

Madison, Wisconsin

CITY OF MADISON

CITY ENGINEERING DIVISION

DEPARTMENT OF PUBLIC WORKS

PLAN OF PROPOSED IMPROVEMENT

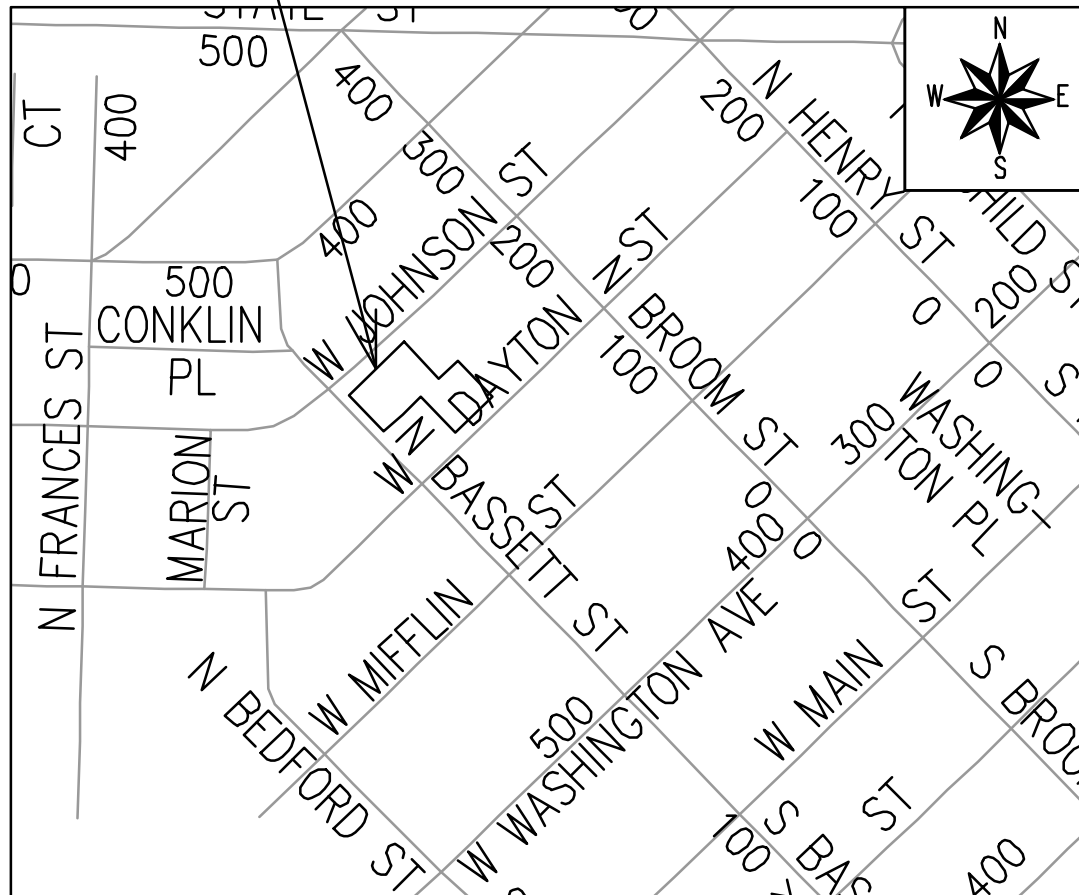
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PROJECT LOCATION

449 W JOHNSON ST

CITY PROJECT NO. 15030
CONTRACT NO. 9499



PUBLIC IMPROVEMENT PROJECT
APPROVED

MARCH 19, 2024

BY THE COMMON COUNCIL
OF MADISON, WISCONSIN

PUBLIC IMPROVEMENT DESIGN
APPROVED BY:

Chris Petykowski Oct 10, 2024

City Engineer

Date

STREET
DESIGNED BY:

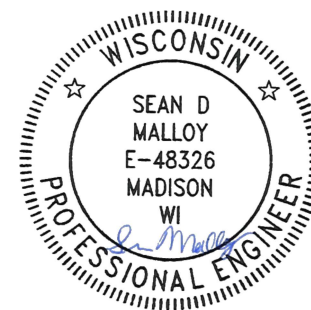


Oct 9, 2024

WATER
DESIGNED BY:

LATERAL ONLY

PAVEMENT MARKINGS
DESIGNED BY:



Oct 9, 2024

SANITARY SEWER
DESIGNED BY:

LATERAL ONLY

STORM SEWER
DESIGNED BY:

LATERAL ONLY

REVISION 1 - 12/11/2024

- UPDATED SHEETS: P2, U2

REVISION 2 - 02/19/2024

- UPDATED SHEETS: U1

REVISION 3 - 05/16/2025

- UPDATED SHEETS: P3, U3, L3

REVISION 4 - 06/17/2025

- UPDATED SHEETS: U2

PLOT SCALE: 1 IN = 1 FT

PLOT NAME: ---

REV. DATE: 8/15/2024 7:19 AM

ORIGINATOR: CITY OF MADISON

THE LOCATION AND INFORMATION FOR PROPOSED NEW TREES, IN THE PUBLIC RIGHT OF WAY OR ON PUBLIC LANDS ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE ONLY. THE LOCATIONS, SPECIFICATIONS AND PLANTING METHODS OF ALL PROPOSED NEW OR REPLACEMENT TREES IN THE PUBLIC RIGHT OF WAY OR ON PUBLIC LANDS SHALL BE APPROVED BY THE CITY FORESTER PRIOR TO INSTALLATION.

NO TREES IN THE RIGHT OF WAY OR ON PUBLIC LANDS SHALL BE TRIMMED, PRUNED, REMOVED OR ADVERSELY AFFECTED IN ANY WAY UNTIL THE DEVELOPER HAS RECEIVED WRITTEN PERMISSION FROM THE CITY ENGINEER OR CITY FORESTER. SAID WRITTEN PERMISSION SHALL INCLUDE LANGUAGE INDICATING THAT SECTION 10.101 OF THE MADISON GENERAL ORDINANCES AND ADMINISTRATIVE PROCEDURE MEMORANDUM NO. 6-2, REFERRING TO NOTIFICATION OF PROPERTY OCCUPANTS AND/OR OWNERS, HAS BEEN COMPLIED WITH.

DEVELOPER MUST SUBMIT A TRAFFIC CONTROL PLAN TO CITY TRAFFIC ENGINEERING AT LEAST 14 DAYS PRIOR TO THE START OF WORK. WORK SHALL NOT PROCEED UNTIL AN APPROVED TRAFFIC CONTROL PLAN IS IN PLACE.

CONTACT THE PROJECT ENGINEER AND DESIGNER, GRECIA IZQUIERDO, AT GIZQUIERDO@CITYOFMADISON.COM FOR CAD FILES AND ALIGNMENT DATA PRIOR TO STAKING.

CONVENTIONAL SIGNS
FIELD VERIFY ALL UTILITY LOCATIONS

GAS

STORM SEWER

SANITARY SEWER

WATER

BURIED ELECTRIC

OVERHEAD ELECTRIC

POWER POLE

ADA COMPLIANT RAMP W/
DETECTABLE WARNING FIELD

COMBUSTIBLE FLUIDS

— G —

— ST —

— SAN —

— W —

— E —

— OH —

UNDERDRAINS SHALL BE INSTALLED PER STANDARD DETAIL DRAWING 4.05 FOR 75' ON EACH SIDE OF THE LOW POINT, OR TO THE NEAREST CURB HIGH POINT. ALL UNDERDRAIN SHALL BE WRAPPED.

ALL GUTTERS SHALL DRAIN WITH A MINIMUM GRADE OF 0.5% TOWARD STORM SEWER INLETS.

ALL DITCHES SHALL DRAIN WITH A MINIMUM GRADE OF 0.5%

THE CROSS SLOPE OF SIDEWALKS AND BARRIER FREE SIDEWALK CURB RAMPS SHALL TYPICALLY BE 1.5%. THE LONGITUDINAL GRADE OF BARRIER FREE SIDEWALK CURB RAMPS SHALL NOT EXCEED 8.33%. ALL SIDEWALK RAMPS SHALL BE CONSTRUCTED ACCORDING TO S.D.D. 3.04. AT ALL OTHER LOCATIONS THE LONGITUDINAL GRADE OF SIDEWALKS SHALL NOT EXCEED 5.0 % OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER NOR BE LESS THAN 0.5% AND SHALL DRAIN TOWARD STORM SEWER INLETS. SIDE SLOPES WITHIN TEN FEET OF A PUBLIC SIDEWALK SHALL NOT EXCEED 4:1. ALL SIDEWALK AND SIDEWALK RAMP ELEVATIONS AND GRADES SHALL BE FIELD VERIFIED AND SET TO COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS AND THE A.D.A. GUIDELINES.

OBTAIN A PRINT OUT OF THE ALIGNMENTS FROM THE CITY PROJECT ENGINEER PRIOR TO STAKING THIS PROJECT. THE CITY PROJECT ENGINEER IS GRECIA IZQUIERDO, EMAIL: GIZQUIERDO@CITYOFMADISON.COM

CURB STATION AND OFFSETS SHALL BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED. CURB ELEVATIONS SHALL BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED.

POWER POLES AND OTHER OBSTRUCTIONS SHALL BE MOVED TO PROVIDE 2 FEET MINIMUM OF CLEAR DISTANCE FROM ANY FACE OF CURB OR EDGE OF SIDEWALK UNLESS OTHERWISE INDICATED ON THE PLANS.

ANY INFORMATION SHOWN ON THIS PLAN, WHICH IS NOT PART OF THIS RIGHT-OF-WAY PROJECT, IS PRELIMINARY AND NOT FOR CONSTRUCTION.

THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.

ALL PERMANENT SIGNING AND POSTING WILL BE DETERMINED AND PROVIDED BY THE TRAFFIC ENGINEERING DIVISION, FOLLOWING CONSTRUCTION OF THESE IMPROVEMENTS.

