



Madison, Wisconsin

CITY OF MADISON

CITY ENGINEERING DIVISION

DEPARTMENT OF PUBLIC WORKS

PLAN OF PROPOSED IMPROVEMENT

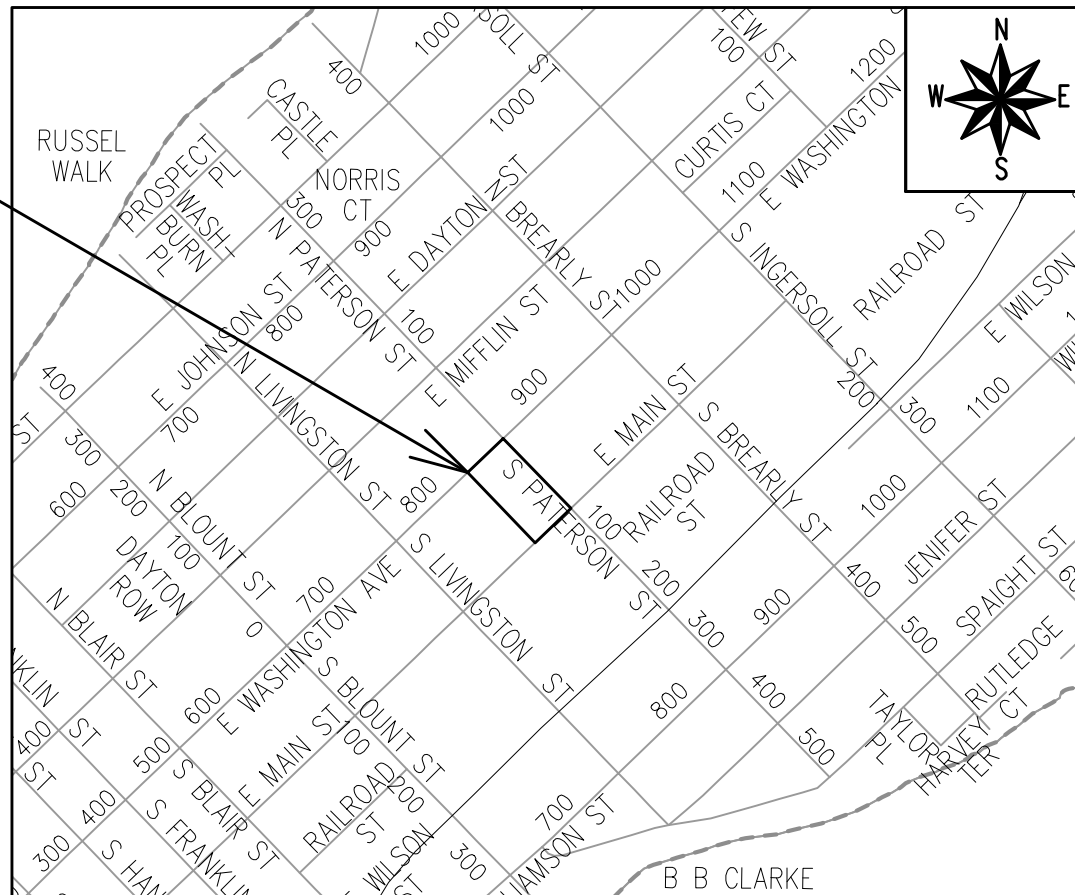
849 E WASHINGTON AVE-BAKERS PLACE

INDEX OF SHEETS

SHEET NO. D1	STANDARD NOTES & COMMENTS
SHEET NO. D2	TYPICAL SECTIONS
SHEET NO. P1-P3	SIDEWALK PLAN & PROFILES
SHEET NO. C401	SANITARY PLAN & PROFILE
SHEET NO. U1	UTILITY PLAN
SHEET NO. L1	LANDSCAPE PLAN
SHEET NO. X1-X4	CROSS SECTIONS
NO MAINTENANCE PLAN REQUIRED	

CITY PROJECT NO. 13769
CONTRACT NO. 9072

PROJECT
LOCATION



REVISIONS
REV#1 - 2022 03 14 - Util Only to Full Plan.
REV#2 - 2025 05 27 - L-1 updated.

PUBLIC IMPROVEMENT PROJECT
APPROVED

AUGUST 31, 2021

BY THE COMMON COUNCIL
OF MADISON, WISCONSIN

PUBLIC IMPROVEMENT DESIGN
APPROVED BY:

Greg Fries

Apr 8, 2022

City Engineer

Date

STREET
DESIGNED BY:



Apr 7, 2022

SANITARY SEWER
DESIGNED BY:

SEE
INDIVIDUAL
SHEET

WATER
DESIGNED BY:

LATERAL
ONLY

STORM SEWER
DESIGNED BY:

LATERAL
ONLY

ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.

AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)

DEVELOPER MUST SUBMIT A TRAFFIC CONTROL PLAN TO CITY TRAFFIC ENGINEERING AT LEAST 14 DAYS PRIOR TO THE START OF WORK. WORK SHALL NOT PROCEED UNTIL AN APPROVED TRAFFIC CONTROL PLAN IS IN PLACE.

CONTACT PROJECT ENGINEER AND STREET DESIGNER IKE OKAFOR AT IOKAFOR@CITYOFMADISON.COM FOR CAD AND ALIGNMENT DATA PRIOR TO STAKING.

CONVENTIONAL SIGNS

FIELD VERIFY ALL UTILITY LOCATIONS

GAS

STORM SEWER

SANITARY SEWER

WATER

BURIED ELECTRIC

OVERHEAD ELECTRIC

POWER POLE

ADA COMPLIANT RAMP W/
DETECTABLE WARNING FIELD

COMBUSTIBLE FLUIDS

— G —

— ST —

— SN —

— W —

— E —

— OH —

UNDERDRAINS SHALL BE INSTALLED PER STANDARD DETAIL DRAWING 4.05 FOR 75' ON EACH SIDE OF THE LOW POINT, OR TO THE NEAREST CURB HIGH POINT. ALL UNDERDRAIN SHALL BE WRAPPED.

ALL GUTTERS SHALL DRAIN WITH A MINIMUM GRADE OF 0.5% TOWARD STORM SEWER INLETS.

ALL DITCHES SHALL DRAIN WITH A MINIMUM GRADE OF 0.5%

THE CROSS SLOPE OF SIDEWALKS AND BARRIER FREE SIDEWALK CURB RAMPS SHALL TYPICALLY BE 1.5%. THE LONGITUDINAL GRADE OF BARRIER FREE SIDEWALK CURB RAMPS SHALL NOT EXCEED 8.33%. ALL SIDEWALK RAMPS SHALL BE CONSTRUCTED ACCORDING TO S.D.D. 3.04. AT ALL OTHER LOCATIONS THE LONGITUDINAL GRADE OF SIDEWALKS SHALL NOT BE LESS THAN 0.5% AND SHALL DRAIN TOWARD STORM SEWER INLETS. ALL SIDEWALK AND SIDEWALK RAMP ELEVATIONS AND GRADES SHALL BE FIELD VERIFIED AND SET TO COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS AND THE A.D.A. GUIDELINES.

CURB STATION AND OFFSETS SHALL BE TO THE **EDGE OF PAVEMENT** UNLESS OTHERWISE INDICATED. CURB ELEVATIONS SHALL BE TO THE **EDGE OF PAVEMENT** UNLESS OTHERWISE INDICATED.

POWER POLES AND OTHER OBSTRUCTIONS SHALL BE MOVED TO PROVIDE 2 FEET MINIMUM OF CLEAR DISTANCE FROM ANY FACE OF CURB OR EDGE OF SIDEWALK.

