

DETAIL

STANDARD NOTES
AND COMMENTS

CITY OF MADISON

CONTRACTOR/DEVELOPER SHALL SUBMIT A TRAFFIC CONTROL PLAN TO CITY TRAFFIC ENGINEERING AT LEAST 10 WORKING DAYS PRIOR TO THE START OF WORK. WORK WITHIN THE RIGHT-OF-WAY SHALL NOT BEGIN UNTIL THE TRAFFIC CONTROL PLAN IS APPROVED.

ANY PAVEMENT MARKINGS THAT ARE REMOVED OR DAMAGED SHALL BE REPLACED BY THE DEVELOPER/CONTRACTOR AS DIRECTED BY CITY TRAFFIC ENGINEERING.

THE LOCATION AND INFORMATION FOR PROPOSED NEW TREES, IN THE PUBLIC RIGHT OF WAY OR ON PUBLIC LANDS ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE ONLY.

CONTRACTOR SHALL CONTACT DEAN KAHL WITH CITY FORESTRY (266-4891 OR 266-4816) AT LEAST ONE WEEK PRIOR TO PLANTING TO ALLOW FORESTRY TO MARK THE PLANTING SITES AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPING CONTRACTOR. TREE PLANTING WITHIN THE PUBLIC RIGHT OF WAY OR ON PUBLIC LANDS SHALL BE APPROVED BY THE CITY FORESTER PRIOR TO INSTALLATION.

NO TREES IN THE RIGHT OF WAY OR ON PUBLIC LANDS SHALL BE TRIMMED, PRUNED, REMOVED OR ADVERSELY AFFECTED IN ANY WAY UNTIL THE DEVELOPER HAS RECEIVED WRITTEN PERMISSION FROM THE CITY ENGINEER OR CITY FORESTER. SAID WRITTEN PERMISSION SHALL INCLUDE LANGUAGE INDICATING THAT SECTION 10.101 OF THE MADISON GENERAL ORDINANCES AND ADMINISTRATIVE PROCEDURE MEMORANDUM NO. 6-2, REFERING TO NOTIFICATION OF PROPERTY OCCUPANTS AND/OR OWNERS, HAS BEEN COMPLIED WITH.

ALL PAVEMENT WITHIN THE RIGHT-OF-WAY SHALL BE TYPE C PAVEMENT.

ALL GUTTERS SHALL DRAIN WITH A MINIMUM GRADES OF 0.5% TOWARD STORM SEWER INLETS.

THE CROSS SLOPE OF SIDEWALKS AND BARRIER FREE SIDEWALK CURB RAMPS SHALL BE 2%. THE LONGITUDINAL GRADE OF BARRIER FREE SIDEWALK CURB RAMPS SHALL NOT EXCEED 8.33%. ALL SIDEWALK RAMPS SHALL BE CONSTRUCTED ACCORDING TO S.D.D. 3.03. AT ALL OTHER LOCATIONS THE LONGITUDINAL GRADE OF SIDEWALKS SHALL NOT EXCEED 5.0 % OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER NOR BE LESS THAN 0.4% AND SHALL DRAIN TOWARD STORM SEWER INLETS. SIDE SLOPES WITHIN TEN FEET OF A PUBLIC SIDEWALK SHALL NOT EXCEED 4:00:1. ALL SIDEWALK AND SIDEWALK RAMP ELEVATIONS AND GRADES SHALL BE FIELD VERIFIED AND SET TO COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS AND THE A.D.A. GUIDELINES.

OBTAIN A PRINT OUT OF THE ALIGNMENT FROM THE CITY ENGINEER PRIOR TO STAKING THIS PROJECT.

CURB STATION AND OFFSETS SHALL BE TO THE FACE OF CURB UNLESS OTHERWISE INDICATED. CURB ELEVATIONS SHALL BE TO THE TOP OF CURB (OR EXTENDED TOP OF CURB FOR DRIVEWAYS OR RAMPS) UNLESS OTHERWISE INDICATED.

POWER POLES AND OTHER OBSTRUCTIONS SHALL BE MOVED TO PROVIDE 2 FEET MINIMUM OF CLEAR DISTANCE FROM ANY FACE OF CURB OR EDGE OF SIDEWALK.

ANY INFORMATION SHOWN ON THIS PLAN, WHICH IS NOT PART OF THIS PROJECT, IS PRELIMINARY AND NOT FOR CONSTRUCTION.

THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.

ALL PERMANENT SIGNING AND POSTING WILL BE DETERMINED AND PROVIDED BY THE TRAFFIC ENGINEERING DIVISION, FOLLOWING CONSTRUCTION OF THESE IMPROVEMENTS.

THE DEVELOPER SHALL PROVIDE, INSTALL AND MAINTAIN ALL STREET END BARRICADES, SIGNING AND TRAFFIC CONTROL, AS REQUIRED BY THE CITY TRAFFIC ENGINEER.

PAVEMENT SAWCUTS SHALL BE AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER. SAWCUTS SHOWN ON THE PLAN ARE APPROXIMATE.