THE DEVELOPER SHALL PROVIDE, INSTALL AND MAINTAIN ALL STREET END BARRICADES, SIGNING AND TRAFFIC CONTROL, AS REQUIRED BY THE CITY TRAFFIC ENGINEER.

PAVEMENT SAWCUTS SHALL BE AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER. SAWCUTS SHOWN ON THE PLAN ARE APPROXIMATE.

CURB ON CUL DE SACS SHALL BE INSTALLED ACCORDING TO S.D.D 3.05.

ALL WORK IN THE RIGHT OF WAY AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION LATEST EDITION.

ALL PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY ARE BASED ON SURVEY DATA PROVIDED BY THE DEVELOPER OR ITS CONSULTANT. IN THE CASE THAT THE PROPOSED IMPROVEMENTS CAN NOT BE INSTALLED PER THESE PLANS OR THE CITY OF MADISON STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF EXTRA WORK DUE TO INACCURACIES OF THE SURVEY.

ALL UTILITY VERIFICATIONS AND ACCURACY OF THE DRAWINGS ARE THE RESPONSIBILITY OF THE DEVELOPER. ANY CONFLICTS THAT ARISE FROM MISSING OR ERRONEOUS INFORMATION WILL BE AT THE EXPENSE OF THE DEVELOPER. NO PRECAST STRUCTURES WILL BE APPROVED FOR STORM OR SANITARY SEWER UNTIL ALL POTENTIAL UTILITY CONFLICTS ARE RESOLVED.

IN LOCATIONS WHERE PAVEMENT RESTORATION IS NOT IDENTIFIED ADJACENT TO CURB AND GUTTER REPLACEMENT, IT IS ASSUMED THAT CURB AND GUTTER WILL BE REPLACED WITHOUT DAMAGING ADJACENT PAVEMENT. IF DAMAGED, THE PAVEMENT RESTORATION LIMITS SHALL BE EXTENDED BY THE CITY CONSTRUCTION ENGINEER AS NECESSARY TO MEET THE STANDARD PATCHING CRITERIA.

15030

MADISON, WI

9499

15030

STANDARD NOTES

449 W JOHNSON ST

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REVISION

Date: 10/8/2024 3:22 PM

DATE

BY

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- SPECIAL NOTES:

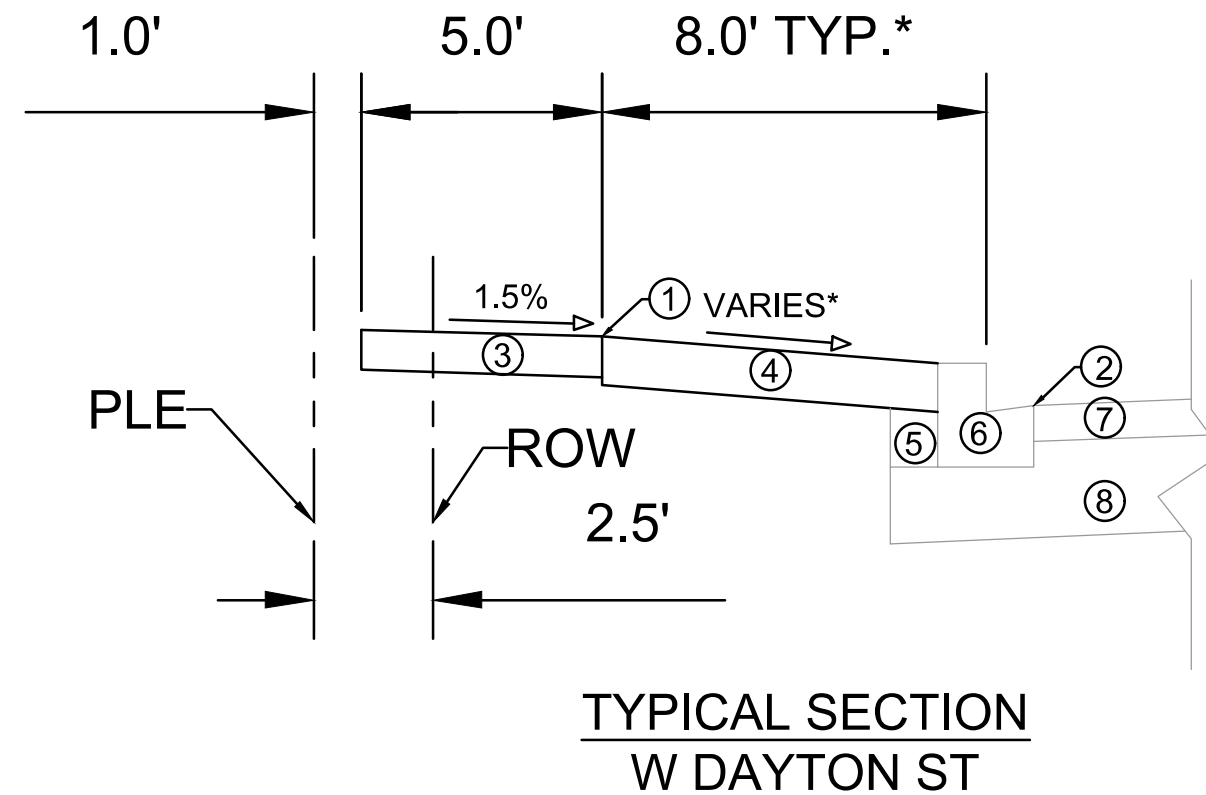
* SEE X-SHEETS AND P-SHEETS FOR CROSS SECTIONS AND SLOPES
 ** ANY CURB REPLACEMENT SHALL INCLUDE TIE BARS INTO THE ADJACENT
 CONCRETE PAVEMENT IN ACCORDANCE WITH THE CITY OF MADISON S.D.D. 3.10



- SPECIAL NOTES:

* SEE X-SHEETS AND P-SHEETS FOR CROSS SECTIONS AND SLOPES
** TRANSVERSE JOINTS FOR BUFFER BETWEEN PATH AND SIDEWALK
SHALL BE PLACED AT APPROXIMATELY 2FT. INSTALL 1/8" THICK FELT
BOND BREAKER ON EITHER SIDE OF THE BUFFER.


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			15030	



- ① POINT REFERRED TO ON FRONT OF WALK PROFILE
- ② POINT REFERRED TO ON EDGE OF PAVEMENT PROFILE
- ③ 5" CONCRETE SIDEWALK
- ④ 6" TOPSOIL, SEED AND MAT.
- ⑤ EXISTING FILL TO REMAIN, INSTALL AT CURB REPLACEMENT LOCATIONS
- ⑥ EXISTING CONCRETE CURB TYPE H, REPLACE AT LOCATIONS SHOWN IN P SHEETS OR AS DETERMINED BY THE CONSTRUCTION ENGINEER
- ⑦ EXISTING ASPHALTIC PAVEMENT TO REMAIN
- ⑧ EXISTING ROAD BASE TO REMAIN

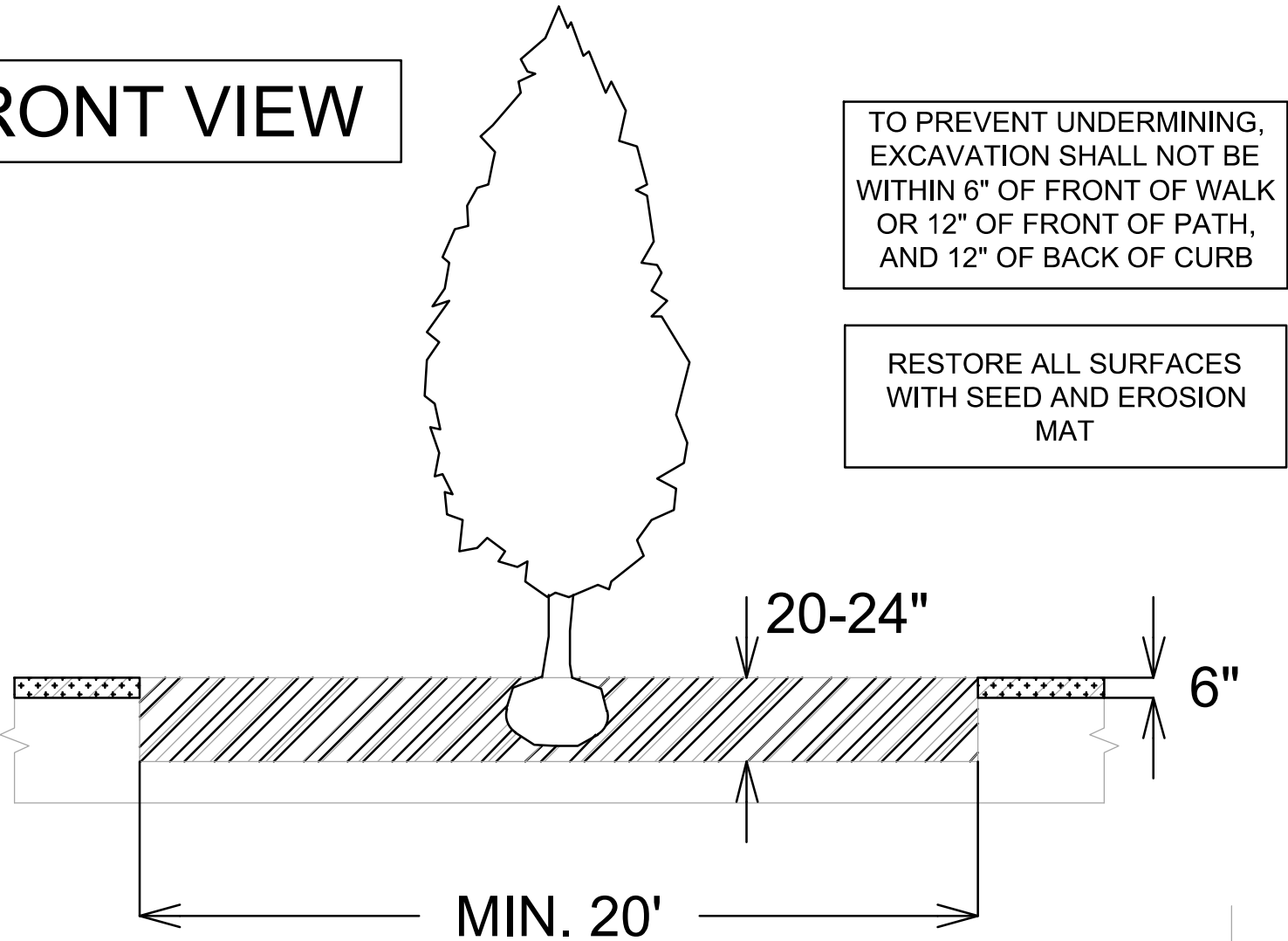
SPECIAL NOTES:

