



November 27th, 2023

City of Madison Urban Design Commission
215 Martin Luther King Jr. Blvd.
P.O Box 2985
Madison, WI 53701-2985

RE: 1302 S Midvale Blvd.
UDC Informational – Letter of Intent

Dear Commission Members,

On behalf of 401 North Third Street NV, LLC, Sketchworks Architecture, LLC is submitting this letter of intent and application for an informational meeting regarding Concept Site, Building Plans and Elevations at 1302 S Midvale Blvd. Our submittal is for a new 55-unit, mixed-use apartment building with first floor retail space and rooftop amenity space on the corner of Midvale Blvd. and Hammersley Rd.

The site is zoned Commercial Corridor Transitional (CC-T). The intended use is a permitted use and specific first floor retail tenants will be reviewed on a tenant-by-tenant basis and is not presently part of this review. As the site is cross connected with other lots, we will be applying for a major alteration to an existing conditional use. This site is also not part of any Urban Design Districts.

On June 29th, 2023, we presented our concept to the Madison Development Assistance Team through a DAT meeting and are designing per their recommendations.

The Alderperson of District 10 is Alder Figueroa Cole and was part of the earlier DAT meeting and separately met with the design team for more specific recommendations.

Proposal Summary:

New seven-story, mixed-use building with residential, retail, and amenity space.

Existing Conditions:

The proposed lot contains a vacant, single-story standalone retail building that will be demolished. The borders of the site to the North and East are Hammersley Rd. and Midvale Blvd., to the west are a series of four-unit rental properties, and to the south is a series of strip retails and restaurants. There are two existing curb cuts to the north, one of which we will be closing. There exists a cross access easement that will be maintained from Hammersley Rd to the strip retail to the south. On the South-East corner, there is a bus stop with no shelter.

Legal Description:

LOT 1 OF CERTIFIED SURVEY MAP NO 2274 RECORDED IN DANE COUNTY REGISTER OF DEEDS IN VOLUME 9 PAGE 95 OF CERTIFIED SURVEYS, EXCEPT THAT PART AS DESCRIBED IN DOC 5042004 FOR ROAD ROW. (*Abbreviated*)

Proposed Uses:

The proposed uses of the building are as follows:

- Approximately 9,500 SF First floor retail rented as one large tenant or subdivided into up to four smaller tenants with shared common space.
- 55 apartment units including Studios, 1 Bedrooms, and 2 Bedrooms.
- Second floor and seventh floor amenity spaces including a fitness room, clubroom, and a rooftop patio space.

Design Attributes:

This development seeks to effectively utilize and respect the prominence of the intersection it is located on to act as both a gateway into the neighborhoods and an anchor for any future developments along this strip. We also are using this opportunity to promote pedestrian traffic in the area through a combination of encouraging public transportation with a thoughtfully designed bus stop area and walkable first floor retail areas.

This building proposed is 7 stories above grade with one level of secure underground parking.

The building features an rooftop patio space that overlooks the Madison skyline at the North-East Corner, including views of the UW-Arboretum and Lake Wingra, along with distant views of the Capital Building and Lake Monona. We are providing a variety of types of spaces for residents to use, both interior and exterior.

Formally, we use vertically oriented masses with horizontal linear elements to provide both texture and layering within the façade with an otherwise intentionally limited palette of materials. Our exterior materials are intended to be thoughtful and cohesive with the context of the border between the commercial and residential zones, and to provide that transitional characteristic intended by this zoning district.

Site Planning:

On the existing site there are (2) curb cuts on Hammersley Rd. We will be closing the one closest to the Midvale Blvd intersection and maintaining the cross access between the entrance and the property directly to the south. Closing this curb cut will also have the added benefit of improving the traffic flow by minimizing congestion at the intersection.

Elsewhere on the site, we will be providing an integrated shelter to be a continuation of the building architecture for the existing bus stop on Midvale Blvd.

Parking:

There will be 38 surface stalls and 43 secure underground parking spaces (81 total). 2 stalls in each area will be van accessible.

Building / Site Relationships:

The building will be in the North-East corner of the site promoting pedestrian traffic and access to retail uses, with vehicle parking behind the building, near the main entrance. There will be direct access from the existing bus stop to the main retail and residential entrance.

Lighting:

Site lighting has not been developed yet.

Utilities:

Utilities serving the building will be underground. Final design and layout to be determined.

Signs:

The signage package is to be designed in conformance with MGO regulations. Specific signage will be addressed in a separate submittal.

In summary, the project will consist of the general criteria below:

Zoning District:

This Property is Currently Zoned CC-T.

UDC District:

This property is not within any Urban Design Districts.

Project Schedule:

The Current Milestone Schedule is as follows:

- | | |
|----------------------------------|----------------------------------|
| • Initial DAT Meeting: | June 29 th , 2023 |
| • Alder Notification: | November 6 th , 2023 |
| • Neighborhood Announcement: | November 24 th , 2023 |
| • UDC Informational: | December 13 th , 2023 |
| • Neighborhood Meeting 1: | January 8 th , 2024 |
| • UDC Initial Approval: | February 12 th , 2024 |
| • Submit Land Use Application: | March 25 th , 2024 |
| • UDC Final Approval: | May 8 th , 2024 |
| • Plan Commission (Assumed): | May 20 th , 2024 |
| • Common Council Meeting: | June 4 th , 2024 |
| • Submit Site Plan verification: | July 2024 |
| • Submit Building Inspection: | August 2024 |
| • Begin Construction: | October 2024 |

These dates are estimates based on meeting dates and favorable results, and therefore may be subject to adjustment as the project progresses through the approval process.

Project Team:

The Key individuals and firms involved in the planning and design of the project include:

Building Owner:
401 North Third Street NV, LLC
6357 State Road 23
Spring Green WI 53533
Member: Jeffery J. Jacobsen



Architect:
Sketchworks Architecture, LLC
2501 Parmenter Street, Suite 300A
Middleton, WI 53562
Contact: Ian Luecht
(608) 836-7570

Civil Engineer:
Quam Engineering, LLC
4604 Siggelkow Rd, Suite A
McFarland, WI 53558
Contact: Ryan Quam
(608) 838-7750

Please feel free to contact us with any questions you may have regarding this request.