ANY INFORMATION SHOWN ON THIS PLAN, WHICH IS NOT PART OF THIS RIGHT-OF-WAY PROJECT, IS PRELIMINARY AND NOT FOR CONSTRUCTION.

THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.

ALL PERMANENT SIGNING AND POSTING WILL BE DETERMINED AND PROVIDED BY THE TRAFFIC ENGINEERING DIVISION, FOLLOWING CONSTRUCTION OF THESE IMPROVEMENTS.

THE DEVELOPER SHALL PROVIDE, INSTALL AND MAINTAIN ALL STREET END BARRICADES, SIGNING AND TRAFFIC CONTROL, AS REQUIRED BY THE CITY TRAFFIC ENGINEER.

PAVEMENT SAWCUTS SHALL BE AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER. SAWCUTS SHOWN ON THE PLAN ARE APPROXIMATE.

ALL WORK IN THE RIGHT OF WAY AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION

STANDARD NOTES AND COMMENTS

849 E WASHINGTON AVE-BAKERS PLACE

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13769

MADISON, WI

9072

CONTRACT NO:

13769

D-1

MARK

REVISION

DATE

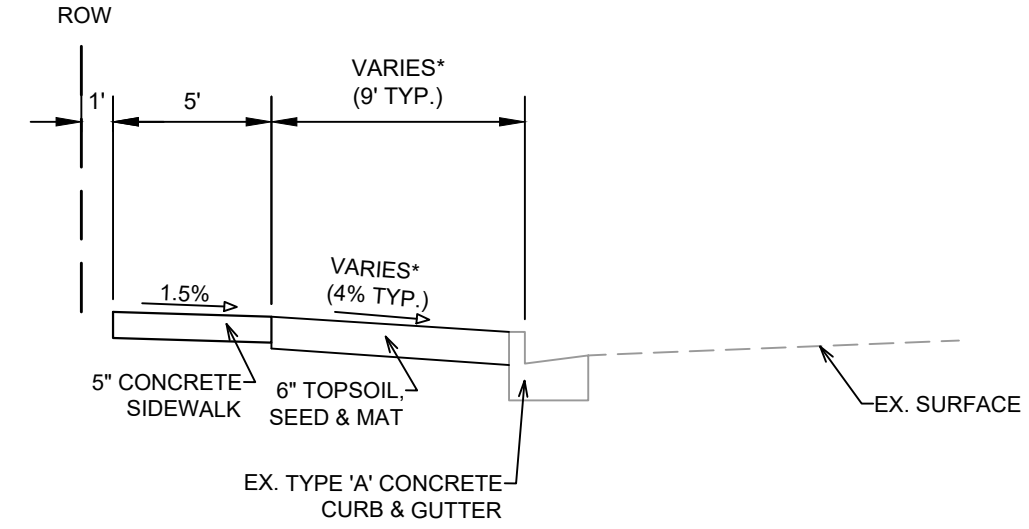
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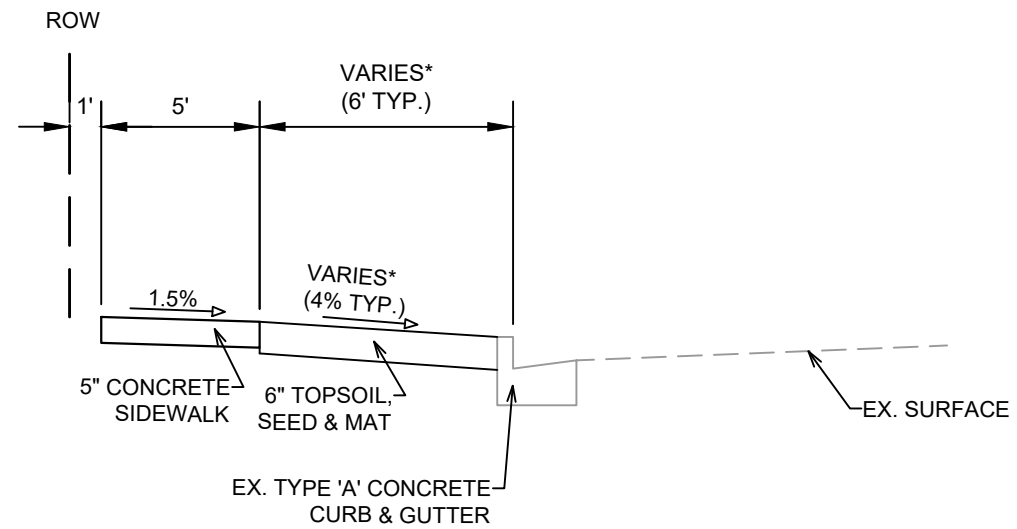
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D-1



TYPICAL SECTION
S PATERSON STREET
(NOT TO SCALE)



TYPICAL SECTION
E MAIN STREET
(NOT TO SCALE)