*SEE X-SHEETS AND P-SHEETS FOR CROSS SECTIONS AND SLOPES

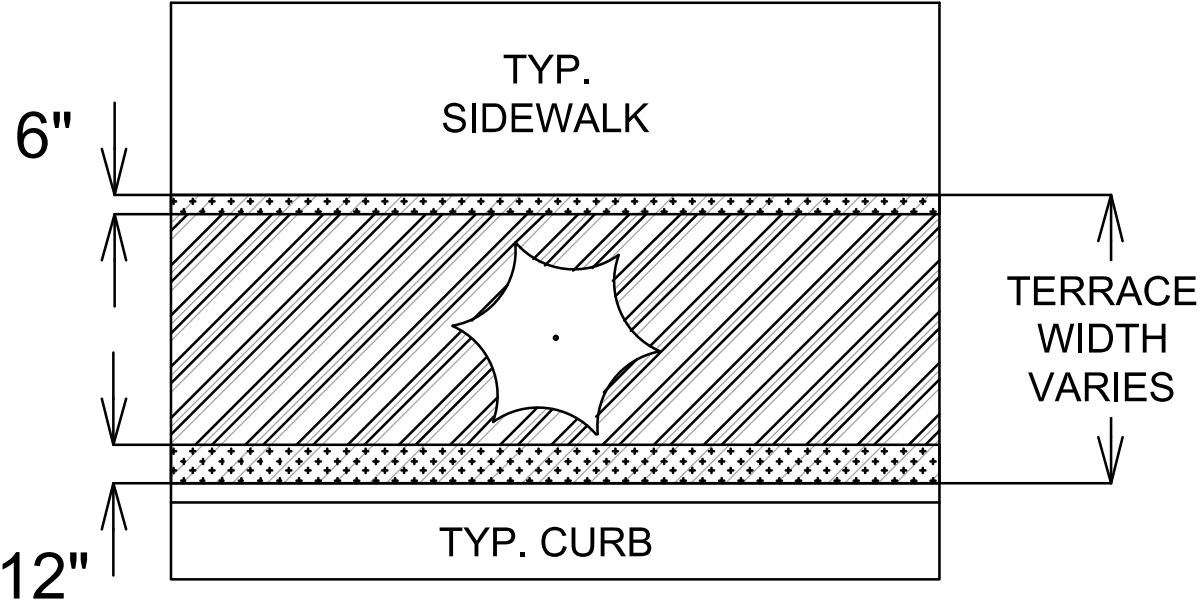
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TERRACE EXCAVATION FOR TREE PLANTING:
THIS INCLUDES ALL WORK NECESSARY TO EXCAVATE AREAS WITHIN GRASS TERRACES TO AN APPROPRIATE DEPTH SUITABLE FOR NEW TREE PLANTINGS. ALL WORK SHALL BE IN ACCORDANCE WITH ARTICLE 201 OF THE STANDARD SPECIFICATIONS. THE PROPOSED LOCATIONS FOR TREE PLANTINGS ARE IDENTIFIED ON THE LANDSCAPING PLAN INCLUDED WITHIN THIS PLAN SET. PRIOR TO THE CONTRACTOR STARTING THE EXCAVATION WORK, THE ENGINEER AND FORESTRY REPRESENTATIVE SHALL REVIEW THE PLAN LOCATIONS ON-SITE AND CONFIRM THAT NO CONFLICTS ARE ANTICIPATED. ONCE THE LOCATIONS MARKED, THE CONTRACTOR SHALL EXCAVATE THE TERRACE AREA TO A SUITABLE DEPTH FOR NEW TREE PLANTINGS, APPROXIMATELY TWENTY (20) INCHES TO TWENTY-FOUR (24) INCHES. THE TERRACE SHALL BE EXCAVATED TO A MINIMUM LENGTH OF TWENTY (20) FEET, BUT THAT MAY BE REDUCED BY THE CONSTRUCTION ENGINEER TO FIT SITE CONSTRAINTS AS NECESSARY. THE WIDTH OF THE TERRACE SHALL ALSO BE EXCAVATED TO AS CLOSE TO THE SIDEWALK/PATH AND CURB AS IS REASONABLE. WHILE PERFORMING THE EXCAVATION, THE CONTRACTOR SHALL TAKE CARE TO NOT UNDERMINE OR DAMAGE THE ADJACENT CURB OR SIDEWALK. IF DAMAGED DURING THE EXCAVATION PROCESS, THE DEVELOPER SHALL REPLACE CURB OR SIDEWALK/PATH AT THEIR COST. ONCE THE AREA IS EXCAVATED, THE CONTRACTOR SHALL BACKFILL THE EXCAVATED AREA WITH REGULAR TOPSOIL, AND THE SURFACE SHALL BE RESTORED WITH SEED AND EROSION MAT.

FRONT VIEW

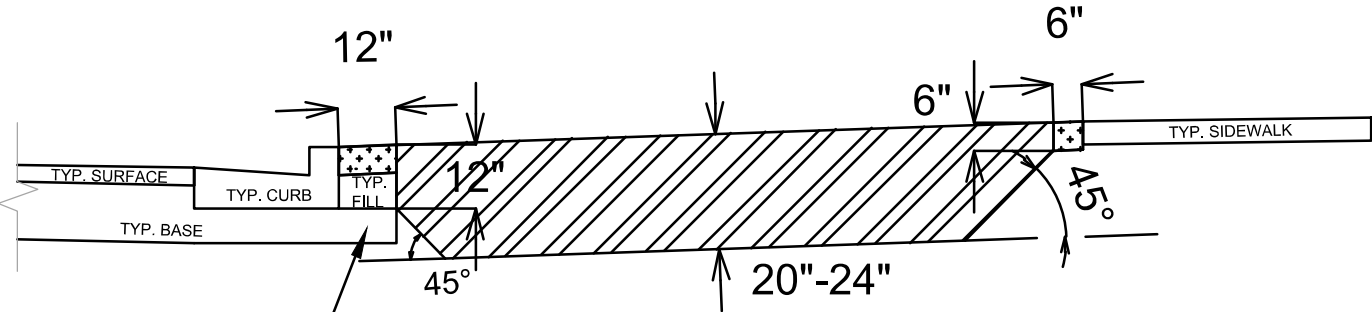


TOP VIEW



LEGEND

- AREA TO BE EXCAVATED 20-24" DEEP AND BACKFILLED WITH TOPSOIL
- AREA TO BE 6" TOPSOIL

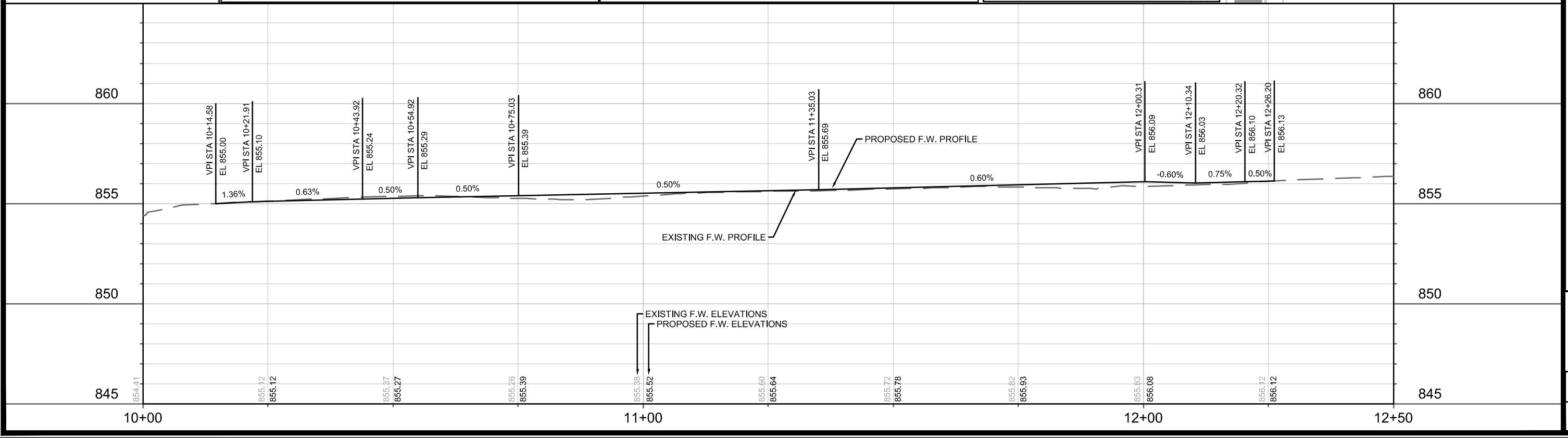



SECTION VIEW

SPECIAL NOTES:

