Madison, Wisconsin

CITY OF MADISON
CITY ENGINEERING DIVISION
DEPARTMENT OF PUBLIC WORKS
PLAN OF PROPOSED IMPROVEMENT

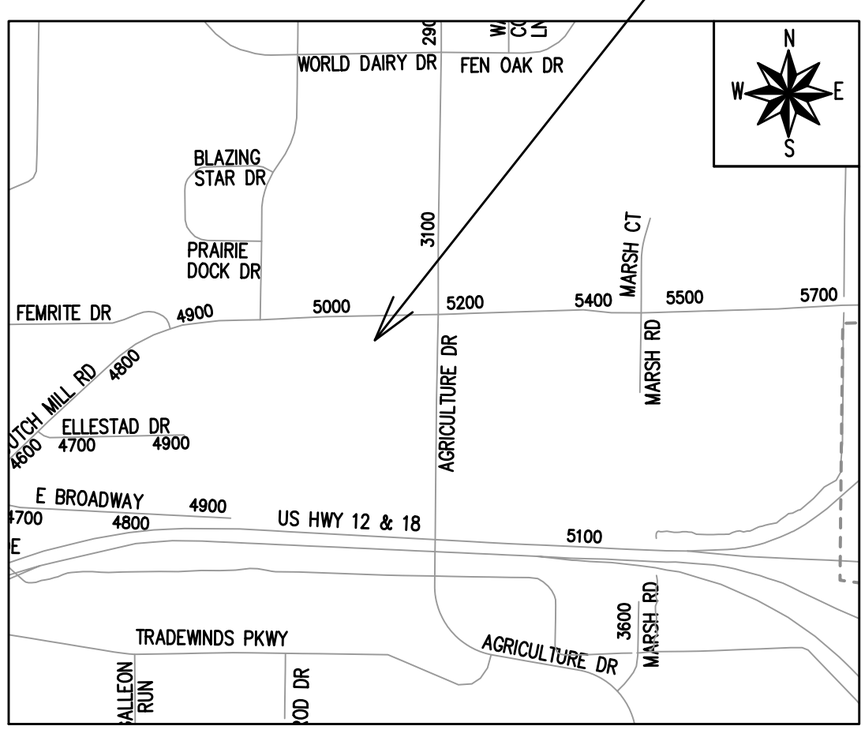
3322 AGRICULTURE DRIVE CSM

CITY PROJECT NO. 15536
CONTRACT NO. 9620

INDEX OF SHEETS

CITY MAINTENANCE PLAN NOT REQUIRED

PROJECT LOCATION



PUBLIC IMPROVEMENT PROJECT APPROVED

APPROVED DATE
FEBRUARY 11, 2025

BY THE COMMON COUNCIL
OF MADISON, WISCONSIN

PUBLIC IMPROVEMENT DESIGN APPROVED BY:

05/20/2025

City Engineer — Date

STREET DESIGNED BY:

WISCONSIN
NICHOLAS L. JAECKELS
E-50023
MCFARLAND
WI
PROFESSIONAL ENGINEER

05/20/2025

STORM SHEETS U-1 AND U-2 DESIGNED BY:

WISCONSIN
GREGORY T. FRIES
E-30656
MADISON
WI
PROFESSIONAL ENGINEER

05/20/2025

STORM SHEET U-3 DESIGNED BY:

WISCONSIN
EMILY A. WILLIAMSON
100005-6
MARION
IA
PROFESSIONAL ENGINEER

Emily Williamson
Expires: 07-31-2026

05/20/2025

PLOT SCALE: 1 IN:1 FT_XREF
PLOT NAME: ---
REV. DATE: 5/13/2025 11:46 AM
ORIGINATOR: CITY_OF_MADISON

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ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.

AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM

DEVELOPER MUST SUBMIT A TRAFFIC CONTROL PLAN TO CITY TRAFFIC ENGINEERING AT LEAST 14 DAYS PRIOR TO THE START OF WORK. WORK SHALL NOT PROCEED UNTIL AN APPROVED TRAFFIC CONTROL PLAN IS IN PLACE.

CONTACT PROJECT ENGINEER AND STREET DESIGNER NICK JAECKELS AT NJAECKELS@CITYOFMADISON.COM FOR CAD AND ALIGNMENT DATA PRIOR TO STAKING.

CONTACT THE CITY CONSTRUCTION ENGINEER, KYLE FRANK, AT KFRANK@CITYOFMADISON.COM FOR PRECONSTRUCTION SCHEDULING, COORDINATION, AND INSPECTION.

CONVENTIONAL SIGNS
FIELD VERIFY ALL UTILITY LOCATIONS

GAS	G
STORM SEWER	ST
SANITARY SEWER	SAN
WATER	W
BURIED ELECTRIC	E
OVERHEAD ELECTRIC	OH
POWER POLE	
ADA COMPLIANT RAMP W/ DETECTABLE WARNING FIELD	
COMBUSTIBLE FLUIDS	CAUTION

UNDERDRAINS SHALL BE INSTALLED PER STANDARD DETAIL DRAWING 4.05 FOR 75' ON EACH SIDE OF THE LOW POINT, OR TO THE NEAREST CURB HIGH POINT. ALL UNDERDRAIN SHALL BE WRAPPED.

ALL GUTTERS SHALL DRAIN WITH A MINIMUM GRADE OF 0.5% TOWARD STORM SEWER INLETS.

ALL DITCHES SHALL DRAIN WITH A MINIMUM GRADE OF 0.5%

THE CROSS SLOPE OF SIDEWALKS AND BARRIER FREE SIDEWALK CURB RAMPS SHALL TYPICALLY BE 1.5%. THE LONGITUDINAL GRADE OF BARRIER FREE SIDEWALK CURB RAMPS SHALL NOT EXCEED 8.33%. ALL SIDEWALK RAMPS SHALL BE CONSTRUCTED ACCORDING TO S.D.D. 3.04. AT ALL OTHER LOCATIONS THE LONGITUDINAL GRADE OF SIDEWALKS SHALL NOT EXCEED 5.0 % OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER NOR BE LESS THAN 0.5% AND SHALL DRAIN TOWARD STORM SEWER INLETS. SIDE SLOPES WITHIN TEN FEET OF A PUBLIC SIDEWALK SHALL NOT EXCEED 4:1. ALL SIDEWALK AND SIDEWALK RAMP ELEVATIONS AND GRADES SHALL BE FIELD VERIFIED AND SET TO COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS AND THE A.D.A. GUIDELINES.

OBTAIN A PRINT OUT OF THE ALIGNMENTS FROM THE CITY PROJECT ENGINEER PRIOR TO STAKING THIS PROJECT. THE CITY PROJECT ENGINEER IS NICK JAECKELS. EMAIL: NJAECKELS@CITYOFMADISON.COM

CURB STATION AND OFFSETS SHALL BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED. CURB ELEVATIONS SHALL BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED.

POWER POLES AND OTHER OBSTRUCTIONS SHALL BE MOVED TO PROVIDE 2 FEET MINIMUM OF CLEAR DISTANCE FROM ANY FACE OF CURB OR EDGE OF SIDEWALK UNLESS OTHERWISE INDICATED ON THE PLANS.

ANY INFORMATION SHOWN ON THIS PLAN, WHICH IS NOT PART OF THIS RIGHT-OF-WAY PROJECT, IS PRELIMINARY AND NOT FOR CONSTRUCTION.

THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.

ALL PERMANENT SIGNING AND POSTING WILL BE DETERMINED AND PROVIDED BY THE TRAFFIC ENGINEERING DIVISION, FOLLOWING CONSTRUCTION OF THESE IMPROVEMENTS.

THE DEVELOPER SHALL PROVIDE, INSTALL AND MAINTAIN ALL STREET END BARRICADES, SIGNING AND TRAFFIC CONTROL, AS REQUIRED BY THE CITY TRAFFIC ENGINEER.

PAVEMENT SAWCUTS SHALL BE AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER. SAWCUTS SHOWN ON THE PLAN ARE APPROXIMATE.

CURB ON CUL DE SACS SHALL BE INSTALLED ACCORDING TO S.D.D 3.05.

ALL WORK IN THE RIGHT OF WAY AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION LATEST EDITION.

ALL PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY ARE BASED ON SURVEY DATA PROVIDED BY THE DEVELOPER OR ITS CONSULTANT. IN THE CASE THAT THE PROPOSED IMPROVEMENTS CAN NOT BE INSTALLED PER THESE PLANS OR THE CITY OF MADISON STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF EXTRA WORK DUE TO INACCURACIES OF THE SURVEY.

ALL UTILITY VERIFICATIONS AND ACCURACY OF THE DRAWINGS ARE THE RESPONSIBILITY OF THE DEVELOPER. ANY CONFLICTS THAT ARISE FROM MISSING OR ERRONEOUS INFORMATION WILL BE AT THE EXPENSE OF THE DEVELOPER. NO PRECAST STRUCTURES WILL BE APPROVED FOR STORM OR SANITARY SEWER UNTIL ALL POTENTIAL UTILITY CONFLICTS ARE RESOLVED.

IN LOCATIONS WHERE PAVEMENT RESTORATION IS NOT IDENTIFIED ADJACENT TO CURB AND GUTTER REPLACEMENT, IT IS ASSUMED THAT CURB AND GUTTER WILL BE REPLACED WITHOUT DAMAGING ADJACENT PAVEMENT. IF DAMAGED, THE MILL AND OVERLAY LIMITS SHALL BE EXTENDED BY THE CITY CONSTRUCTION ENGINEER AS NECESSARY TO MEET THE STANDARD PATCHING CRITERIA.