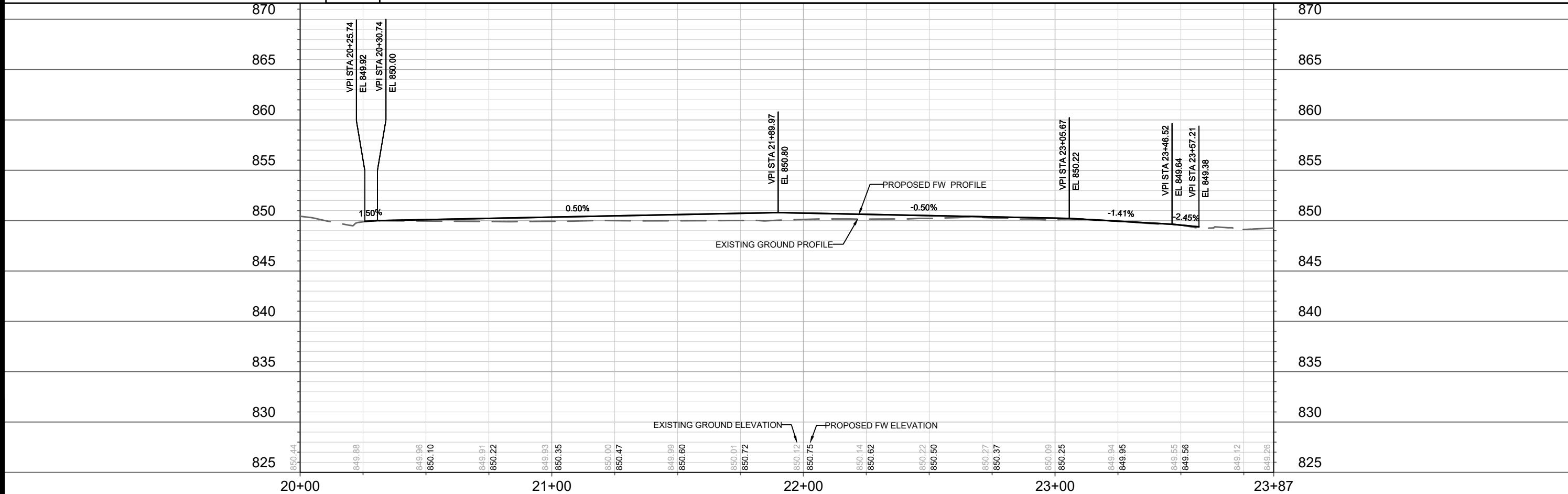
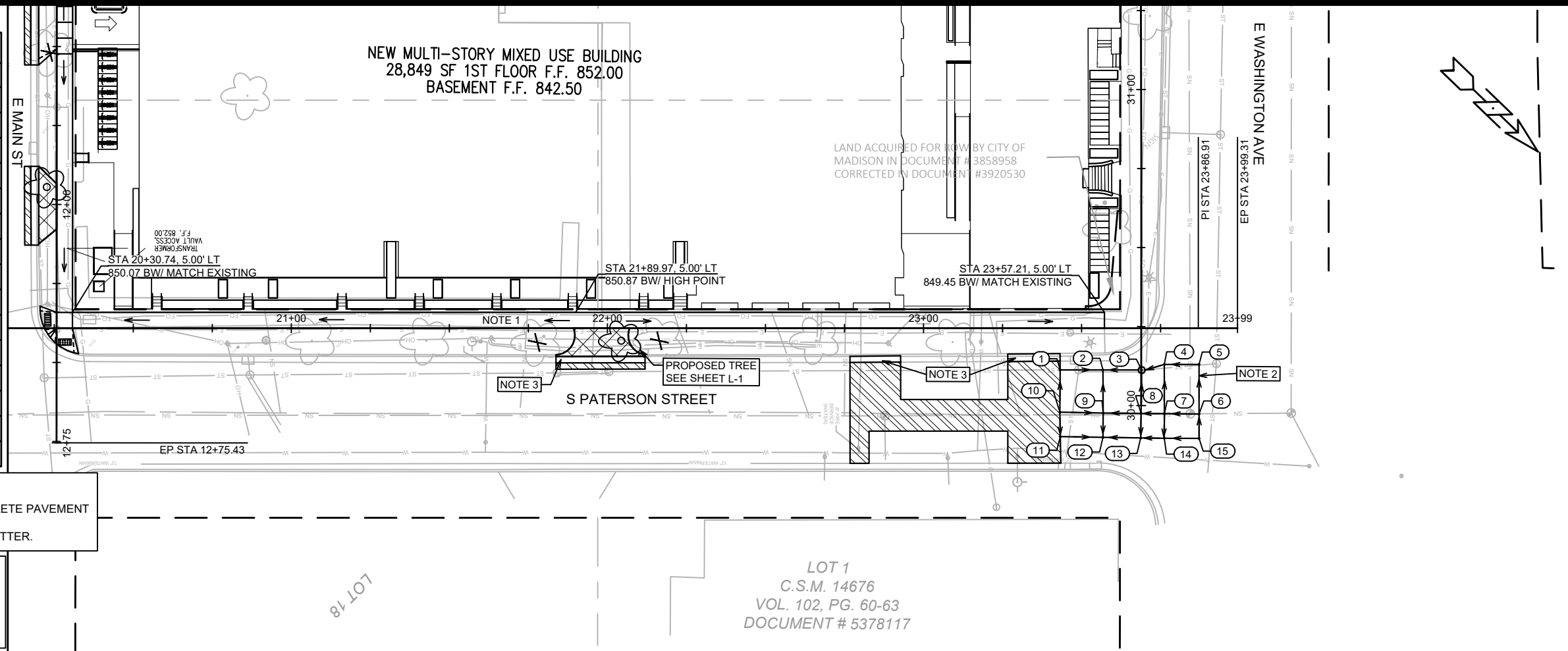
NOTES:
* SEE CROSS SECTIONS AND PLAN & PROFILE SHEETS FOR SURFACE WIDTHS AND SLOPES.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL SURFACE PAVING AS PART OF THIS CONTRACT.

CONCRETE PAVEMENT DETAIL			
POINT	STATION AND OFFSET	ELEVATION	TYPE / COMMENT
1	23+43.21, 13.20RT	848.88	EXISTING JOINT
2	23+56.75, 13.20RT	848.77	EXISTING JOINT
3	23+68.97, 13.25RT	848.95	RIM ELEVATION
4	23+76.17, 11.46RT	849.02	EXISTING JOINT
5	23+87.16, 11.46RT	849.29	EXISTING JOINT
6	23+87.17, 27.16RT	849.39	EXISTING JOINT
7	23+76.17, 27.04RT	849.08	EXISTING JOINT
8	23+68.81, 26.95RT	849.03	PROPOSED JOINT
9	23+56.82, 26.82RT	848.95	EXISTING JOINT
10	23+43.13, 26.57RT	849.08	EXISTING JOINT
11	23+43.25, 34.29RT	848.95	EXISTING JOINT
12	23+56.74, 34.51RT	848.86	EXISTING JOINT
13	23+68.69, 34.70RT	849.05	PROPOSED JOINT
14	23+76.16, 34.82RT	849.16	EXISTING JOINT
15	23+87.16, 34.87RT	849.40	EXISTING JOINT

NOTES

- 5" CONCRETE SIDEWALK.
- SAWCUT AT JOINT & REPLACE ENTIRE 10" DOWELED CONCRETE PAVEMENT PER S.D.D. 3.10 & 3.11
- REMOVE AND REPLACE WITH TYPE 'A' CONCRETE CURB & GUTTER.

LEGEND	
X	TREE REMOVAL
▨	ASPHALT PATCHING (FINAL PATCHING LIMITS TO BE DETERMINED BY CONSTRUCTION ENGINEER.)
▩	REMOVE CONCRETE & REPLACE WITH 6" TOPSOIL, SEED & EROSION MATTING.



13769

MADISON, WI

CONTRACT NO:

9072

S PATERSON STREET - SIDEWALK PLAN & PROFILE

849 E WASHINGTON AVE - BAKERS PLACE

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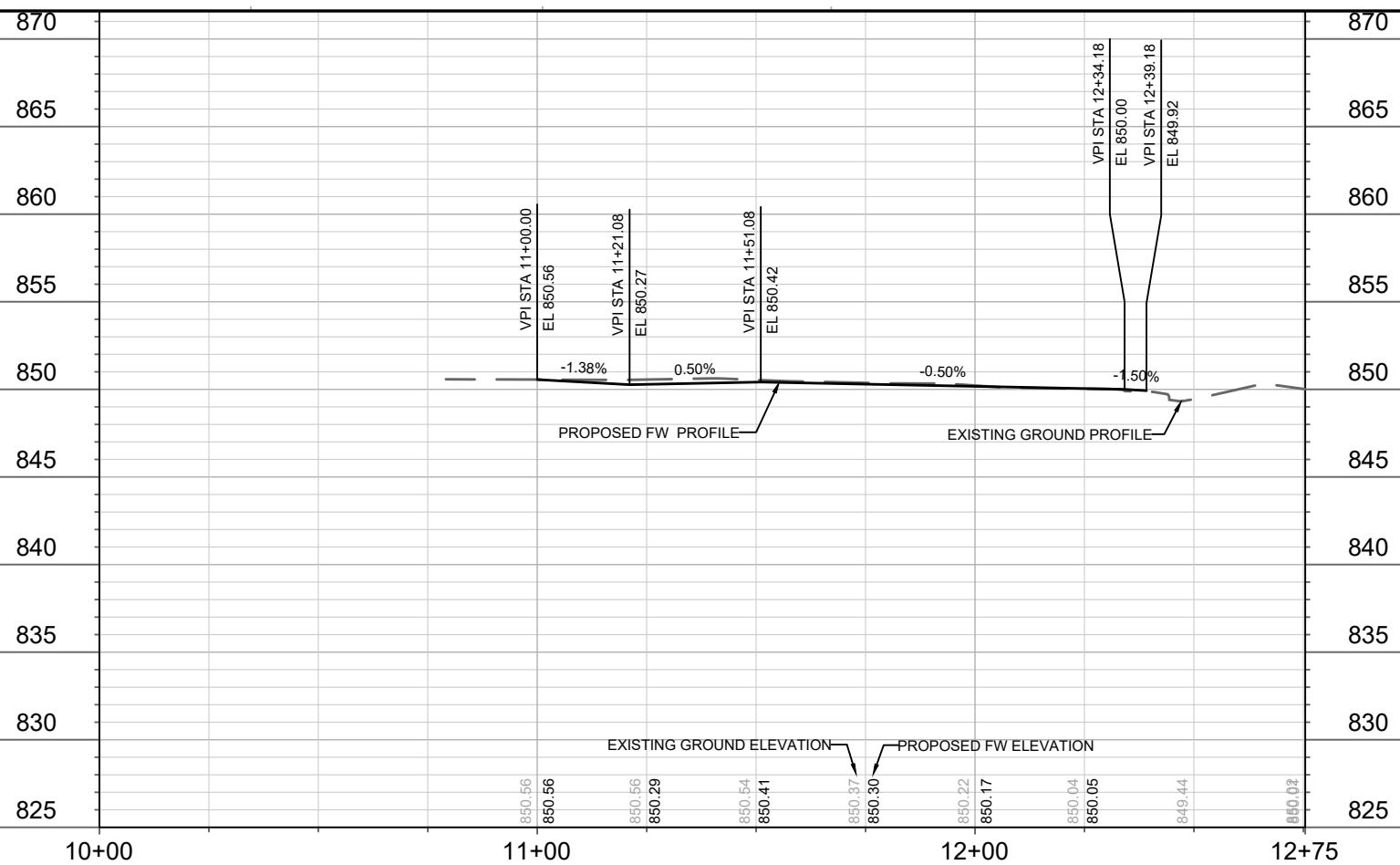
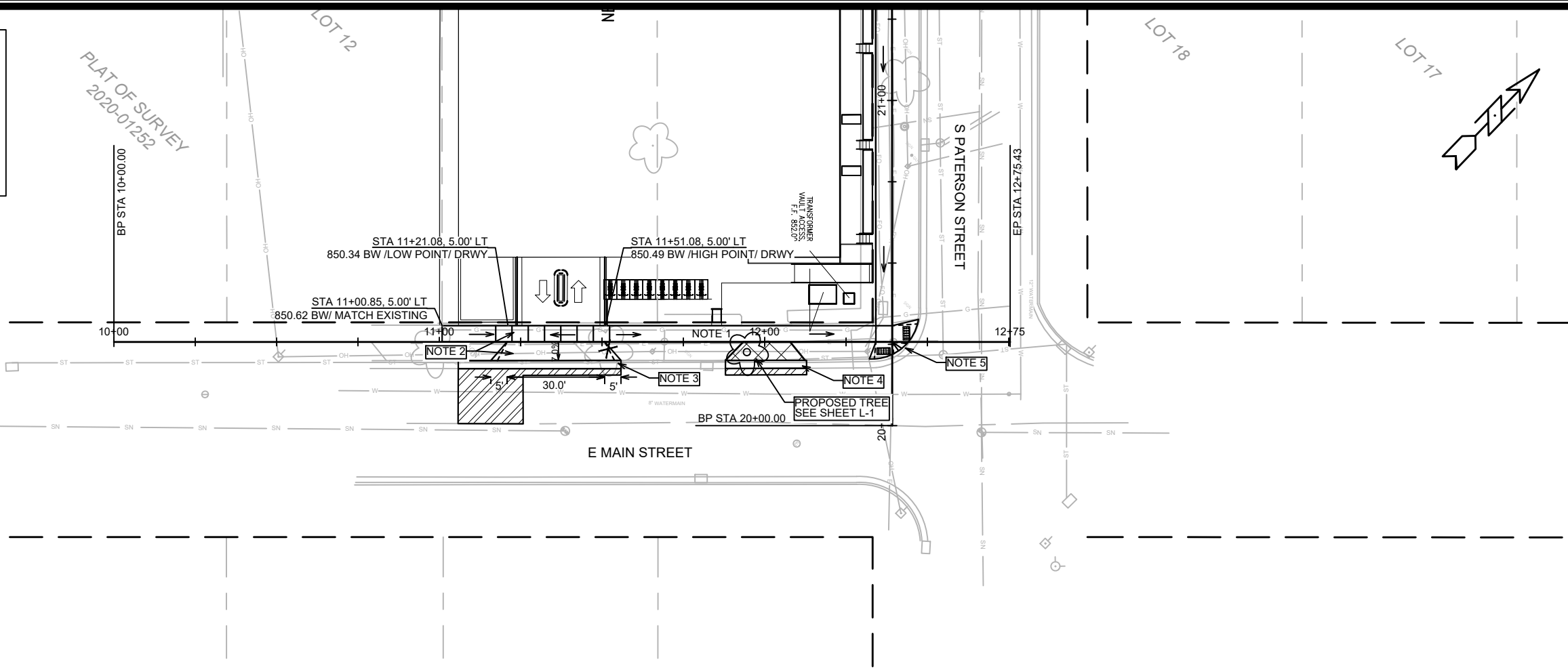
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P-2

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- NOTES
- 5' CONCRETE SIDEWALK.
 - 7" CONCRETE DRIVEWAY & SIDEWALK. SEE COMMERCIAL DRIVEWAY PERMIT NO. LNDUSE-2021-00049
M:\DESIGN\Traffic\Maps_Plans\ParkingLotPlansTE\WWashington Ave E 849\Washington Ave E 849 Permit_211223.pdf
 - EXTEND DRIVEWAY CURB & GUTTER.
 - REMOVE & REPLACE WITH TYPE 'A' CURB & GUTTER.
 - EXTEND CURB CUT AS NECESSARY FOR RAMP RECONSTRUCTION.

- LEGEND
- X - TREE REMOVAL
 - ASPHALT PATCHING (FINAL PATCHING LIMITS TO BE DETERMINED BY CONSTRUCTION ENGINEER.
 - REMOVE CONCRETE & REPLACE WITH 6" TOPSOIL, SEED, AND EROSION MATTING.



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13769
MADISON, WI
CONTRACT NO: 9072

E MAIN STREET - SIDEWALK PLAN & PROFILE
849 E WASHINGTON AVE - BAKERS PLACE
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13769
P-3

JT-11x17

PLOTTED BY: SETH REARDON

PLOT DATE: 11/9/2021

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Nov 11, 2021

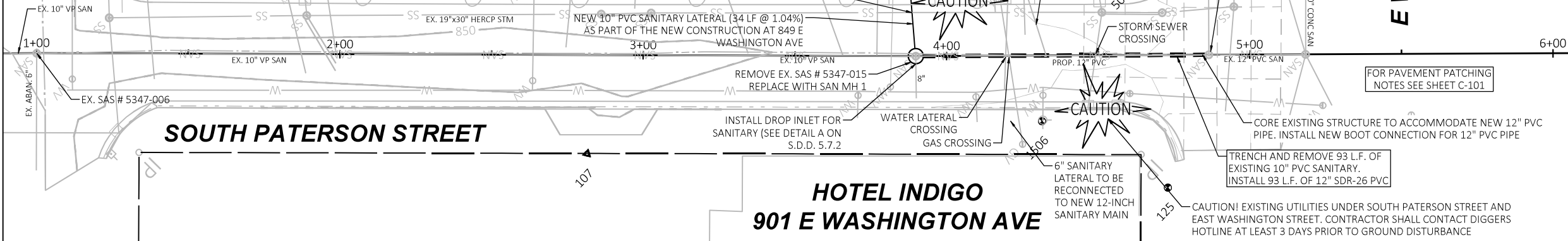
EAST MAIN STREET

E WASHINGTON AVENUE

BAKERS PLACE
849 E WASHINGTON AVE

HOTEL INDIGO
901 E WASHINGTON AVE

SOUTH PATERSON STREET



GREEN BAY | MADISON
MILWAUKEE | CHIPPEWA FALLS
MADISON OFFICE
6325 ODANA ROAD, SUITE 2
MADISON, WI 53719

PROJECT:
THE NEUTRAL PROJECT
BAKERS PLACE DEVELOPMENT

PROJECT ADDRESS:
849 E WASHINGTON
MADISON, WI 53703

SHEET TITLE:
SANITARY SEWER
PLAN AND PROFILE

SCALE: 1" = 40' (11"x17")