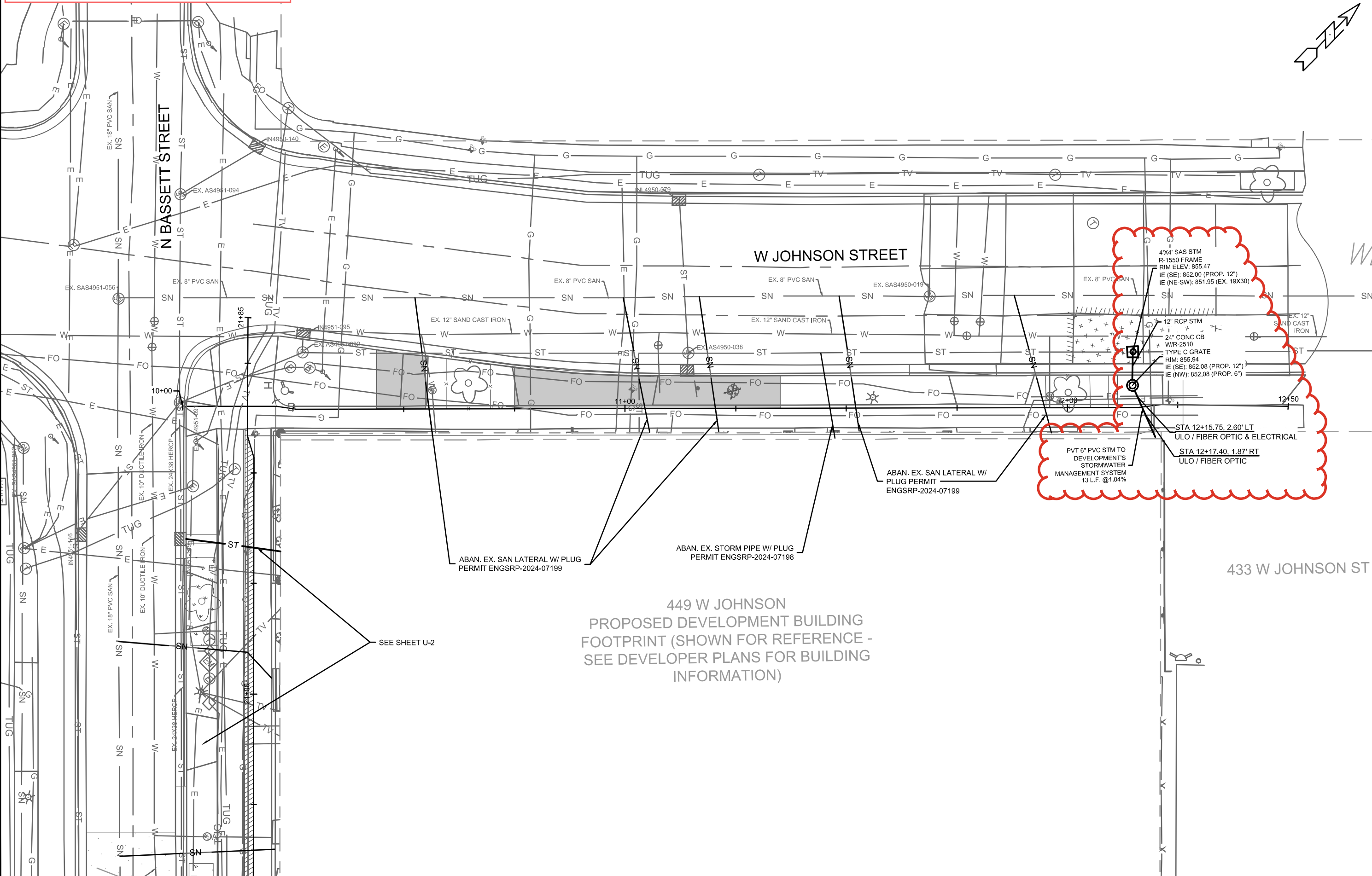
REFER TO S.D.D. 2.01 FOR STANDARD PLANTING TECHNIQUE FOR TREES IN TURF AREAS.


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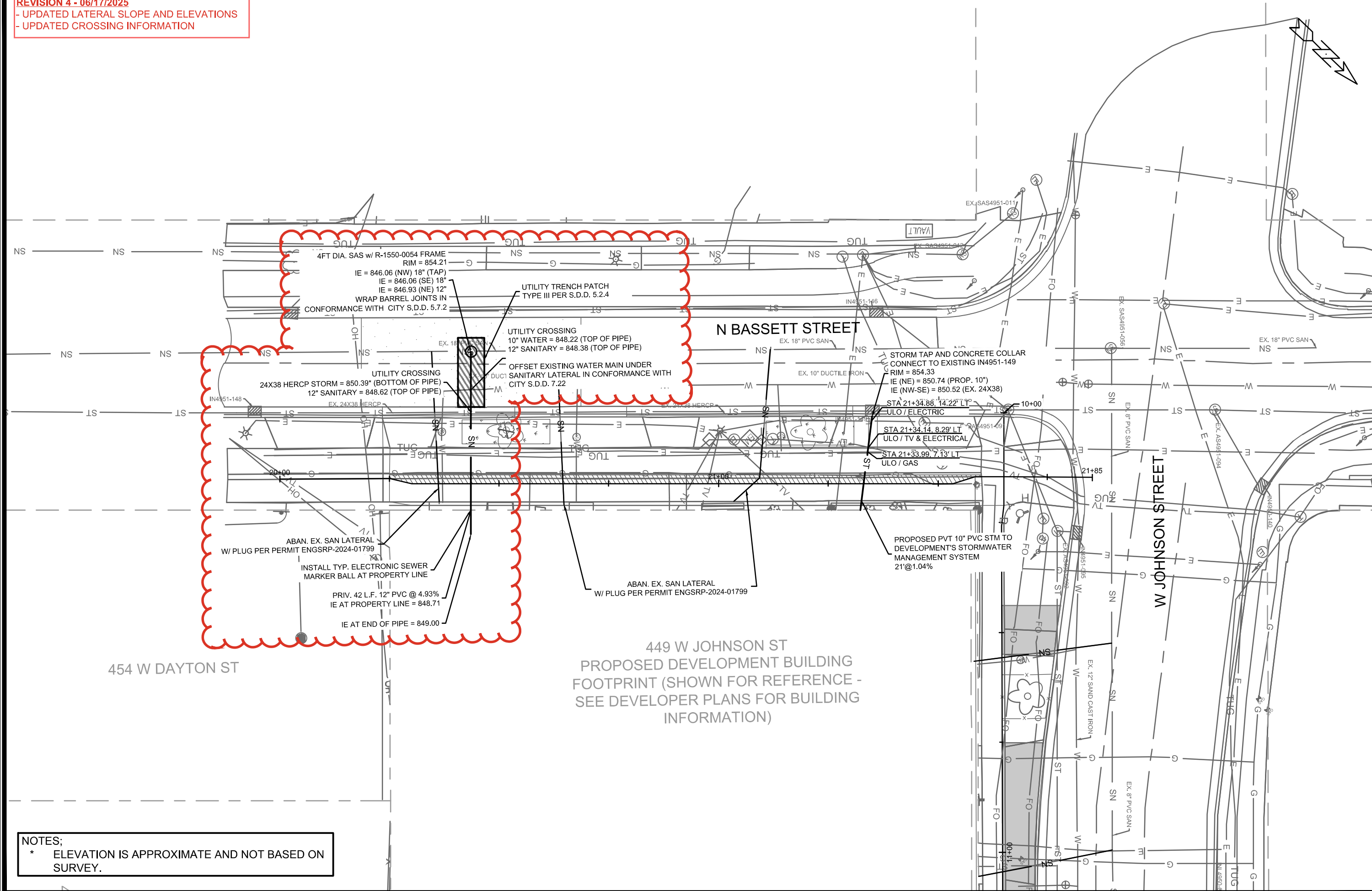
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REVISION 2 - 02/19/2025
- UPDATED STORM SEWER STRUCTURE



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UTILITIES PLAN - W JOHNSON STREET		
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MADISON, WI		
449 W JOHNSON ST		
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REVISION 4 - 06/17/2025
- UPDATED LATERAL SLOPE AND ELEVATIONS
- UPDATED CROSSING INFORMATION



NOTES;
* ELEVATION IS APPROXIMATE AND NOT BASED ON SURVEY.

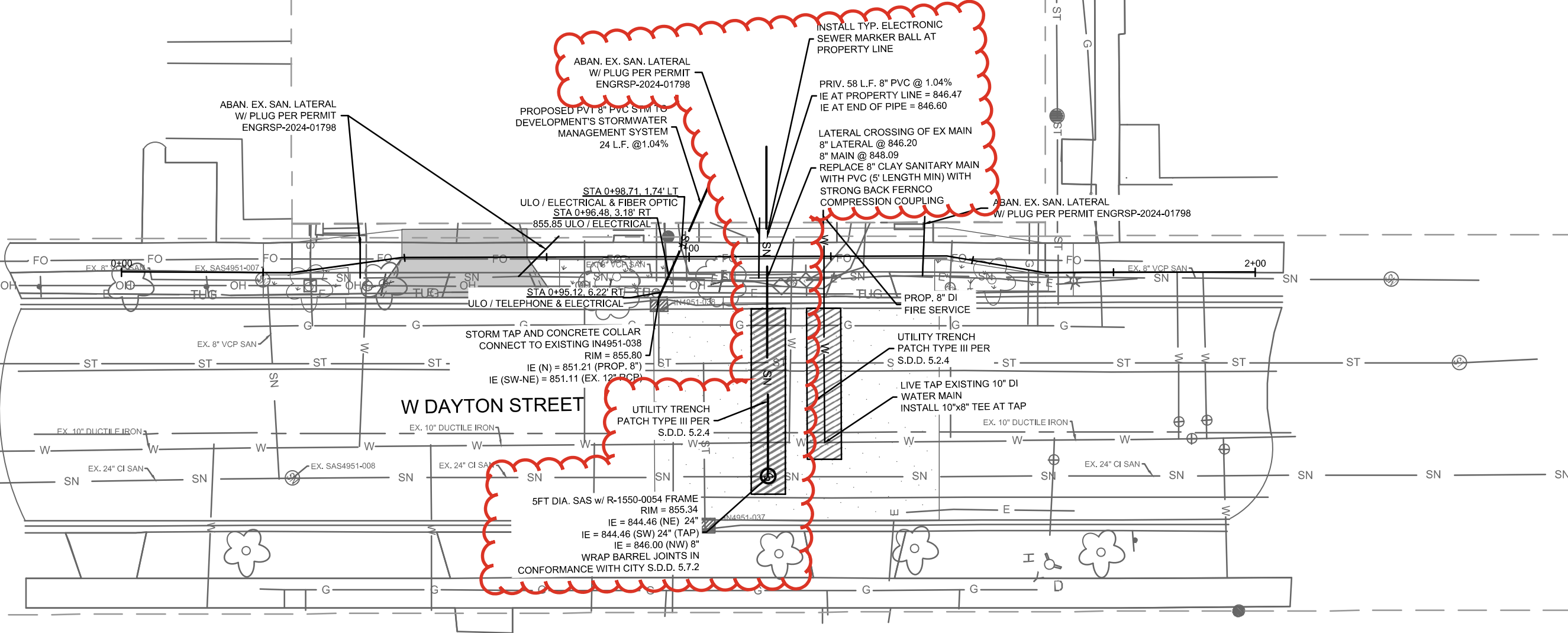
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REVISION 3 - GCIT - 05/16/25
- UPDATED SAN CONNECTION LAYOUT