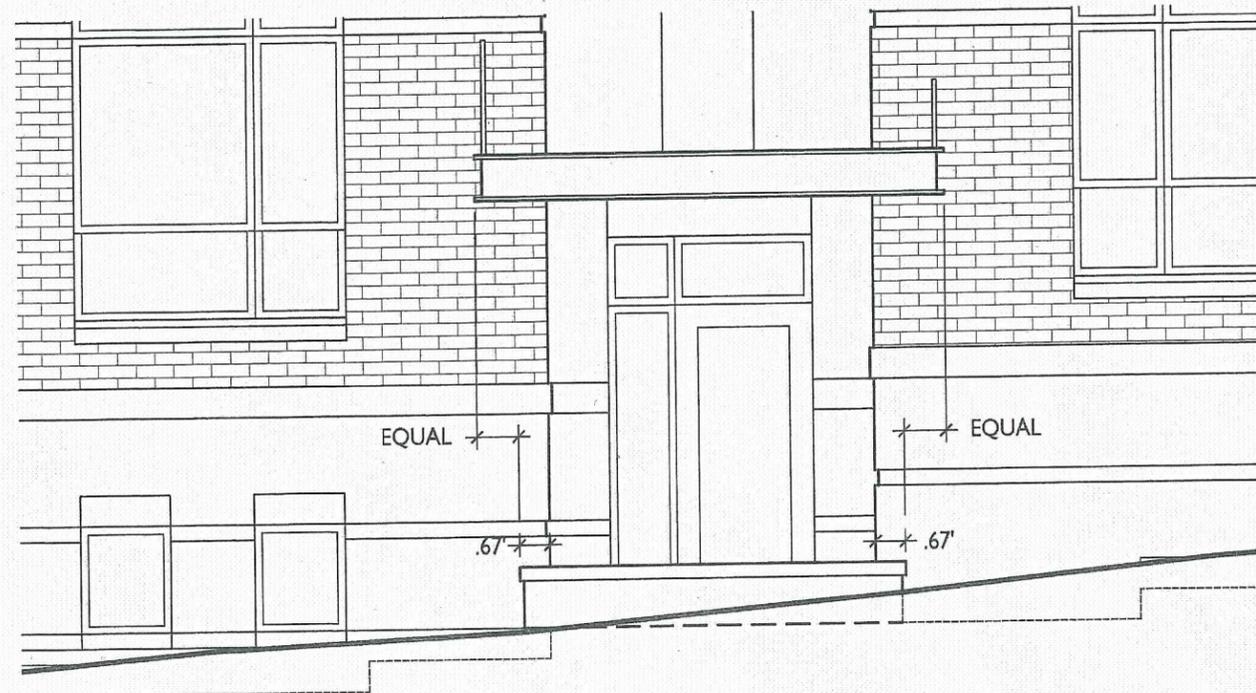
DAMAGE TO ANY EXISTING CURB, PAVEMENT, SIDEWALK, ETC. THAT IS TO REMAIN SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AS DIRECTED BY THE ENGINEER.

PLOT SCALE: _____

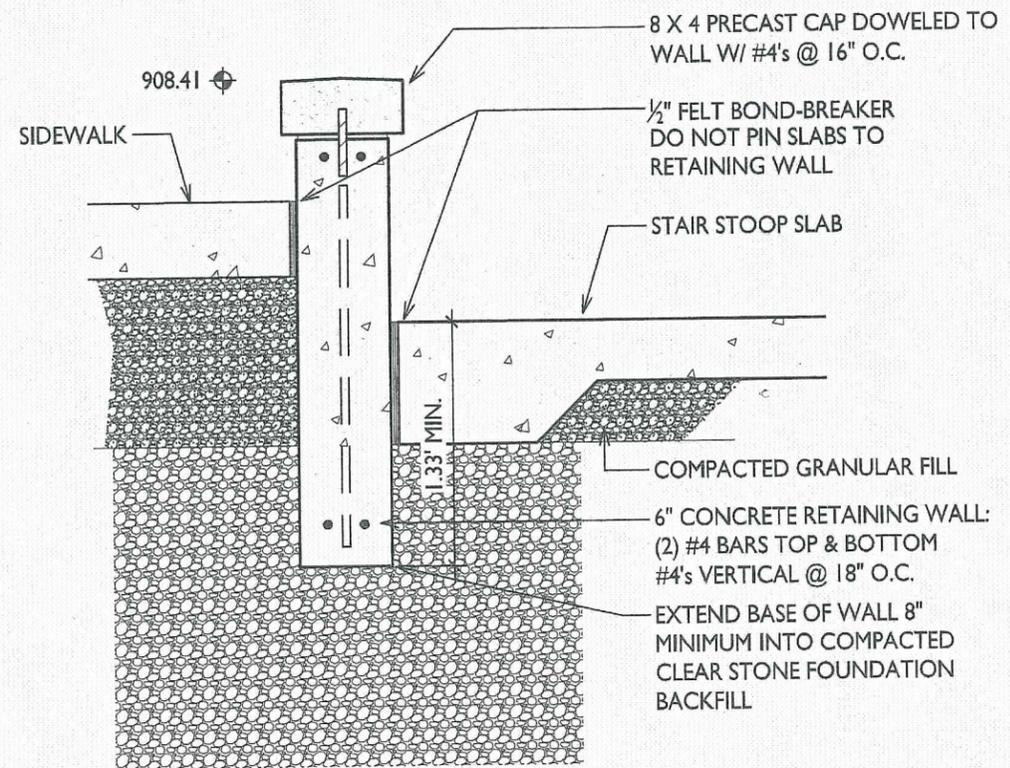
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REV. DATE: _____