DRAFT/REVISIONS:

NO.	DATE:	DESCRIPTION:
1	09/01/21	CLIENT REVIEW
2	09/10/21	CITY SUBMITTAL
3	11/08/21	CD

DATE ISSUED: 11/08/2021

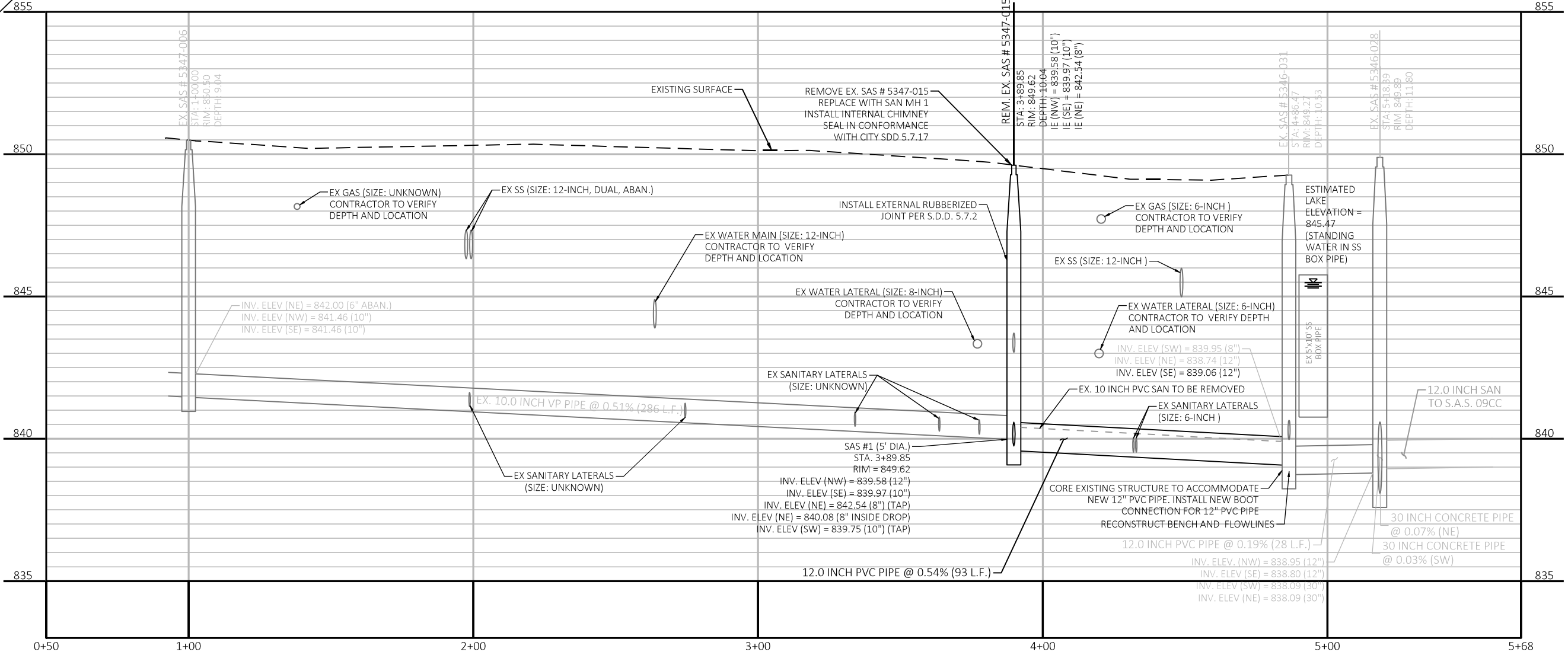
DRAWN BY: SR

REVIEWED BY: DD

PROJECT NUMBER: 71420

SHEET NUMBER:

C-401



1. ADJUST CASTING AS NECESSARY FOR SIDEWALK RECONSTRUCTION.
2. THE DEVELOPER SHALL COORDINATE RELOCATION OR ADJUSTING OF EXISTING UTILITY FACILITIES, SUCH AS POLES, PEDESTALS, BOXES, STRUCTURES, CASTINGS OR HANDHOLES, WITH UTILITY OWNER.

LOT 1
C.S.M. 14676
VOL. 102, PG. 60-63
DOCUMENT # 5378117

LOT 18

LOT 1

LOT 12

NEW MULTI-STORY MIXED USE BUILDING
28,849 SF 1ST FLOOR F.F. 852.00
BASEMENT F.F. 842.50

E WASHINGTON AVENUE

E MAIN STREET

UTILITY PLAN

13769

849 E WASHINGTON AVE - BAKERS PLACE

MADISON, WI

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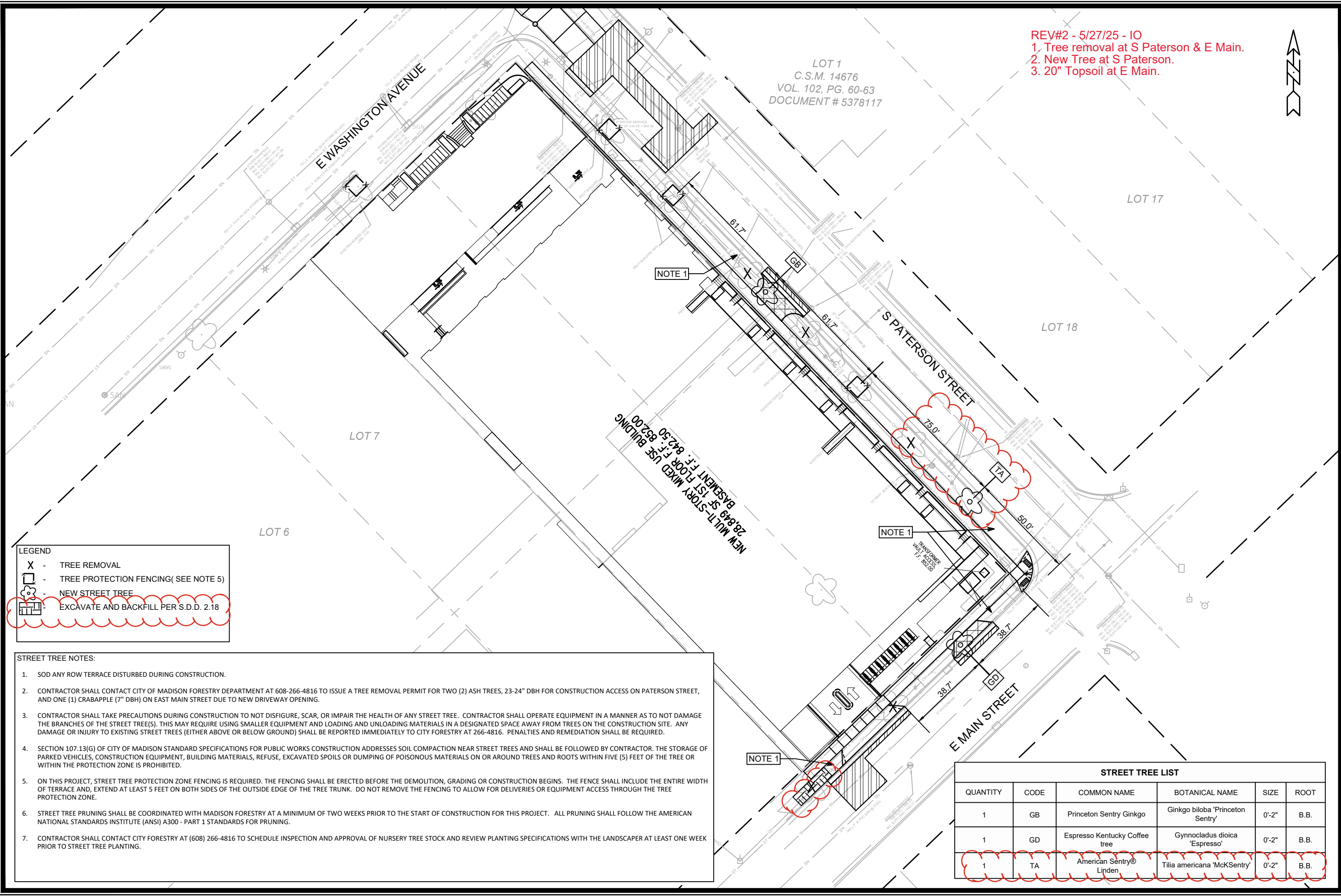