454 W DAYTON ST

449 W JOHNSON ST
PROPOSED DEVELOPMENT BUILDING
FOOTPRINT (SHOWN FOR REFERENCE
- SEE DEVELOPER PLANS FOR
BUILDING INFORMATION)

409 W JOHNSON ST



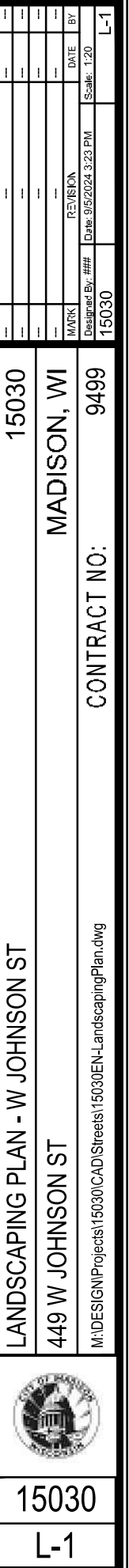
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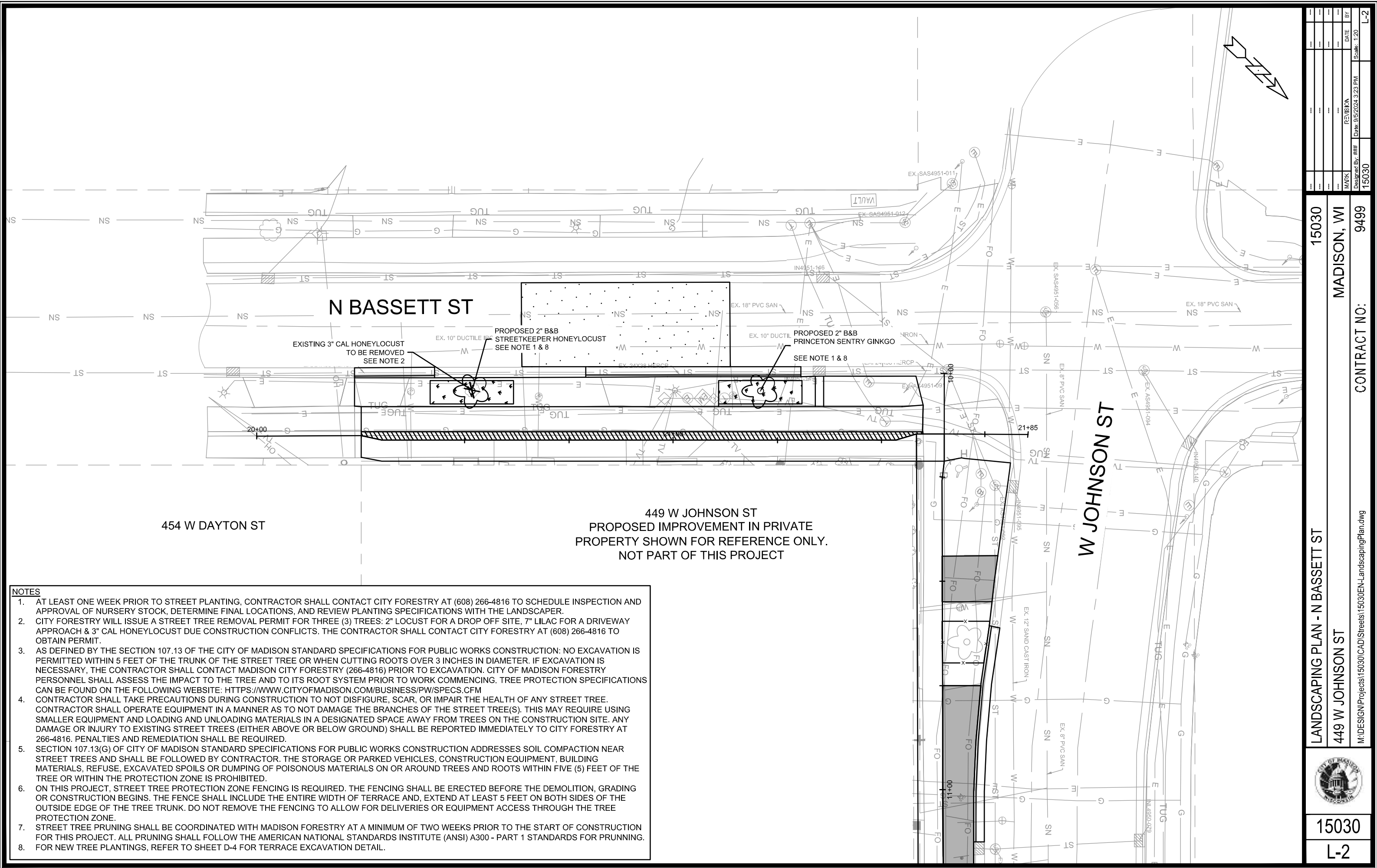
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MADISON, WI
9499
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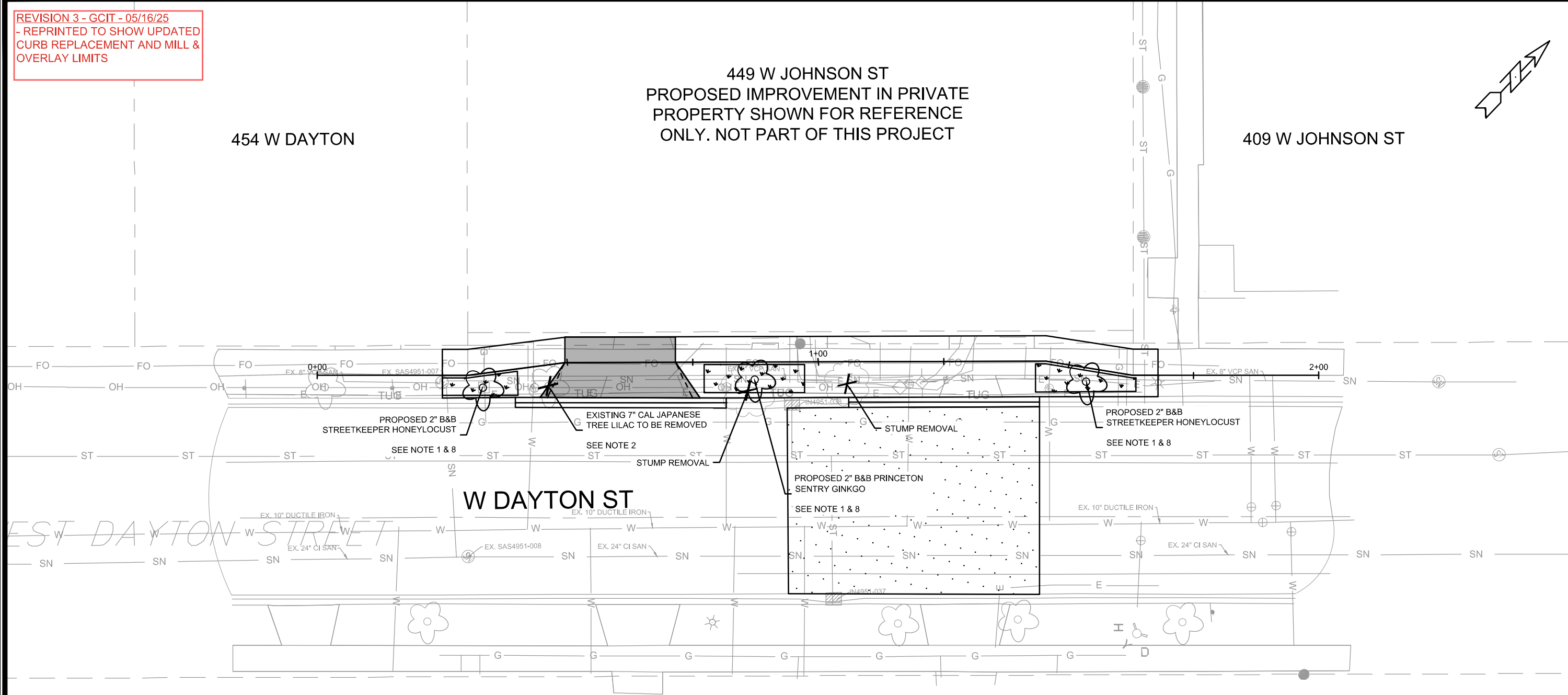