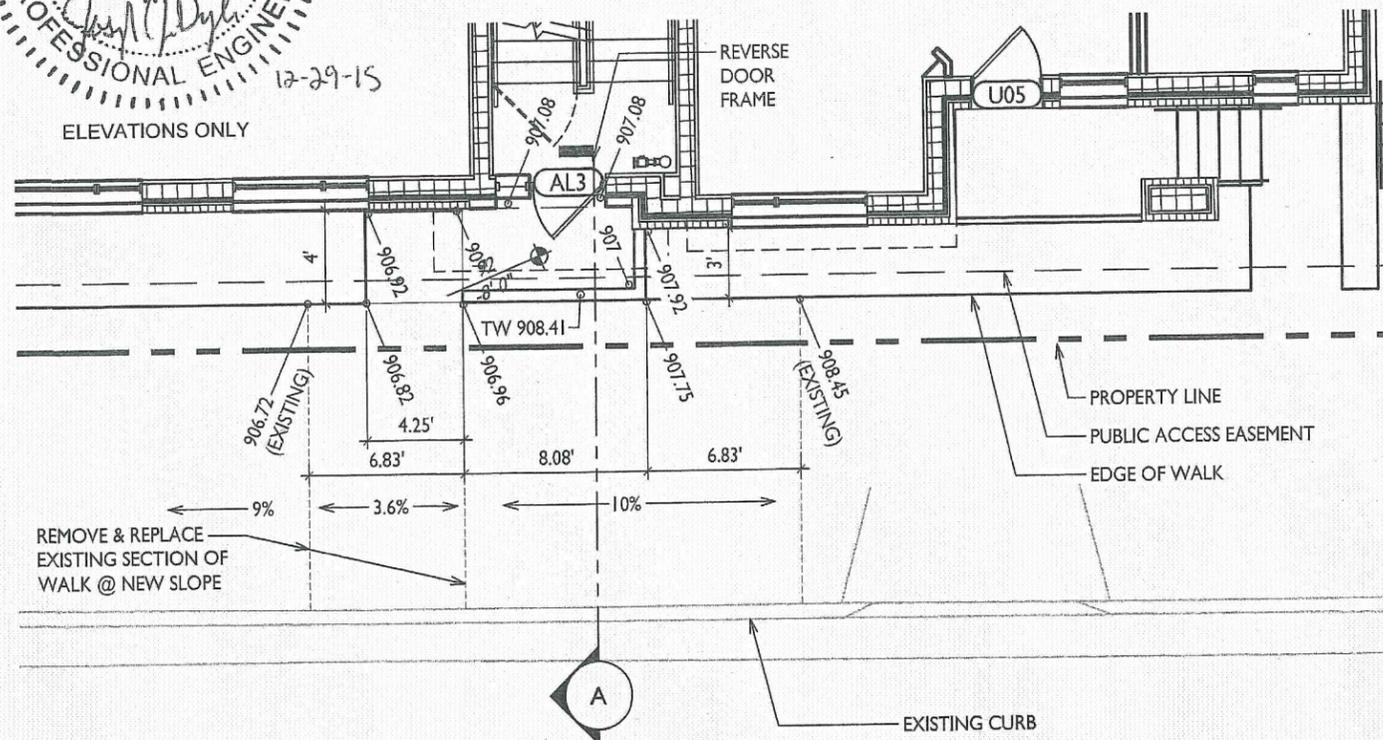
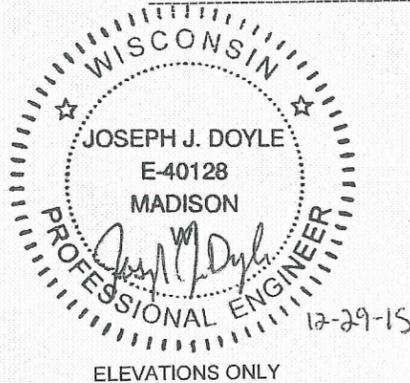
ORIGINATOR: CITY OF MADISON, STREETS DIVISION



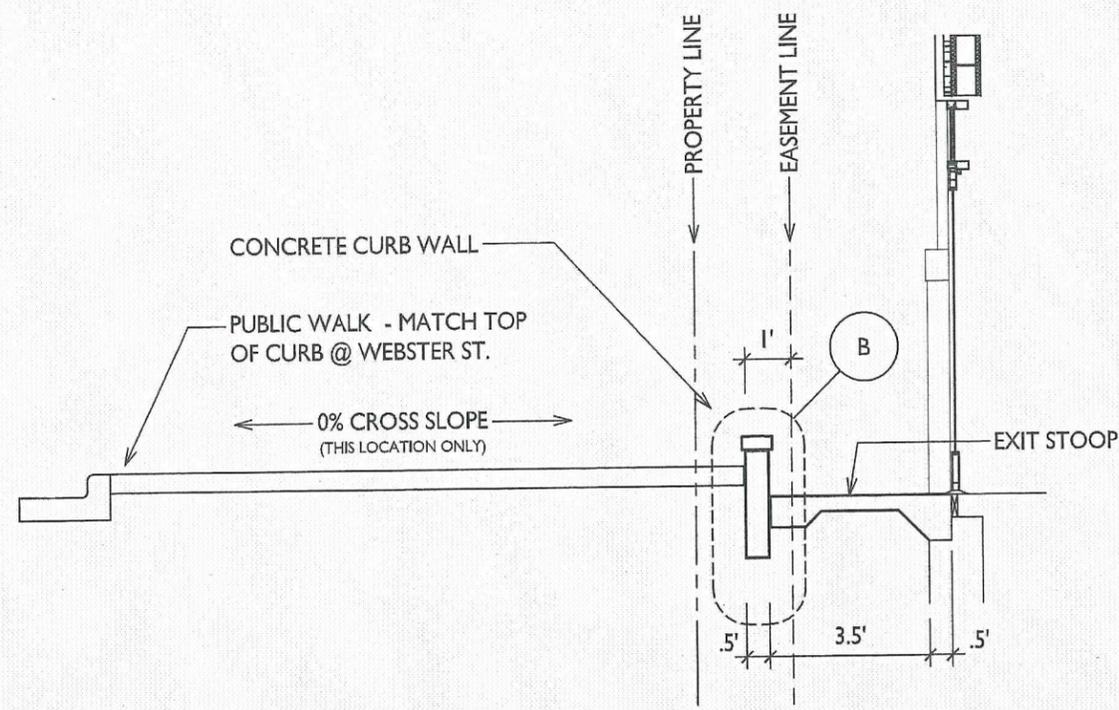
ELEVATION VIEW
NTS



B WALL DETAIL
1" = 1'-0"



PLAN VIEW
1/8" = 1'-0"



A SECTION THROUGH CURB WALL
1/4" = 1'-0"