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15536
MADISON, WI
CONTRACT NO: 9620

STANDARD NOTES
3322 AGRICULTURE DRIVE CSM
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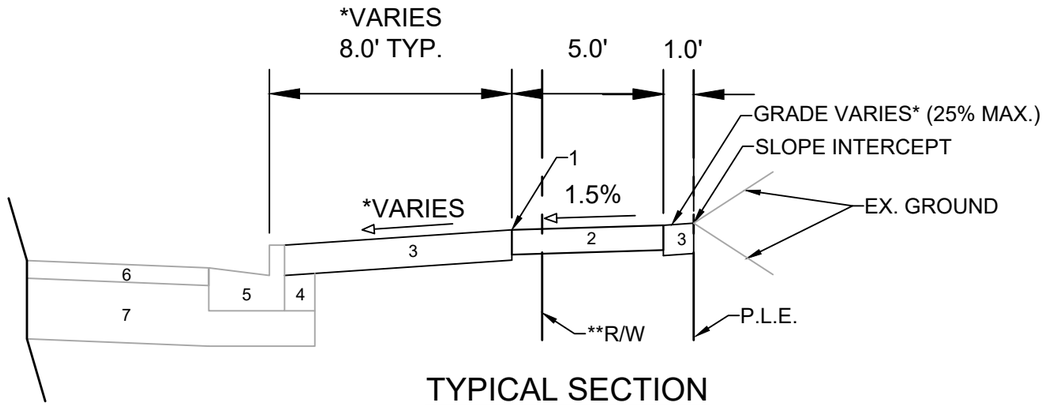
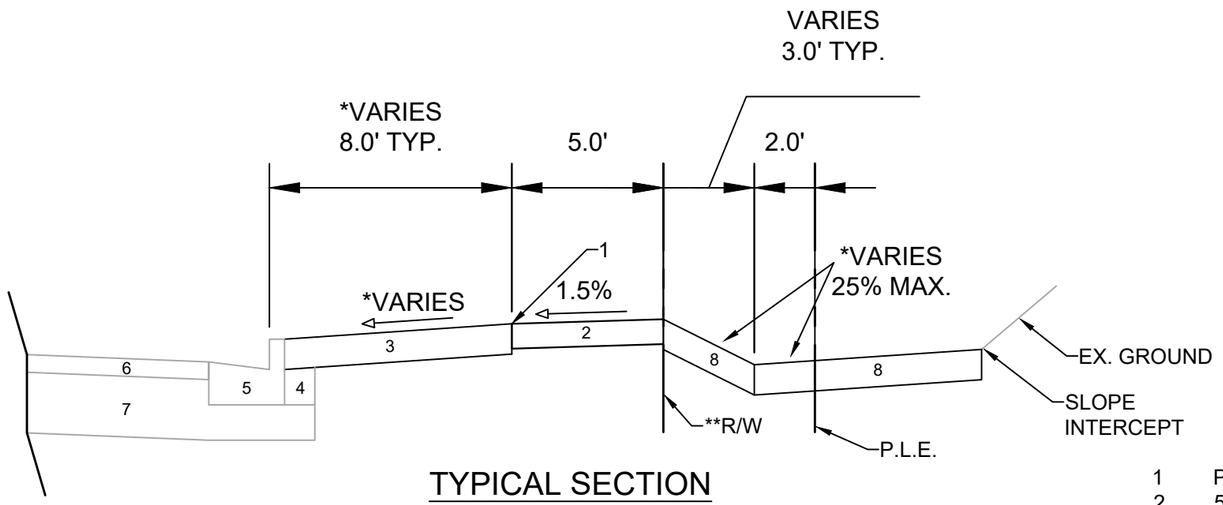


TYPICAL SECTION
FEMRITE DRIVE
STA 10+00.00 TO STA 14+13.36



TYPICAL SECTION
FEMRITE DRIVE
STA 14+13.36 TO STA 17+44.65

SPECIAL NOTES:

*SEE X-SHEETS FOR CROSS SLOPES
**SEE P-SHEETS FOR R/W LOCATION

1 POINT REFERRED TO ON PROFILE
2 5" CONCRETE SIDEWALK
3 6" TOPSOIL, SEED AND MATTING
4 EX. FILL
5 EX. CURB TYPE 'A' TO REMAIN
6 EX. PAVEMENT TO REMAIN
7 EX. ROAD BASE COURSE TO REMAIN
8 6" TOPSOIL, SEED, AND EROSION MAT CLASS II

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MADISON, WI
CONTRACT NO: 9620

TYPICAL SECTIONS
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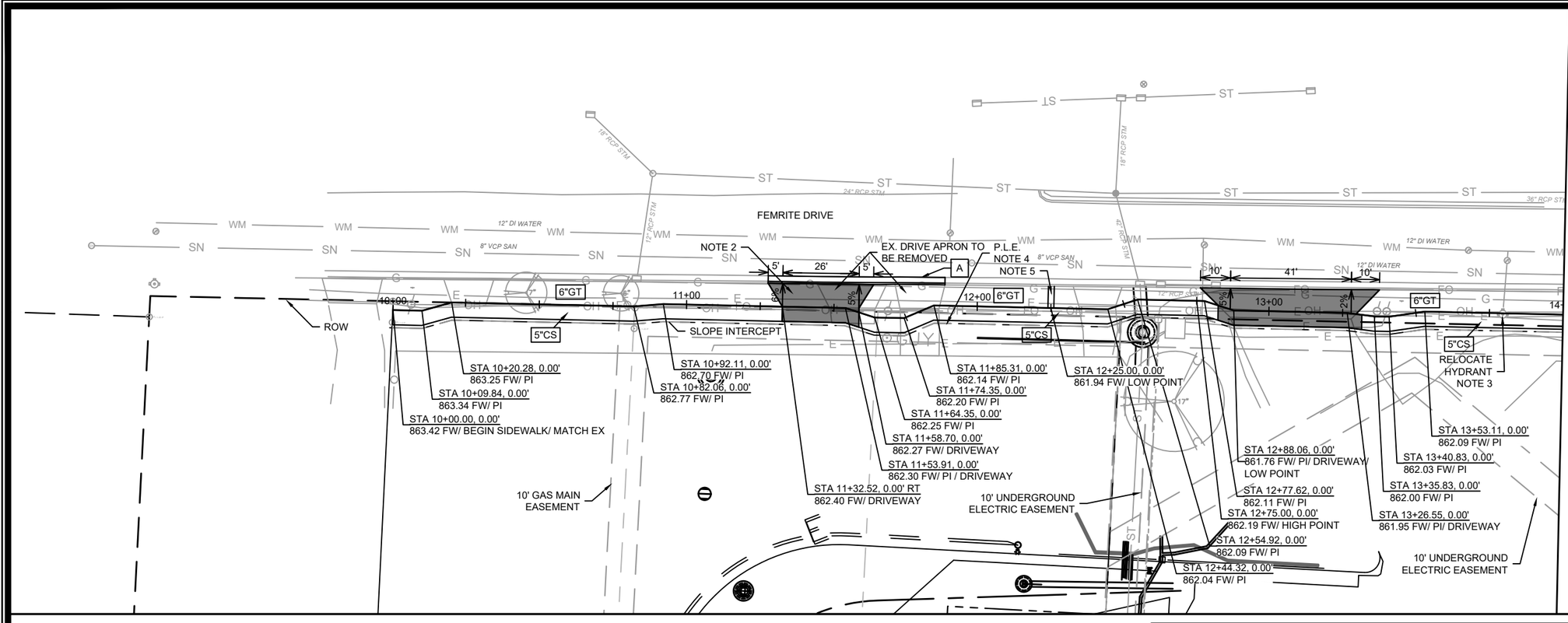
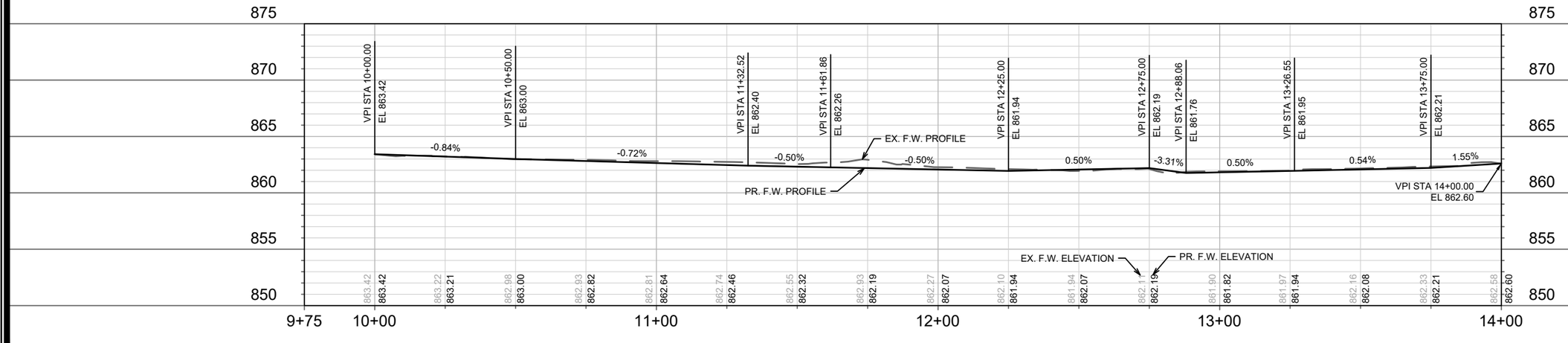


LEGEND

5"CS	5-INCH CONCRETE SIDEWALK
6"GT	6-INCH TOPSOIL, SEED & MATTING
A	SPOT REPLACE TYPE 'A' CONCRETE CURB & GUTTER, NOTE 1
	7-INCH CONCRETE SIDEWALK, DRIVE APRON OR RAMP

NOTES

1. IN LOCATIONS WHERE PAVEMENT RESTORATION IS NOT IDENTIFIED ADJACENT TO CURB AND GUTTER REPLACEMENT, IT IS ASSUMED THAT CURB AND GUTTER WILL BE REPLACED WITHOUT DAMAGING ADJACENT PAVEMENT. IF PAVEMENT IS DAMAGED, THE MILL AND OVERLAY LIMITS SHALL BE EXTENDED BY THE CITY CONSTRUCTION ENGINEER AS NECESSARY TO MEET THE STANDARD PATCHING CRITERIA.
2. SEE COMMERCIAL DRIVEWAY PERMIT LNDSPR-2024-00144
   \\Gisserver\data\DESIGN\Projects\15536\Project Documents\Permits\Commercial Driveway Permit
3. CONTACT JEFF BELSHAW (608-261-9835) OF THE WATER UTILITY ONE WEEK PRIOR TO HYDRANT RELOCATION.
4. SIDEWALK IS NOT TO BE CONSTRUCTED UNTIL P.L.E. HAS BEEN RECORDED.
5. 2' WIDE, 5" CONCRETE WATERWAY.