REVISION 3 - GCIT - 05/16/25
- REPRINTED TO SHOW UPDATED
CURB REPLACEMENT AND MILL &
OVERLAY LIMITS

454 W DAYTON

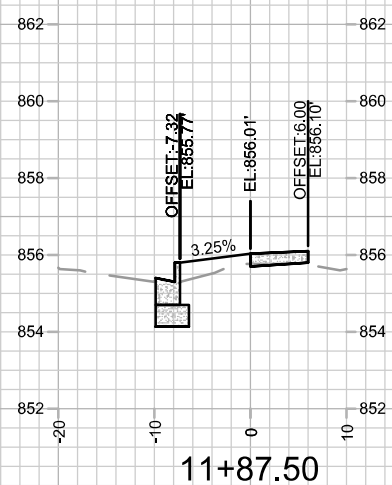
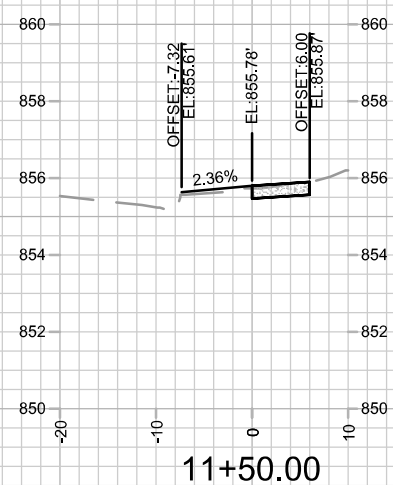
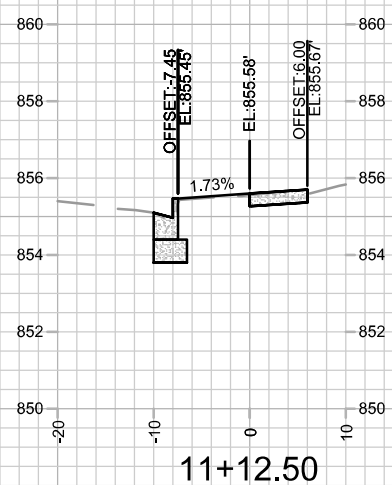
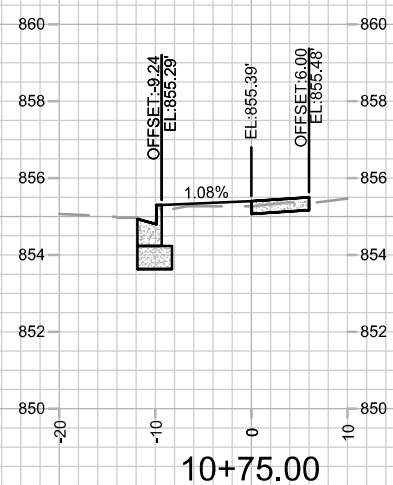
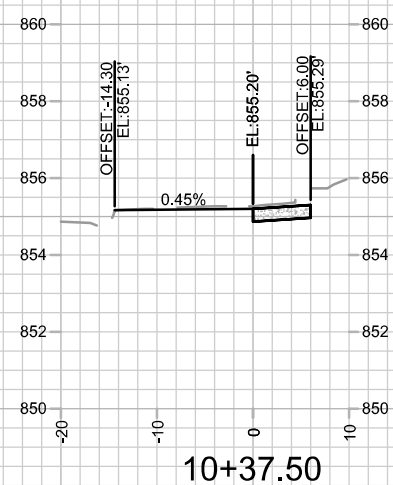
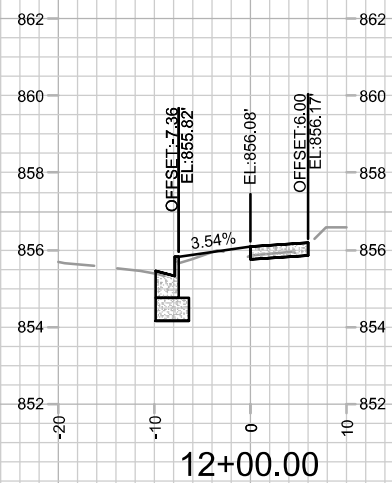
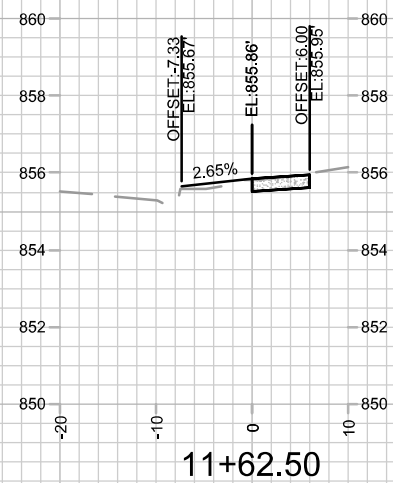
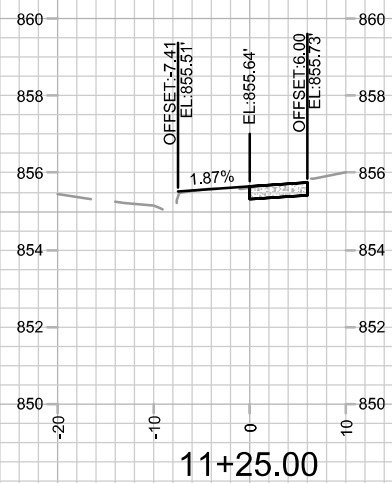
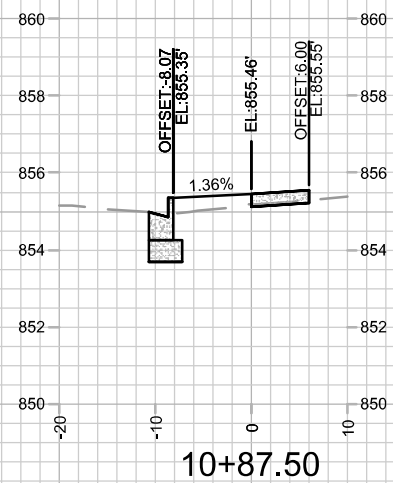
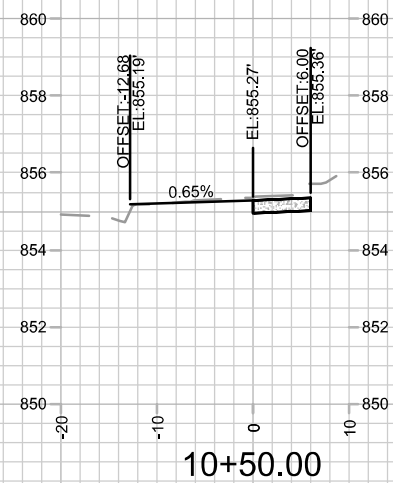
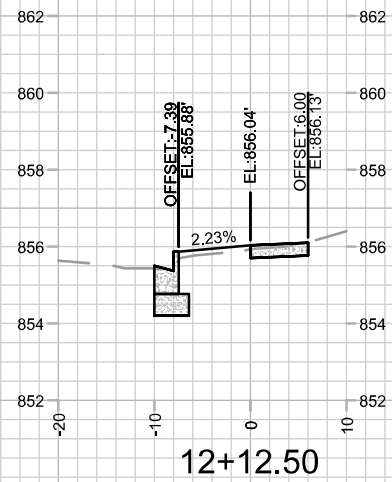
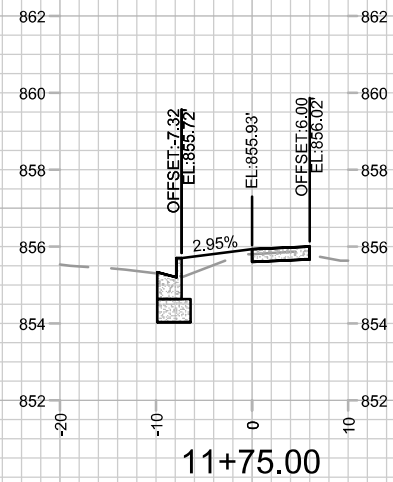
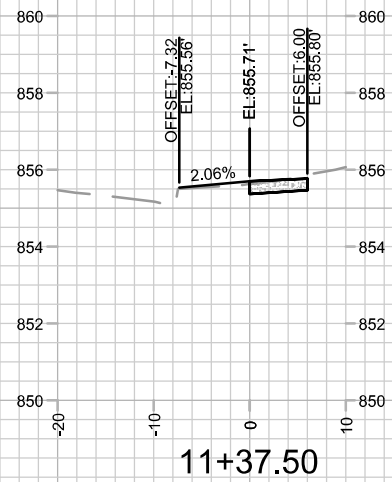
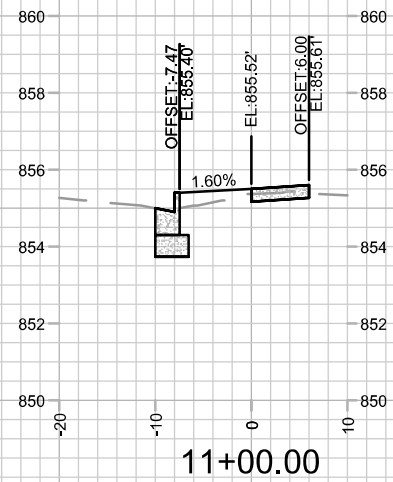
449 W JOHNSON ST
PROPOSED IMPROVEMENT IN PRIVATE
PROPERTY SHOWN FOR REFERENCE
ONLY. NOT PART OF THIS PROJECT