Respectfully,

Ian Luecht
Sketchworks Architecture, LLC

MIDVALE MIXED USE

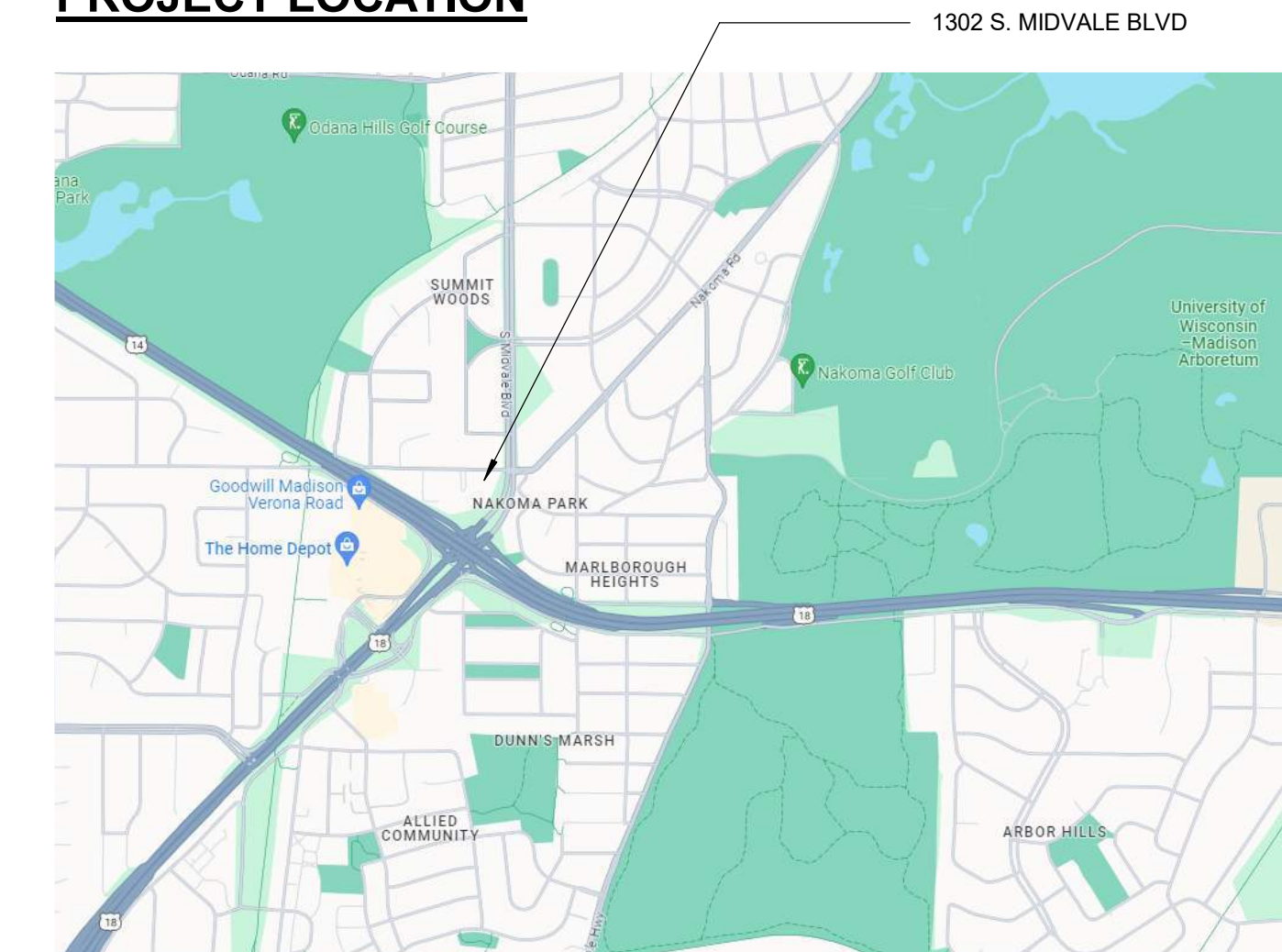
1302 MIDVALE BLVD
MADISON, WI 53711

SHEET INDEX

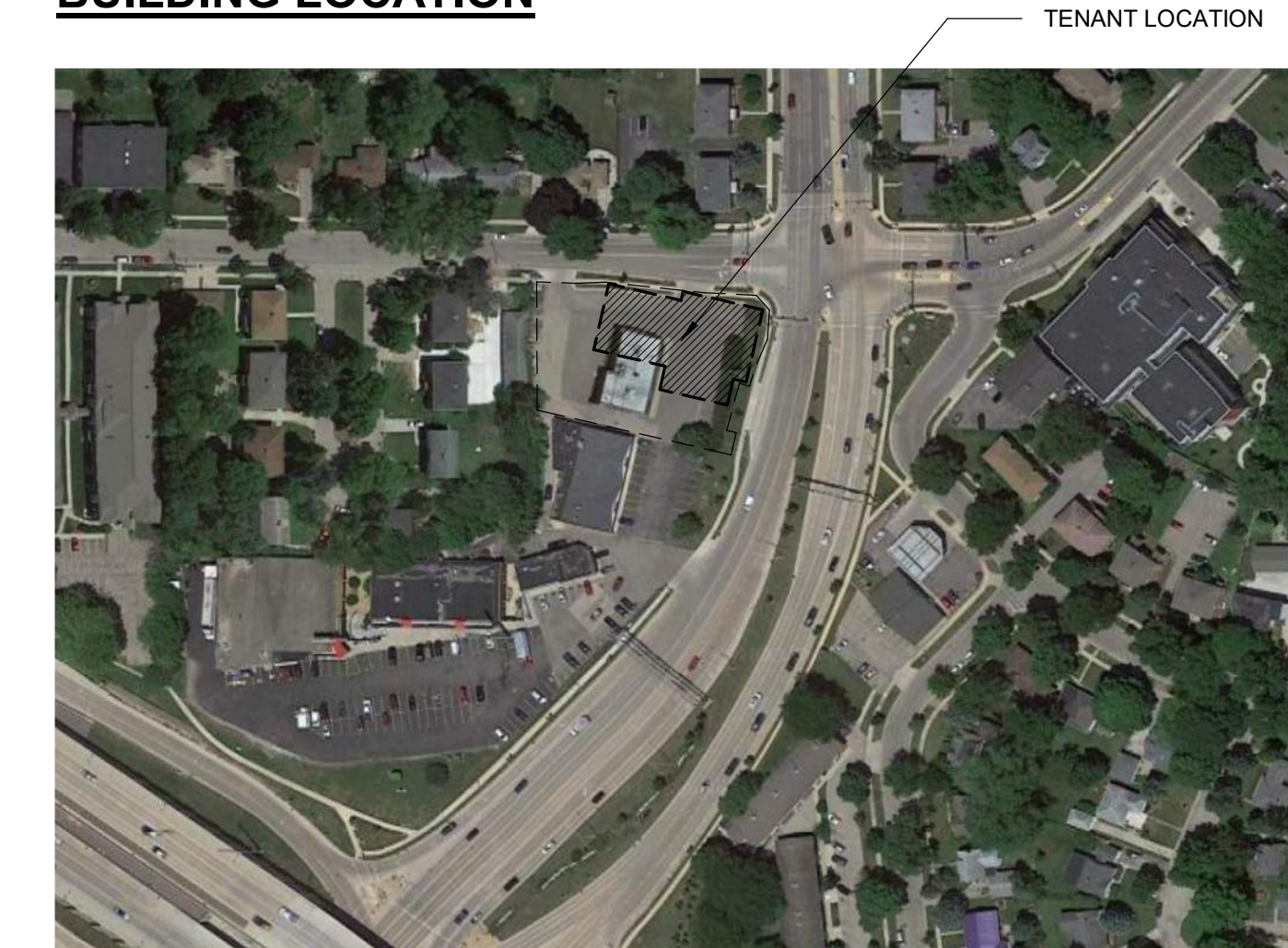
SHEET NUMBER	SHEET NAME	REVISIONS	
		MARK	DATE
GENERAL			
G000	COVER SHEET - UDC		
G003	EXISTING SITE PHOTOS		
G004	CONTEXT PHOTOS		
G005	CONTEXT PHOTOS		
G006	ROOFTOP VIEWS		
CIVIL			
C101	EXISTING CONDITIONS		
C201	SITE PLAN		
C301	GRADING PLAN		
C302	EROSION CONTROL PLAN		
C401	UTILITY PLAN		
ARCHITECTURAL			
A100	LOWER LEVEL FLOOR PLAN		
A101	FIRST FLOOR PLAN		
A102	SECOND FLOOR PLAN		
A103	TYP. UNIT FLOOR PLAN		
A107	SEVENTH FLOOR PLAN		
A120	ROOF PLAN		
A201	EXTERIOR ELEVATIONS		
A202	EXTERIOR ELEVATIONS		
A203	EXTERIOR ELEVATIONS		
A204	EXTERIOR ELEVATIONS		



PROJECT LOCATION



BUILDING LOCATION



MIDVALE MIXED USE

NEW CONSTRUCTION

1302 MIDVALE BLVD
MADISON, WI 53711

Project Status

2023.11.06 EXTERIOR REVIEW

PROJ. #: 22235-01

© SKETCHWORKS
ARCHITECTURE 2022

**COVER SHEET
- UDC**

G000

PROJECT CONTACTS:

OWNER:
[COMPANY NAME]
[ADDRESS]
[CITY, STATE ZIP CODE]

ARCHITECT:
SKETCHWORKS ARCHITECTURE, LLC
2501 PARMENTER STREET, SUITE 100B
MIDDLETON, WI 53562

CONTACT:
RANDY MANNING (OWNER)

