

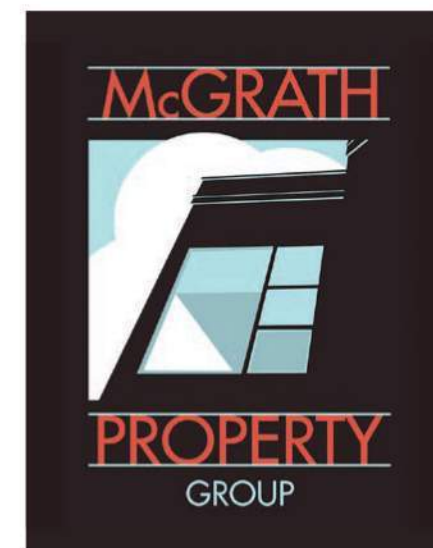


# 5567 ODANA ROAD, MADISON

Neighborhood Meeting

April 23, 2020

OWNER  
Lance T. McGrath, P.E.  
McGrath Property Group  
730 Williamson St. Suite 150  
Madison, WI 53703





# McGrath Property Group







**JLA**  
ARCHITECTS

# 5567 ODANA ROAD

## SITE LOCATOR MAP

MARCH 4, 2020







View from Odana Rd looking at the existing building to be removed



View from Odana Rd looking at the existing parking lot to be redeveloped



View from Odana Rd at neighboring building to the east



View from existing parking lot of fence along property line into rear neighbor's lot



View from Odana Rd across the street to the north



View from Odana Rd at neighboring building to the west



**JLA**  
ARCHITECTS

# 5567 ODANA ROAD

## SITE PHOTOS

MARCH 4, 2020



# Project Summary

- Demo Existing bank building
- Construct New Building
  - 5 Stories
  - 79 Apartments
  - Studio to 2 Bedroom Units
  - ~3,500 sqft of Commercial Space - Fronting Odana
  - 88 Parking Stalls (44 interior/44Exterior)
- Common Amenities:
  - 1st Floor Fitness Center
  - 1st Floor Resident Lounge
  - 1st Floor Community Green Space
  - 2nd Floor Community Room w/rooftop terrace



# City Review Standards

- Zoning Code
- Comprehensive Plan
- Urban Design District #3
- Neighborhood Plan - NA