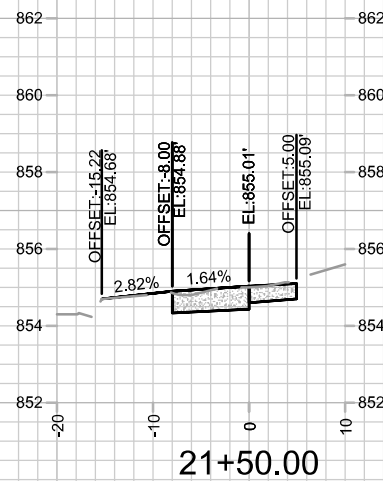
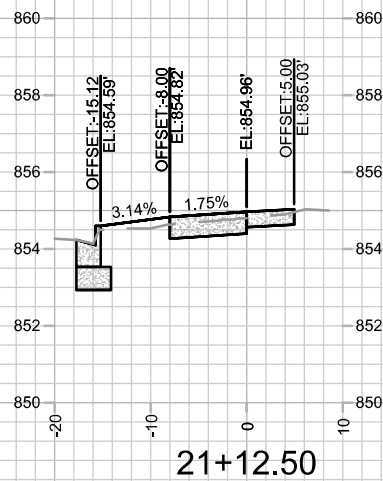
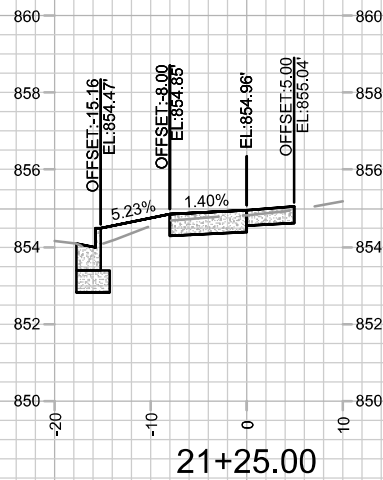
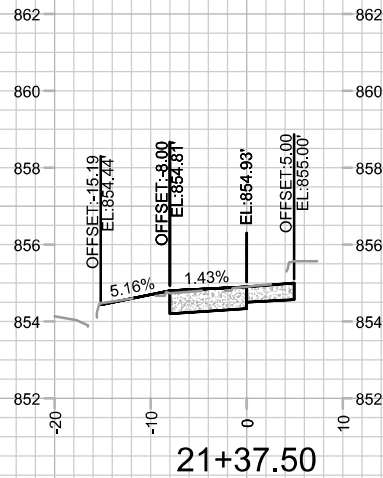
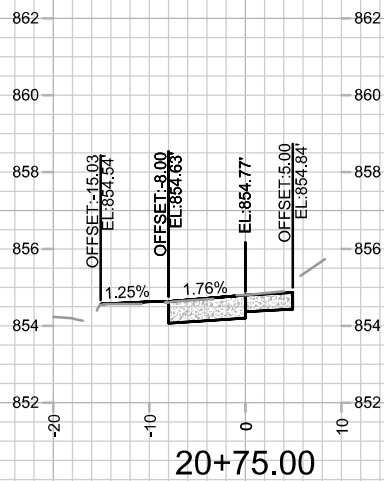
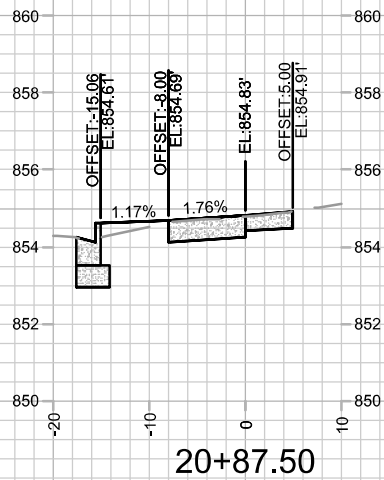
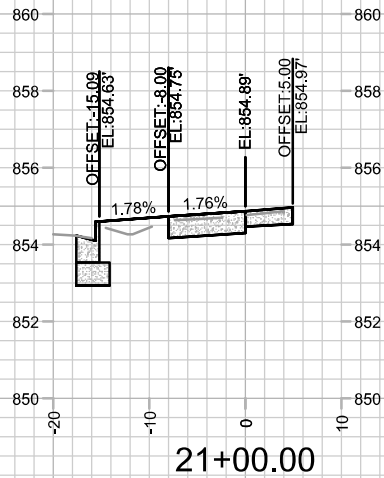
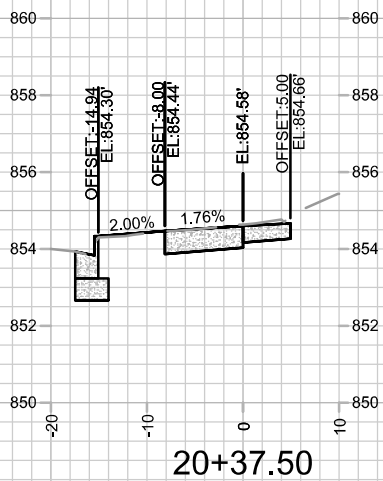
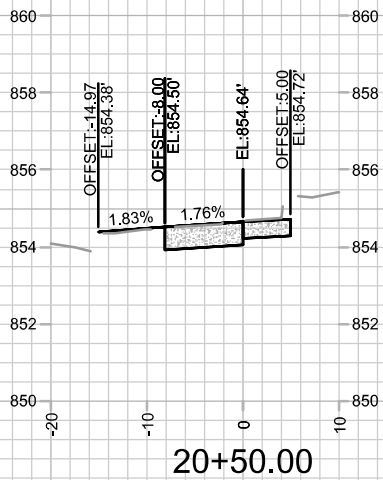
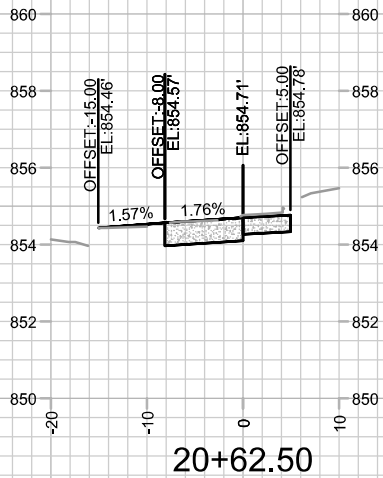
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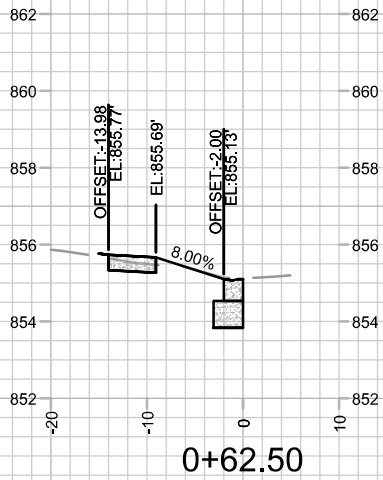
- NOTES**
1. AT LEAST ONE WEEK PRIOR TO STREET PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY STOCK, DETERMINE FINAL LOCATIONS, AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
 2. CITY FORESTRY WILL ISSUE A STREET TREE REMOVAL PERMIT FOR THREE (3) TREES: 2" LOCUST FOR A DROP OFF SITE, 7" LILAC FOR A DRIVEWAY APPROACH & 3" CAL HONEYLOCUST DUE CONSTRUCTION CONFLICTS. THE CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO OBTAIN PERMIT.
 3. AS DEFINED BY THE SECTION 107.13 OF THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)
 4. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
 5. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OR PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
 6. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
 7. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNNING.
 8. FOR NEW TREE PLANTINGS, REFER TO SHEET D-4 FOR TERRACE EXCAVATION DETAIL.