CONTACT:
STEVE SHULFER (ARCHITECT)
IAN LUECHT (DESIGNER / CONTACT)
608-836-7570

SD SET

D

C

B

A



MIDVALE MIXED USE

NEW CONSTRUCTION
1302 MIDVALE BLVD
MADISON, WI 53711

Project Status

2023.11.06 EXTERIOR REVIEW

PROJ. #: 22235-01

© SKETCHWORKS ARCHITECTURE 2022

EXISTING SITE PHOTOS

G003

D



C



B



A

MIDVALE MIXED USE

NEW CONSTRUCTION
1302 MIDVALE BLVD
MADISON, WI 53711

Project Status

2023.11.06 EXTERIOR REVIEW

PROJ. #: 22235-01

© SKETCHWORKS
ARCHITECTURE 2022

**CONTEXT
PHOTOS**

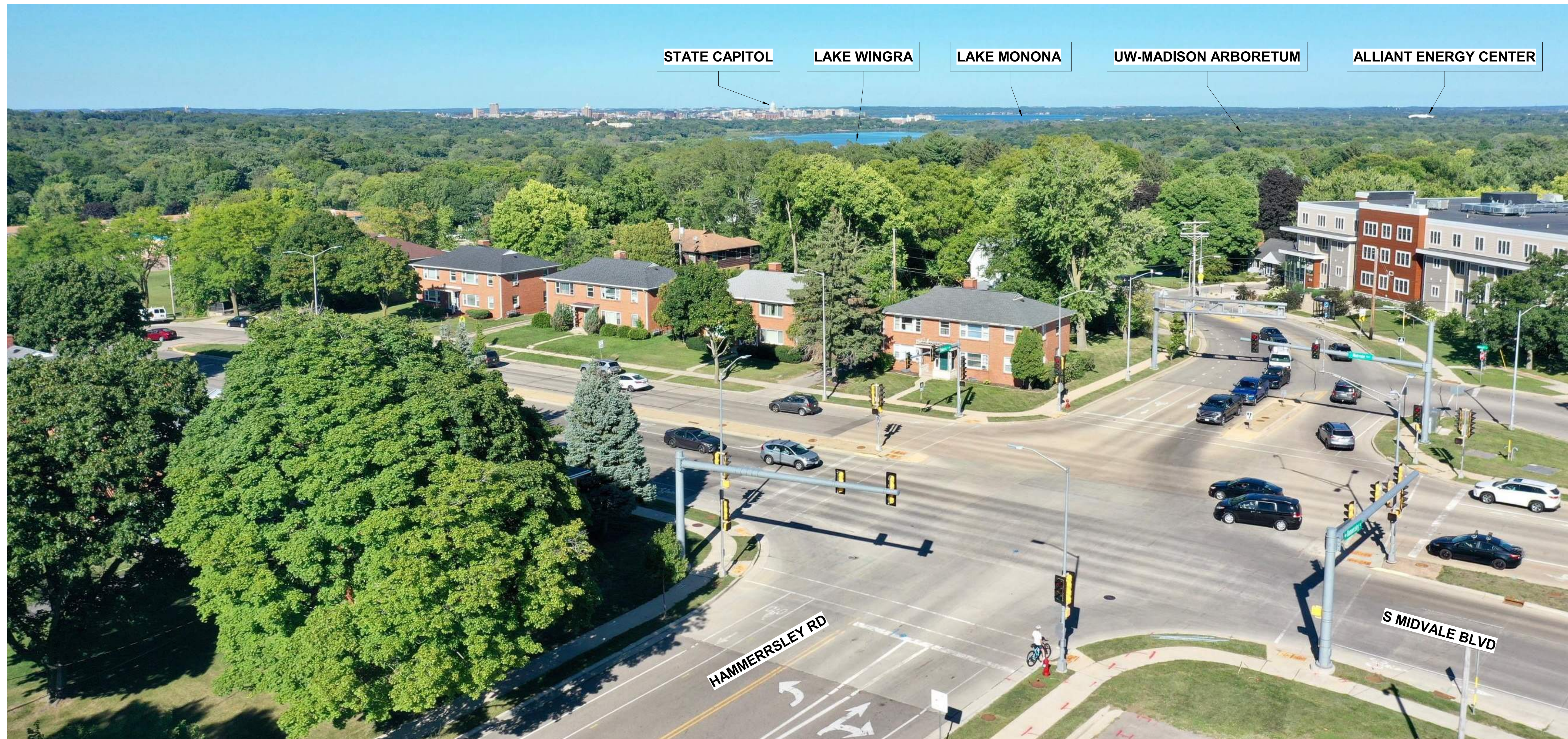
G004

D

C

B

A



MIDVALE MIXED USE

NEW CONSTRUCTION
1302 MIDVALE BLVD
MADISON, WI 53711

Project Status

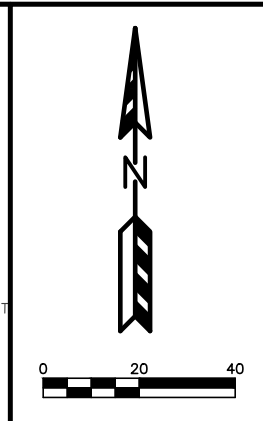
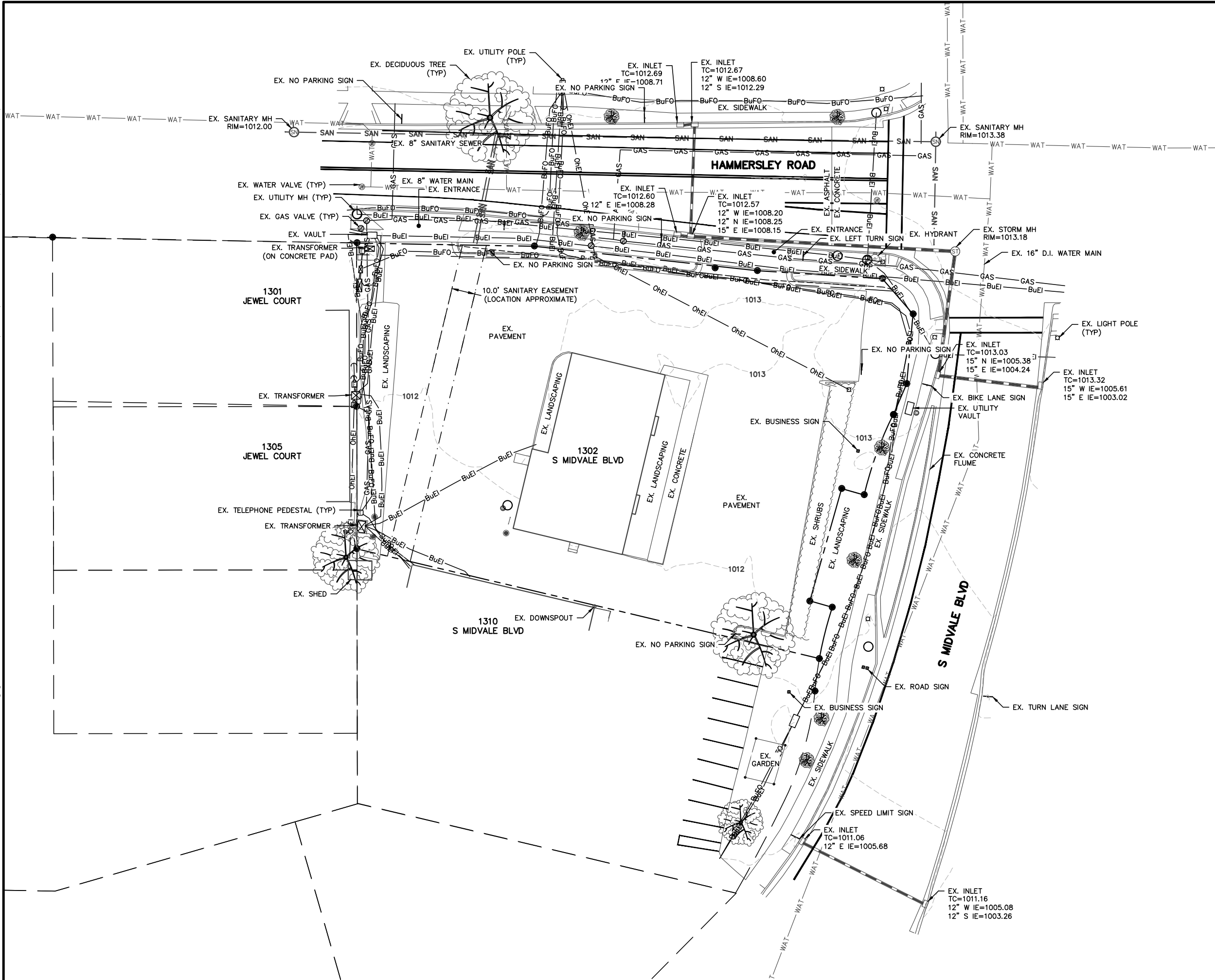
2023.11.06 | EXTERIOR REVIEW

PROJ. #: 22235-01

© SKETCHWORKS
ARCHITECTURE 2022

**ROOFTOP
VIEWS**

G006



EXISTING UTILITY NOTES:
 EXISTING UTILITIES SHOWN HEREON WERE REQUESTED THROUGH DIGGERS HOTLINE WITH TICKET #20232202801, #20232202765, #20232202783, #20232202881, #20232202833, & #20232202829 AND WERE MARKED BY OTHERS. UNDERGROUND UTILITY MARKINGS WERE COLLECTED DURING THE TOPOGRAPHIC COLLECTION PERFORMED JUNE 7, 2023.

THE WATER MAIN SIZE AND LOCATION WAS DETERMINED BY CITY OF MADISON SURVEY DATA. CONTRACTOR SHALL VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION.

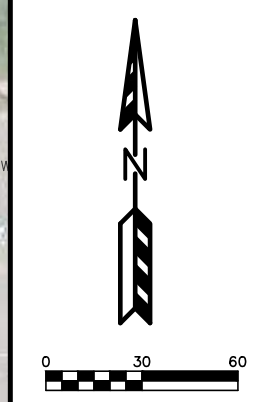
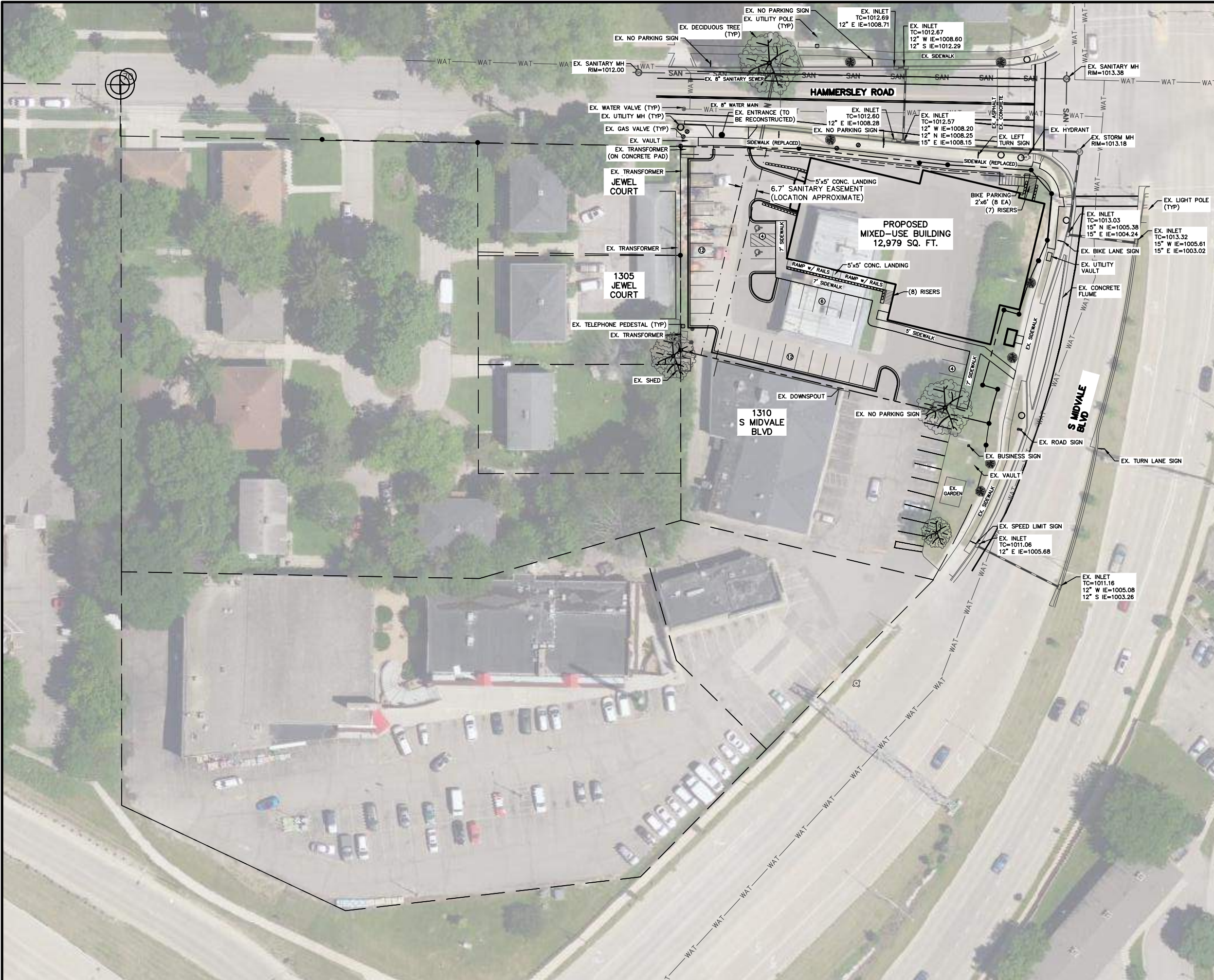
THE SANITARY SEWER SIZE WAS DETERMINED BY CITY OF MADISON GIS INFORMATION. CONTRACTOR SHALL VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION.

LEGEND FOR COMMON LINES:

--- 1013 ---	- EXISTING MINOR CONTOUR
---	- PROPERTY LINE
- - -	- EASEMENT LINE
WAT	- EXISTING BURIED WATER MAIN/SERVICE
SAN	- EXISTING BURIED SANITARY SEWER/LATERAL
GAS	- EXISTING BURIED GAS LINE
BuFO	- EXISTING BURIED FIBER OPTIC LINE
BuEI	- EXISTING BURIED ELECTRIC LINE
OhEI	- EXISTING OVERHEAD ELECTRIC LINE

1300 S MIDVALE MIXED USE DEVELOPMENT
 EXISTING SITE PLAN
 SHEET: C-1
 DATED: AUGUST 7, 2023

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



EXISTING UTILITY NOTES:
 EXISTING UTILITIES SHOWN HEREON WERE REQUESTED THROUGH DIGGERS HOTLINE WITH TICKET #20232202801, #20232202765, #20232202783, #20232202881, #20232202833, & #20232202829 AND WERE MARKED BY OTHERS. UNDERGROUND UTILITY MARKINGS WERE COLLECTED DURING THE TOPOGRAPHIC COLLECTION PERFORMED JUNE 7, 2023.