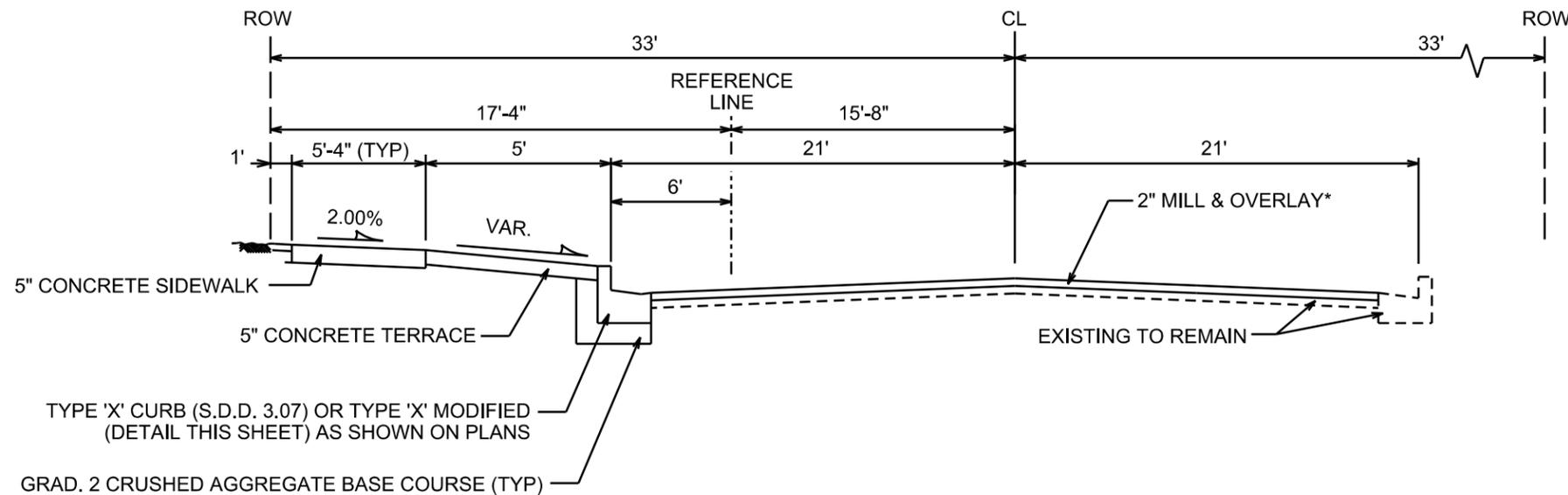
ISSUED
12/01/2015
12/02/2015 - Revised
12/04/2015 - Spot Elevations Added
12/29/2015 - Revised for Existing Walk Grade

PROJECT TITLE
CAPITOLS EDGE

27 N Webster St.
SHEET TITLE
Stair B Stoop Detail

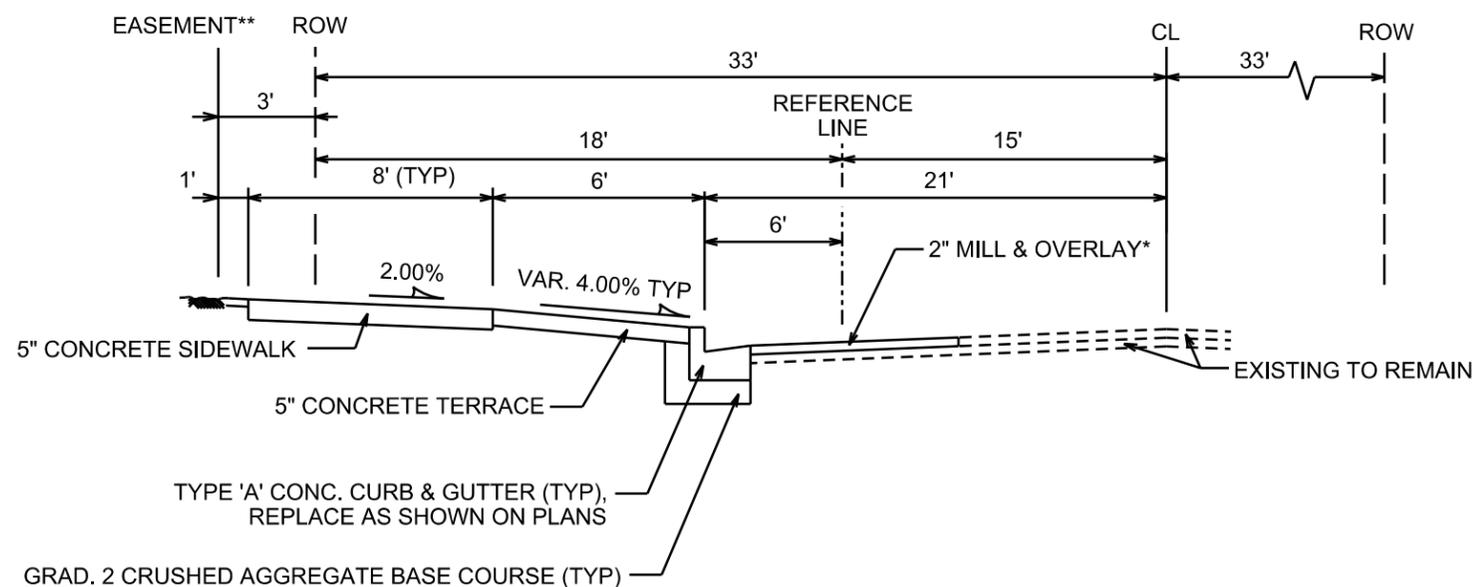
SHEET NUMBER

PROJECT NO. **1315**
© 2013 Knothe & Bruce Architects, LLC



TYPICAL SECTION

E. MIFFLIN STREET
FROM STA 0+22 TO STA 0+92
NOT TO SCALE



TYPICAL SECTION

N. WEBSTER STREET
FROM STA 1+25 TO STA 2+86
NOT TO SCALE

NOTES:

* MILL & OVERLAY LIMITS ARE APPROXIMATE. PATCH PAVEMENT PER CITY'S PATCHING CRITERIA. MILL & OVERLAY MAY NOT BE NECESSARY IF PAVEMENT IS UNDAMAGED, AS DECIDED BY THE CONSTRUCTION ENGINEER. FINAL MILL & OVERLAY LIMITS TO BE DETERMINED BY THE CONSTRUCTION ENGINEER.