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MADISON, WI

CONTRACT NO: 9620

PLAN AND PROFILE - FEMRITE DRIVE

3322 AGRICULTURE DRIVE CSM

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CITY OF MADISON WISCONSIN

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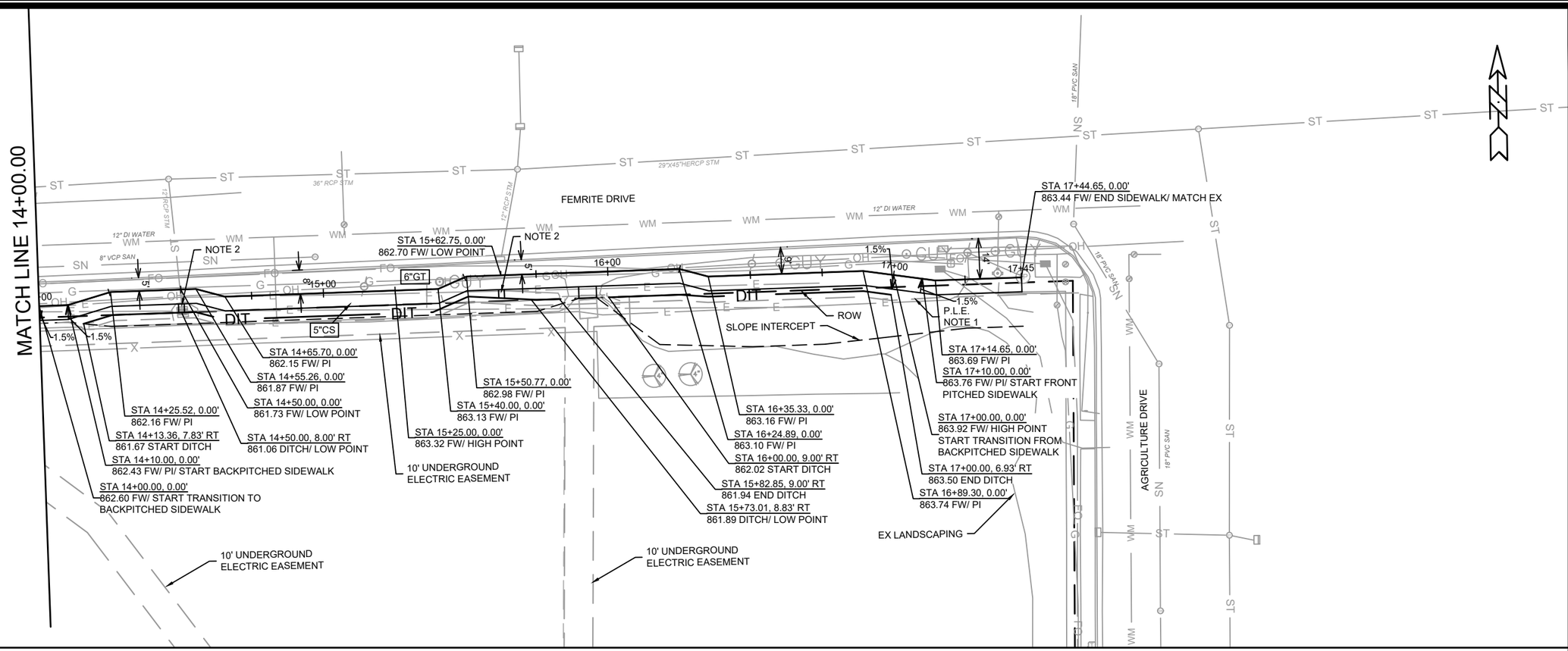
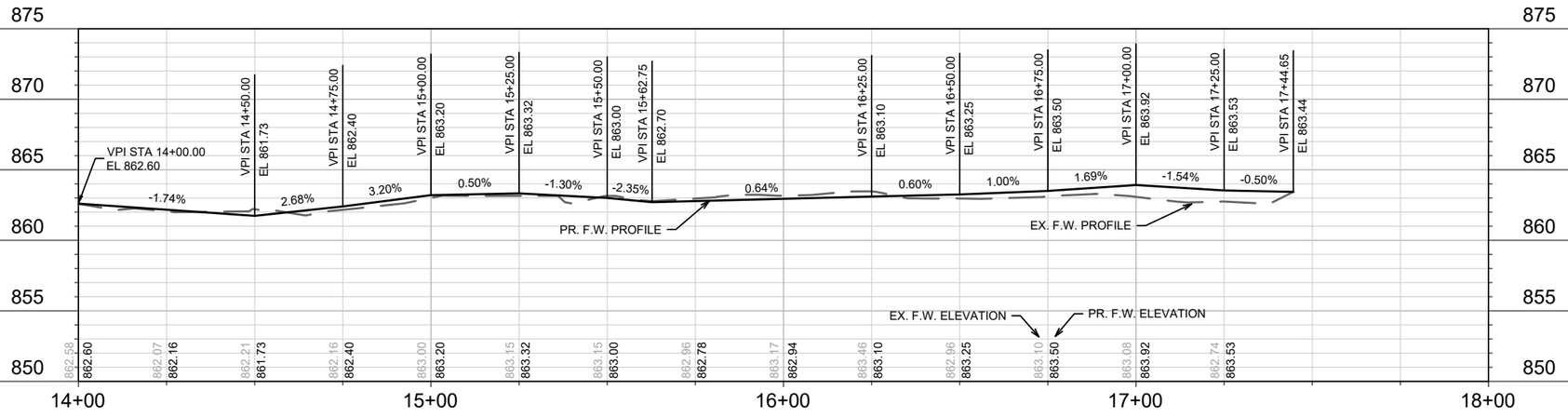


LEGEND

5"CS	5-INCH CONCRETE SIDEWALK
6"GT	6-INCH TOPSOIL, SEED & MATTING

NOTES

1. SIDEWALK IS NOT TO BE CONSTRUCTED UNTIL P.L.E. HAS BEEN RECORDED.
5. 2' WIDE, 5" CONCRETE WATERWAY.



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MADISON, WI

CONTRACT NO: 9620

PLAN AND PROFILE - FEMRITE DRIVE

3322 AGRICULTURE DRIVE CSM

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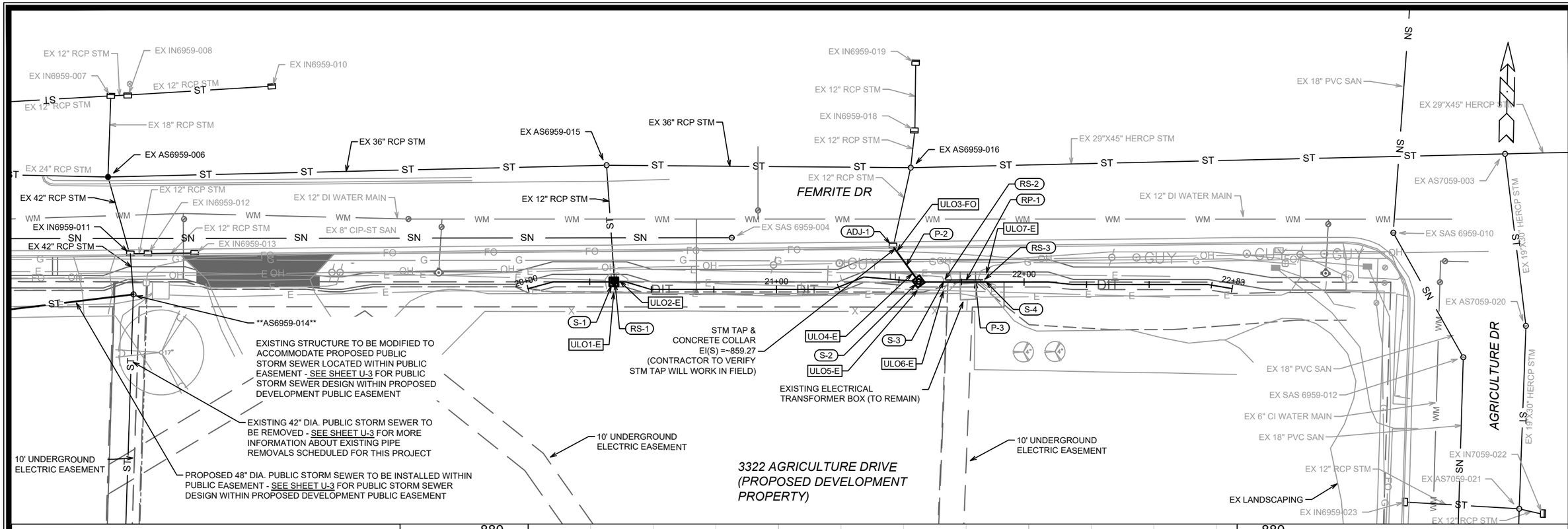
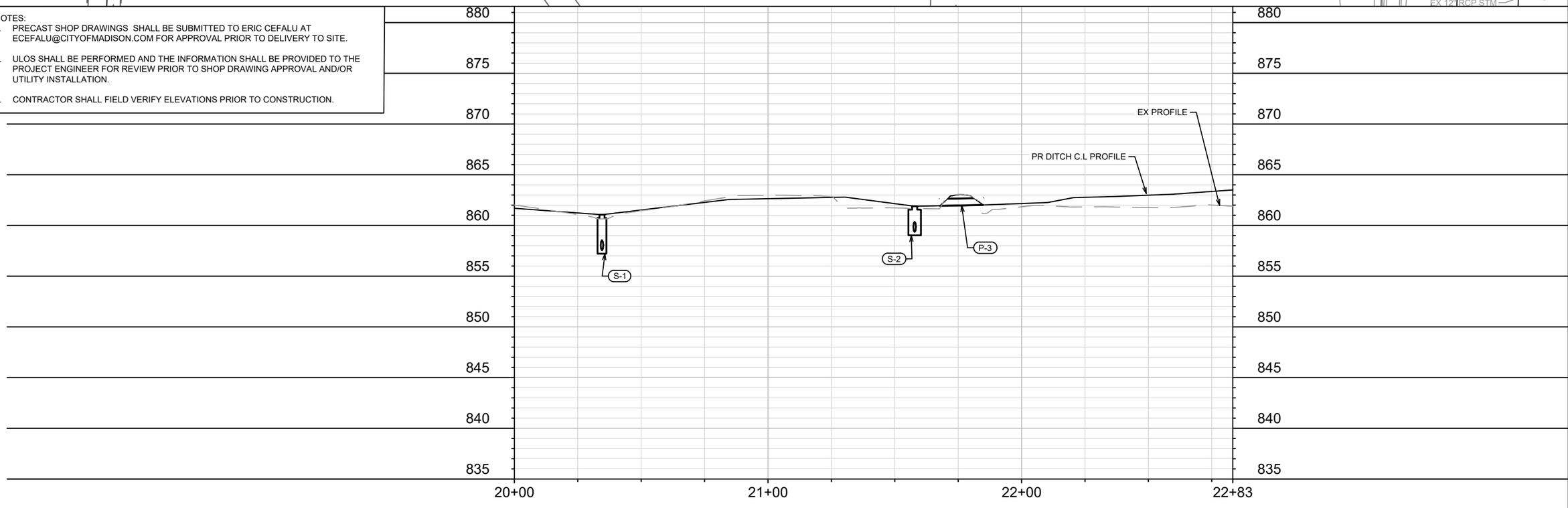


NOTES:

1. PRECAST SHOP DRAWINGS SHALL BE SUBMITTED TO ERIC CEFALU AT ECEFALU@CITYOFMADISON.COM FOR APPROVAL PRIOR TO DELIVERY TO SITE.
2. ULOS SHALL BE PERFORMED AND THE INFORMATION SHALL BE PROVIDED TO THE PROJECT ENGINEER FOR REVIEW PRIOR TO SHOP DRAWING APPROVAL AND/OR UTILITY INSTALLATION.
3. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION.