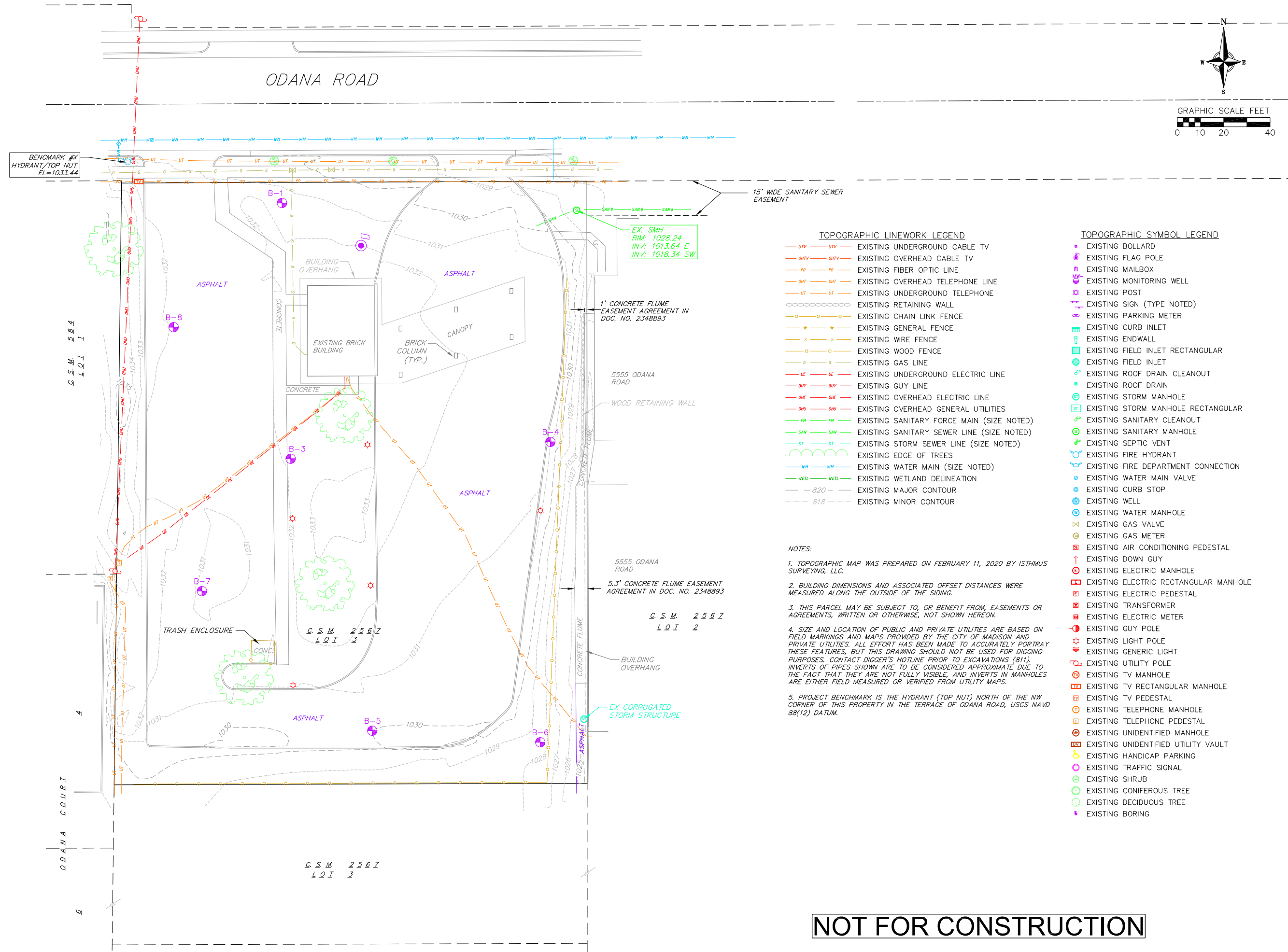


# Project Schedule

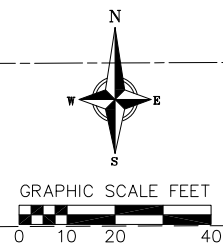
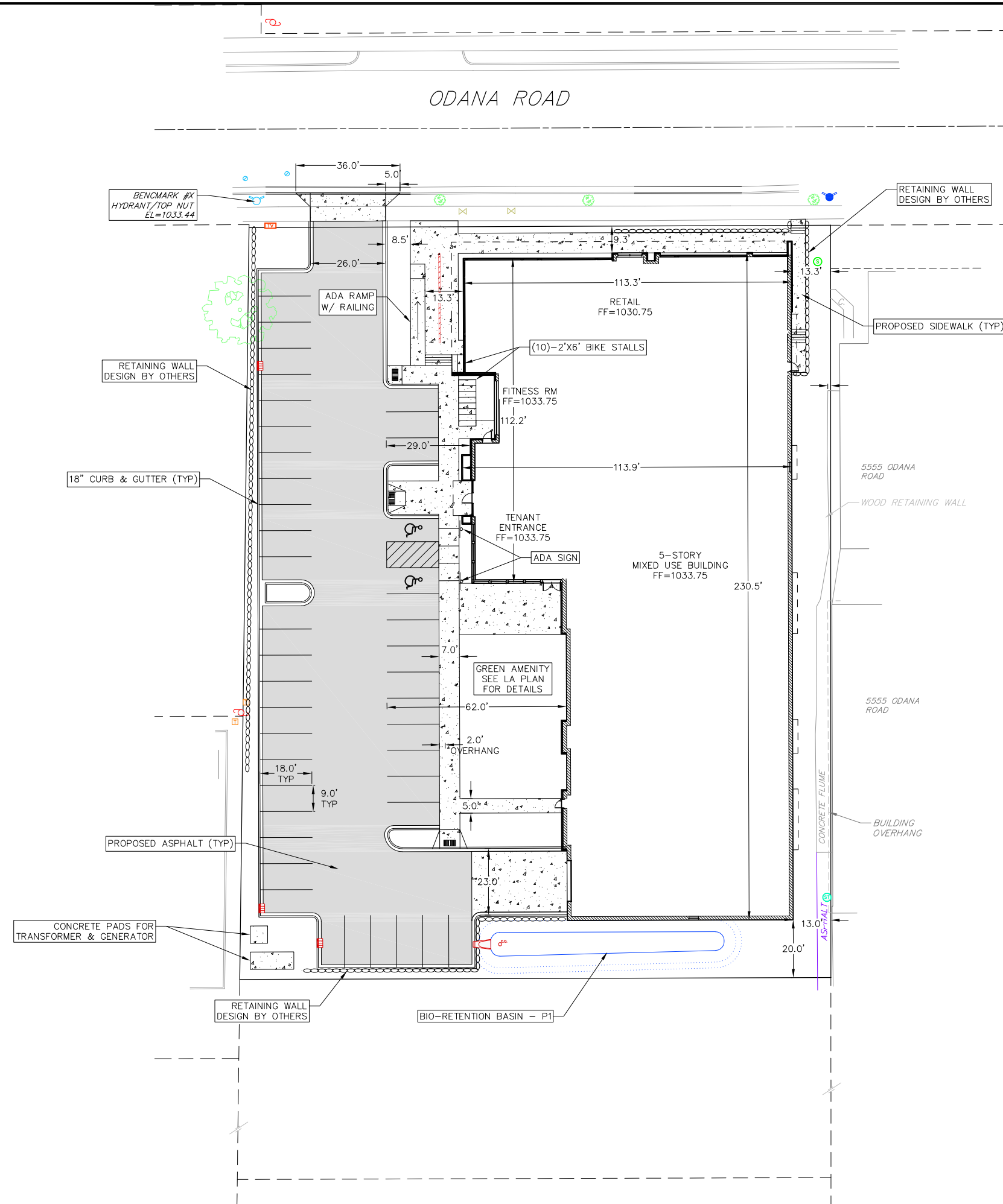
- City Review and Neighborhood Input Process
  - Alder/City Staff Meetings
  - Urban Design Commission Informational Presentation – February 26, 2020
  - Land Use Application Submittal – March 4, 2020
  - Neighborhood Meeting - April 23, 2020
  - Urban Design Commission Meeting – April 29, 2020
  - Plan Commission Meeting – May 11, 2020
- \* Start Building Construction – June 15, 2020
- \* Building Completed and Occupied – May 1, 2021

\* Note - The COVID-19 virus likely delays the start of the construction project. Hope to now start no later than June 2021 - hopefully much sooner



















### SITE PLAN LEGEND

- |   |  |
|---|--|
|  | PROPERTY BOUNDARY                      |
|  | CURB AND GUTTER (REVERSE CURB HATCHED) |
|  | PROPOSED RETAINING WALL                |
|  | PROPOSED CONCRETE                      |
|  | PROPOSED ASPHALT                       |
|  | PROPOSED SIGN                          |
|  | PROPOSED LIGHT POLE                    |
|  | PROPOSED BOLLARD                       |
|  | PROPOSED ADA DETECTABLE WARNING FIELD  |
|  | PROPOSED HANDICAP PARKING              |

SITE NOTES:

1. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
3. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF SITE RELATED ITEMS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
5. DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.

#### Parking Lot Plan Site Information Block

Site Address: 5567 Odana Road

Site acreage (total) = 1.21 ACRES

Number of building stories (above grade): 5

Building height: Average Existing Grade to Top of Building = 56' - 8"

DILHR type of construction (new structures): 5A

Use of property: Mixed Use – Multi-Family Residential &amp; Retail

Gross square feet of building: 91,562 GSF

Gross square feet of retail area: 3,524 GSF

Number of employees: N/A  
Number of employees in production area: N/A

Capacity of restaurant/place of assembly: N/A

Number of bicycle stalls shown:	30	floor mounted internal stalls
	36	internal vertical stalls
	10	external stalls