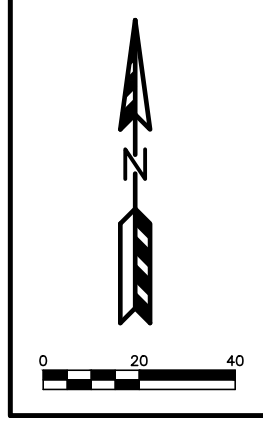
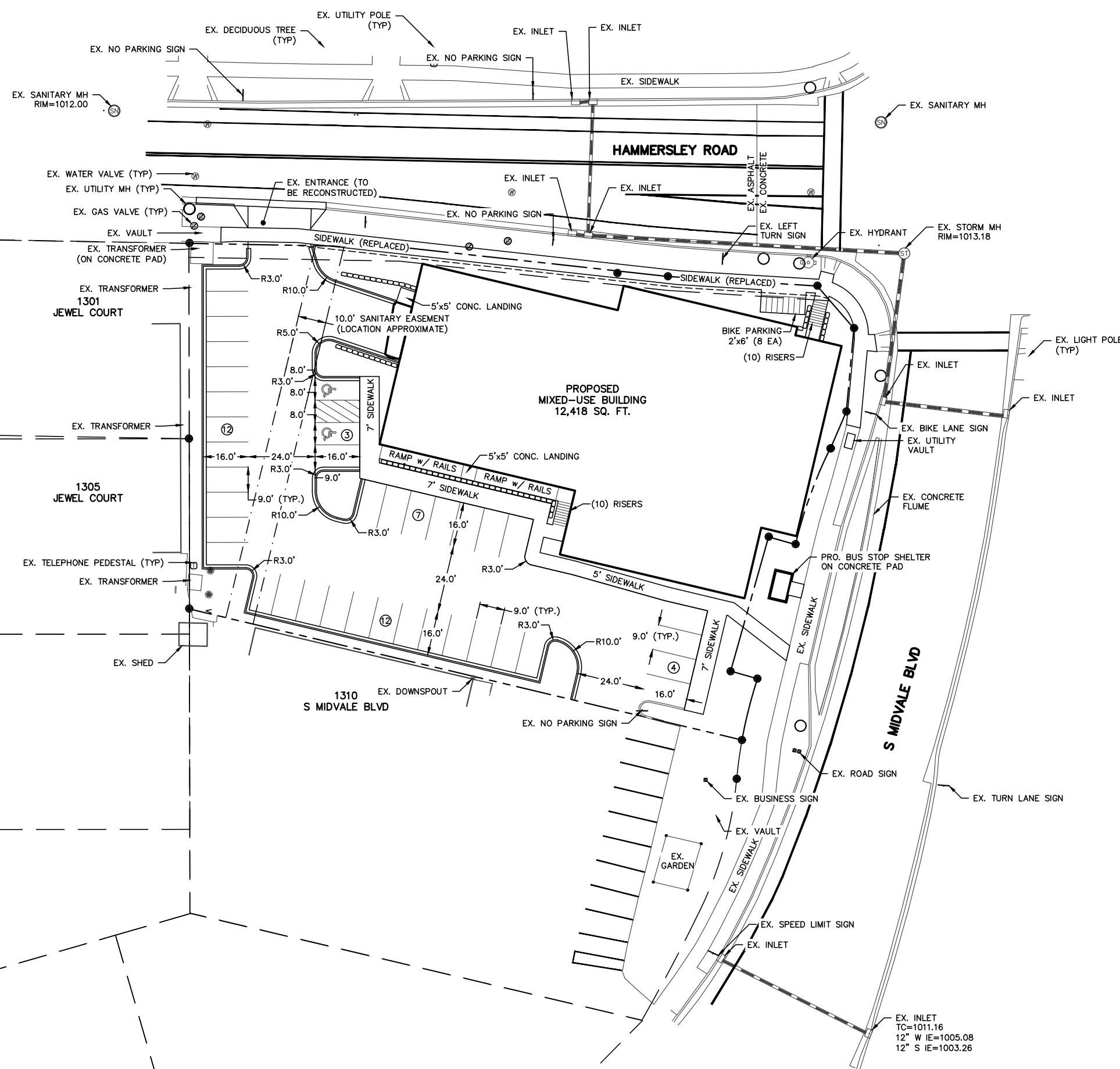
THE WATER MAIN SIZE AND LOCATION WAS DETERMINED BY CITY OF MADISON SURVEY DATA. CONTRACTOR SHALL VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION.
 THE SANITARY SEWER SIZE WAS DETERMINED BY CITY OF MADISON GIS INFORMATION. CONTRACTOR SHALL VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION.

LEGEND FOR COMMON LINES:

--- 1013 ---	- EXISTING MINOR CONTOUR
---	- PROPERTY LINE
- - - - -	- EASEMENT LINE
WAT	- EXISTING BURIED WATER MAIN/SERVICE
SAN	- EXISTING BURIED SANITARY SEWER/LATERAL
GAS	- EXISTING BURIED GAS LINE
BuFO	- EXISTING BURIED FIBER OPTIC LINE
BuEI	- EXISTING BURIED ELECTRIC LINE
OhEI	- EXISTING OVERHEAD ELECTRIC LINE

1300 S MIDVALE MIXED USE DEVELOPMENT
 OVERALL SITE PLAN
 SHEET: C-2
 DATED: AUGUST 7, 2023

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



PARKING LOT PLAN SITE INFORMATION BLOCK	
Site Address	1300 S MIDVALE BOULEVARD
Site acreage (total)	0.75 Acres
Number of building stories (above grade)	???
DSPS type of construction (new structures or additions)	NEW
Total square footage of building	12,418 SF
Parking square footage	XX,XXX SF
Total impervious square footage	XX,XXX SF
Use of property	MIXED USE
Number of bicycle stalls shown	8
Number of Parking stalls:	36
Number of Accessible stalls:	2
Total Number of Parking stalls:	38
Number of trees shown (See Landscape Plan)	

EXISTING UTILITY NOTES:
 EXISTING UTILITIES SHOWN HEREON WERE REQUESTED THROUGH DIGGERS HOTLINE WITH TICKET #20232202801, #20232202765, #20232202783, #20232202881, #20232202833, & #20232202829 AND WERE MARKED BY OTHERS. UNDERGROUND UTILITY MARKINGS WERE COLLECTED DURING THE TOPOGRAPHIC COLLECTION PERFORMED JUNE 7, 2023.

THE WATER MAIN SIZE AND LOCATION WAS DETERMINED BY CITY OF MADISON SURVEY DATA. CONTRACTOR SHALL VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION.

THE SANITARY SEWER SIZE WAS DETERMINED BY CITY OF MADISON GIS INFORMATION. CONTRACTOR SHALL VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION.

LEGEND FOR COMMON LINES:

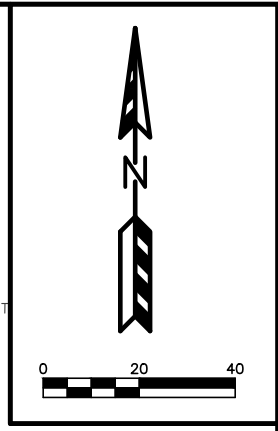
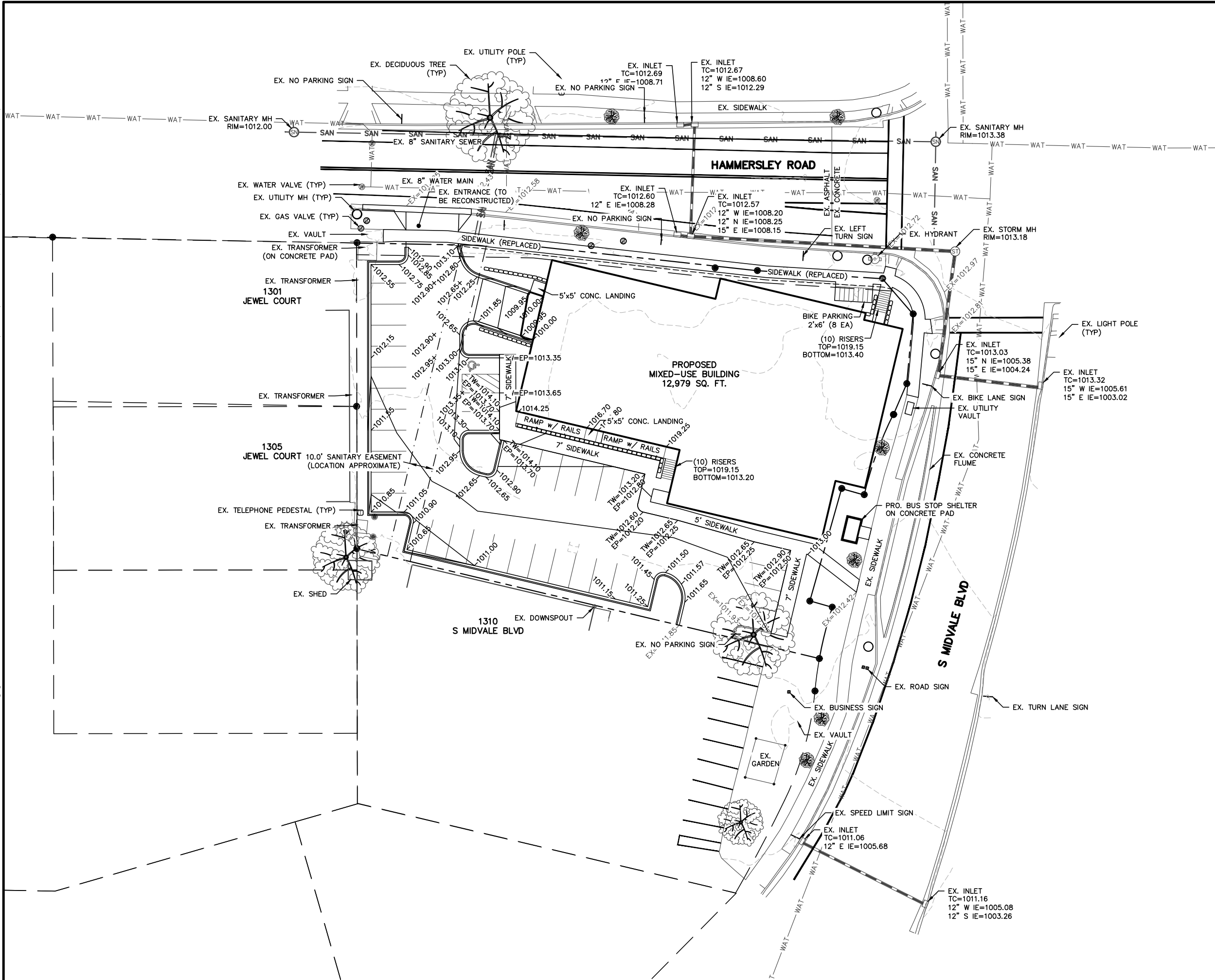
---	1013	- EXISTING MINOR CONTOUR
---		- PROPERTY LINE
---		- EASEMENT LINE
---	WAT	- EXISTING BURIED WATER MAIN/SERVICE
---	SAN	- EXISTING BURIED SANITARY SEWER/LATERAL
---	GAS	- EXISTING BURIED GAS LINE
---	BuFO	- EXISTING BURIED FIBER OPTIC LINE
---	BuEI	- EXISTING BURIED ELECTRIC LINE
---	OhEI	- EXISTING OVERHEAD ELECTRIC LINE

