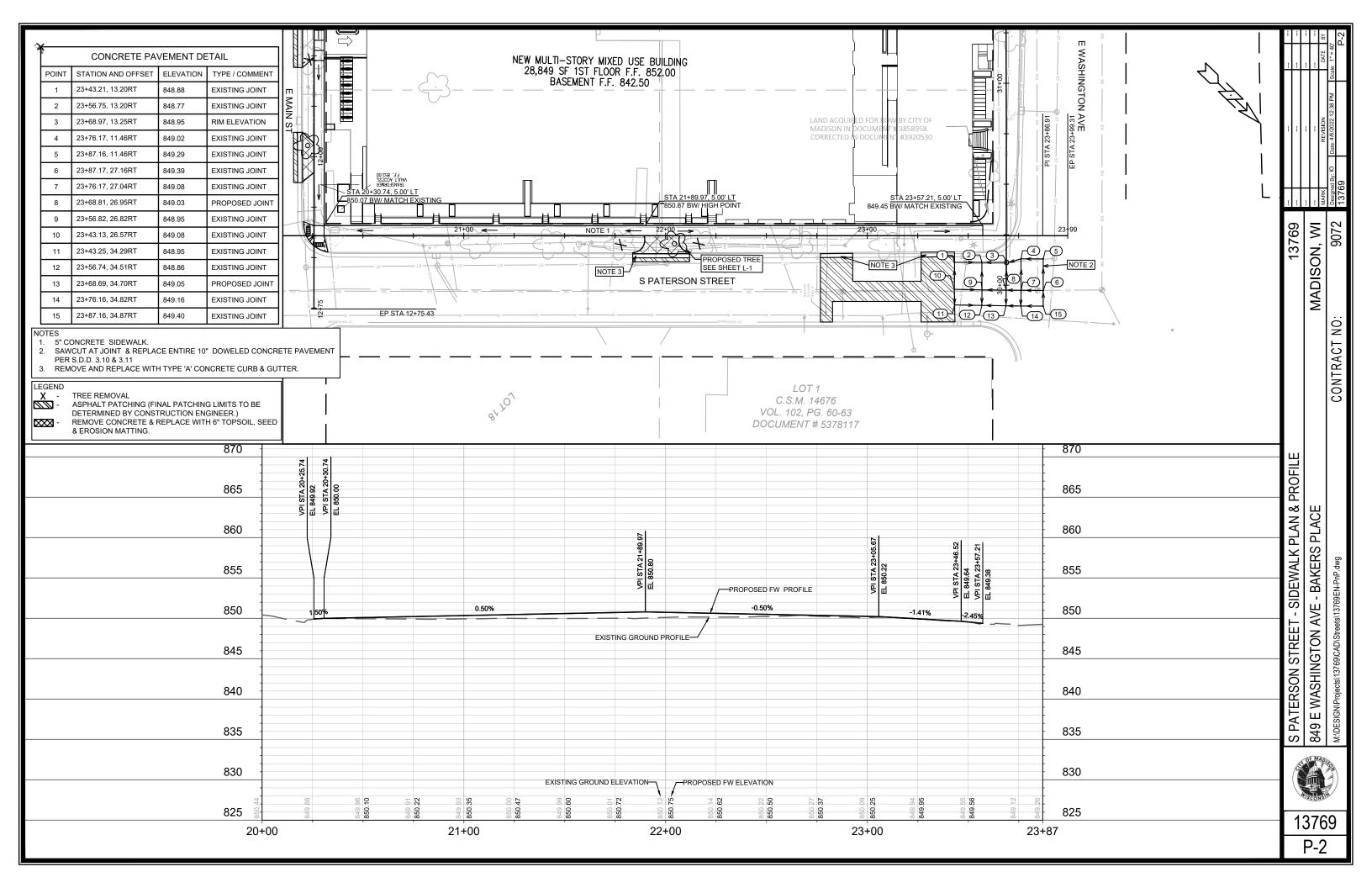
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