** PUBLIC ACCESS SIDEWALK EASEMENT. SEE RECORDED DOCUMENT NO. 5081242

PLOT SCALE: _____

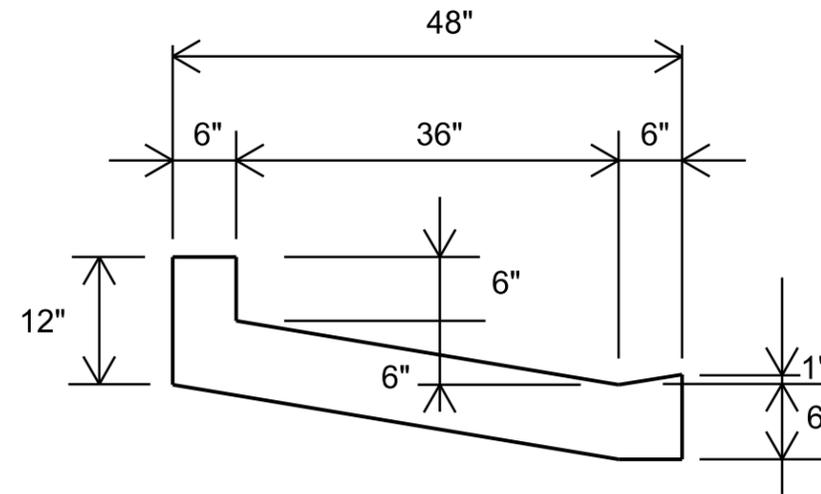
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ORIGINATOR: CITY OF MADISON, STREETS DIVISION

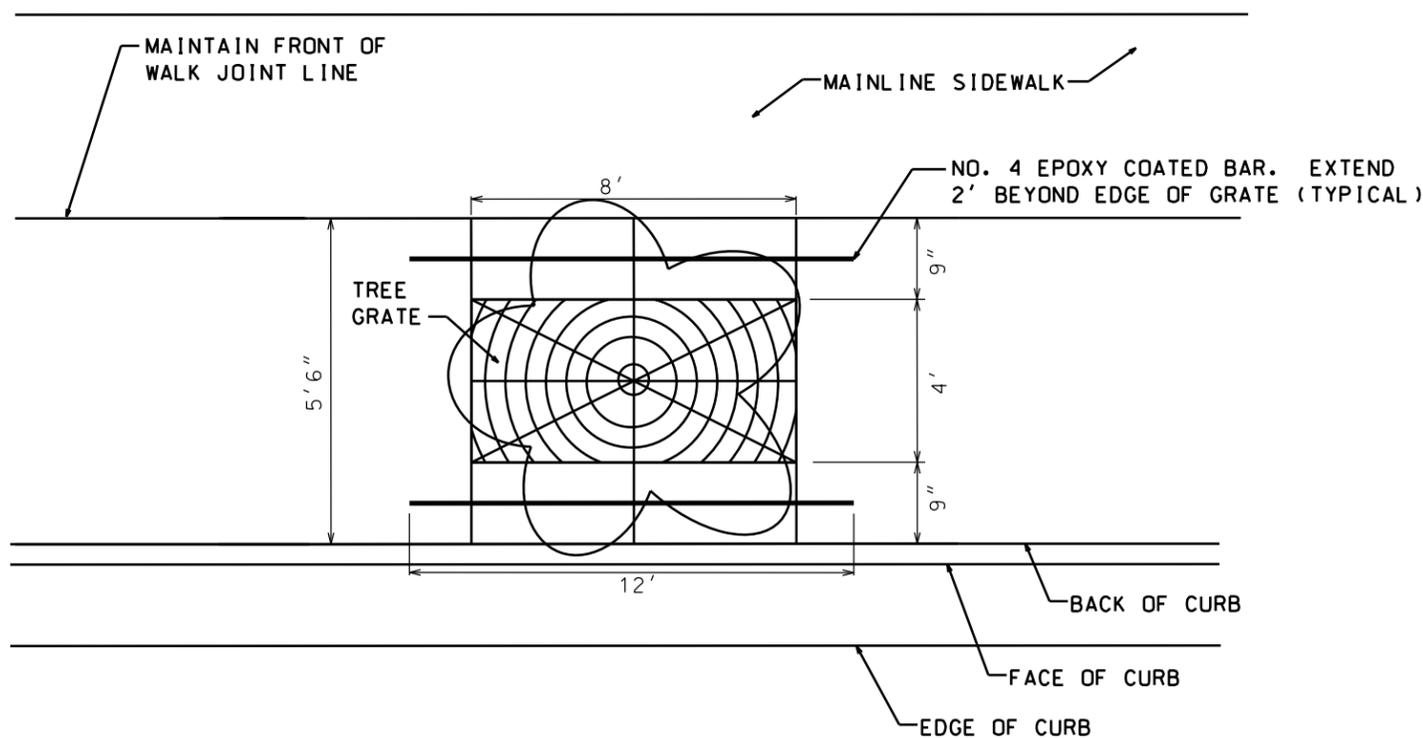
TYPE 'X' MODIFIED CURB

NOT TO SCALE



TREE GRATE INSTALLATION DETAIL

NOT TO SCALE



INSTALL NO. 4 EPOXY COATED BARS LONGITUDINALLY WHEN CONCRETE BETWEEN GRATE AND EXISTING CONCRETE TO REMAIN IS LESS THAN 1'

EXISTING CONCRETE TO REMAIN (SIDEWALK OR CURB)

REINFORCING FOR TREE GRATES WITHIN 1' OR LESS OF EXISTING CONCRETE

NOT TO SCALE

NOTES:

1. TREE GRATE LOCATIONS TO BE VERIFIED WITH ENGINEER
2. VERIFY JOINT PATTERN WITH ENGINEER
3. REFER TO S.D.D. 2.02 FOR BACKFILL DETAILS

PLOT SCALE: _____

PLOT NAME: _____

REV. DATE: _____

ORIGINATOR: CITY OF MADISON, STREETS DIVISION

STREET AND SIDEWALK GRADES PLAN

N. WEBSTER & E. MIFFLIN CITY OF MADISON

209 E. MIFFLIN ST.
APEX EQUITY HOLDINGS LLC

22 N. BUTLER ST.
APEX EQUITY HOLDINGS LLC

27 N. WEBSTER ST.
E. MIFFLIN AND N. WEBSTER STREETS
PROPOSED 48 UNIT APARTMENT
BUILDING
6 STORIES

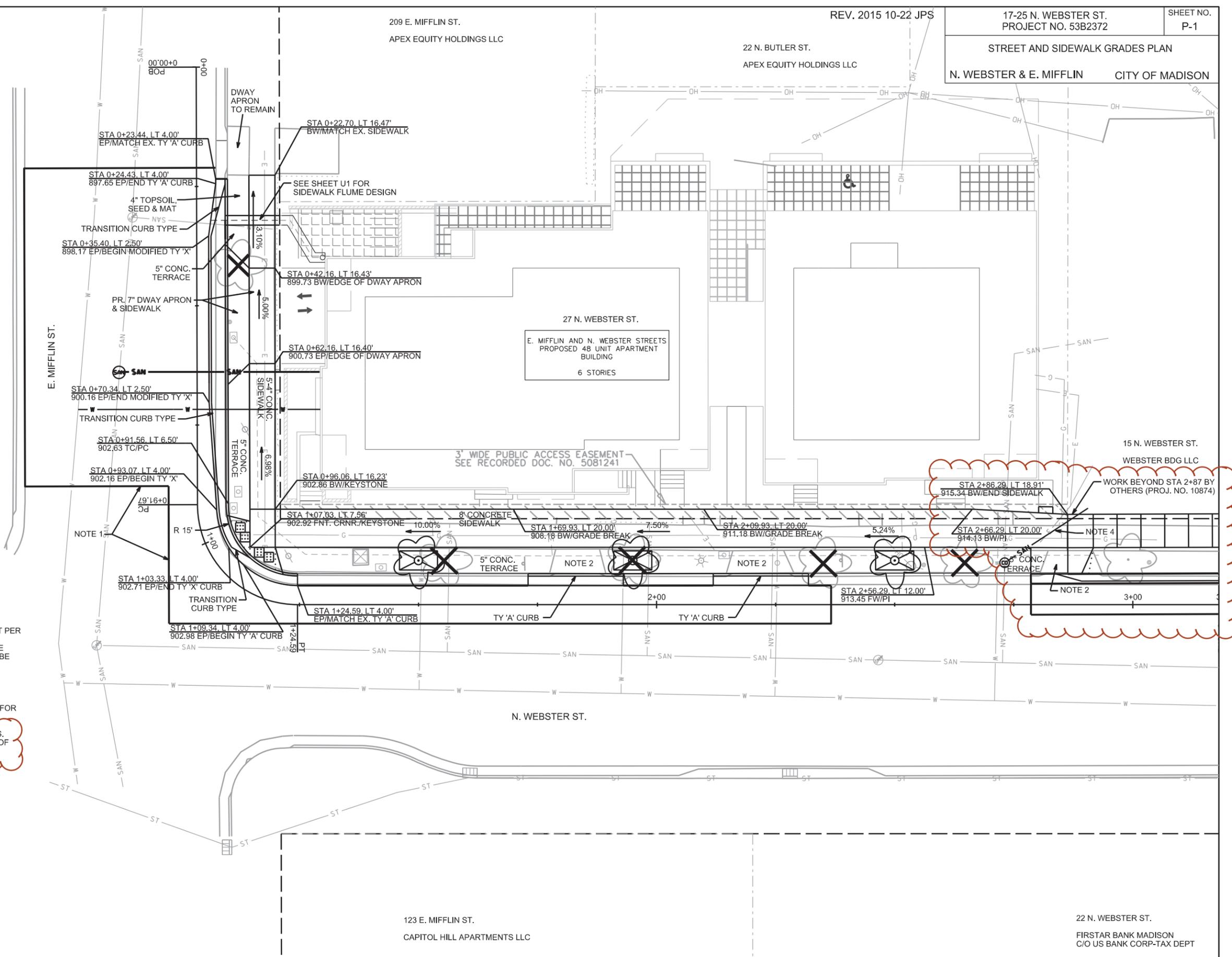
15 N. WEBSTER ST.
WEBSTER BDG LLC

213 E. MIFFLIN ST.
CITY OF MADISON PARKING
CAPITOL SQUARE NORTH RAMP

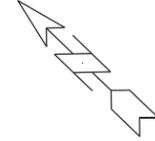
125 N. HAMILTON ST.
CAPITOL POINT CONDO ASSN
SUSAN J M BAUMAN