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MADISON, WI

CONTRACT NO: 9620

SEWER PLAN & PROFILE - DITCHLINE

3322 AGRICULTURE DRIVE CSM

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15536

U-1

U-1

STORM SEWER SCHEDULE

3322 AGRICULTURE DRIVE	SHEET NO.	U-2
PROJECT NO. 15536	U-2	
STORM SEWER SCHEDULE		
CITY OF MADISON		

PROPOSED STORM STRUCTURES

STRUC. NO.	STATION	LOCATION (OFFSET)	TYPE	TOP OF CASTING	E.I.	DEPTH	NOTES
FEMRITE DRIVE (DITCH CENTERLINE)							
S-1	20+34.57	CL	3'X3' STORM SAS	861.06	857.55	3.51	[1]; LP; R-1878-B7G
S-2	21+57.84	CL	3'X3' STORM SAS	861.89	859.36	2.53	LP; FP; R-1878-B7G
S-3	21+67.84	CL	[2]; PIPE END	-	861.94	-	[3]; [4]; [5]
S-4	21+84.85	CL	[2]; PIPE END	-	862.02	-	[3]; [4]; [5]

STORM STRUCTURE REMOVALS & ABANDONMENTS

STRUC. NO.	ID NO.	STATION	LOCATION (OFFSET)	TYPE	DEPTH (FT)	NOTES
FEMRITE DRIVE (DITCH CENTERLINE)						
RS-1	IN6959-017	20+34.90	LT-0.18	3'X3' STORM SAS	3.10	
RS-2	UNMARKED	21+68.11	LT-0.80	12" CMP END	-	[6]
RS-3	UNMARKED	21+84.03	LT-0.86	12" CMP END	-	[6]

STORM STRUCTURE ADJUSTMENTS

STRUC. NO.	ID NO.	STATION	LOCATION (OFFSET)	EX TOC	PROP TOC	ADJ (FT)	NOTES
FEMRITE DRIVE (DITCH CENTERLINE)							
ADJ-1	IN6959-020	21+46.44	LT-13.44	863.29	-	-	[7]

PROPOSED STORM PIPES

PIPE NO.	FROM (DNSTM)	TO (UPSTM)	DISCH. E.I.	INLET E.I.	PLAN (PAY) LGTH (FT)	PIPE LGTH (FT)	SLOPE (%)	PIPE SIZE	TYPE	NOTES
FEMRITE DRIVE (DITCH CENTERLINE)										
P-2	ADJ-1	S-2	859.27	859.36	17	16	0.56%	12"	TYPE II	NCM
P-3	S-3	S-4	861.94	862.02	17	17	0.47%	8"	[2]	[3]; [4]; [5]

STORM PIPE REMOVALS & ABANDONMENTS

PIPE REMOVAL NO.	REMOVE FROM	REMOVE TO	LGTH (FT)	PAID (Y/N)	REM LGTH PAID (FT)	ABN LGTH (FT)	SLURRY (CY)	PIPE SIZE	PIPE TYPE	NOTES
FEMRITE DRIVE (DITCH CENTERLINE)										
RP-1	RS-2	RS-3	16	N	-	-	-	12"	CMP	[6]

STORM ULO SCHEDULE

ID NO.	STATION (OFFSET)	LOCATION (OFFSET)	TYPE	NOTES
FEMRITE DRIVE (DITCH CENTERLINE)				
ULO1-E	20+34.66	RT-3.93	ELECTRIC	
ULO2-E	20+36.74	LT-0.46	ELECTRIC	
ULO3-FO	21+48.11	LT-11.27	FIBER OPTIC	
ULO4-E	21+55.22	LT-3.04	ELECTRIC	
ULO5-E	21+57.84	RT-3.27	ELECTRIC	
ULO6-E	21+67.86	RT-3.37	ELECTRIC	
ULO7-E	21+84.86	LT-3.13	ELECTRIC	

SPECIFIC NOTES:

[1] RECONNECT EX 12" RCP STM TO S-1
[2] 8" AWWA-C900 PVC PIPE (BLUE BRUTE OR EQUIVLAENT)
[3] MATCH PIPE EI TO DRAINAGE DITCH ELEVATION AT STRUCTURE LOCATION
[4] CUT PIPE ENDS TO MATCH GRADE AT STRUCTURE LOCATION
[5] ****USE CAUTION DURING INSTALLATION - NEAR ELECTRICAL TRANSFORMER***
[6] 12" CMP PIPE RUNNING BENEATH RAISED SECTION FOR ELECTRICAL TRANSFORMER ACCESS TO MAINTAIN DITCH FLOW, NOT MARKED IN CITY RECORDS
[7] STM TAP & CONCRETE COLLAR AT ADJ-1 FOR P-2 INSTALL, CONTRACTOR TO VERIFY TAP WILL WORK IN FIELD

STANDARD NOTES:

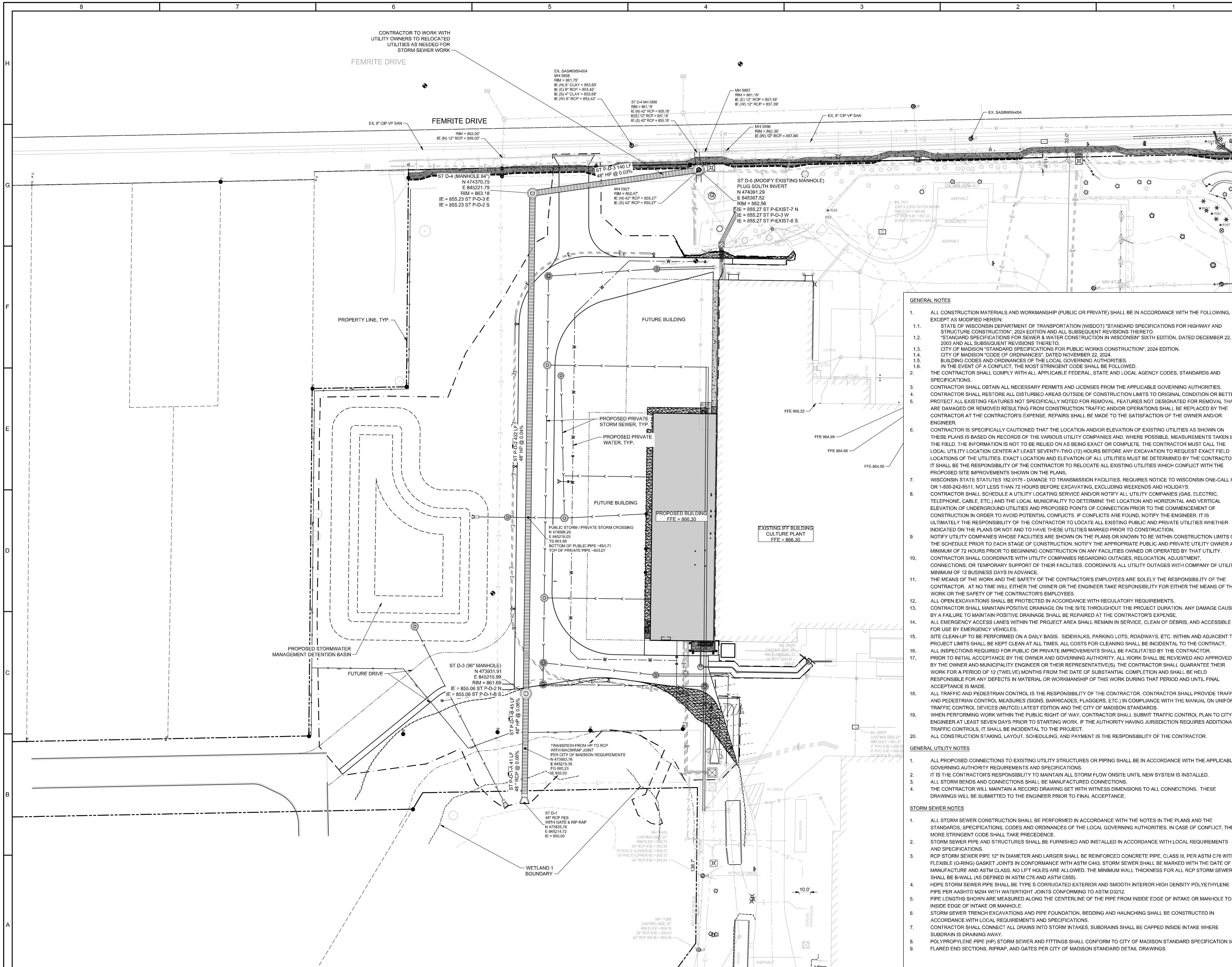
- ABBREVIATIONS: AE = APRON ENDWALL; RCP = REINFORCED CONCRETE PIPE; HERCP = HORIZONTAL ELLIPTICAL REINFORCED CONCRETE PIPE; DNA = DOES NOT APPLY; SAS = SEWER ACCESS STRUCTURE; LP = LOW POINT INLET STRUCTURE; FP = FIELD POURED STRUCTURE; TR = TOP OF CONCRETE ROOF; NCM = NO CROWN MATCH FOR PIPES; UD = UNDERDRAIN
- PLAN LENGTH (PAY LENGTH) IS FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPE LENGTH IS ACTUAL LENGTH OF PIPE FROM STRUCTURE WALL TO STRUCTURE WALL. SLOPE CALCULATED USING PIPE LENGTH.
- TOP OF CASTING GRADE GIVEN IS THE TOP OF CURB FOR INLET STRUCTURES AND THE FLOWLINE OF THE CLOSED CASTING FOR SAS UNLESS NOTED OTHERWISE.
- APPROXIMATE DISCHARGE E.I. GIVEN, ADJUST E.I. AND PIPE SLOPE IN THE FIELD.
- ALL REINFORCED CONCRETE PIPES TO BE CLASS 3 UNLESS OTHERWISE NOTED.