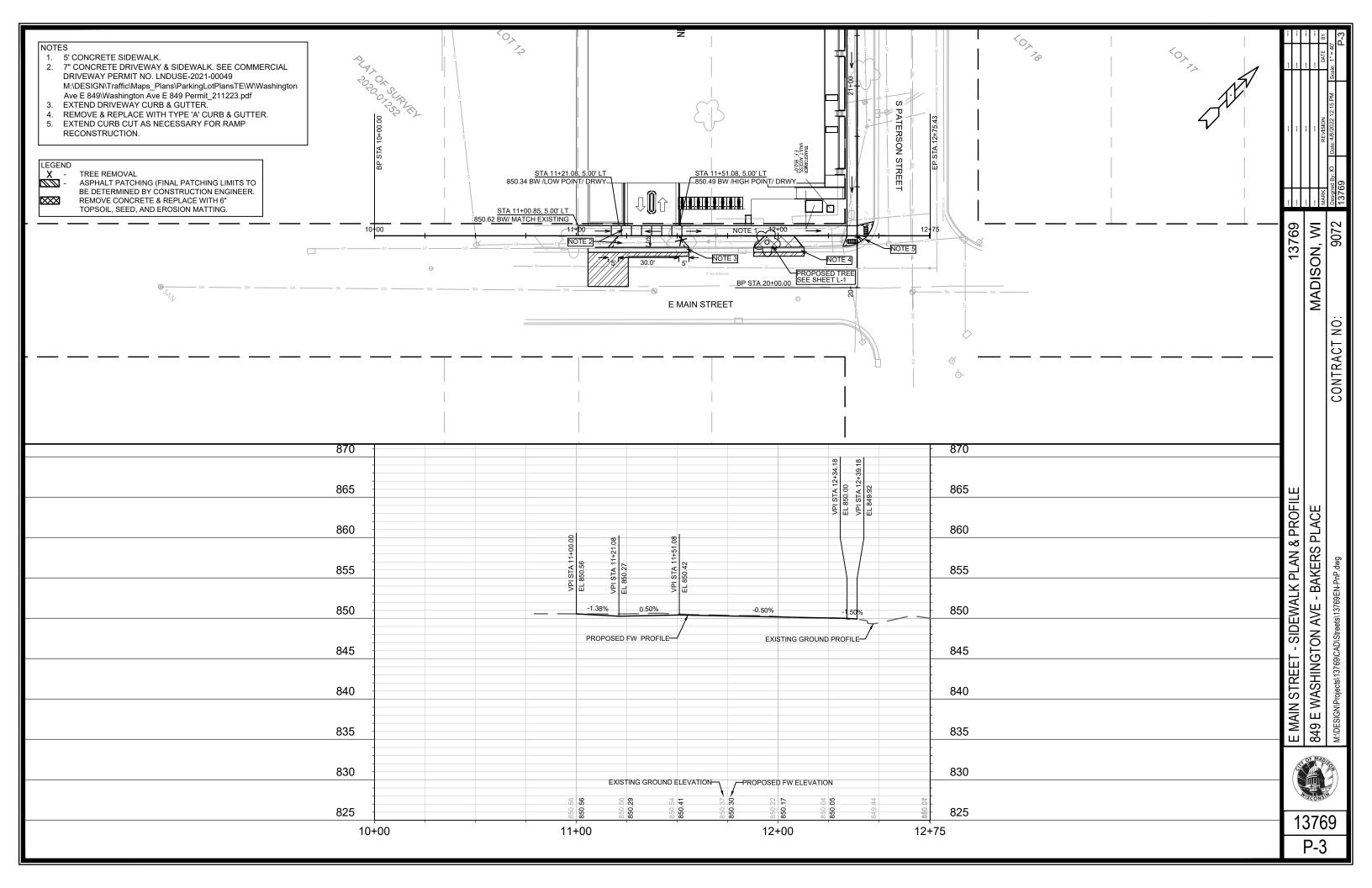
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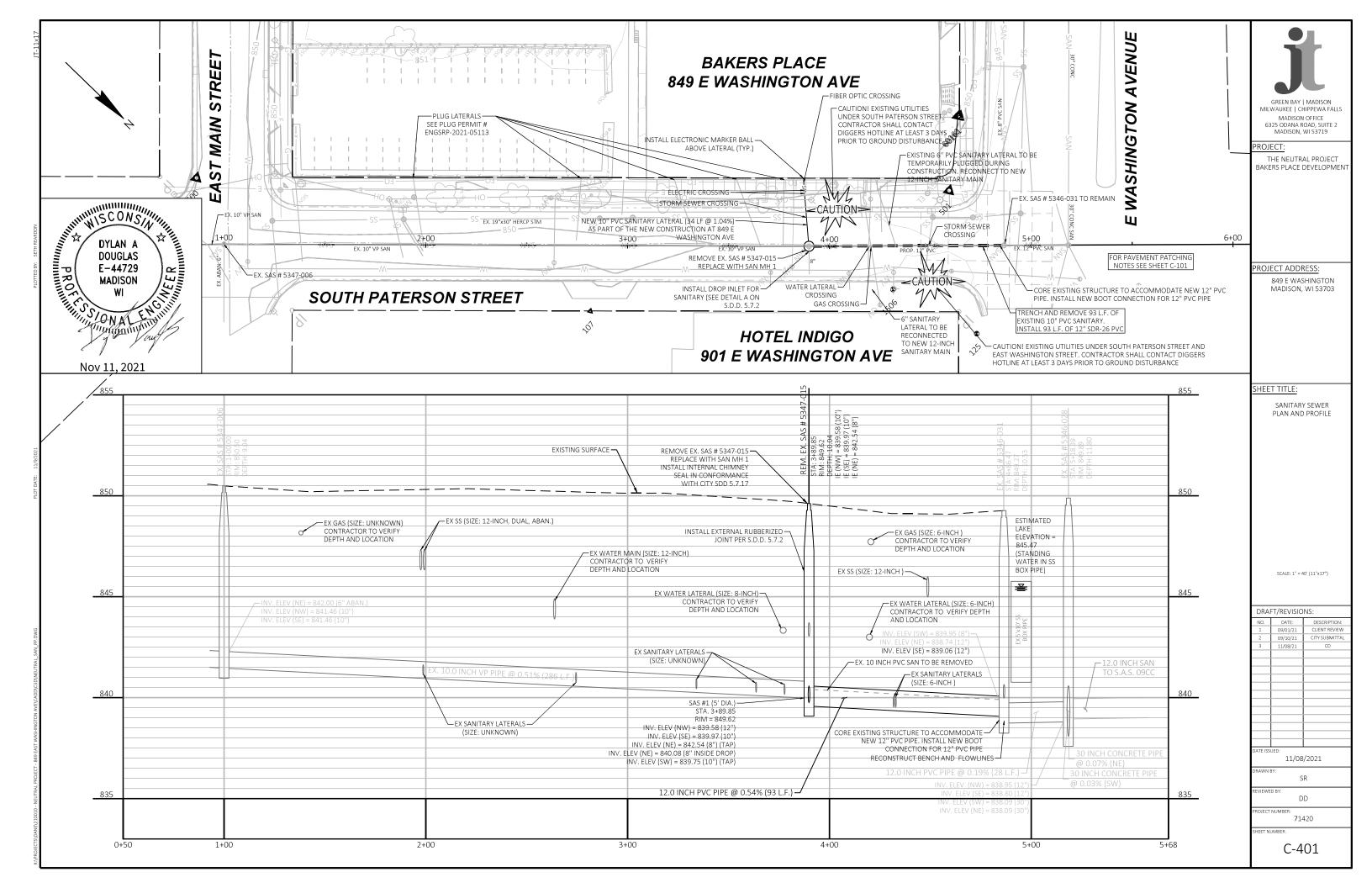