1300 S MIDVALE MIXED USE DEVELOPMENT
PROPOSED SITE PLAN
 SHEET: C-2
 DATED: AUGUST 7, 2023

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com

4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

EX. INLET
 TC=1011.16
 12" W IE=1005.08
 12" S IE=1003.26



EXISTING UTILITY NOTES:
 EXISTING UTILITIES SHOWN HEREON WERE REQUESTED THROUGH DIGGERS HOTLINE WITH TICKET #20232202801, #20232202765, #20232202783, #20232202881, #20232202833, & #20232202829 AND WERE MARKED BY OTHERS. UNDERGROUND UTILITY MARKINGS WERE COLLECTED DURING THE TOPOGRAPHIC COLLECTION PERFORMED JUNE 7, 2023.

THE WATER MAIN SIZE AND LOCATION WAS DETERMINED BY CITY OF MADISON SURVEY DATA. CONTRACTOR SHALL VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION.

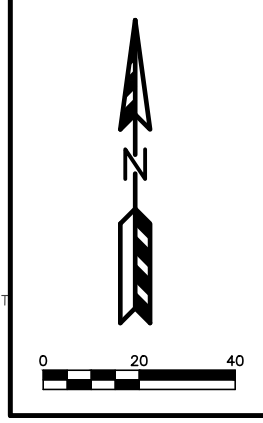
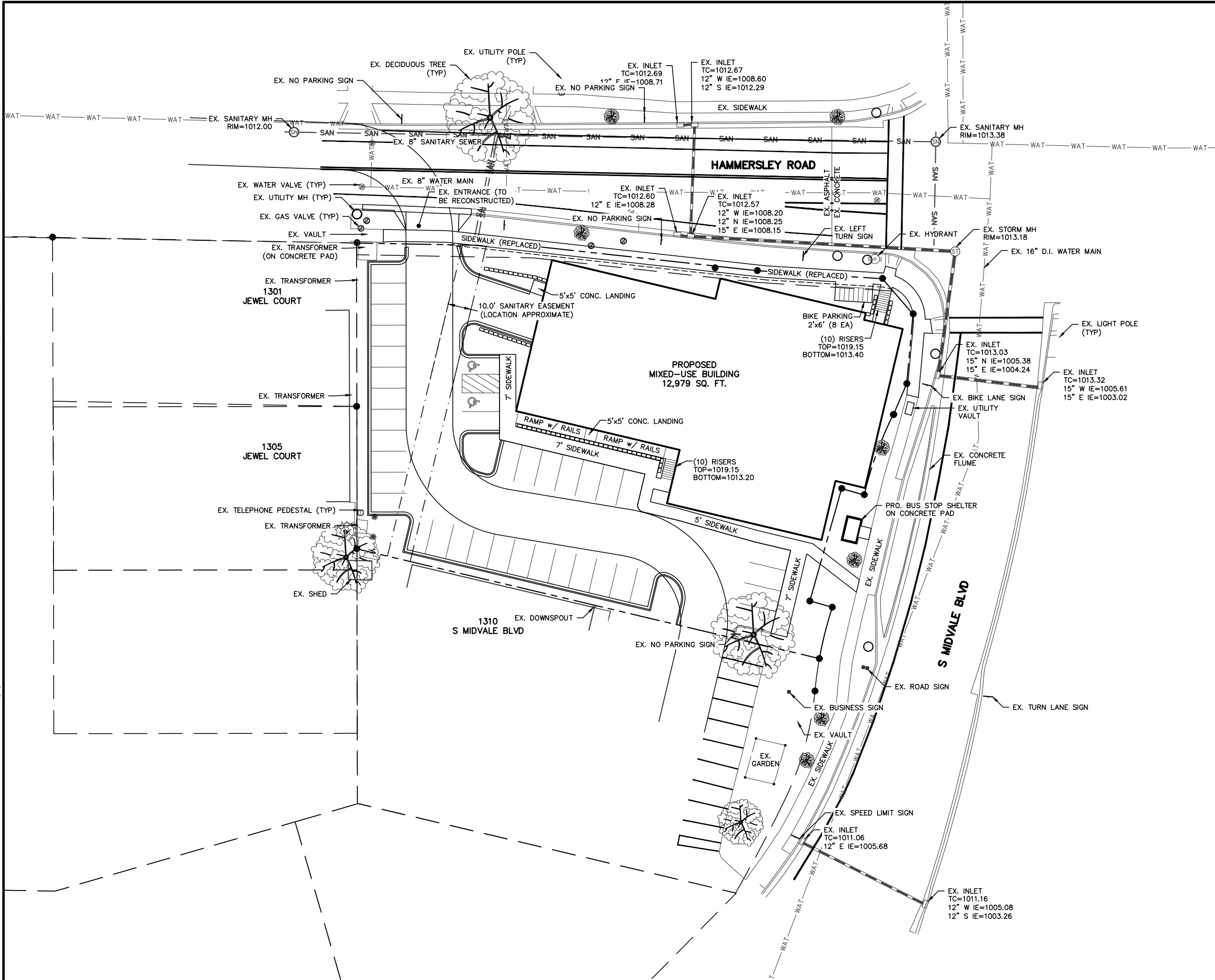
THE SANITARY SEWER SIZE WAS DETERMINED BY CITY OF MADISON GIS INFORMATION. CONTRACTOR SHALL VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION.

LEGEND FOR COMMON LINES:

--- 1013 ---	- EXISTING MINOR CONTOUR
---	- PROPERTY LINE
- - -	- EASEMENT LINE
WAT	- EXISTING BURIED WATER MAIN/SERVICE
SAN	- EXISTING BURIED SANITARY SEWER/LATERAL
GAS	- EXISTING BURIED GAS LINE
BuFO	- EXISTING BURIED FIBER OPTIC LINE
BuEI	- EXISTING BURIED ELECTRIC LINE
OhEI	- EXISTING OVERHEAD ELECTRIC LINE

1300 S MIDVALE MIXED USE DEVELOPMENT
 GRADING AND EROSION CONTROL PLAN
 SHEET: C-3
 DATED: AUGUST 7, 2023

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



EXISTING UTILITY NOTES:
 EXISTING UTILITIES SHOWN HEREON WERE REQUESTED THROUGH DIGGERS HOTLINE WITH TICKET #20232202801, #20232202765, #20232202783, #20232202881, #20232202833, & #20232202829 AND WERE MARKED BY OTHERS. UNDERGROUND UTILITY MARKINGS WERE COLLECTED DURING THE TOPOGRAPHIC COLLECTION PERFORMED JUNE 7, 2023.

THE WATER MAIN SIZE AND LOCATION WAS DETERMINED BY CITY OF MADISON SURVEY DATA. CONTRACTOR SHALL VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION.

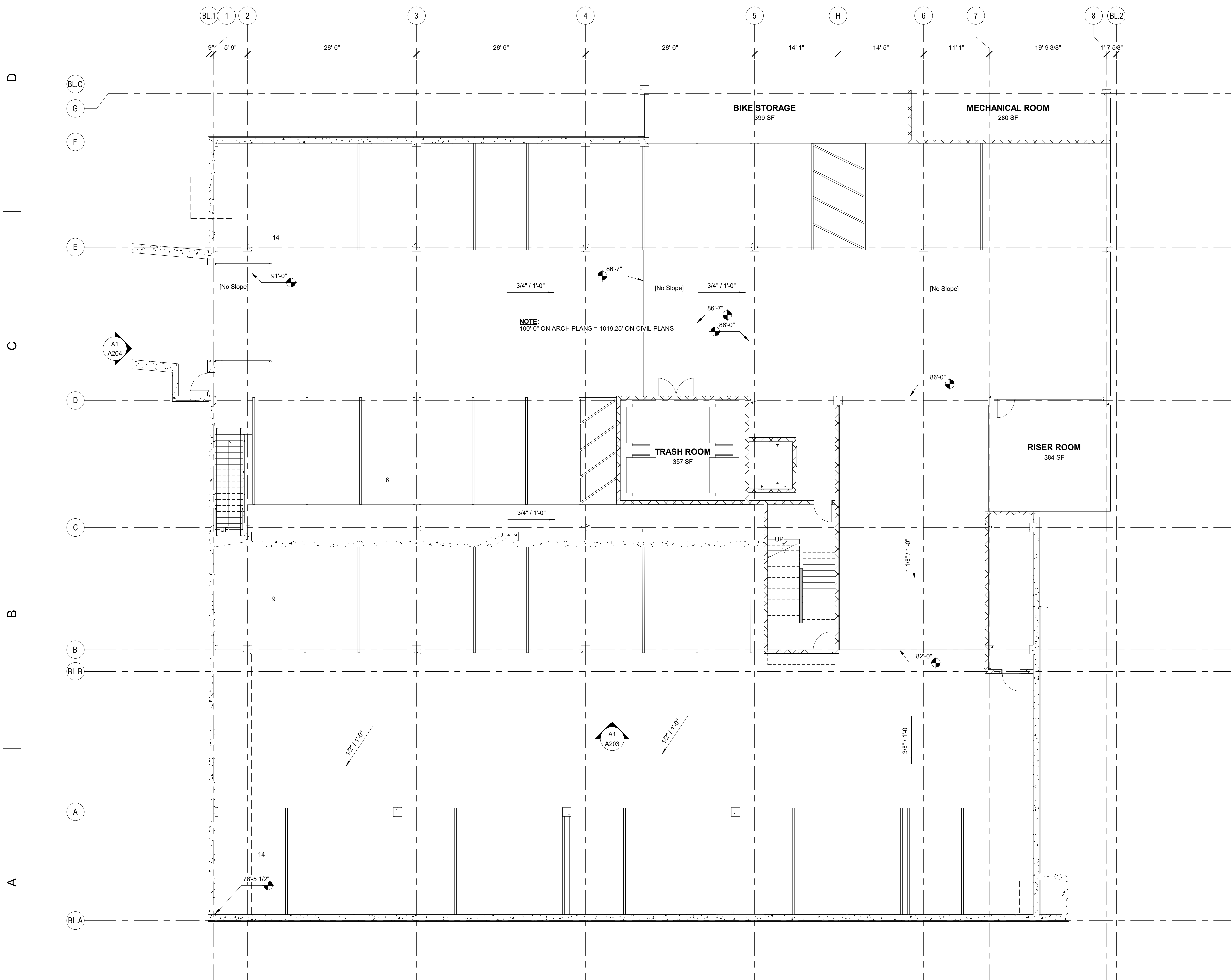
THE SANITARY SEWER SIZE WAS DETERMINED BY CITY OF MADISON GIS INFORMATION. CONTRACTOR SHALL VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION.