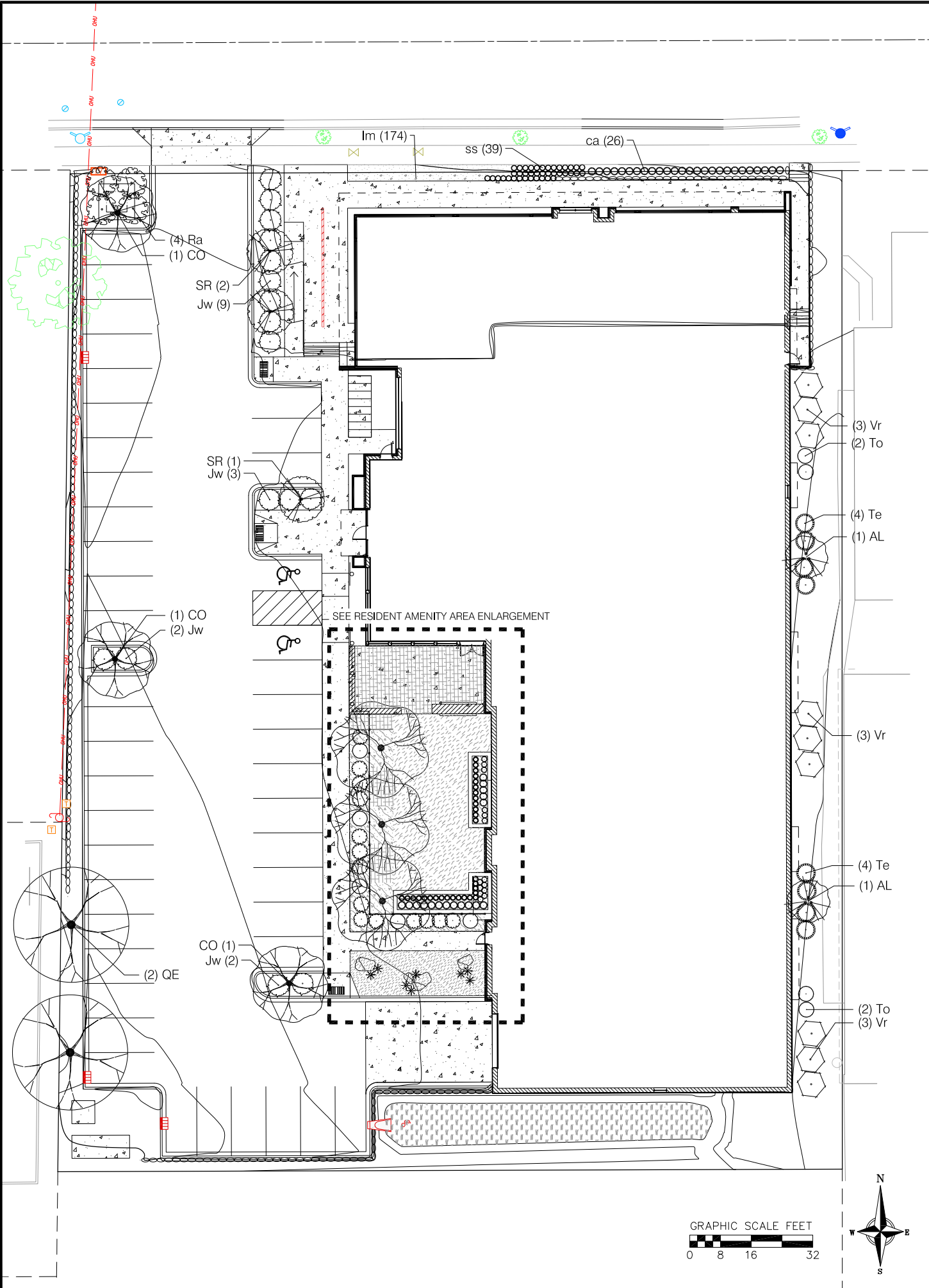
Number of parking stalls:

Proposed (Site)	42 Large + 0 Compact = 42
Proposed (Covered)	42 Large + 0 Compact = 42
Accessible	0 (Site) + 2 (Covered) = 2
Van Accessible	2 (Site) + 0 (Covered) = 2
Total	88

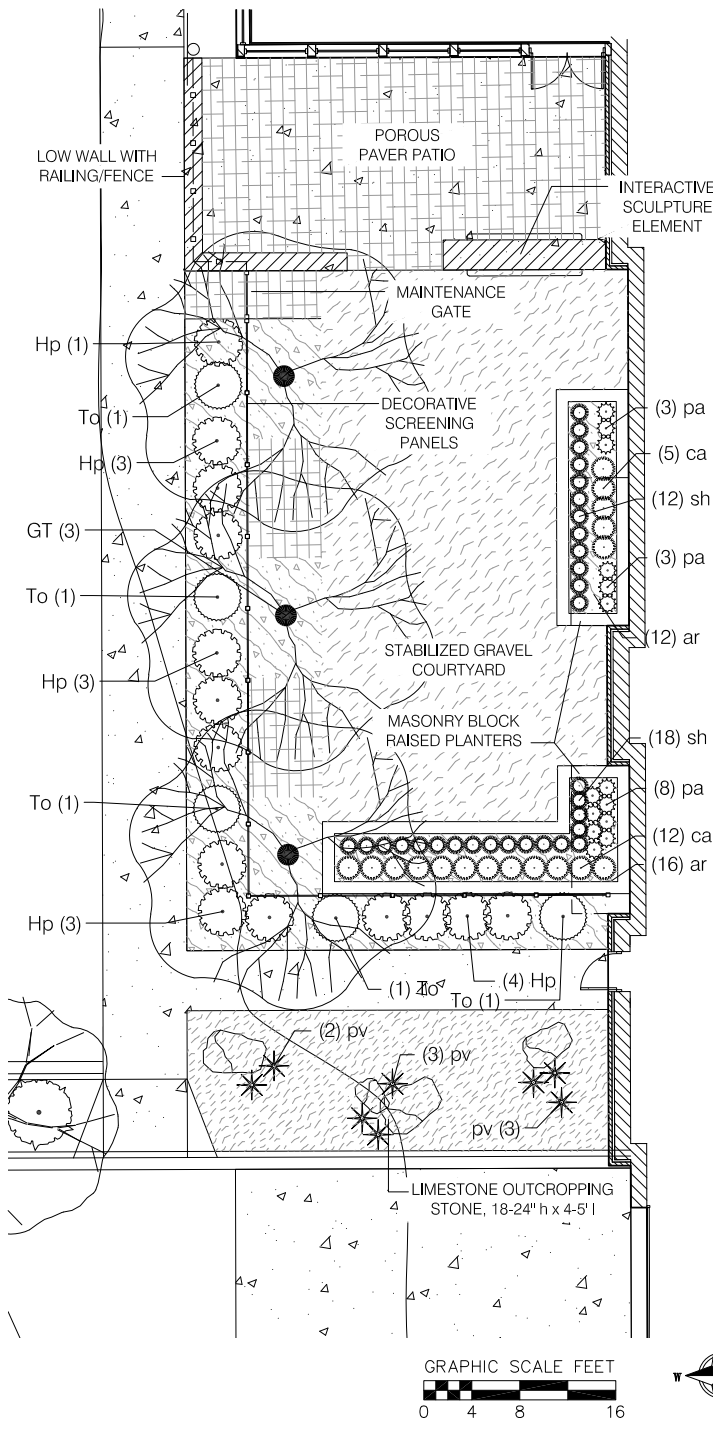
Number of trees shown: See Landscape Plan