-ALL FIELD POURED SAS STORM STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL DRAWING 5.7.3. ALL PRECAST SAS STORM STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL DRAWING 5.7.5.

- ALL STRUCTURES CALLED OUT AS FIELD POURED SHALL BE FIELD POURED. ALL OTHER STRUCTURES STORM AND SANITARY (NOT INDICATED AS FIELD POURED) SHALL BE SUBMITTED TO CITY ENGINEERING FOR APPROVAL ECEFALU@CITYOFMADISON.COM ((608) 243-5894).

-ALL REBAR FOR FIELD POURED STRUCTURES SHALL BE EPOXY COATED. ANY EXPOSED STEEL SHALL BE TOUCHED UP OR RECOATED PRIOR TO USE.

- SURVEYOR TO CONFIRM THAT ALL INLET STATION / OFFSETS LINE UP WITH PROPOSED CURB AND GUTTER.



GENERAL NOTES:

1. ALL UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN PROJECT AREA. CONTRACTOR TO INFORM ENGINEER OF ANY POTENTIAL CONFLICTS OR DIFFERENCES BETWEEN PLANS AND WHAT IS CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
2. PIPE FITTINGS, TEES, WYES, AND BENDS MAY NOT BE CALLED OUT IN EVERY LOCATION AND ARE INCIDENTAL TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE NECESSARY SCHEDULE AND MATERIALS FOR THESE ITEMS.
3. CONTRACTOR SHALL RESTORE ALL EXISTING AREAS AND ROADWAYS TO THEIR INITIAL CONDITION WHERE DISTURBED BY UTILITY INSTALLATIONS.

GENERAL NOTES

1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP (PUBLIC OR PRIVATE) SHALL BE IN ACCORDANCE WITH THE FOLLOWING, EXCEPT AS MODIFIED HEREIN:
   1.1. STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION", 2024 EDITION AND ALL SUBSEQUENT REVISIONS THERETO.
   1.2. "STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN" SIXTH EDITION, DATED DECEMBER 22, 2003 AND ALL SUBSEQUENT REVISIONS THERETO.
   1.3. CITY OF MADISON "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", 2024 EDITION.
   1.4. CITY OF MADISON "CODE OF ORDINANCES", DATED NOVEMBER 22, 2024.
   1.5. BUILDING CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES.
   1.6. IN THE EVENT OF A CONFLICT, THE MOST STRINGENT CODE SHALL BE FOLLOWED.
2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCY CODES, STANDARDS AND SPECIFICATIONS.
3. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND LICENSES FROM THE APPLICABLE GOVERNING AUTHORITIES.
4. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
5. PROTECT ALL EXISTING FEATURES NOT SPECIFICALLY NOTED FOR REMOVAL. FEATURES NOT DESIGNATED FOR REMOVAL THAT ARE DAMAGED OR REMOVED RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
6. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST SEVENTY-TWO (72) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
7. WISCONSIN STATE STATUTES 182.0175 - DAMAGE TO TRANSMISSION FACILITIES, REQUIRES NOTICE TO WISCONSIN ONE-CALL 811 OR 1-800-242-8511, NOT LESS THAN 72 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
8. CONTRACTOR SHALL SCHEDULE A UTILITY LOCATING SERVICE AND/OR NOTIFY ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE LOCAL MUNICIPALITY TO DETERMINE THE LOCATION AND HORIZONTAL AND VERTICAL ELEVATION OF UNDERGROUND UTILITIES AND PROPOSED POINTS OF CONNECTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER TO AVOID POTENTIAL CONFLICTS. IF CONFLICTS ARE FOUND, NOTIFY THE ENGINEER. IT IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING PUBLIC AND PRIVATE UTILITIES WHETHER INDICATED ON THE PLANS OR NOT AND TO HAVE THESE UTILITIES MARKED PRIOR TO CONSTRUCTION.
9. NOTIFY UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION. NOTIFY THE APPROPRIATE PUBLIC AND PRIVATE UTILITY OWNER A MINIMUM OF 72 HOURS PRIOR TO BEGINNING CONSTRUCTION ON ANY FACILITIES OWNED OR OPERATED BY THAT UTILITY.
10. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES REGARDING OUTAGES, RELOCATION, ADJUSTMENT, CONNECTIONS, OR TEMPORARY SUPPORT OF THEIR FACILITIES. COORDINATE ALL UTILITY OUTAGES WITH COMPANY OF UTILITY MINIMUM OF 12 BUSINESS DAYS IN ADVANCE.
11. THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. AT NO TIME WILL EITHER THE OWNER OR THE ENGINEER TAKE RESPONSIBILITY FOR EITHER THE MEANS OF THE WORK OR THE SAFETY OF THE CONTRACTOR'S EMPLOYEES.
12. ALL OPEN EXCAVATIONS SHALL BE PROTECTED IN ACCORDANCE WITH REGULATORY REQUIREMENTS.
13. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION. ANY DAMAGE CAUSED BY A FAILURE TO MAINTAIN POSITIVE DRAINAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
14. ALL EMERGENCY ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
15. SITE CLEAN-UP TO BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. WITHIN AND ADJACENT TO PROJECT LIMITS SHALL BE KEPT CLEAN AT ALL TIMES. ALL COSTS FOR CLEANING SHALL BE INCIDENTAL TO THE CONTRACT.
16. ALL INSPECTIONS REQUIRED FOR PUBLIC OR PRIVATE IMPROVEMENTS SHALL BE FACILITATED BY THE CONTRACTOR.
17. PRIOR TO INITIAL ACCEPTANCE BY THE OWNER AND GOVERNING AUTHORITY, ALL WORK SHALL BE REVIEWED AND APPROVED BY THE OWNER AND MUNICIPALITY ENGINEER OR THEIR REPRESENTATIVE(S). THE CONTRACTOR SHALL GUARANTEE THEIR WORK FOR A PERIOD OF 12 (TWELVE) MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP OF THIS WORK DURING THAT PERIOD AND UNTIL FINAL ACCEPTANCE IS MADE.
18. ALL TRAFFIC AND PEDESTRIAN CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE TRAFFIC AND PEDESTRIAN CONTROL MEASURES (SIGNS, BARRICADES, FLAGGERS, ETC.) IN COMPLIANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION AND THE CITY OF MADISON STANDARDS.
19. WHEN PERFORMING WORK WITHIN THE PUBLIC RIGHT OF WAY, CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLAN TO CITY ENGINEER AT LEAST SEVEN DAYS PRIOR TO STARTING WORK. IF THE AUTHORITY HAVING JURISDICTION REQUIRES ADDITIONAL TRAFFIC CONTROLS, IT SHALL BE INCIDENTAL TO THE PROJECT.
20. ALL CONSTRUCTION STAKING, LAYOUT, SCHEDULING, AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

GENERAL UTILITY NOTES

1. ALL PROPOSED CONNECTIONS TO EXISTING UTILITY STRUCTURES OR PIPING SHALL BE IN ACCORDANCE WITH THE APPLICABLE GOVERNING AUTHORITY REQUIREMENTS AND SPECIFICATIONS.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL STORM FLOW ONSITE UNTIL NEW SYSTEM IS INSTALLED.
3. ALL STORM BENDS AND CONNECTIONS SHALL BE MANUFACTURED CONNECTIONS.
4. THE CONTRACTOR WILL MAINTAIN A RECORD DRAWING SET WITH WITNESS DIMENSIONS TO ALL CONNECTIONS. THESE DRAWINGS WILL BE SUBMITTED TO THE ENGINEER PRIOR TO FINAL ACCEPTANCE.

STORM SEWER NOTES

1. ALL STORM SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE NOTES IN THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
2. STORM SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
3. RCP STORM SEWER PIPE 12" IN DIAMETER AND LARGER SHALL BE REINFORCED CONCRETE PIPE, CLASS III, PER ASTM C76 WITH FLEXIBLE (O-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C443. STORM SEWER SHALL BE MARKED WITH THE DATE OF MANUFACTURE AND ASTM CLASS. NO LIFT HOLES ARE ALLOWED. THE MINIMUM WALL THICKNESS FOR ALL RCP STORM SEWER SHALL BE B-WALL (AS DEFINED IN ASTM C76 AND ASTM C655).
4. HDPE STORM SEWER PIPE SHALL BE TYPE S CORRUGATED EXTERIOR AND SMOOTH INTERIOR HIGH DENSITY POLYETHYLENE PIPE PER AASHTO M294 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D3212.
5. PIPE LENGTHS SHOWN ARE MEASURED ALONG THE CENTERLINE OF THE PIPE FROM INSIDE EDGE OF INTAKE OR MANHOLE TO INSIDE EDGE OF INTAKE OR MANHOLE.
6. STORM SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
7. CONTRACTOR SHALL CONNECT ALL DRAINS INTO STORM INTAKES. SUBDRAINS SHALL BE CAPPED INSIDE INTAKE WHERE SUBDRAIN IS DRAINING AWAY.
8. POLYPROPYLENE PIPE (HP) STORM SEWER AND FITTINGS SHALL CONFORM TO CITY OF MADISON STANDARD SPECIFICATION 504.
9. FLARED END SECTIONS, RIPRAP, AND GATES PER CITY OF MADISON STANDARD DETAIL DRAWINGS.