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U-1

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REV#2 - 5/27/25 - IO
1. Tree removal at S Paterson & E Main.
2. New Tree at S Paterson.
3. 20" Topsoil at E Main.

LEGEND

- X - TREE REMOVAL
- TREE PROTECTION FENCING(SEE NOTE 5)
- NEW STREET TREE
- EXCAVATE AND BACKFILL PER S.D.D. 2.18

STREET TREE NOTES:

- SOD ANY ROW TERRACE DISTURBED DURING CONSTRUCTION.
- CONTRACTOR SHALL CONTACT CITY OF MADISON FORESTRY DEPARTMENT AT 608-266-4816 TO ISSUE A TREE REMOVAL PERMIT FOR TWO (2) ASH TREES, 23-24" DBH FOR CONSTRUCTION ACCESS ON PATERSON STREET, AND ONE (1) CRABAPPLE (7" DBH) ON EAST MAIN STREET DUE TO NEW DRIVEWAY OPENING.
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING.

STREET TREE LIST					
QUANTITY	CODE	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
1	GB	Princeton Sentry Ginkgo	Ginkgo biloba 'Princeton Sentry'	0'-2"	B.B.
1	GD	Espresso Kentucky Coffee tree	Gynnocladus dioica 'Espresso'	0'-2"	B.B.
1	TA	American Sentry® Linden	Tilia americana 'McKSentry'	0'-2"	B.B.

LANDSCAPE PLAN

849 E WASHINGTON AVE - BAKERS PLACE

13769

L-1

13769

MADISON, WI

CONTRACT NO:

9072

REVISION

DATE

BY

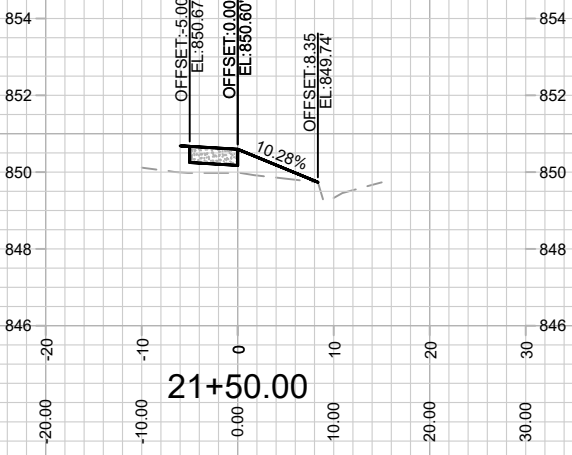
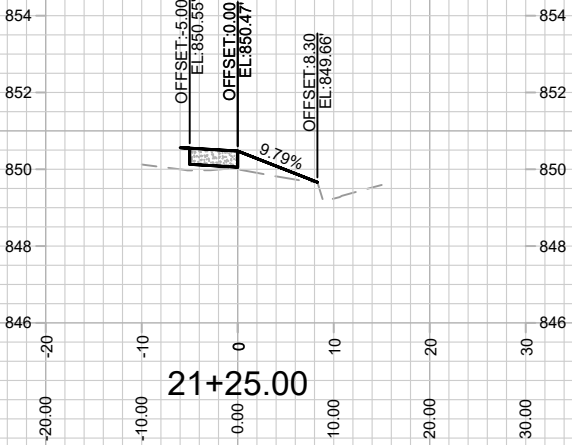
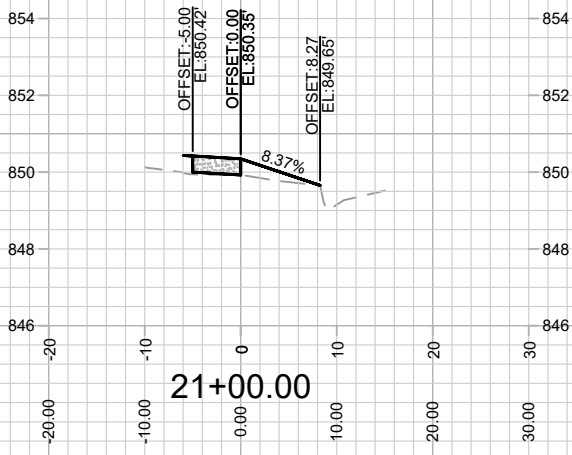
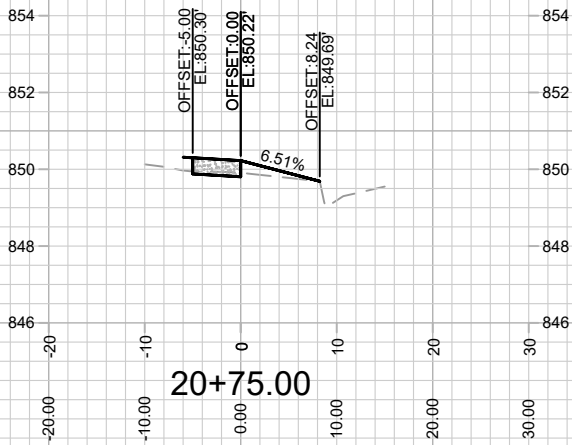
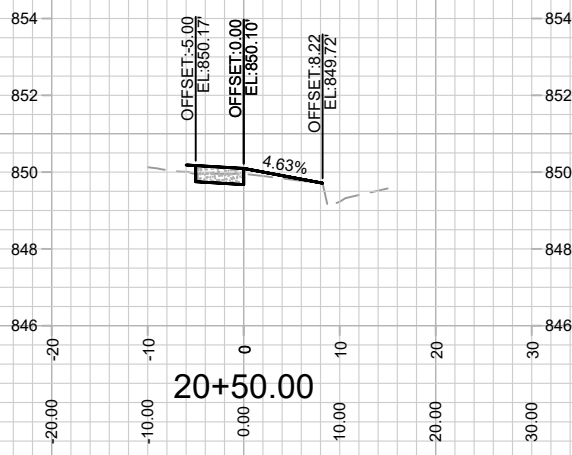
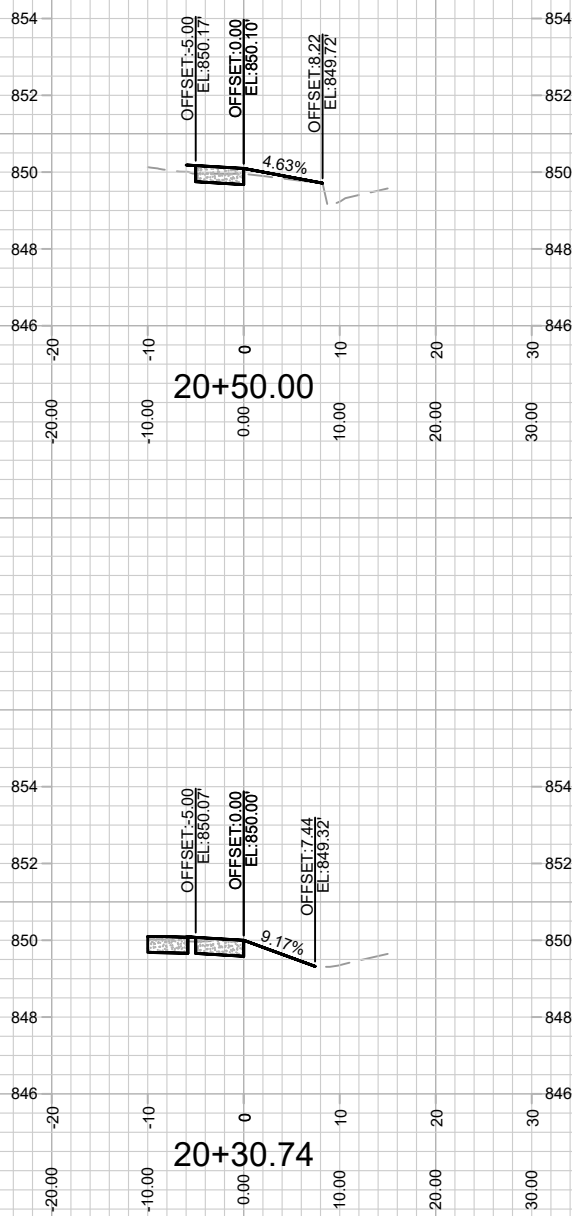
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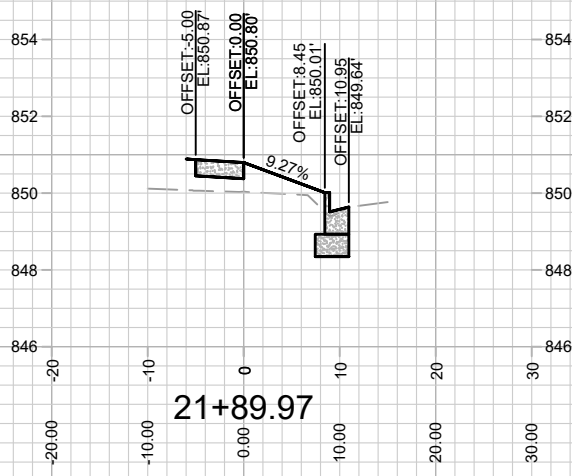