LEGEND FOR COMMON LINES:

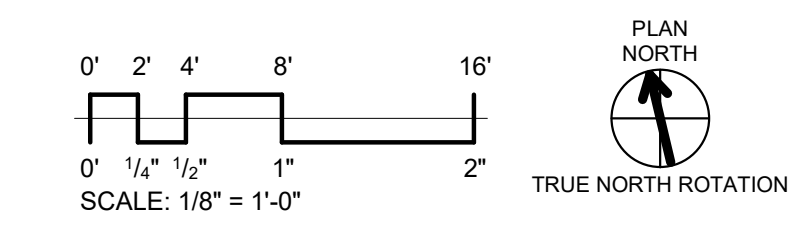
--- 1013 ---	- EXISTING MINOR CONTOUR
---	- PROPERTY LINE
- - -	- EASEMENT LINE
WAT	- EXISTING BURIED WATER MAIN/SERVICE
SAN	- EXISTING BURIED SANITARY SEWER/LATERAL
GAS	- EXISTING BURIED GAS LINE
BuFO	- EXISTING BURIED FIBER OPTIC LINE
BuEI	- EXISTING BURIED ELECTRIC LINE
OhEI	- EXISTING OVERHEAD ELECTRIC LINE

1300 S MIDVALE MIXED USE DEVELOPMENT
 UTILITY & FIRE LANE PLAN
 SHEET: C-4
 DATED: AUGUST 7, 2023

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



A1 LOWER LEVEL
1/8" = 1'-0"



MIDVALE MIXED USE

NEW CONSTRUCTION
1302 MIDVALE BLVD
MADISON, WI 53711

Project Status	
2023.11.06	EXTERIOR REVIEW

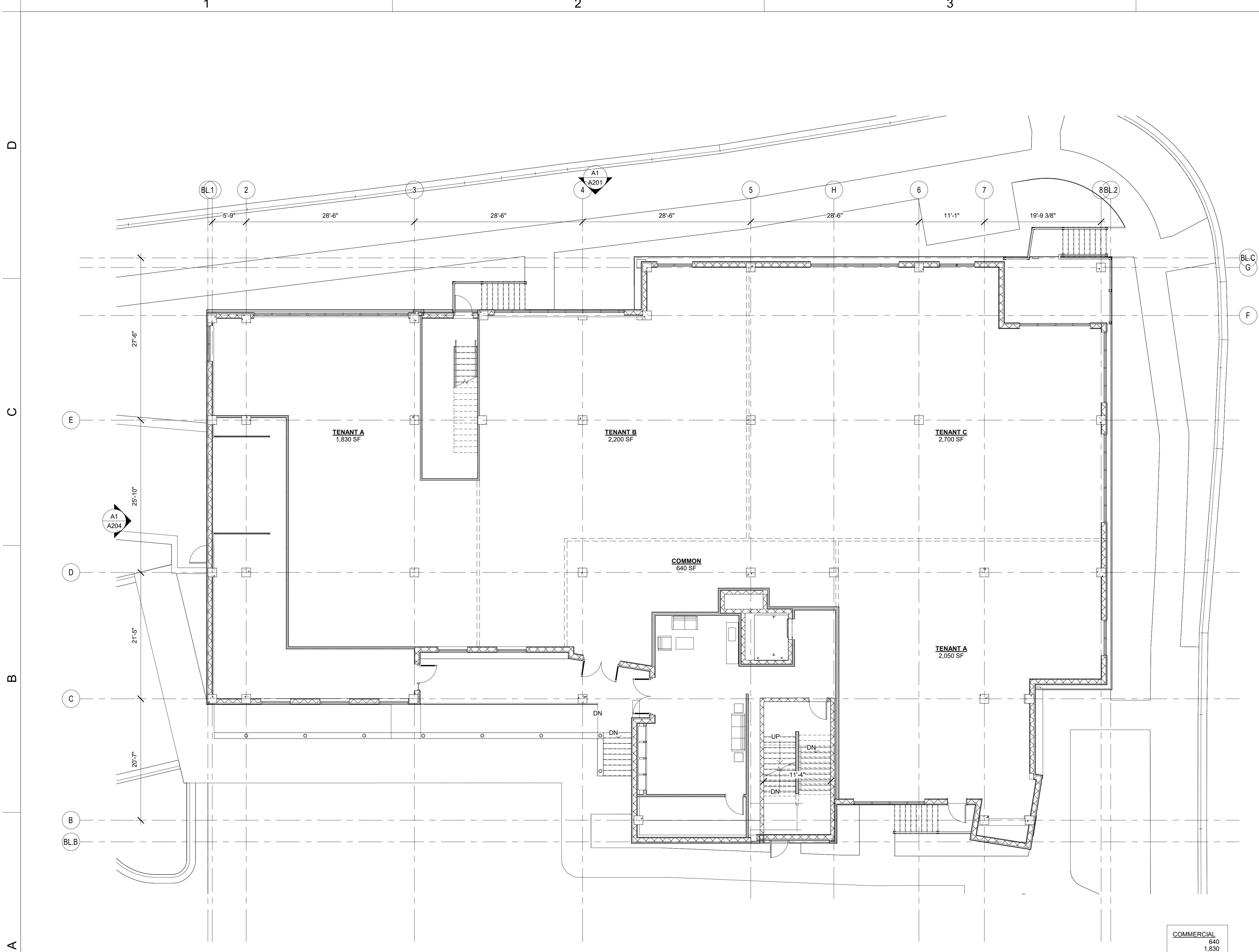
PROJ. #: 22235-01

© SKETCHWORKS ARCHITECTURE 2022

LOWER LEVEL FLOOR PLAN

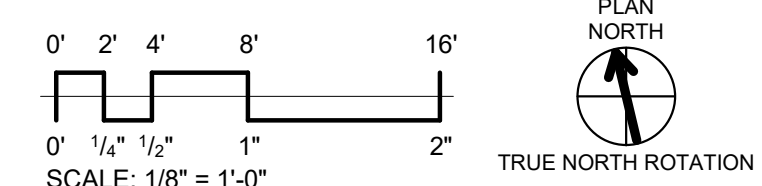
A100

SD SET



COMMERCIAL	640
	1,830
	2,200
	2,700
	2,050
TOTAL	9,420

A1 FIRST FLOOR PLAN
1/8" = 1'-0"



MIDVALE MIXED USE
NEW CONSTRUCTION
1302 MIDVALE BLVD
MADISON, WI 53711

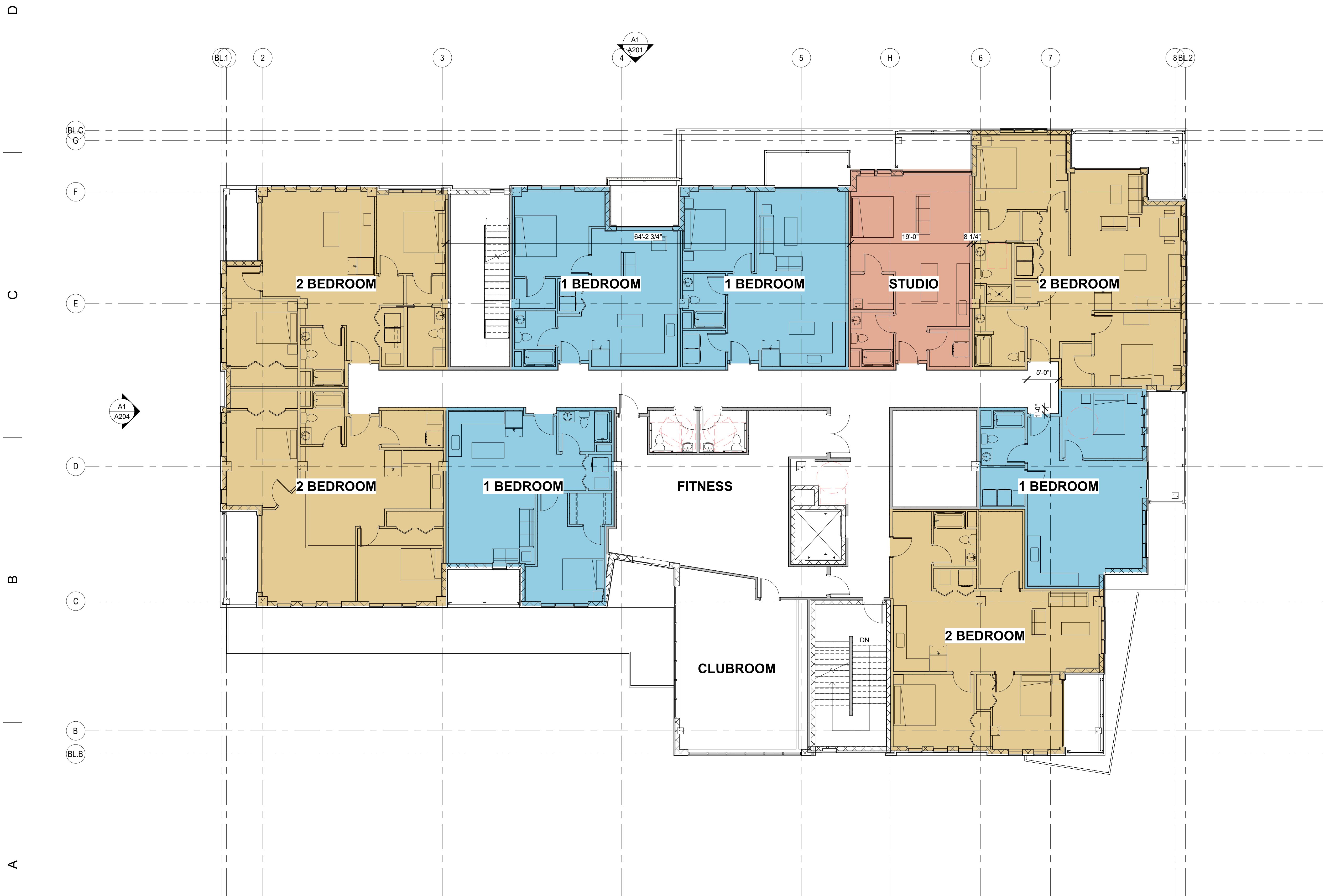
Project Status	
2023.11.06	EXTERIOR REVIEW