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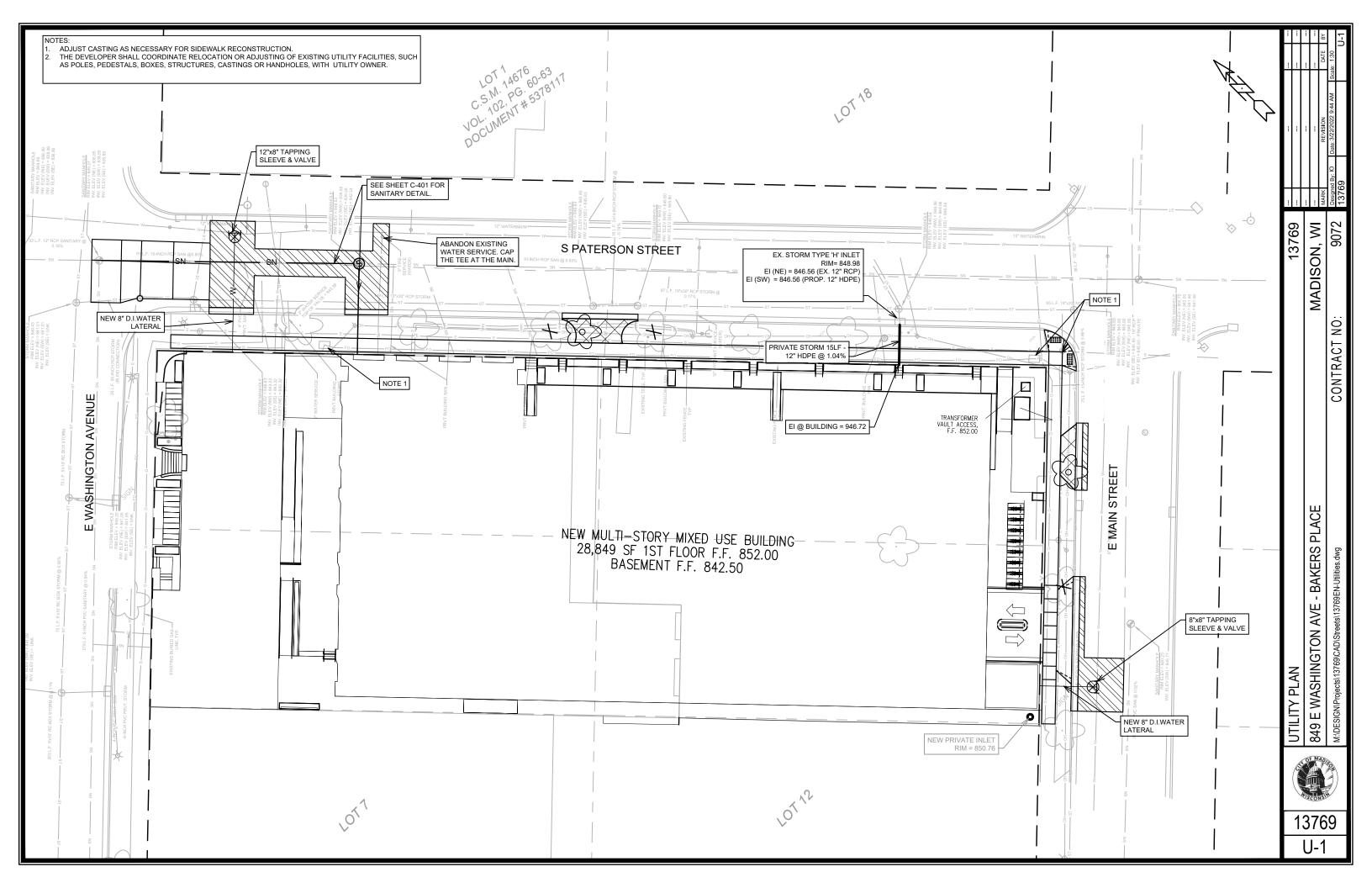