**NOT FOR CONSTRUCTION**





RESIDENT AMENITY AREA



PLANT SCHEDULE

DECIDUOUS TREES		BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	
CO		Celtis occidentalis / Common Hackberry	15 gal			3	
GT		Gleditsia triacanthos Inermis `Shademaster` TM / Shademaster Locust	B & B	2.5"Cal		3	
QE		Quercus ellipsoidalis / Northern Pin Oak	B & B	2.5"Cal		2	
FLOWERING TREES		BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	
AL		Amelanchier laevis / Allegheny Serviceberry	B & B		6' ht. multi stem	2	
SR		Syringa reticulata `Ivory Pillar` / Ivory Pillar Japanese Tree Lilac	B & B	2 1/2"Cal		3	
DECIDUOUS SHRUBS		BOTANICAL / COMMON NAME	SIZE	FIELD2	FIELD3	QTY	
Hp		Hydrangea paniculata `Little Lime` / `Little Lime Hydrangea	5 gal	Cont		14	
Ra		Rhus aromatica `Gro-Low` / Gro-Low Fragrant Sumac	3 gal			4	
Vr		Viburnum rafinesquianum / Downy Arrowwood	5 gal			9	
EVERGREEN SHRUBS		BOTANICAL / COMMON NAME	SIZE	FIELD2	FIELD3	QTY	
Jw		Juniperus horizontalis `Wiltonii` / Blue Rug Juniper	5 gal			16	
Te		Taxus x media `Everlow` / Yew	5 gal			8	
To		Thuja occidentalis `Holmstrup` / Holmstrup Cedar	7 gal	Cont		9	
PERENNIALS		BOTANICAL / COMMON NAME	SIZE	FIELD2	FIELD3	QTY	
ca		Calamagrostis x acutiflora `Karl Foerster` / Feather Reed Grass	1 gal			43	
pv		Panicum virgatum `Shenandoah` / Shenandoah Red Switch Grass	1 gal			8	
pa		Perovskia atriplicifolia `Little Spire` / Little Spire Russian Sage	1 gal			14	
ss		Schizachyrium scoparium / Little Bluestem Grass	1 gal			39	
sh		Sporobolus heterolepis `Tara` / Prairie Dropseed	4 1/2" pot			30	
GROUND COVERS		BOTANICAL / COMMON NAME	CONT	FIELD2	FIELD3	SPACING	QTY
ar		Ajuga reptans `Chocolate Chip` / Chocolate Chip Bugleweed	flat			18" o.c.	197
lm		Liriope muscari / Lilyturf	flat			12" o.c.	174

DECORATIVE PAVING/GROUNDCOVER SCHEDULE

	POROUS PAVERS	709 sf
	STABILIZED GRAVEL	1,416 sf
	BIORETENTION AREA	869 sf
	Asclepias incarnata / Swamp Milkweed	64
	Carex comosa / Bottlebrush Sedge	64
	Carex cristatella / Crested Oval Sedge	64
	Carex lurida / Lurid Sedge	64
	Coreopsis tripteris / Tall Coreopsis	64
	Elymus virginicus / Virginia Wild Rye	91
	Iris virginica / Blue Flag Iris	64
	Liatris spicata / Spike Gayfeather	64
	Lobelia cardinalis / Cardinal Flower	64
	Panicum virgatum / Switch Grass	91
	Rudbeckia triloba / Browneyed Susan	64
	Spartina pectinata / Prairie Cordgrass	91
	Symphoricarpos novae-angliae / New England Aster	64

- GENERAL NOTES:**
1. All plantings shall conform to quality requirements as per ANSI Z60.1.
  2. All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
  3. Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
  4. All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by LaCrosse Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
  5. All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
  6. Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
  7. Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min. and edged with commercial grade aluminum landscape edging, Permaloc CleanLine 3/8" x 4" or equal, color black anodized.



vierbicher  
planners | engineers | advisors

Phone: (800) 261-3898

Landscape Plan

5567 Odana Road  
City of Madison  
Dane County, WI

REVISONS	NO.	DATE	REMARKS

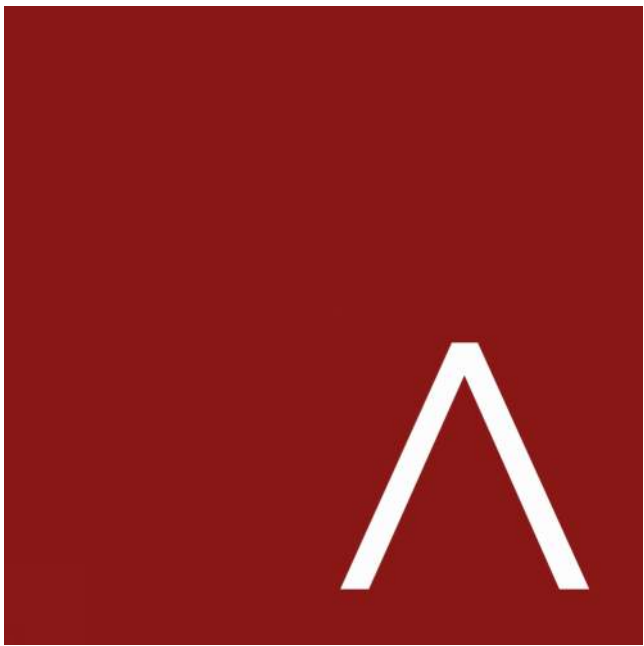
SCALE	AS SHOWN
DATE	3/4/2020
DRAFTER	SVN
CHECKED	MSCH/TSCH
PROJECT NO.	200052

L

101

NOT FOR CONSTRUCTION





**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-1212



McGRATH PROPERTY  
GROUP

5567 ODANA ROAD

LAND USE UDC FINAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE      MARCH 04, 2020