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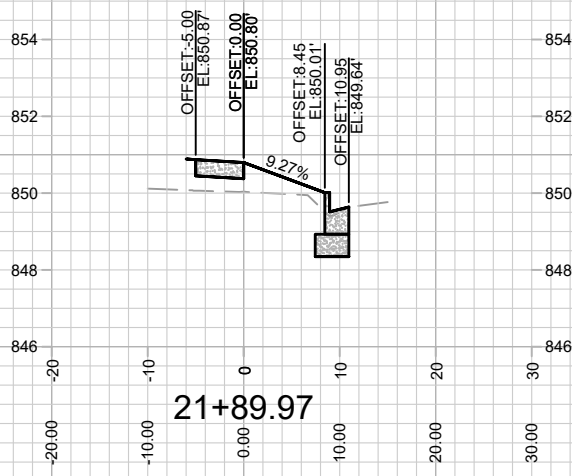
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849 E WASHINGTON AVE - BAKERS PLACE
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MADISON, WI
CONTRACT NO: 9072

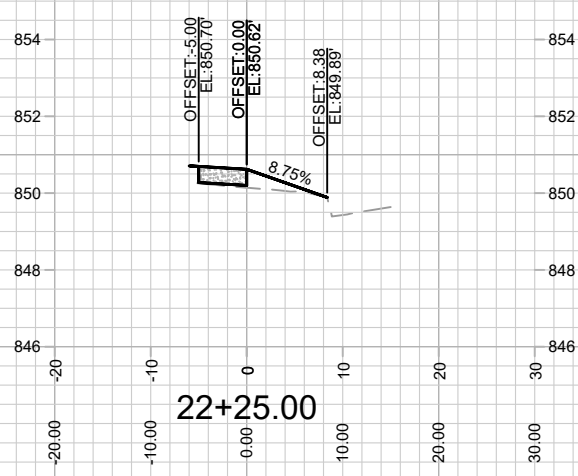
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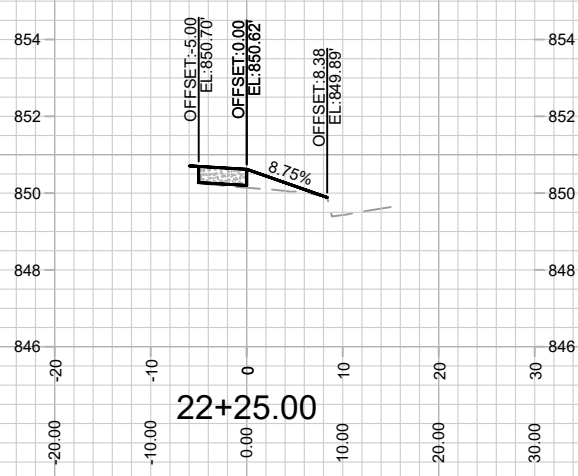
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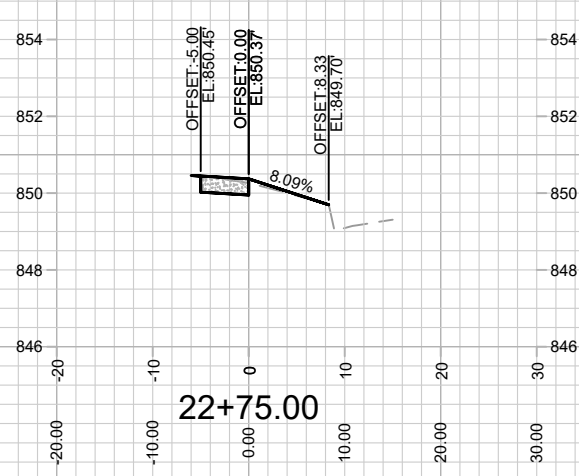
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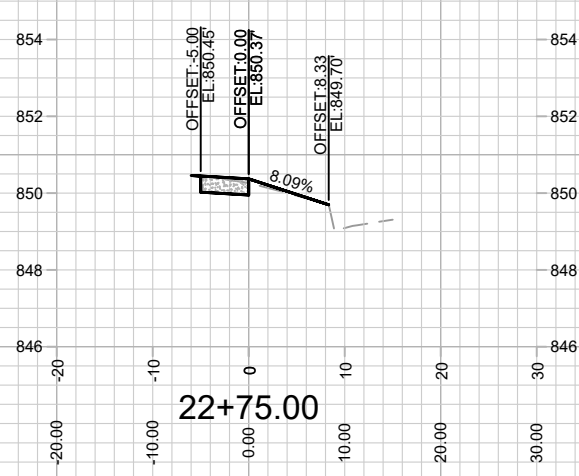
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22+25.00