REV	DATE	DESCRIPTION	BY	CHK'D	APPR
0	05/16/2025	ISSUE FOR CONSTRUCTION	STB	EAW	EAW

REVISIONS

FOR INFORMATION, CONTACT:
International Flavors and Fragrances Inc.
3322 Agriculture Drive
Madison, WI 53716
USA

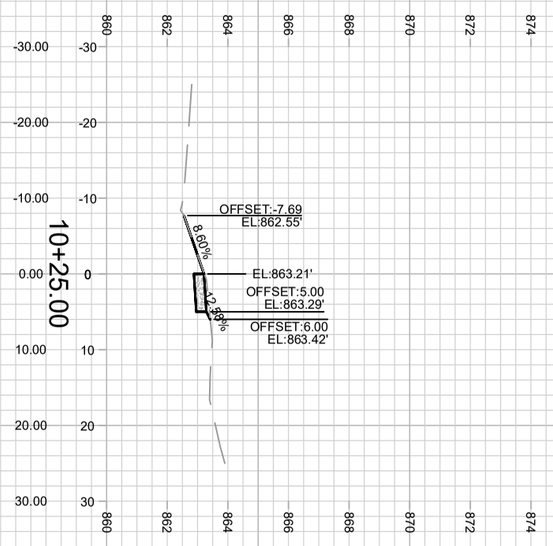
VENDOR INFO
SHIVEHATTERY
ARCHITECTURE + ENGINEERING
222 Third Avenue SE Suite 300 | Cedar Rapids, Iowa 52401
319.364.0227 | fax 319.364.4251 | www.shive-hattery.com
Iowa | Illinois | Indiana | Nebraska

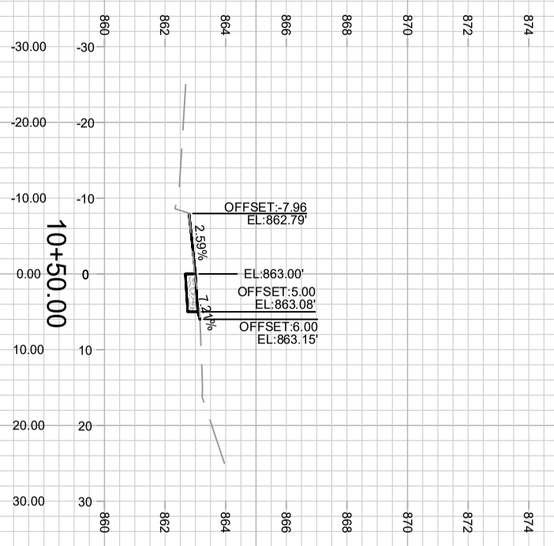
TITLE
EASEMENT STORM SEWER
PUBLIC PACKAGE
IFF MADISON - ASPEN UCS #3

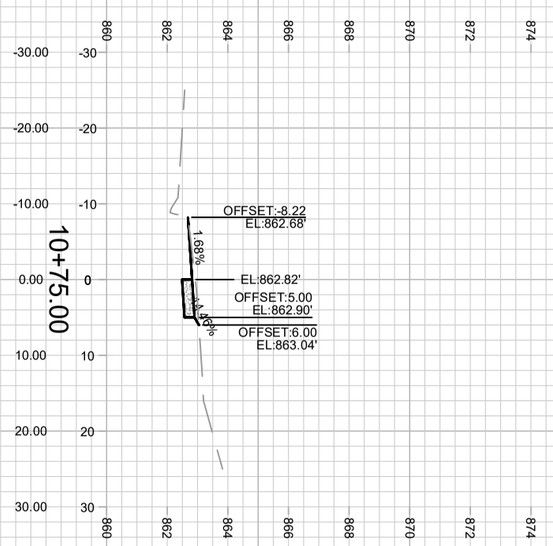
DRAWN	STB	CHECKED	EAW	APPROVED	EAW
SIZE E	DWG NO U-3			DATE 04/25/25	

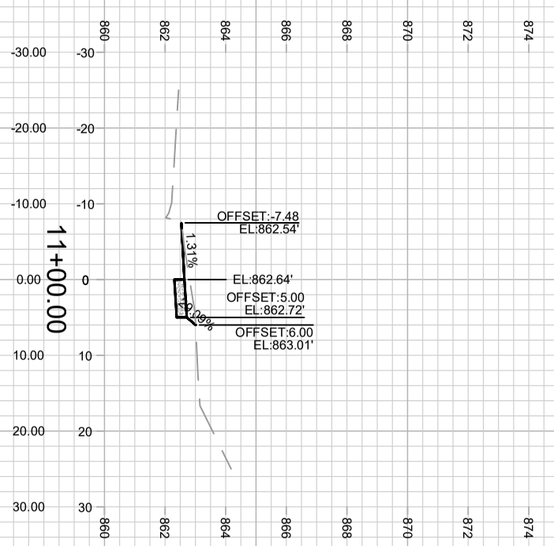
CLIENT #: MA020089
FILE: ---
SCALE: AS NOTED
PROJECT # 2240005920
SHEET - OF -

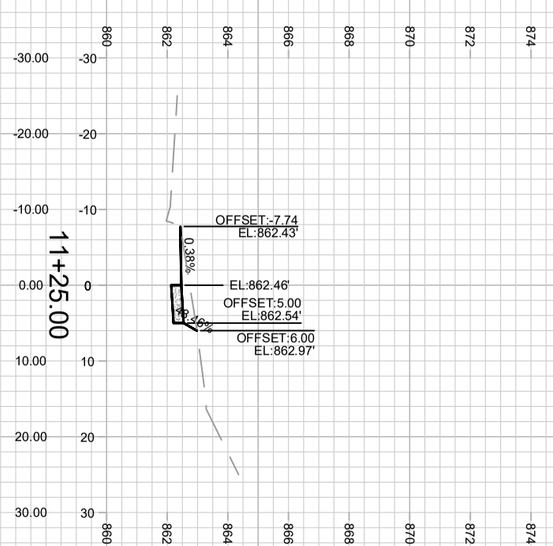
ENGINEER'S NAME
LICENSE NUMBER
WISCONSIN PROFESSIONAL ENGINEER
EMILY A. WILLIAMSON
100005-6
MARION
IA
Emily Williamson
Expires: 07-31-2026

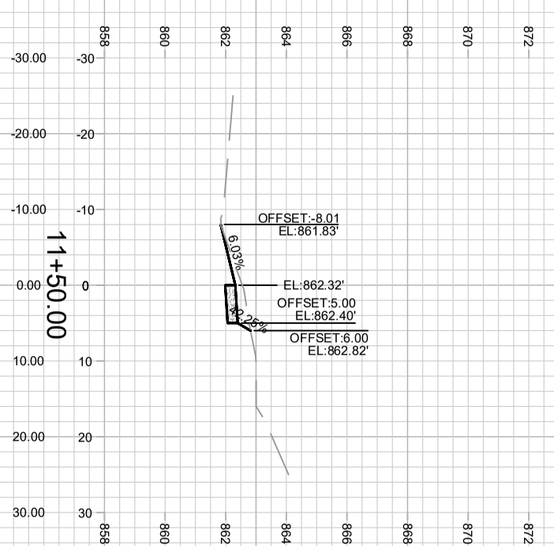












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15536

CROSS SECTIONS - FEMRITE DRIVE 15536

3322 AGRICULTURE DRIVE CSM MADISON, WI

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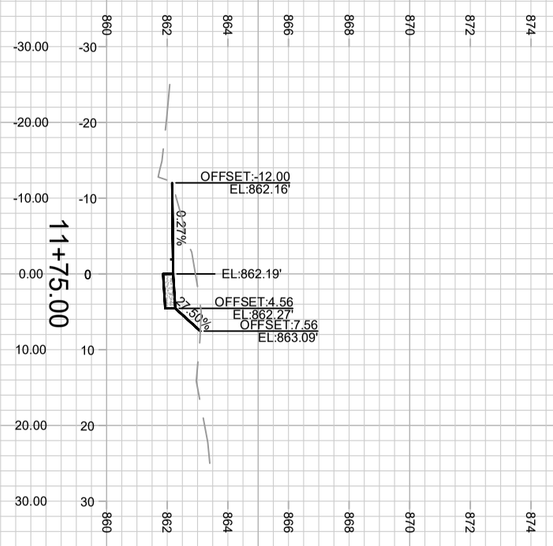