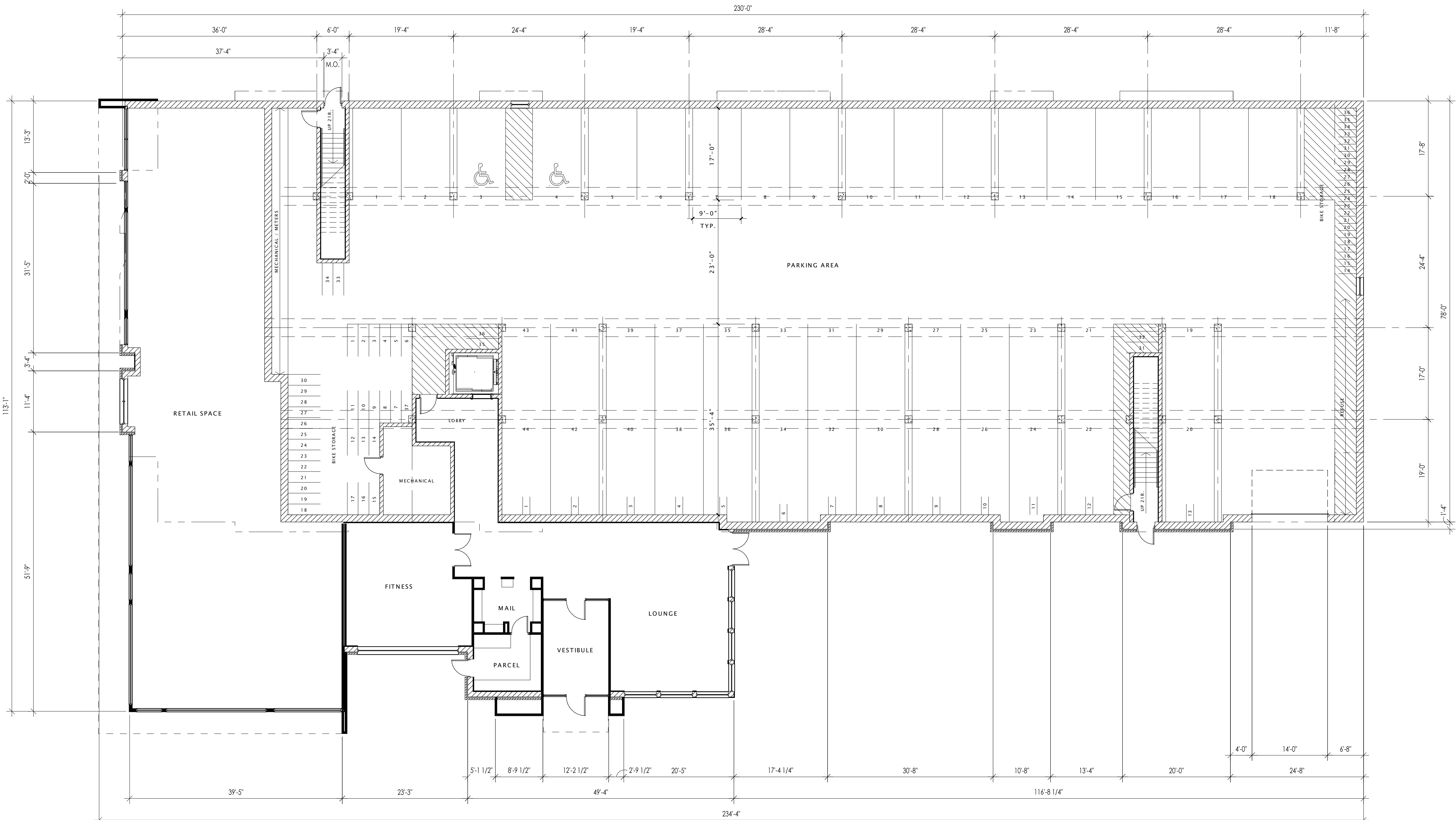
REVISION SCHEDULE		
Mark	Description	Date
1	FLOOR PLAN CHANGES	03/08/2020

SHEET TITLE

FIRST FLOOR PLAN

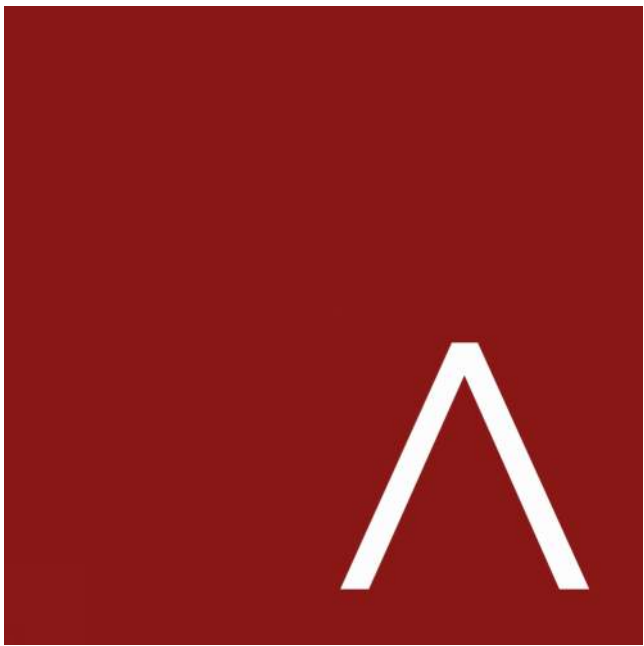
SHEET NUMBER

A101



1 FIRST FLOOR PLAN  
3/32" = 1'-0"





**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-1212



McGRATH PROPERTY  
GROUP

5567 ODANA ROAD

LAND USE UDC FINAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE      MARCH 04, 2020

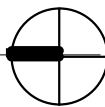
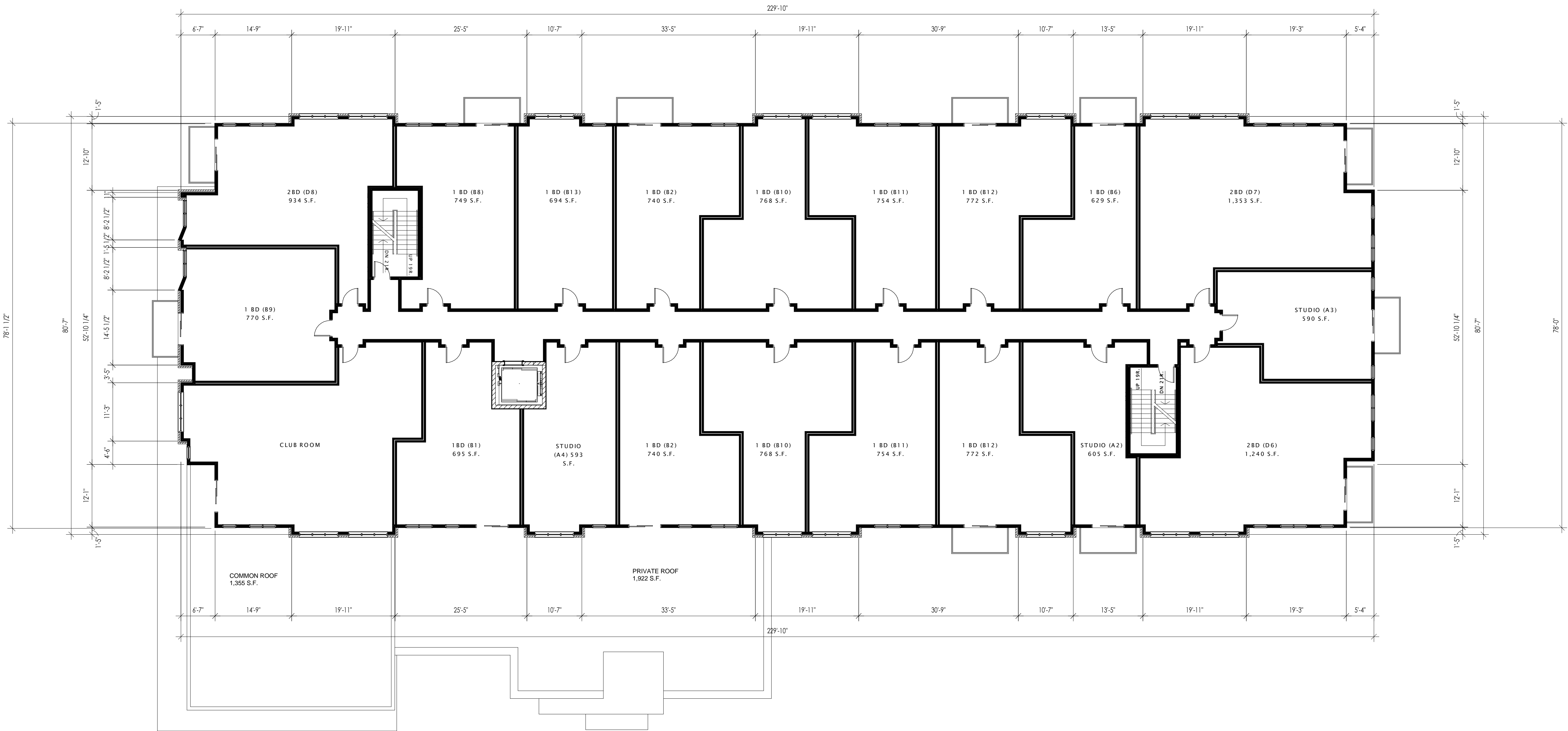
REVISION SCHEDULE		
Mark	Description	Date
1	FLOOR PLAN CHANGES	03/08/2020