22+50.00



22+75.00



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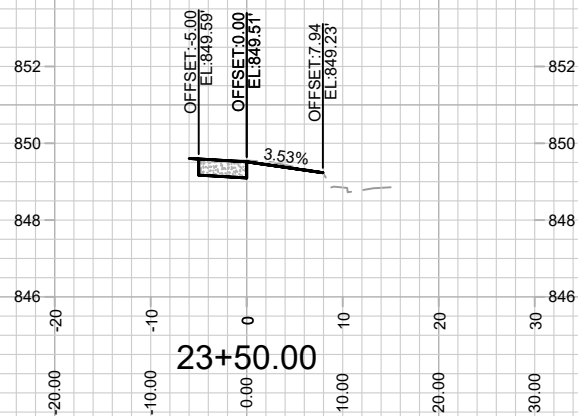
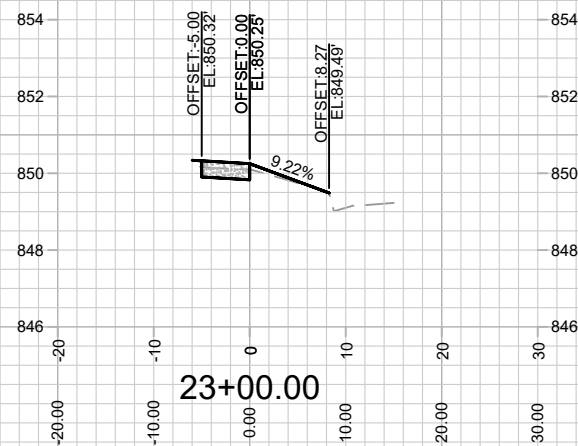
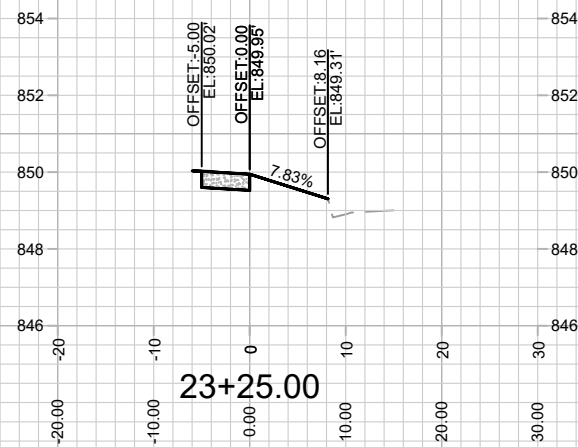
S PATERSON STREET - CROSS SECTIONS
849 E WASHINGTON AVE - BAKERS PLACE

13769
MADISON, WI

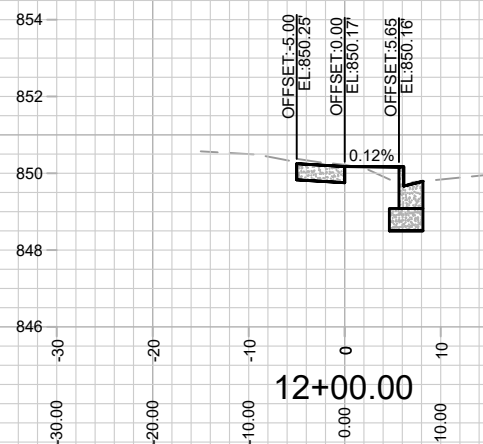
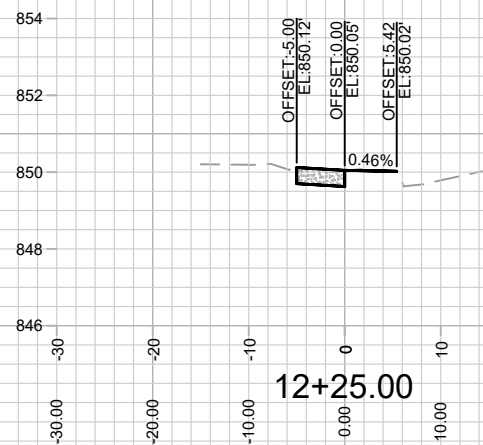
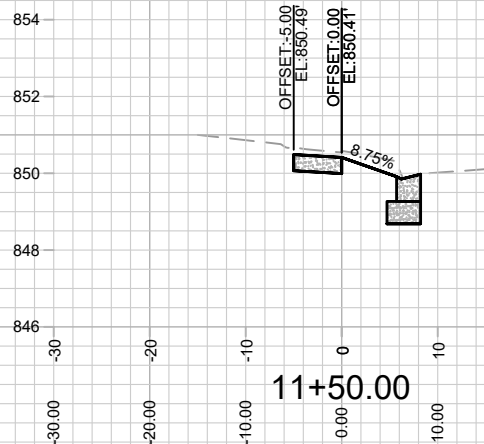
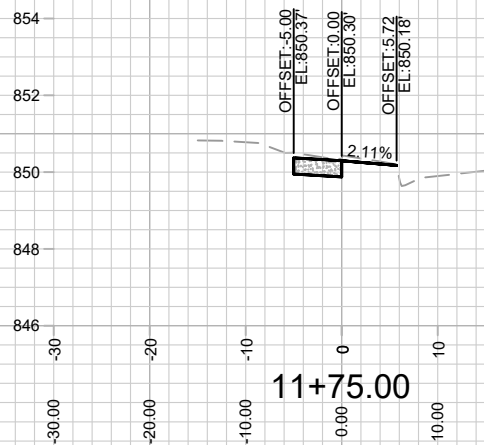
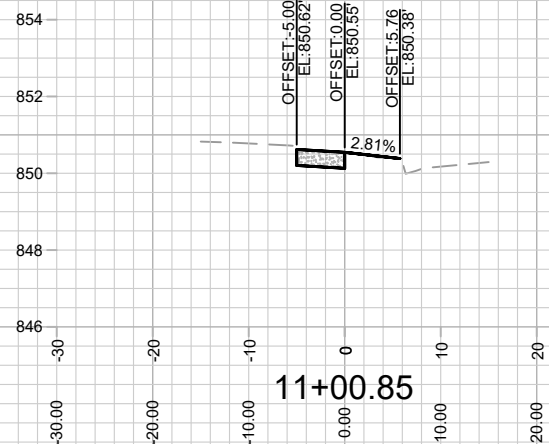
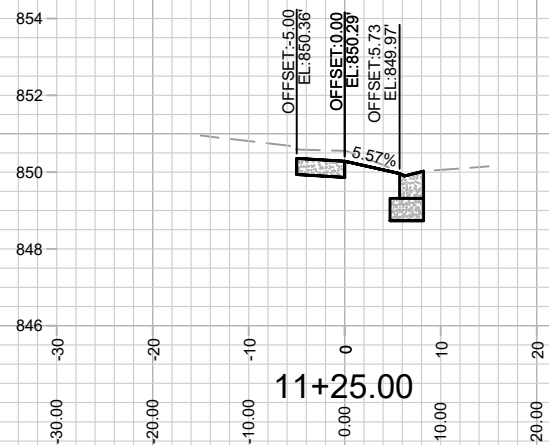
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CONTRACT NO: 9072

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13769
X-4

E MAIN STREET - CROSS SECTION

849 E WASHINGTON AVE - BAKERS PLACE

MADISON, WI

13769

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CONTRACT NO:

9072

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