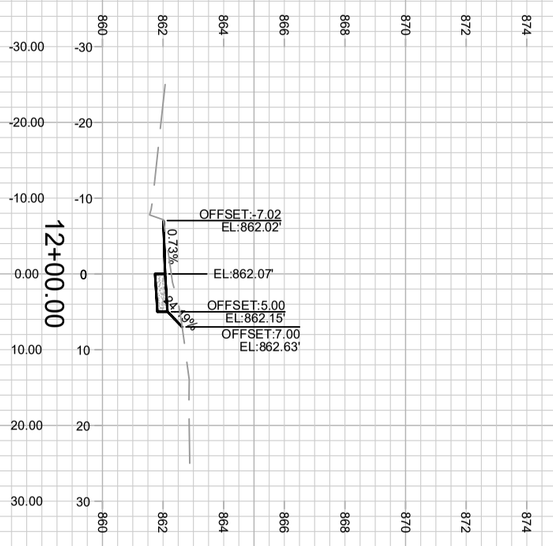

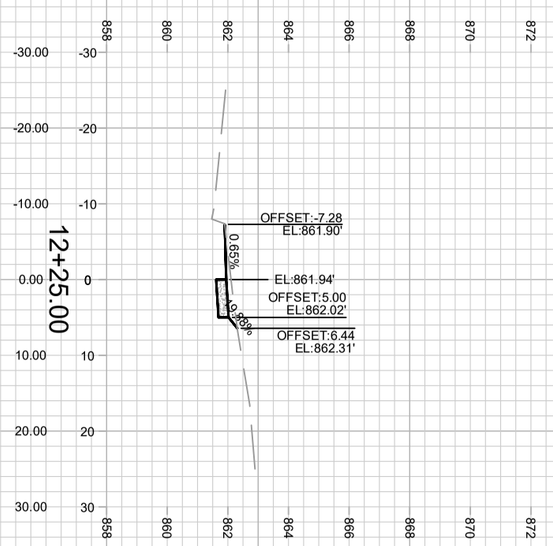

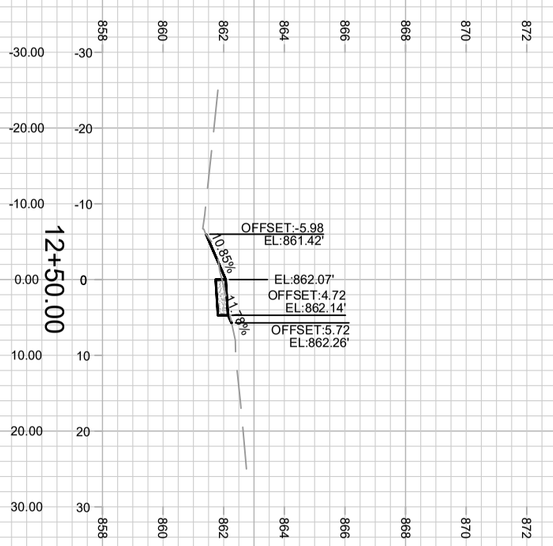

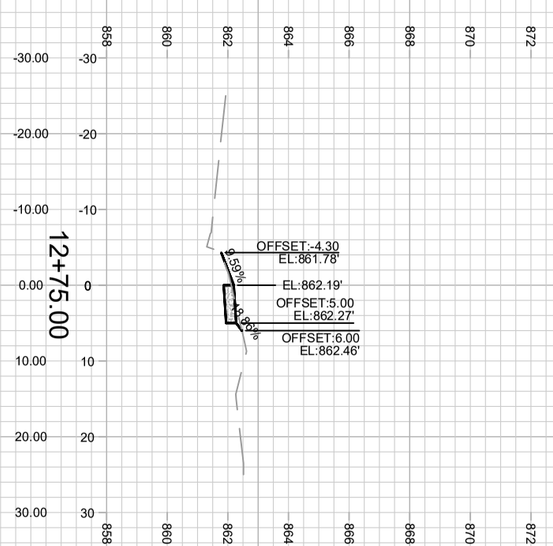

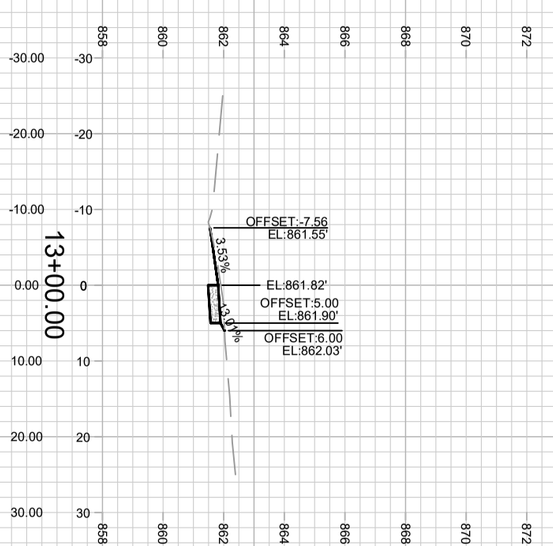

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CROSS SECTIONS - FEMRITE DRIVE 15536

3322 AGRICULTURE DRIVE CSM MADISON, WI

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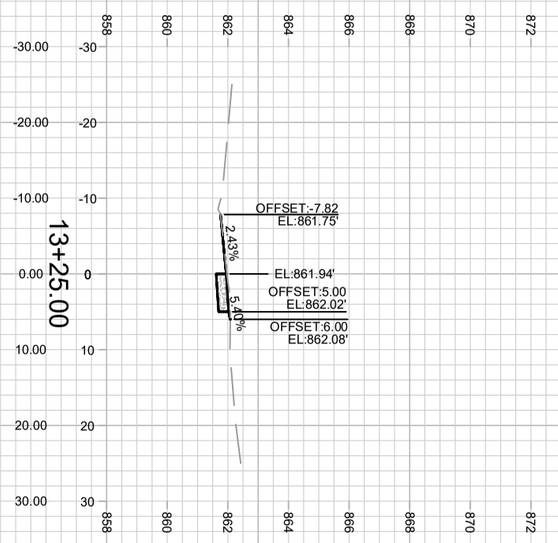

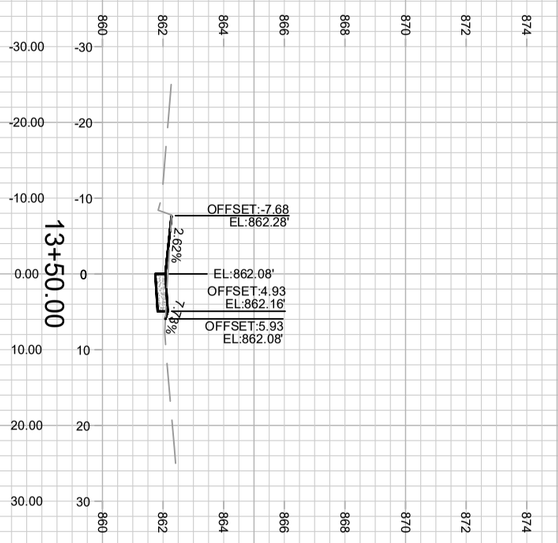

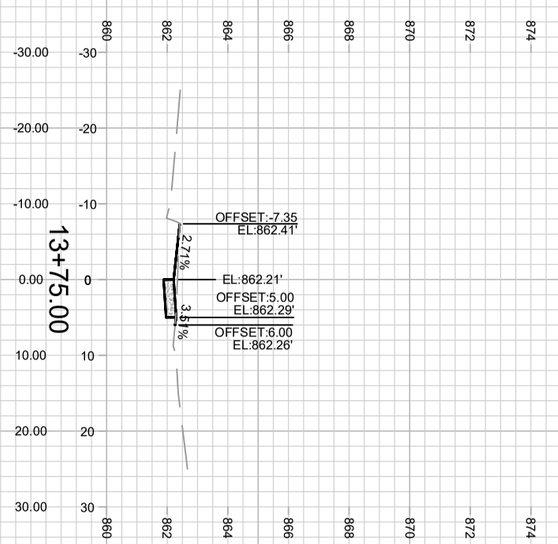

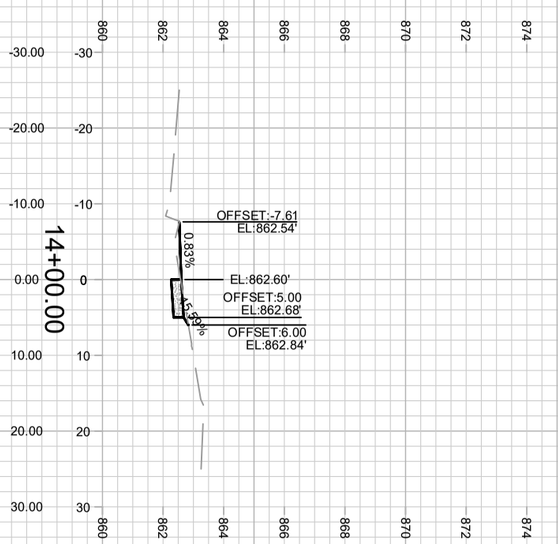

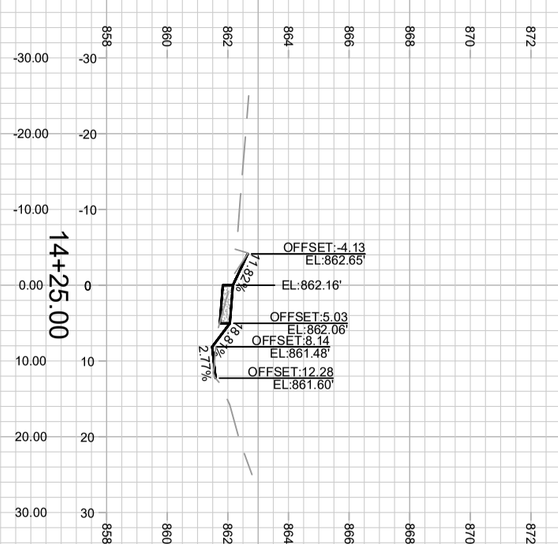

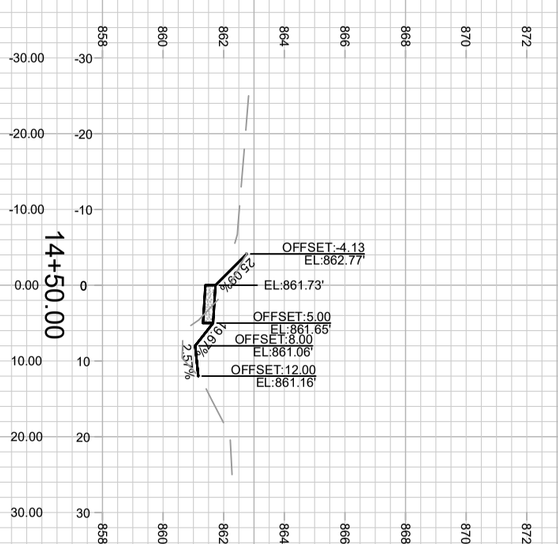

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CROSS SECTIONS - FEMRITE DRIVE — 15536

3322 AGRICULTURE DRIVE CSM — MADISON, WI

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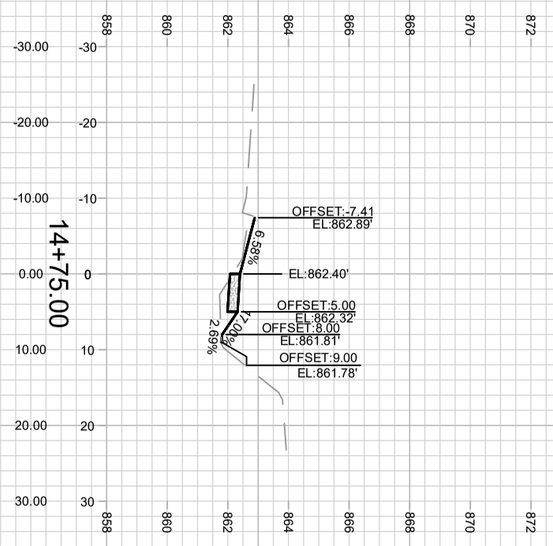