SHEET TITLE

SECOND FLOOR  
PLAN

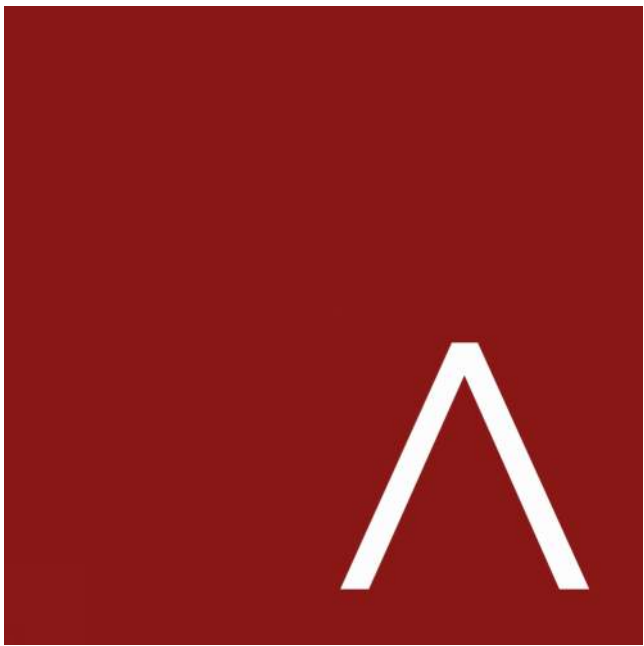
SHEET NUMBER

A102



1 SECOND FLOOR PLAN  
3/32" = 1'-0"





**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-1212



McGRATH PROPERTY  
GROUP

5567 ODANA ROAD

LAND USE UDC FINAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 04, 2020

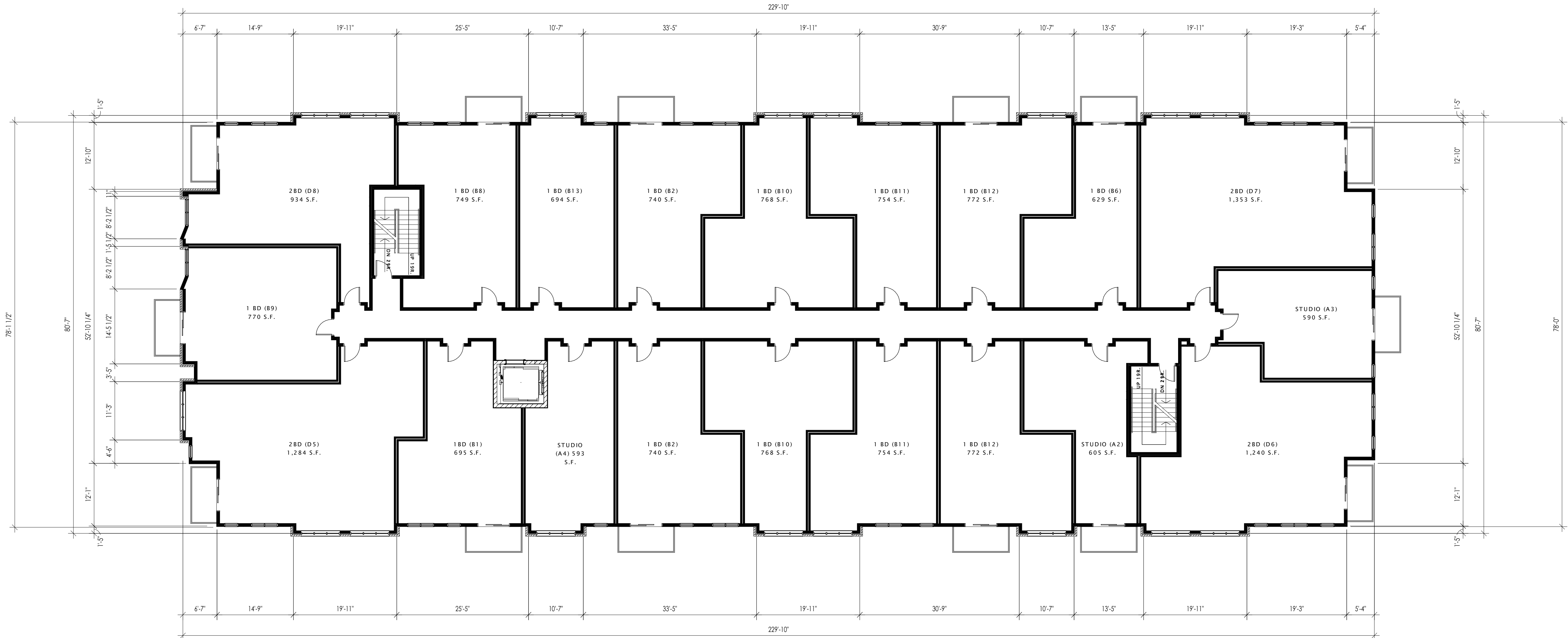
REVISION SCHEDULE		
Mark	Description	Date
1	FLOOR PLAN CHANGES	03/08/2020