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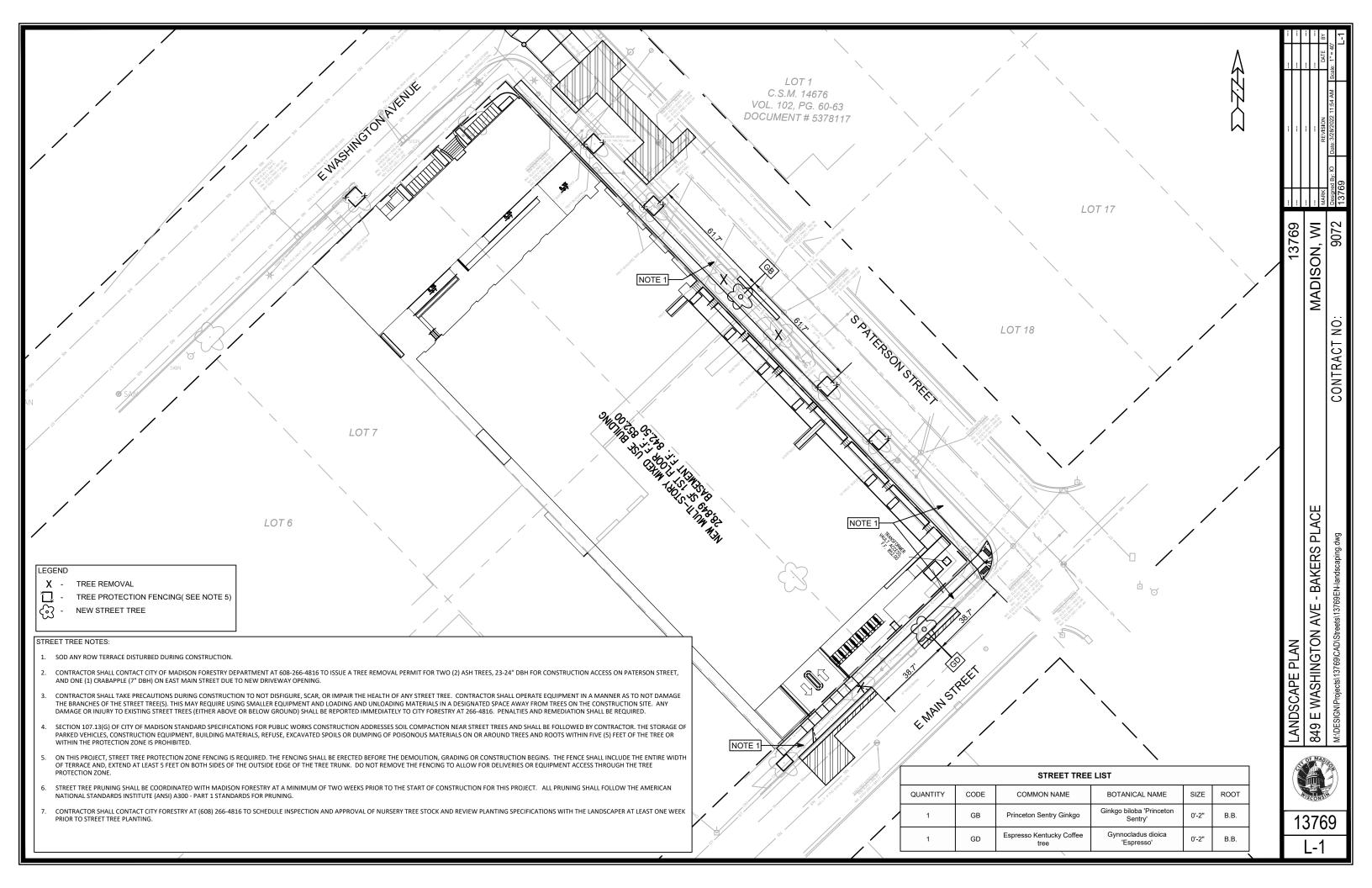