PROJ. #: 22235-01
© SKETCHWORKS ARCHITECTURE 2022

FIRST FLOOR PLAN

A101

SD SET



KEYNOTES:

- 1 ABC
- 2 DEF

ALTERNATE BIDS:

- 3 GHI
- 4 JKL

MIDVALE MIXED USE

NEW CONSTRUCTION
1302 MIDVALE BLVD
MADISON, WI 53711

Project Status

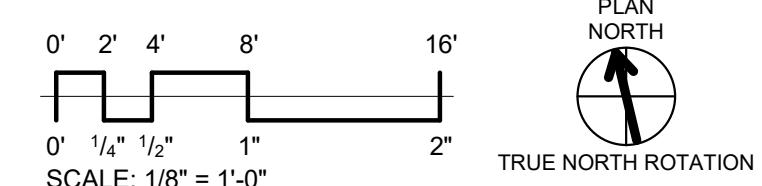
2023.11.06 EXTERIOR REVIEW

PROJ. #: 22235-01

© SKETCHWORKS
ARCHITECTURE 2022

SECOND FLOOR PLAN

A1 SECOND FLOOR
1/8" = 1'-0"



SD SET

A102

D
C
B
A



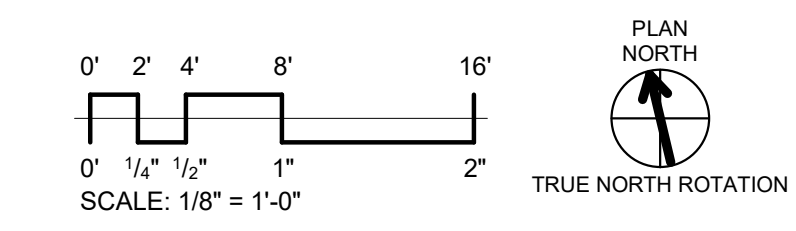
MIDVALE MIXED USE
NEW CONSTRUCTION
1302 MIDVALE BLVD
MADISON, WI 53711

Project Status	
2023.11.06	EXTERIOR REVIEW

PROJ. #: 22235-01
© SKETCHWORKS ARCHITECTURE 2022

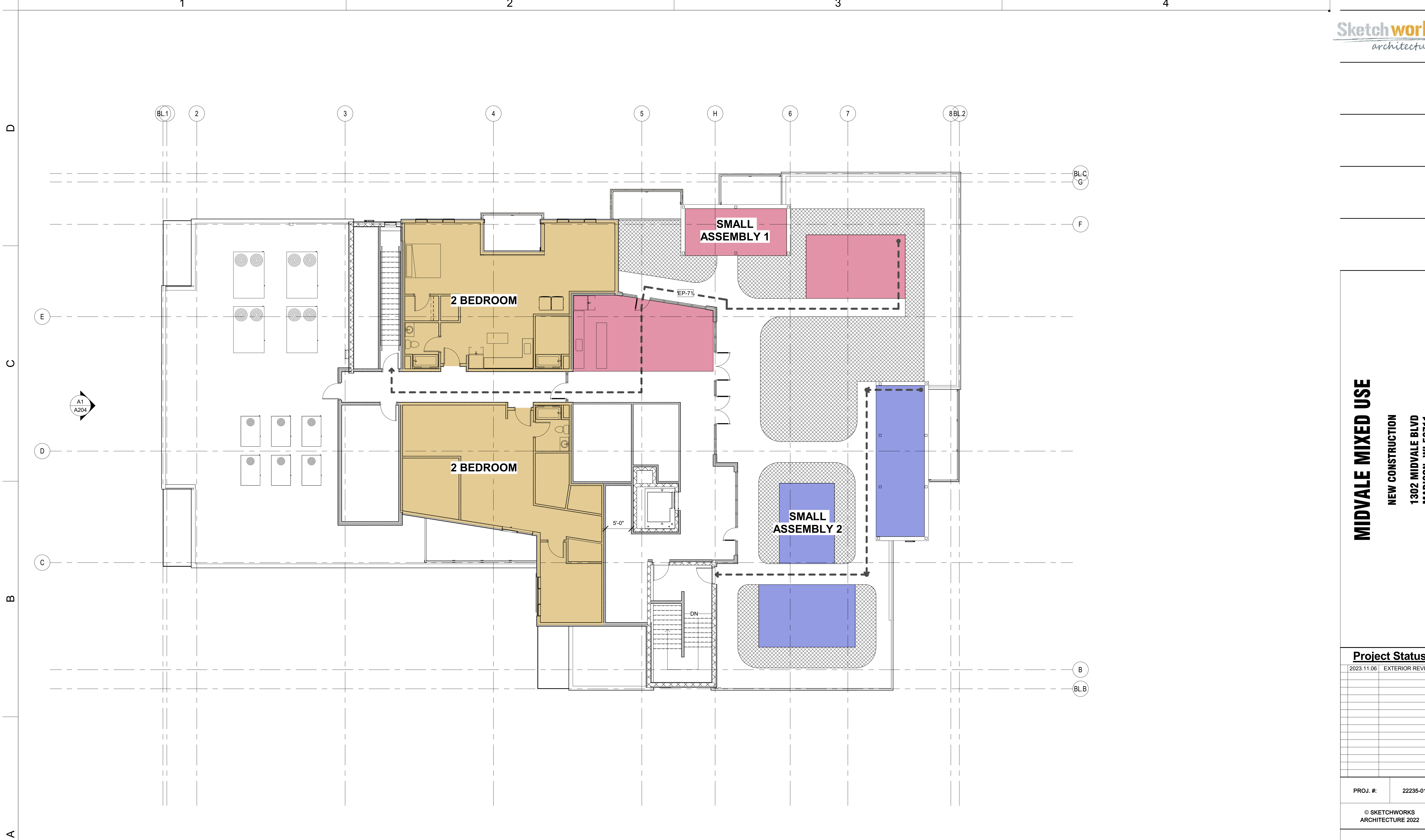
TYP. UNIT FLOOR PLAN

A1 THIRD FLOOR
1/8" = 1'-0"

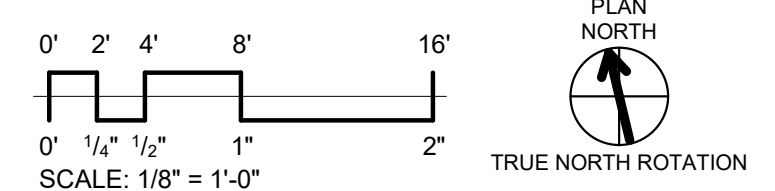


SD SET

A103



A1 SEVENTH FLOOR
1/8" = 1'-0"