SHEET TITLE

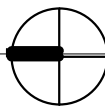
THIRD FLOOR PLAN

SHEET NUMBER

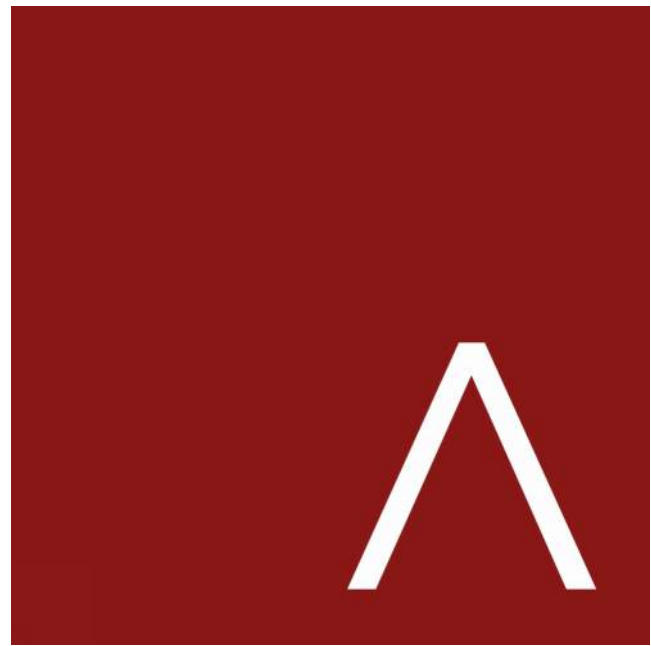
A103



1 THIRD FLOOR PLAN  
3/32" = 1'-0"







**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-1212

5567 ODANA ROAD

LAND USE UDC FINAL

#### PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 04, 2020

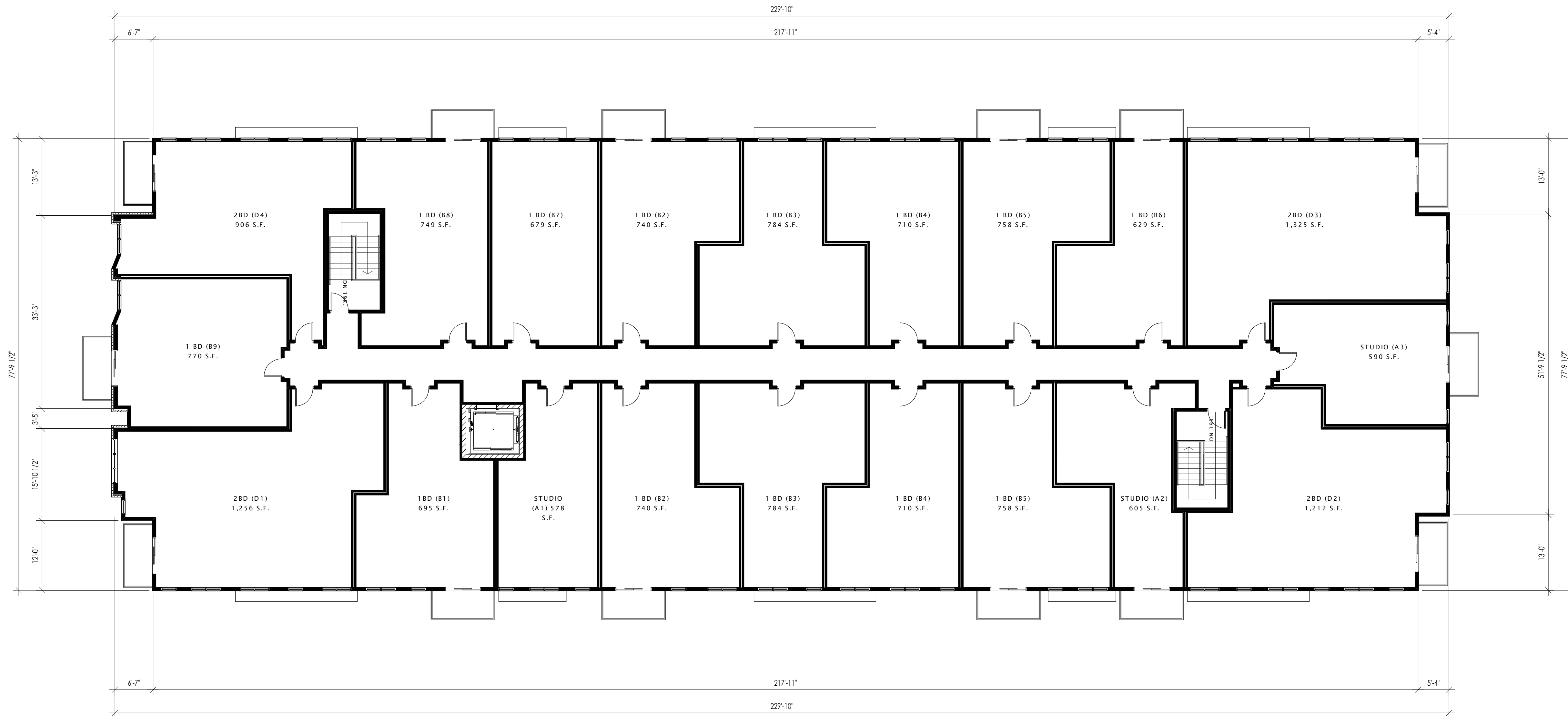
REVISION SCHEDULE		
Mark	Description	Date
1	FLOOR PLAN CHANGES	03/06/2020

SHEET TITLE

FOURTH & FIFTH  
FLOOR PLAN

SHEET NUMBER

A104



1 FOURTH & FIFTH FLOOR PLAN  
3/32" = 1'-0"





1 SKETCHUP NORTH ELEVATION  
3/32" = 1'-0"

5567 ODANA ROAD  
03/04/2020 Material Selection

MASONRY

BRICK VENEER #1  
BRICK VENEER #2  
BURNISHED BLOCK #1

COMPOSITE LAP SIDING

COMPOSITE LAP SIDING #1

COMPOSITE LAP SIDING - TRIM

COMPOSITE TRIM #1

COMPOSITE PANEL

COMPOSITE PANEL #1

WINDOWS/PATIO DOORS

RETAIL / COMMERCIAL - ALUMINUM WINDOW WITH ANODIZED FINISH  
RETAIL / COMMERCIAL - ALUMINUM DOORS WITH ANODIZED FINISH  
RESIDENTIAL - VINYL WINDOWS  
RESIDENTIAL - VINYL PATIO DOOR