123 E. MIFFLIN ST.
CAPITOL HILL APARTMENTS LLC

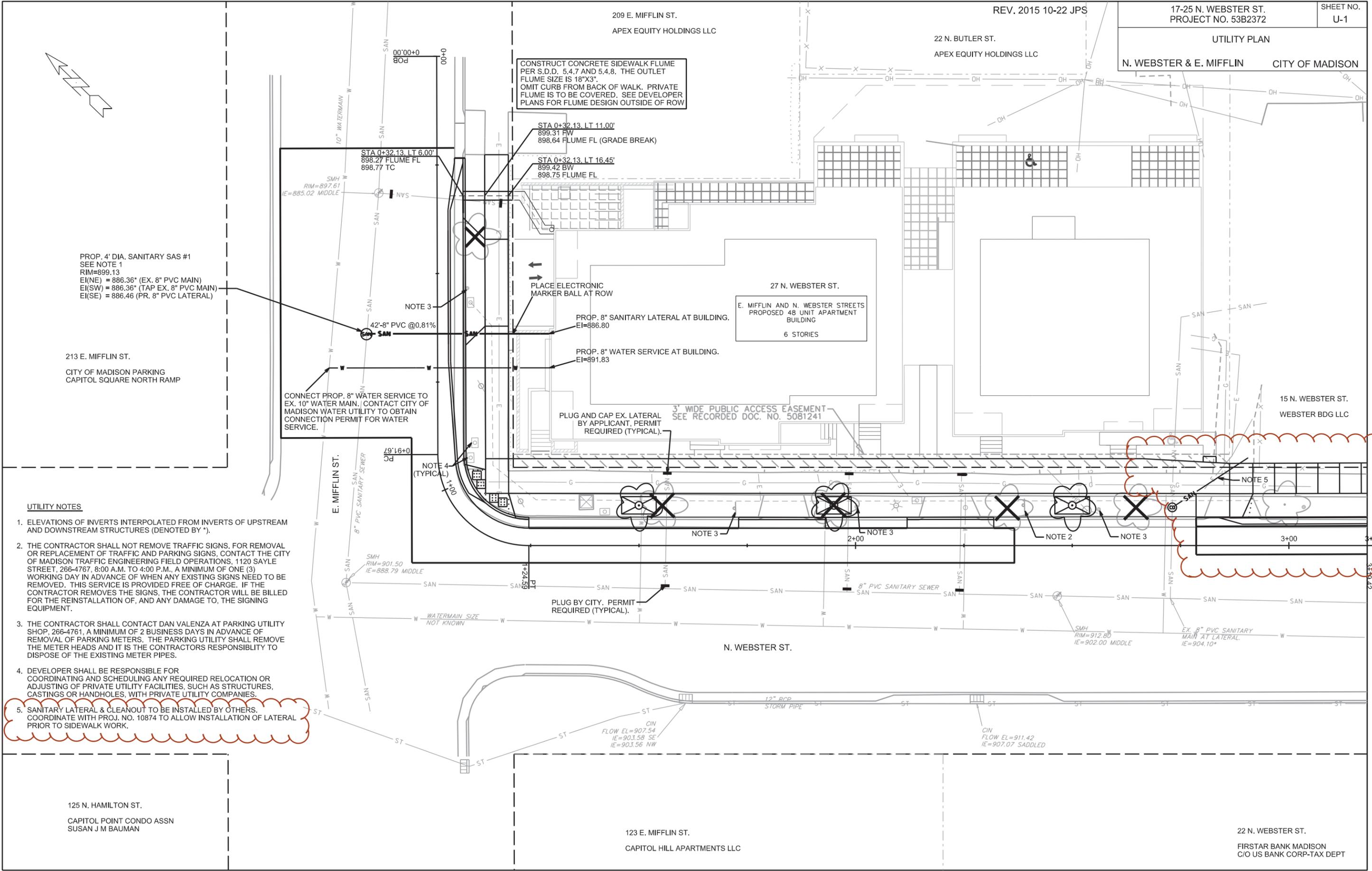
22 N. WEBSTER ST.
FIRSTAR BANK MADISON
C/O US BANK CORP-TAX DEPT



- NOTES:
- MILL & OVERLAY LIMITS ARE APPROXIMATE. PATCH PAVEMENT PER CITY'S PATCHING CRITERIA. MILL & OVERLAY MAY NOT BE NECESSARY IF PAVEMENT IS UNDAMAGED, AS DECIDED BY THE CONSTRUCTION ENGINEER. FINAL MILL & OVERLAY LIMITS TO BE DETERMINED BY THE CONSTRUCTION ENGINEER.
 - REMOVE CONCRETE DRIVEWAY APRON AND REPLACE WITH 5" CONCRETE TERRACE.
 - SEE SHEET D-3 FOR MODIFIED TYPE 'X' DETAIL AND S.D.D. 3.07 FOR TYPE 'X' DETAIL.
 - SANITARY LATERAL & CLEANOUT TO BE INSTALLED BY OTHERS. COORDINATE WITH PROJ. NO. 10874 TO ALLOW INSTALLATION OF LATERAL PRIOR TO SIDEWALK WORK.



PLOT SCALE: _____
 PLOT NAME: _____
 REV. DATE: _____
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ORIGINATOR: CITY OF MADISON, STREETS DIVISION

REV. DATE: _____

PLOT NAME: _____

PLOT SCALE: _____

UTILITY PLAN

N. WEBSTER & E. MIFFLIN CITY OF MADISON

PROP. 4" DIA. SANITARY SAS #1
SEE NOTE 1
RIM=899.13
EI(NE) = 886.36* (EX. 8" PVC MAIN)
EI(SW) = 886.36* (TAP EX. 8" PVC MAIN)
EI(SE) = 886.46 (PR. 8" PVC LATERAL)