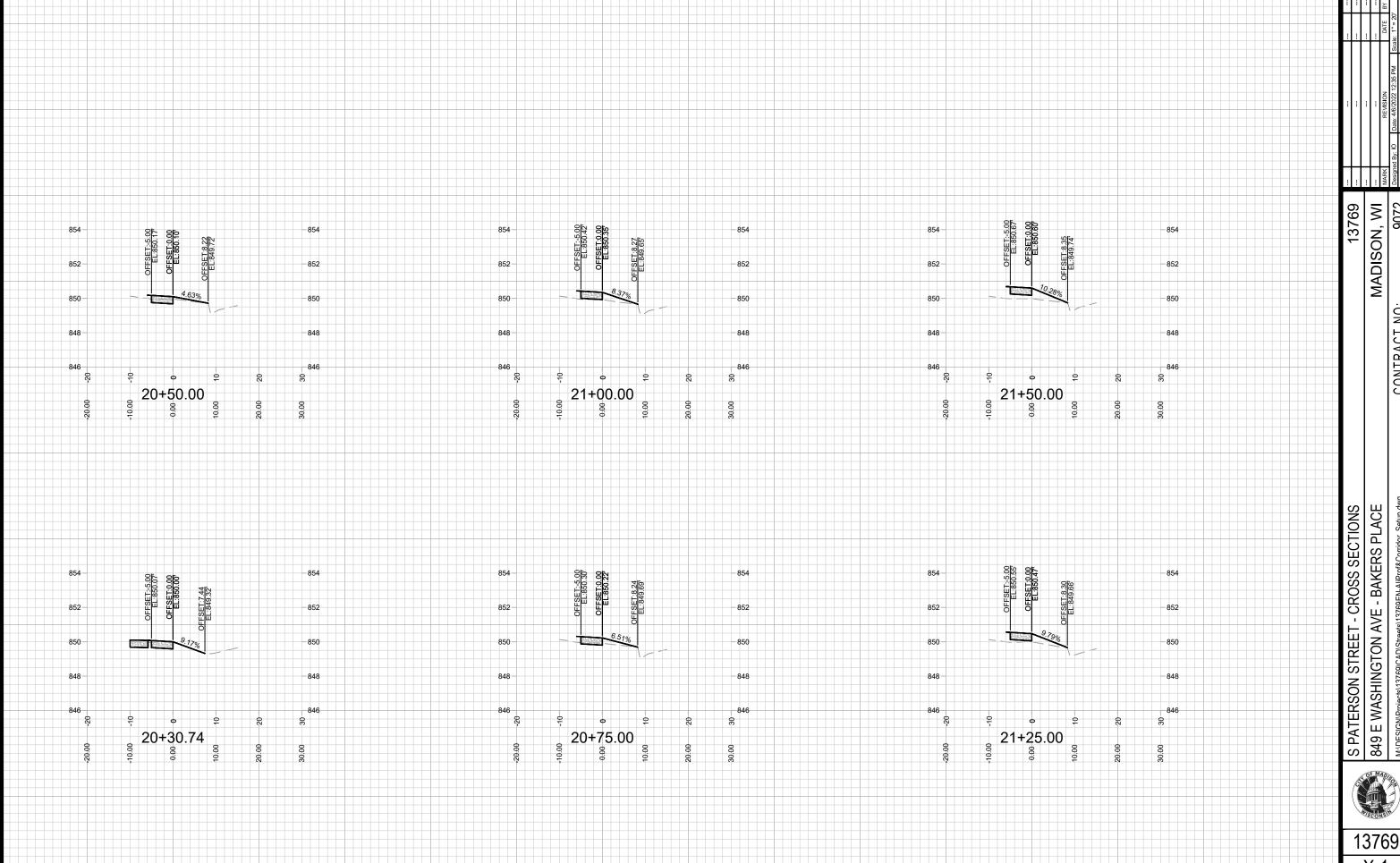






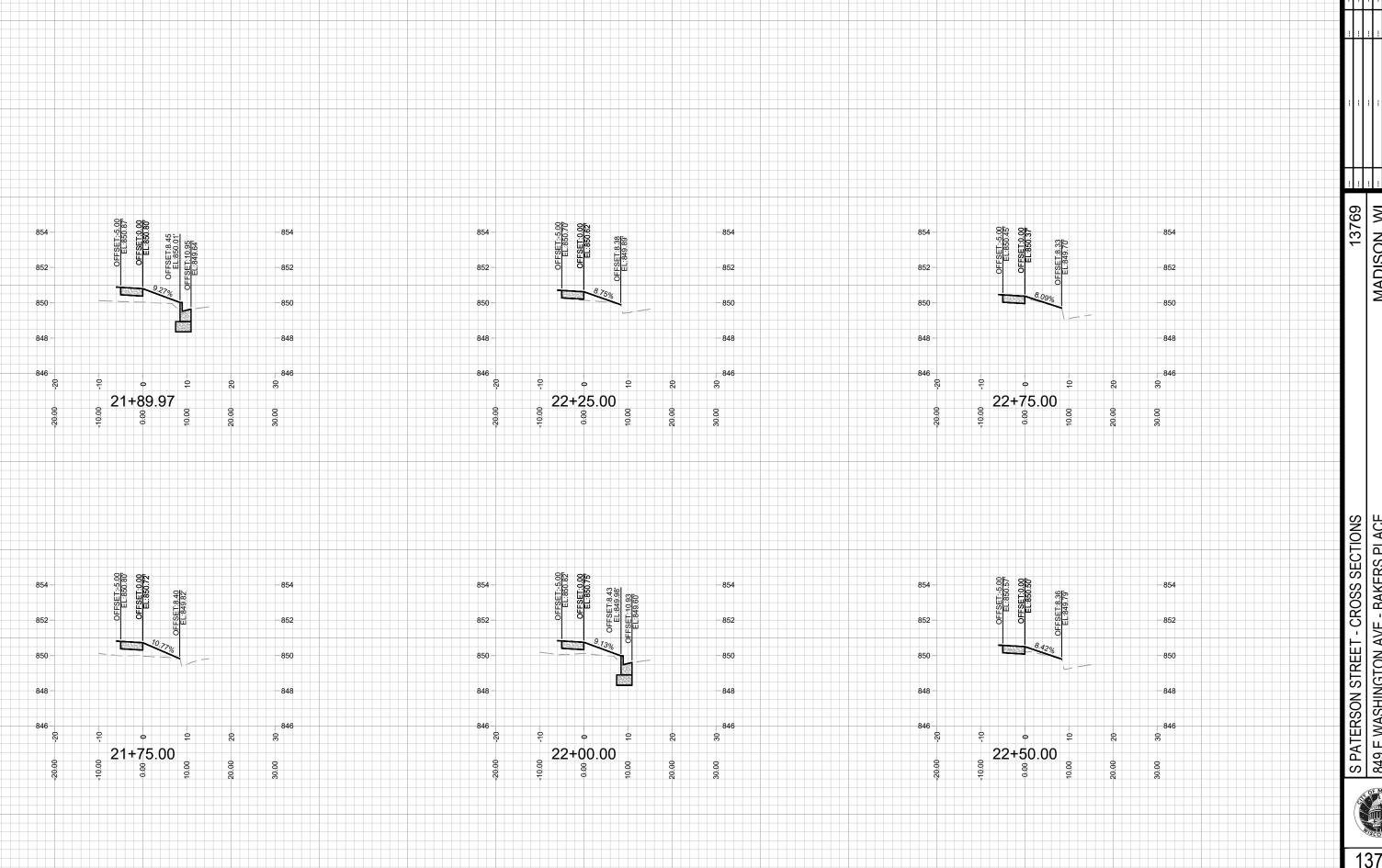






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MADISON, WI CONTRACT NO: 849 E WASHINGTON AVE - BAKERS PLACE M:DESIGNIProjects/13769/CAD\Streets/13769EN-AilProf&Corridor_Setup.dw

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