MIDVALE MIXED USE

NEW CONSTRUCTION
1302 MIDVALE BLVD
MADISON, WI 53711

Project Status

2023.11.06 EXTERIOR REVIEW

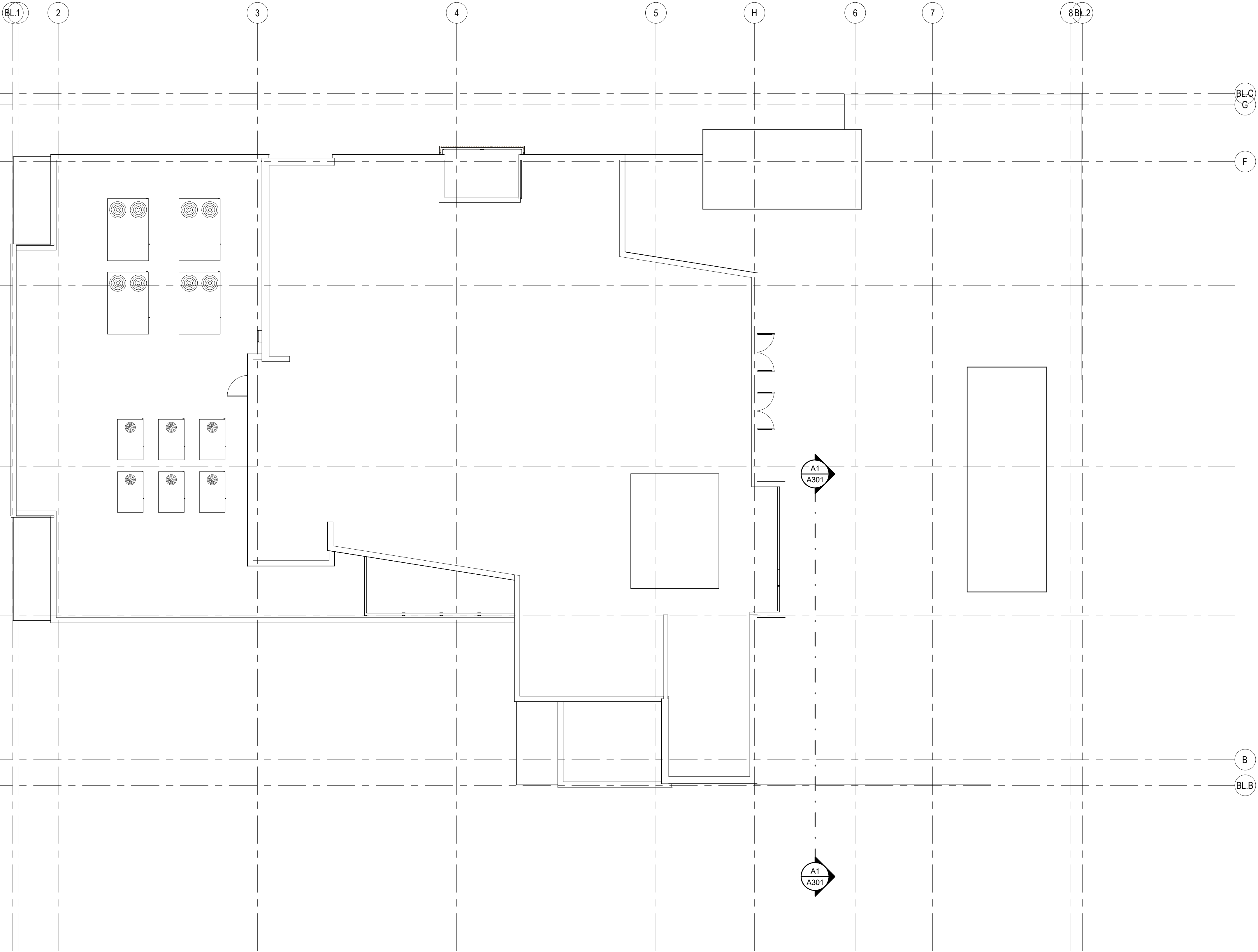
PROJ. #: 22235-01

© SKETCHWORKS
ARCHITECTURE 2022

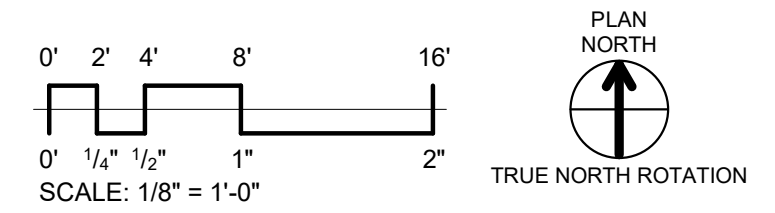
SEVENTH FLOOR PLAN

A107

SD SET



A1 ROOF PLAN
1/8" = 1'-0"



MIDVALE MIXED USE

NEW CONSTRUCTION
1302 MIDVALE BLVD
MADISON, WI 53711

Project Status

2023.11.06 EXTERIOR REVIEW

PROJ. #: 22235-01

© SKETCHWORKS
ARCHITECTURE 2022

ROOF PLAN

A120

SD SET

1

2

3

4

EXTERIOR ELEVATIONS KEYNOTE SCHEDULE

#	DESCRIPTION	MANUFACTURER	TYPE/STYLE	COLOR	HEIGHT	WIDTH	COMMENTS
1							

D

C

B

A



- ELEVATOR SHAFT CAP 182'-4"
- T.O. UPPER PARAPET 179'-8"
- T.O. LOW PARAPET 172'-0"
- SEVENTH FLOOR 168'-0"
- SEVENTH BRG 165'-9 1/4"
- SIXTH FLOOR 157'-0"
- SIXTH BRG 154'-9 1/4"
- FIFTH FLOOR 148'-0"
- FIFTH BRG 143'-9 1/4"
- BUILDING HEIGHT 84'-8" IBC T504.3
- FOURTH FLOOR 139'-0"
- FOURTH BRG 132'-9 1/4"
- THIRD FLOOR 122'-11"
- THIRD BRG 122'-11"
- SECOND FLOOR 111'-11"
- SECOND BRG 111'-11"
- STOREFRONT 109'-0"
- FIRST FLOOR 100'-0"
- GRADE 95'-0"
- ELEVATOR ACCESS 86'-0"
- B.O. ELEVATOR PIT 81'-6"

MIDVALE MIXED USE
NEW CONSTRUCTION
1302 MIDVALE BLVD
MADISON, WI 53711

Project Status

2023.11.06	EXTERIOR REVIEW

PROJ. #: 22235-01

© SKETCHWORKS ARCHITECTURE 2022

EXTERIOR ELEVATIONS

A1 NORTH ELEVATION - COLOR
1/8" = 1'-0"

1

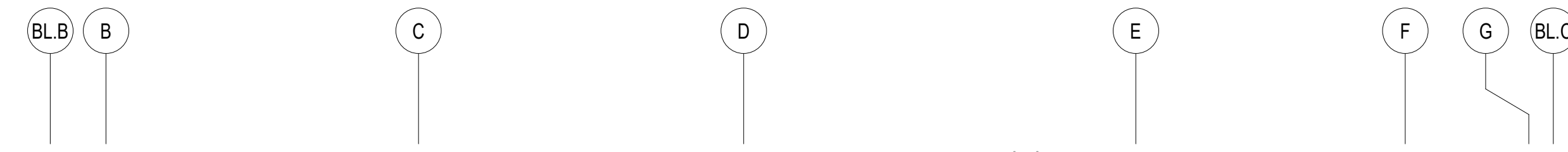
2

3

4

EXTERIOR ELEVATIONS KEYNOTE SCHEDULE

#	DESCRIPTION	MANUFACTURER	TYPE/STYLE	COLOR	HEIGHT	WIDTH	COMMENTS
1							



- — — — — ELEVATOR SHAFT CAP 182'-4"
- — — — — T.O. UPPER PARAPET 179'-8"
- — — — — T.O. LOW PARAPET 172'-0"
- — — — — SEVENTH FLOOR 168'-0"
- — — — — SEVENTH BRG 165'-9 1/4"
- — — — — SIXTH FLOOR 157'-0"
- — — — — SIXTH BRG 154'-9 1/4"
- — — — — FIFTH FLOOR 145'-0"
- — — — — FIFTH BRG 143'-9 1/4"
- — — — — FOURTH FLOOR 135'-0"
- — — — — FOURTH BRG 132'-9 1/4"
- — — — — THIRD FLOOR 122'-11"
- — — — — THIRD BRG 122'-11"
- — — — — SECOND FLOOR 111'-11"
- — — — — SECOND BRG 111'-11"
- — — — — STOREFRONT 109'-0"
- — — — — FIRST FLOOR 100'-0"
- — — — — GRADE 95'-0"
- — — — — UPPER PARKING 91'-0"
- — — — — ELEVATOR ACCESS 86'-0"
- — — — — LOWER PARKING 81'-6"
- — — — — B.O. ELEVATOR PIT 81'-6"

MIDVALE MIXED USE

NEW CONSTRUCTION
1302 MIDVALE BLVD
MADISON, WI 53711

Project Status

2023.11.06 EXTERIOR REVIEW

PROJ. #: 22235-01

© SKETCHWORKS
ARCHITECTURE 2022

EXTERIOR ELEVATIONS

A202

A1 EAST ELEVATION - COLOR
1/8" = 1'-0"

1

2

3

4

EXTERIOR ELEVATIONS KEYNOTE SCHEDULE

#	DESCRIPTION	MANUFACTURER	TYPE/STYLE	COLOR	HEIGHT	WIDTH	COMMENTS
1							

D

C

B

A



- ELEVATOR SHAFT CAP 182'-4"
- T.O. UPPER PARAPET 179'-8"
- T.O. LOW PARAPET 172'-0"
- SEVENTH FLOOR 168'-0"
- SEVENTH BRG 165'-9 1/4"
- SIXTH FLOOR 167'-0"
- SIXTH BRG 154'-9 1/4"
- FIFTH FLOOR 146'-0"
- FIFTH BRG 143'-9 1/4"
- FOURTH FLOOR 135'-0"
- FOURTH BRG 132'-9 1/4"
- THIRD FLOOR 122'-11"
- THIRD BRG
- SECOND FLOOR 111'-11"
- SECOND BRG
- STOREFRONT 109'-0"
- FIRST FLOOR 100'-0"
- GRADE 95'-0"
- UPPER PARKING 91'-0"

ELEVATOR ACCESS 86'-0"

MIDVALE MIXED USE

NEW CONSTRUCTION
1302 MIDVALE BLVD
MADISON, WI 53711

Project Status

2023.11.06 EXTERIOR REVIEW

PROJ. #: 22235-01

© SKETCHWORKS ARCHITECTURE 2022

EXTERIOR ELEVATIONS

A203

A1 SOUTH ELEVATION - COLOR
1/8" = 1'-0"

1

2

3

4

EXTERIOR ELEVATIONS KEYNOTE SCHEDULE

#	DESCRIPTION	MANUFACTURER	TYPE/STYLE	COLOR	HEIGHT	WIDTH	COMMENTS
1							

D

C

B

A



- ELEVATOR SHAFT CAP 182'-4"
- T.O. UPPER PARAPET 179'-8"
- T.O. LOW PARAPET 172'-0"
- SEVENTH FLOOR 168'-0"
- SEVENTH BRG 165'-9 1/4"
- SIXTH FLOOR 157'-0"
- SIXTH BRG 154'-9 1/4"
- FIFTH FLOOR 146'-0"
- FIFTH BRG 143'-9 1/4"
- FOURTH FLOOR 135'-0"
- FOURTH BRG 132'-9 1/4"
- THIRD FLOOR 122'-11"
- THIRD BRG
- SECOND FLOOR 111'-11"
- SECOND BRG
- STOREFRONT 109'-0"
- FIRST FLOOR 100'-0"
- GRADE 95'-0"
- UPPER PARKING 91'-0"
- ELEVATOR ACCESS 86'-0"
- B.O. ELEVATOR PIT 81'-6"

MIDVALE MIXED USE

NEW CONSTRUCTION
1302 MIDVALE BLVD
MADISON, WI 53711

Project Status

2023.11.06	EXTERIOR REVIEW
------------	-----------------

PROJ. #:	22235-01
----------	----------

© SKETCHWORKS
ARCHITECTURE 2022

EXTERIOR ELEVATIONS

A204

A1 WEST ELEVATION - COLOR
1/8" = 1'-0"