OVERHEAD DOOR

INSULATED FIBERGLASS WITH GLAZING

GUARDRAILS/HANDRAILS

PRE-FINISHED ALUMINUM

ROOFING

STANDING SEAM METAL ROOF

FLAT LOCK METAL WALL / ROOF PANELS

FLAT LOCK WALL PANEL #1  
FLAT LOCK WALL PANEL #2  
FLAT LOCK ROOF PANEL #2

color/#

WARM LIGHT GREY  
WARM DARK GREY  
WARM LIGHT GREY

DARK GREY

MATCH COMPOSITE LAP SIDING #1

RUSTIC GRAIN - GOLDEN SPUR

DARK GREY

DARK GREY

DARK GREY

DARK GREY

DARK GREY

COPPER PENNY

COPPER PENNY

PRE-WEATHERED COPPER

PRE-WEATHERED COPPER



2 SKETCHUP NORTH ELEVATION BW  
3/32" = 1'-0"



JLA  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-1212



McGRATH PROPERTY  
GROUP

5567 ODANA ROAD

LAND USE UDC FINAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 04, 2020

REVISION SCHEDULE

Mark	Description	Date
------	-------------	------

SHEET TITLE

NORTH ELEVATIONS

SHEET NUMBER

A200





1 SKETCHUP SOUTH ELEVATION  
3/32" = 1'-0"



2 SKETCHUP SOUTH ELEVATION BW  
3/32" = 1'-0"

5567 ODANA ROAD  
03/04/2020 Material Selection

MASONRY

BRICK VENEER #1  
BRICK VENEER #2  
BURNISHED BLOCK #1

COMPOSITE LAP SIDING

COMPOSITE LAP SIDING #1

COMPOSITE LAP SIDING - TRIM

COMPOSITE TRIM #1

COMPOSITE PANEL

COMPOSITE PANEL #1

WINDOWS/PATIO DOORS

RETAIL / COMMERCIAL - ALUMINUM WINDOW WITH ANODIZED FINISH  
RETAIL / COMMERCIAL - ALUMINUM DOORS WITH ANODIZED FINISH  
RESIDENTIAL - VINYL WINDOWS  
RESIDENTIAL - VINYL PATIO DOOR

OVERHEAD DOOR

INSULATED FIBERGLASS WITH GLAZING

GUARDRAILS/HANDRAILS

PRE-FINISHED ALUMINUM

ROOFING

STANDING SEAM METAL ROOF

FLAT LOCK METAL WALL / ROOF PANELS

FLAT LOCK WALL PANEL #1  
FLAT LOCK WALL PANEL #2  
FLAT LOCK ROOF PANEL #2

color/#

WARM LIGHT GREY  
WARM DARK GREY  
WARM LIGHT GREY

DARK GREY

MATCH COMPOSITE LAP SIDING #1

RUSTIC GRAIN - GOLDEN SPUR

DARK GREY  
DARK GREY  
DARK GREY  
DARK GREY

DARK GREY

DARK GREY

COPPER PENNY

COPPER PENNY  
PRE-WEATHERED COPPER  
PRE-WEATHERED COPPER



JLA  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-1212



McGRATH PROPERTY  
GROUP

5567 ODANA ROAD

LAND USE UDC FINAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 04, 2020

REVISION SCHEDULE

Mark	Description	Date
------	-------------	------

SHEET TITLE

SOUTH ELEVATIONS

SHEET NUMBER

A201





1 SKETCHUP EAST ELEVATION  
3/32" = 1'-0"



2 SKETCHUP EAST ELEVATION BW  
3/32" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-1212



McGRATH PROPERTY  
GROUP

5567 ODANA ROAD

LAND USE UDC FINAL

#### PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 04, 2020

#### REVISION SCHEDULE

Mark	Description	Date
------	-------------	------

SHEET TITLE

EAST ELEVATIONS

SHEET NUMBER

A202





1 SKETCHUP WEST ELEVATION  
3/32" = 1'-0"



2 SKETCHUP WEST ELEVATION BW  
3/32" = 1'-0"



JLA  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-1212



McGRATH PROPERTY  
GROUP

5567 ODANA ROAD

LAND USE UDC FINAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 04, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

WEST ELEVATIONS

SHEET NUMBER

A203

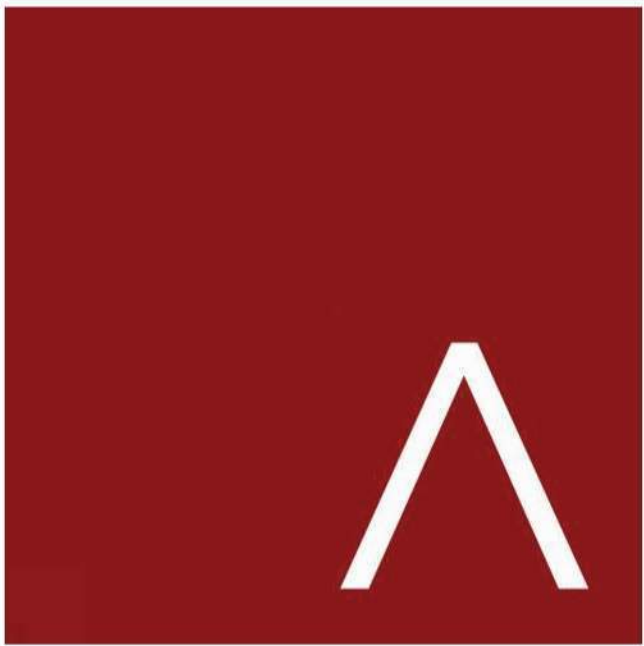




① SOUTHEAST PERSPECTIVE  
1" = 20'-0"



② SOUTHWEST PERSPECTIVE  
1" = 20'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-1212



McGRATH PROPERTY  
GROUP

5567 ODANA ROAD

LAND USE UDC FINAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE      MARCH 04, 2020

REVISION SCHEDULE

Mark	Description	Date
------	-------------	------

SHEET TITLE

PERSPECTIVES

SHEET NUMBER

A204



CONCEPTUAL BUILDING DATA – 5 STORIES										1.20 ACRES (+/-) = 65.8 UNITS/ACRE				
FLOOR	GROSS AREA		UNITS							PARKING PROVIDED				
	FINISHED	PARKING	STUDIO	1 BR		2BR	3BR	TOTAL	BR'S	COVERED	SURFACE	TOTALS	RATIOS	
5	17,640		3	13		4	0	20	24					
4	17,640		3	13		4	0	20	24					
3	17,957		3	13		4	0	20	24					
2	17,957		3	13		3	0	19	22					
1	21,703	15,906 *	2,655 S.F. LOBBY & COMMON AREAS											
			3,346 S.F. RETAIL SPACE											
T.	92,897	15,906 *	12	52		15	0	79	94	44	44	88	1.11 / U	0.94 / BR
			15%	66%		19%	0%							

\*PARKING AREA INCLUDES BIKE ROOM & EGRESS STAIRS.