213 E. MIFFLIN ST.
CITY OF MADISON PARKING
CAPITOL SQUARE NORTH RAMP

- UTILITY NOTES**
- ELEVATIONS OF INVERTS INTERPOLATED FROM INVERTS OF UPSTREAM AND DOWNSTREAM STRUCTURES (DENOTED BY *).
 - THE CONTRACTOR SHALL NOT REMOVE TRAFFIC SIGNS. FOR REMOVAL OR REPLACEMENT OF TRAFFIC AND PARKING SIGNS, CONTACT THE CITY OF MADISON TRAFFIC ENGINEERING FIELD OPERATIONS, 1120 SAYLE STREET, 266-4767, 8:00 A.M. TO 4:00 P.M., A MINIMUM OF ONE (3) WORKING DAY IN ADVANCE OF WHEN ANY EXISTING SIGNS NEED TO BE REMOVED. THIS SERVICE IS PROVIDED FREE OF CHARGE. IF THE CONTRACTOR REMOVES THE SIGNS, THE CONTRACTOR WILL BE BILLED FOR THE REINSTALLATION OF, AND ANY DAMAGE TO, THE SIGNING EQUIPMENT.
 - THE CONTRACTOR SHALL CONTACT DAN VALENZA AT PARKING UTILITY SHOP, 266-4761, A MINIMUM OF 2 BUSINESS DAYS IN ADVANCE OF REMOVAL OF PARKING METERS. THE PARKING UTILITY SHALL REMOVE THE METER HEADS AND IT IS THE CONTRACTORS RESPONSIBILITY TO DISPOSE OF THE EXISTING METER PIPES.
 - DEVELOPER SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ANY REQUIRED RELOCATION OR ADJUSTING OF PRIVATE UTILITY FACILITIES, SUCH AS STRUCTURES, CASTINGS OR HANDHOLES, WITH PRIVATE UTILITY COMPANIES.
 - SANITARY LATERAL & CLEANOUT TO BE INSTALLED BY OTHERS. COORDINATE WITH PROJ. NO. 10874 TO ALLOW INSTALLATION OF LATERAL PRIOR TO SIDEWALK WORK.

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CONSTRUCT CONCRETE SIDEWALK FLUME PER S.D.D. 5.4.7 AND 5.4.8. THE OUTLET FLUME SIZE IS 18"X3". OMIT CURB FROM BACK OF WALK. PRIVATE FLUME IS TO BE COVERED. SEE DEVELOPER PLANS FOR FLUME DESIGN OUTSIDE OF ROW

STA 0+32.13, LT 11.00'
899.31 FW
898.64 FLUME FL (GRADE BREAK)

STA 0+32.13, LT 16.45'
899.42 BW
898.75 FLUME FL

STA 0+32.13, LT 6.00'
898.27 FLUME FL
898.77 TC

PLACE ELECTRONIC MARKER BALL AT WALK

PROP. 8" SANITARY LATERAL AT BUILDING.
EI=886.80

PROP. 8" WATER SERVICE AT BUILDING.
EI=891.83

3' WIDE PUBLIC ACCESS EASEMENT
SEE RECORDED DOC. NO. 5081241

CONNECT PROP. 8" WATER SERVICE TO EX. 10" WATER MAIN. CONTACT CITY OF MADISON WATER UTILITY TO OBTAIN CONNECTION PERMIT FOR WATER SERVICE.

PLUG BY CITY. PERMIT REQUIRED (TYPICAL).

NOTE 3

NOTE 3

NOTE 2

NOTE 3

NOTE 5

NOTE 4 (TYPICAL)

SMH
RIM=901.50
IE=888.79 MIDDLE

SMH
RIM=897.61
IE=885.02 MIDDLE

SMH
RIM=912.80
IE=902.00 MIDDLE

EX. 8" PVC SANITARY MAIN AT LATERAL
IE=904.10*

CIN
FLOW EL=907.54
IE=903.58 SE
IE=903.56 NW

CIN
FLOW EL=911.42
IE=907.07 SADDLED

WATERMAIN SIZE NOT KNOWN

8" PVC SANITARY SEWER

8" PVC SANITARY SEWER

10" WATERMAIN

42"-8" PVC @0.81%

12" RCP STORM PIPE

3" WIDE PUBLIC ACCESS EASEMENT

PLUG AND CAP EX. LATERAL BY APPLICANT, PERMIT REQUIRED (TYPICAL).

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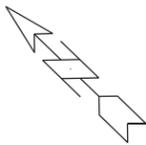
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209 E. MIFFLIN ST.
APEX EQUITY HOLDINGS LLC

REV. 2015 10-20 JPS

17-25 N. WEBSTER ST.
PROJECT NO. 53B2372

SHEET NO.
L-1

22 N. BUTLER ST.
APEX EQUITY HOLDINGS LLC

LANDSCAPING PLAN
N. WEBSTER & E. MIFFLIN CITY OF MADISON

E. MIFFLIN ST.

27 N. WEBSTER ST.

E. MIFFLIN AND N. WEBSTER STREETS
PROPOSED 48 UNIT APARTMENT
BUILDING
6 STORIES

213 E. MIFFLIN ST.
CITY OF MADISON PARKING
CAPITOL SQUARE NORTH RAMP

3' WIDE PUBLIC ACCESS EASEMENT
SEE RECORDED DOC. NO. 5081241

15 N. WEBSTER ST.
WEBSTER BDG LLC

PLOT SCALE: _____

PLOT NAME: _____

REV. DATE: _____

ORIGINATOR: CITY OF MADISON, STREETS DIVISION

INSTALL 4'X8' TREE GRATE,
INCLUDING FRAME (SEE
DETAIL). PLANT
STREET KEEPER
HONEYLOCUST AT
STA 1+50

INSTALL 4'X8' TREE GRATE, INCLUDING
FRAME (SEE DETAIL). PLANT PRINCETON
SENTRY GINGKO AT STA 1+95

INSTALL 4'X8' TREE GRATE, INCLUDING
FRAME (SEE DETAIL). PLANT AMERICAN
SENTRY LINDEN AT STA 2+50

N. WEBSTER ST.

CIN
FLOW EL=907.54
IE=903.58 SE
IE=903.56 NW

CIN
FLOW EL=911.42
IE=907.07 SADDLED

NOTE:
CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) AT LEAST ONE
WEEK PRIOR TO PLANTING TO SCHEDULE MARKING THE PLANTING SITE,
INSPECTING THE NURSERY STOCK, AND REVIEWING PLANTING
SPECIFICATIONS WITH THE LANDSCAPER.

125 N. HAMILTON ST.
CAPITOL POINT CONDO ASSN
SUSAN J M BAUMAN

123 E. MIFFLIN ST.
CAPITOL HILL APARTMENTS LLC

22 N. WEBSTER ST.
FIRSTAR BANK MADISON
C/O US BANK CORP-TAX DEPT