15030	MADISON, WI	9499	CONTRACT NO:
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15030	L-3		

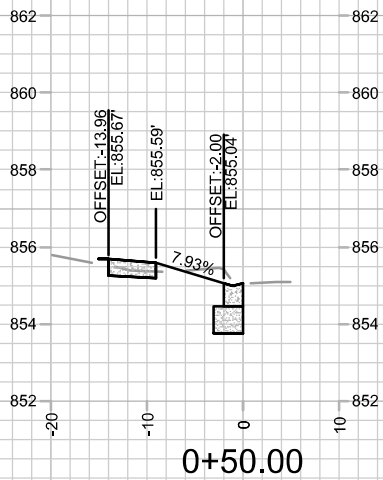




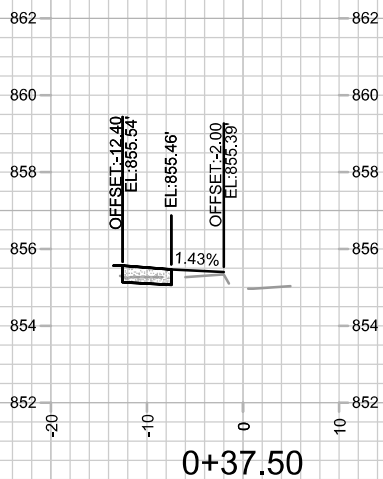
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				Date: 8/27/2024 9:44 AM					
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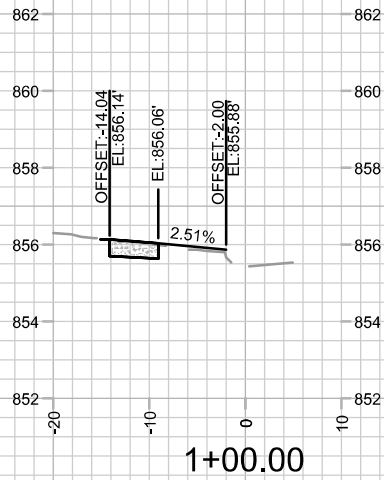
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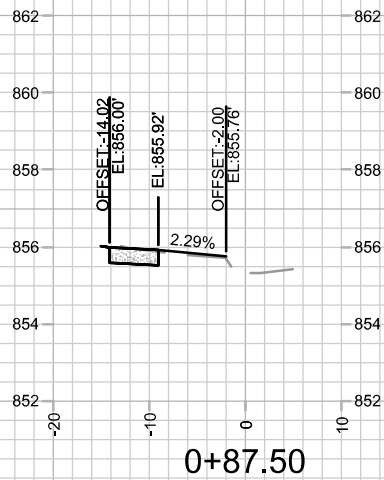
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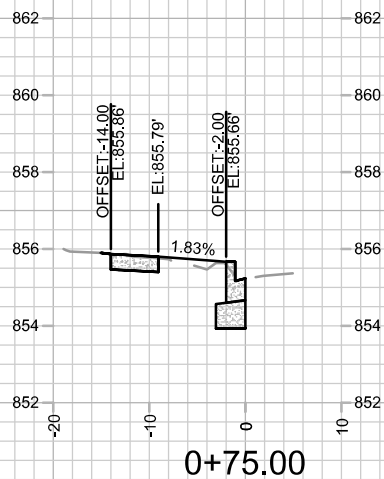
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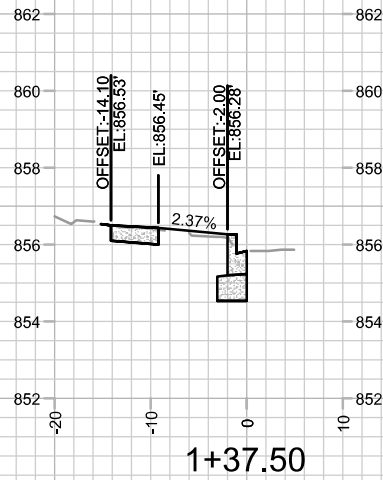
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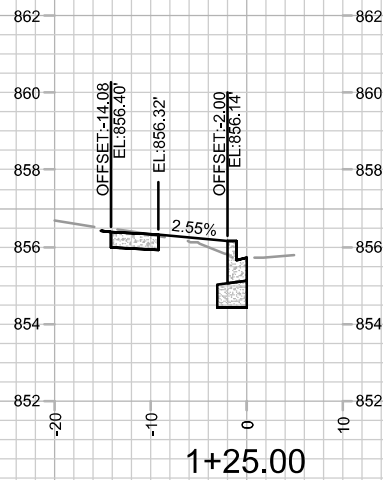
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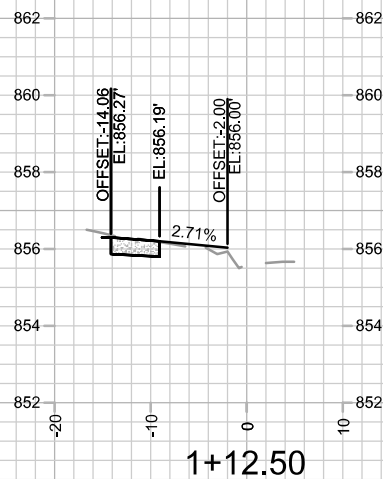
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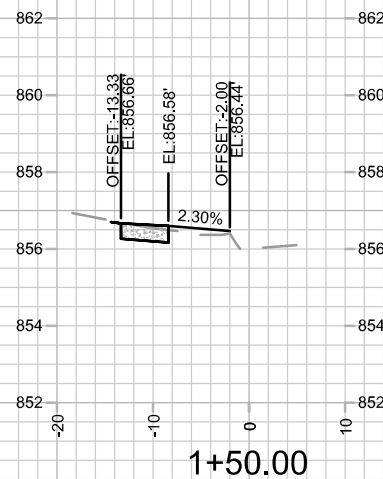
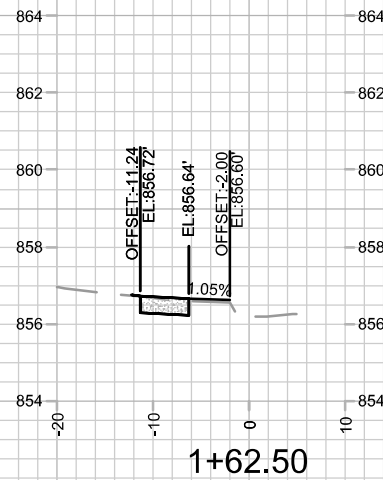
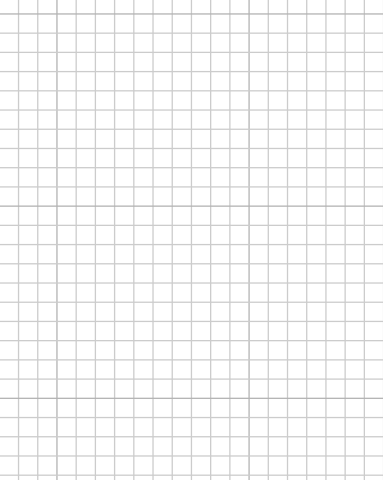
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15030

X-3

CROSS SECTIONS - W DAYTON ST

449 W JOHNSON ST

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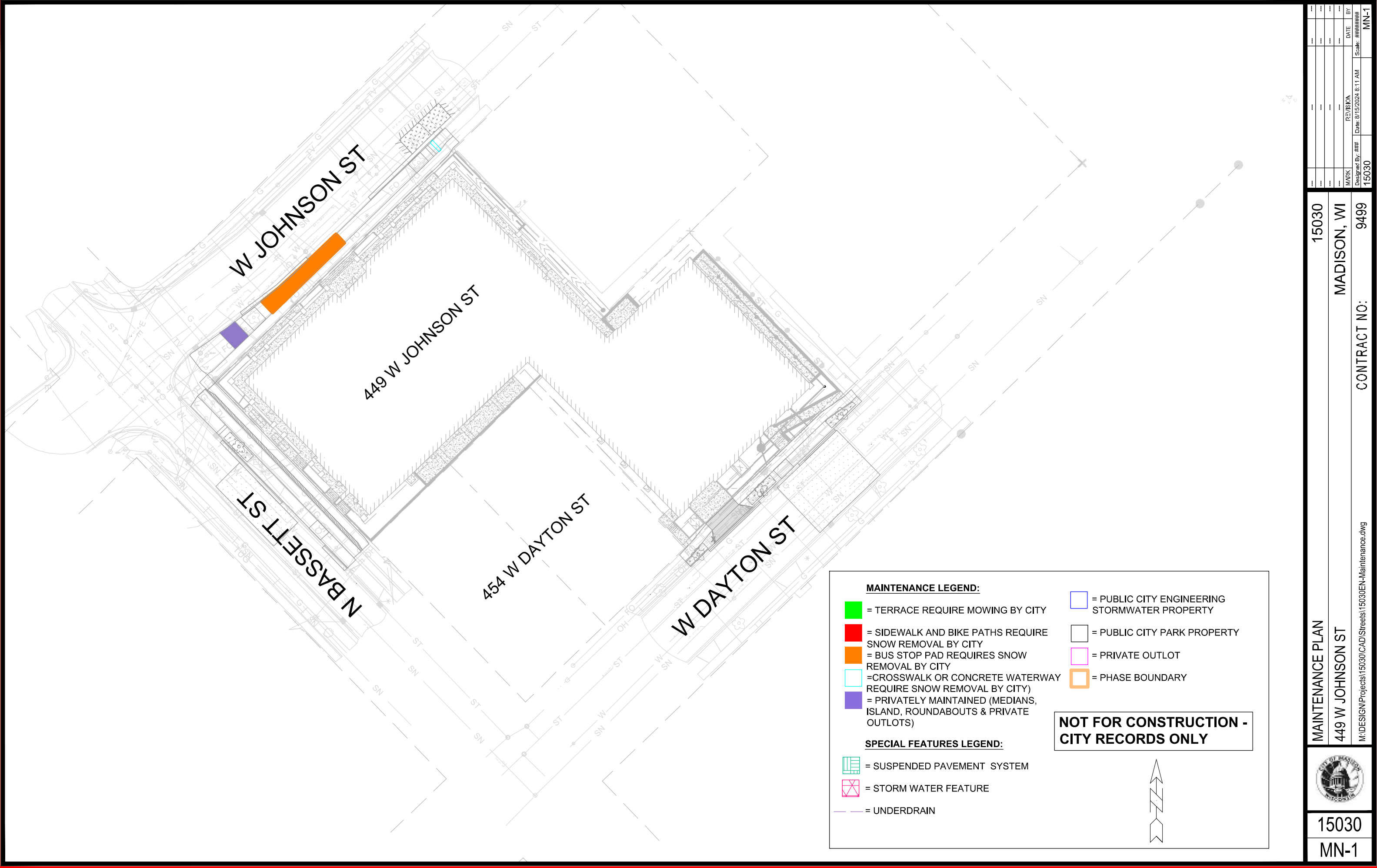
MADISON, WI

CONTRACT NO: 9499

DESIGNED BY: ###

DATE: 9/27/2024 9:44 AM

BY: X-3



MAINTENANCE LEGEND:

- [Green Box] = TERRACE REQUIRE MOWING BY CITY
- [Red Box] = SIDEWALK AND BIKE PATHS REQUIRE SNOW REMOVAL BY CITY
- [Orange Box] = BUS STOP PAD REQUIRES SNOW REMOVAL BY CITY
- [Light Blue Box] = CROSSWALK OR CONCRETE WATERWAY REQUIRE SNOW REMOVAL BY CITY
- [Purple Box] = PRIVATELY MAINTAINED (MEDIANS, ISLAND, ROUNDABOUTS & PRIVATE OUTLOTS)

SPECIAL FEATURES LEGEND:

- [Green Hatched Box] = SUSPENDED PAVEMENT SYSTEM
- [Pink Box with X] = STORM WATER FEATURE
- [Blue Line] = UNDERDRAIN

- [Blue Outline Box] = PUBLIC CITY ENGINEERING STORMWATER PROPERTY
- [Black Outline Box] = PUBLIC CITY PARK PROPERTY
- [Pink Outline Box] = PRIVATE OUTLOT
- [Orange Outline Box] = PHASE BOUNDARY

**NOT FOR CONSTRUCTION -
CITY RECORDS ONLY**



BY	DATE	REVISION	DESIGNED BY	DATE	SCALE
MARK	15030	8/15/2024 8:11 AM			

15030
MADISON, WI
9499
CONTRACT NO:

MAINTENANCE PLAN
449 W JOHNSON ST
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15030
MN-1