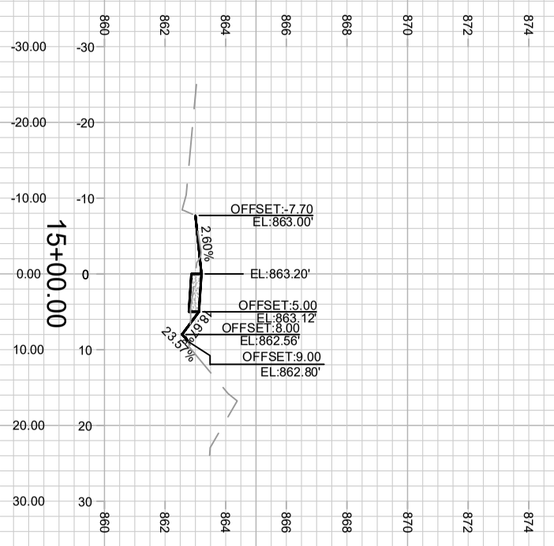

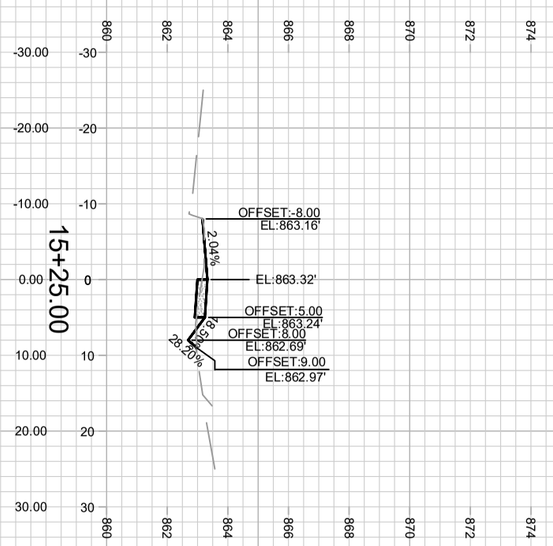

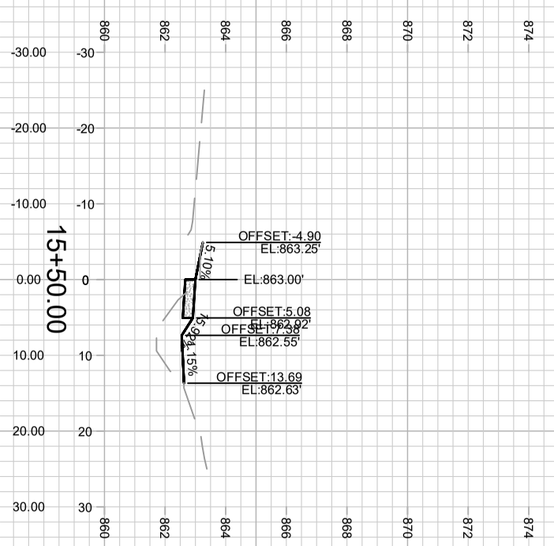

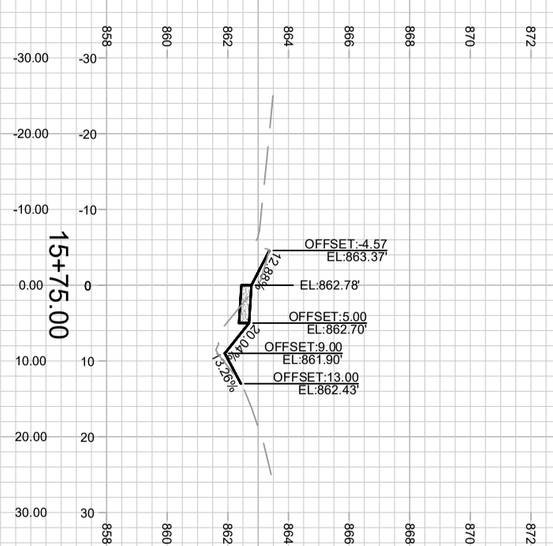

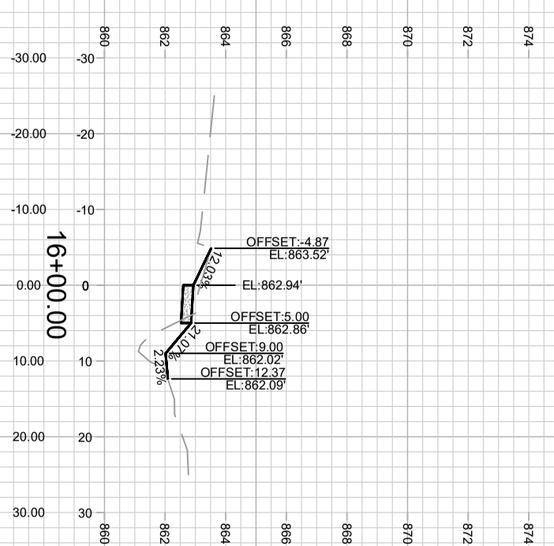

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CROSS SECTIONS - FEMRITE DRIVE 15536

3322 AGRICULTURE DRIVE CSM MADISON, WI

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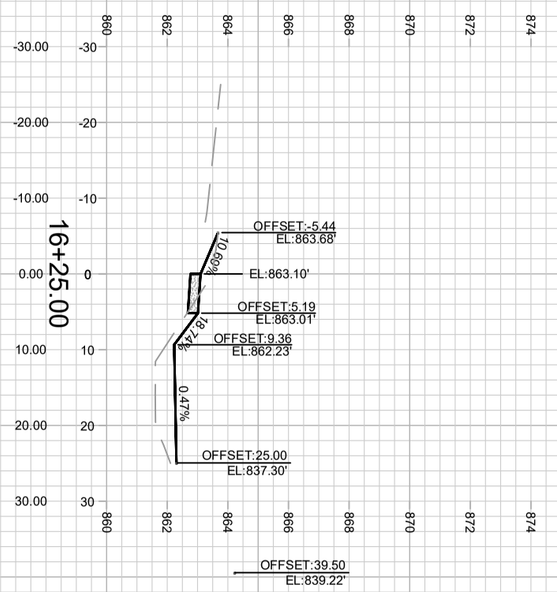

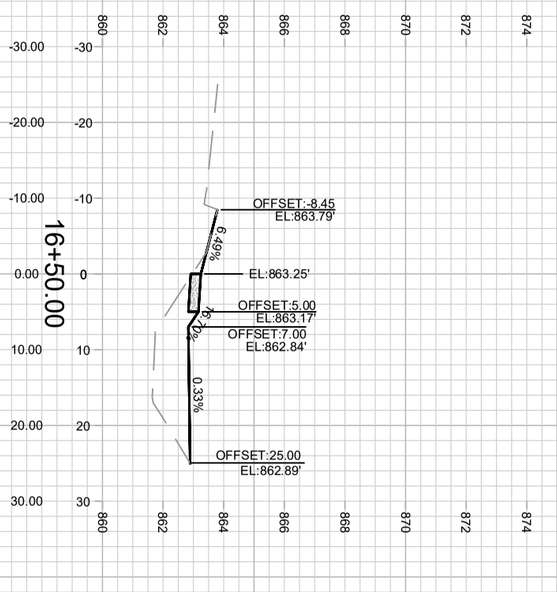

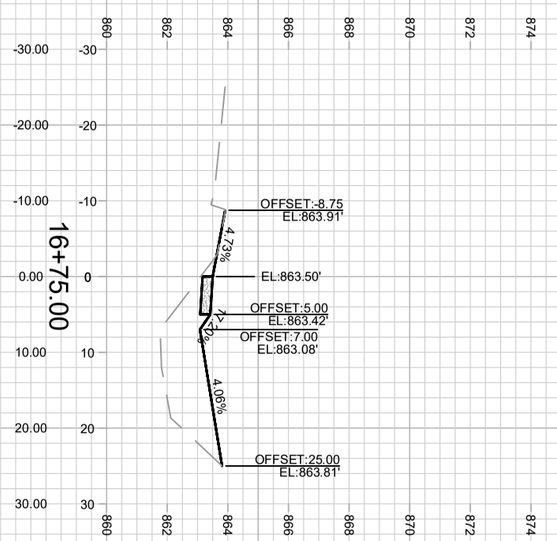

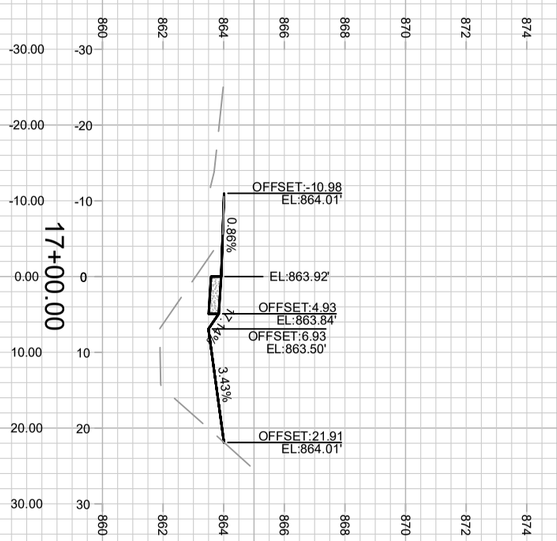

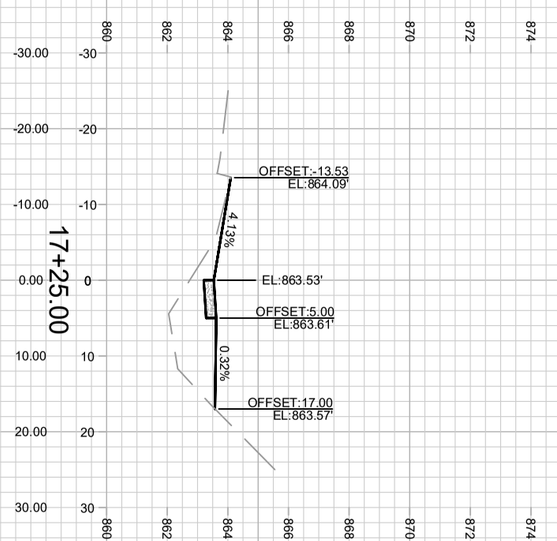

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CROSS SECTIONS - FEMRITE DRIVE — 15536

3322 AGRICULTURE DRIVE CSM — MADISON, WI

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